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A70	PROPOSED RENOVATION ELEVATIONS

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 studioonearchitecture.ca
 Thomas (2017) Architect (2017)

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 architecture inc.

PROPOSED RENOVATION | 727 JOHNSON STREET, VICTORIA, B.C.

ISSUED FOR BUILDING PERMIT

June 09, 2017

CONSULTANTS:

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CONTEXT PLAN
N

DESIGN RATIONALE

SITE & EXISTING BUILDINGS

The site is located mid-block along the south side of Johnson Street between Douglas & Blenheim Streets. The site falls under the C4-4 Zone (Central Area Commercial Office District of the Victoria Zoning By-law) as well as the Core Business Area of the Official Community Plan.

This site faces the Johnson Street Parking across the street to the north and a newly built 17-storey multi-family residential development to the south across a shallow residential lot. To the east is a 2-storey commercial registered Heritage Maynard Court building, to the west is a one-storey commercial building.

The existing building was constructed in 1910 as a stable and store for Dr. Goetz with timber construction surrounded by masonry & reinforced concrete walls. The building underwent a renovation in the mid 60s and the front facade was altered with the addition of arched stone masonry and tile to cover the original facade. Along to the west, the ground floor has also served as a bank and a retail mall. Currently, the building is vacant.

THE PROPOSAL

The proposal is for an adaptive reuse of the building by converting the existing office building to a mixed-use building which will incorporate the area and provide residential units in the downtown core. The proposed development will have retail use on the ground floor and will look to create unique loft-style residential units above.

The owner will designate the building Heritage. In order to effect the costs of structural systems upgrade and restoration of the 1910 heritage facade, the proposal looks to add two stories of residential above the existing building structure. The additional stories will be setback and recessed from the front heritage facade to maintain the existing street wall facade. This will keep the heritage facade as the prominent street wall facade with the addition being subordinate to the main building. This addition will visually differ from the existing facade to accentuate the original and give a more vibrant character to the street.

Patios & Porches will be provided to the upper floors to give residents access to outdoor space, enhance livability, and bring to the street.

The ground floor will be associated to allow for a street-level retail space and bring continuity of retail to the street facade and thereby promote the pedestrian experience. New used storefronts and glass signage will be provided for the retail space and will resemble their historic predecessors. Given the existing building condition, no car parking will be provided for this development (except single off-street bike parking will be accommodated on the ground floor for the residents).

This development will bring life to the street with retail on the ground floor and residential on the upper floors. The residential component to the downtown core will benefit businesses and street life. The new residential provides a response to the changing urban fabric to live-work-play within the community.

727 JOHNSON ST BUILDING RENOVATION

PROJECT INFORMATION TABLE

LEGAL ADDRESS	LOT 33 VICTORIA
ZONING	C4-4
SITE DIMENSIONS	60' x 120'
SITE AREA	7200 SF (348.8sq m)
FLOOR SPACE RATIO	4.33
SAFE COVERAGE	100%
OPEN SITE SPACE	0%
HEIGHT	16.81m
ADJUSTABLE STREET WALL HEIGHT	10.0m
EXISTING HEIGHT & STREET WALL	12.24m (19.16m)
ADJUSTABLE TALL HEIGHT	43.0m
PROPOSED HEIGHT	16.80m (16.76m)
NUMBER OF STOREYS	5 (3 EXISTING + 2 ADDITIONAL)
PARKING STALLS ON SITE	0
BICYCLE OFF-STREET PARKING	34
SWIMMING POOL	0m
PROPOSED POOL	0m
DECK	0m
SIDE YARD	0m

CODE REFERENCE

BC BUILDING CODE 2012

ZONING REQ'T & PROPOSED

SITE AREA	7200 SF (100' x 100')	PROPOSED
FLOOR SPACE RATIO	3.00	4.33
HEIGHT	21.00m	16.81m (16.76m)
STREET WALL HEIGHT	10.0m	12.24m (EXISTING HERITAGE FACADE)
PARKING STALLS ON SITE	22	0
BICYCLE OFF-STREET PARKING	32	34
BICYCLE REQ'T CALCULATION	32 (25 RES + 30 units / 11.12 CYCLES)	4200 (1000-4)
AVERAGE GRADE IS ASSUMED TO BE AT GROUND LEVEL ON THE BUILDING BASED ON THE ELEVATION DIFFERENCE OF 3' BETWEEN THE EAST & WEST EDGE OF THE FRONT FACADE. THE PROPOSAL IS WELL WITHIN THE HEIGHT LIMIT OF THE GREEN ZONE.		

LEVEL	EXISTING	PROPOSED	TOTAL
GROUND FLOOR	5083.4 SF	4683.5 SF	9766.9 SF
2nd FLOOR	6781.2 SF	0 SF	6781.2 SF
3rd FLOOR	6781.2 SF	0 SF	6781.2 SF
4th FLOOR	0 SF	0 SF	0 SF
5th FLOOR	0 SF	0 SF	0 SF
TOTALS	19 155.8 SF	4683.5 SF	23 839.3 SF
FSR	2.66	0.64	3.30



EXISTING JOHNSON STREET STREETSCAPE

RETAIL SPACE
727 JOHNSON ST

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Project Name: 727 Johnson St Building Renovation, 727 Johnson St, Victoria, BC

Project No: 1505
Drawn by: [Signature]
Checked by: [Signature]
Date: Apr 27, 2018
Scale: 1/8" = 1'-0"

Project Title:
727 JOHNSON STREET
VICTORIA, BC

Drawing Title:
PROJECT STATISTICS
CONTEXT & RATIONALE

Project No: 1505
Drawn by: [Signature]
Checked by: [Signature]
Date: Apr 27, 2018
Scale: 1/8" = 1'-0"

Drawing No:
A0.1

ROOF ASSEMBLIES

TYPE	PLAN	DESCRIPTION	THICKNESS (mm)	U-VALUE	REFERENCE	NOTES
1		1. 100mm EPS insulation 2. 150mm concrete deck	250	0.18		
2		1. 100mm EPS insulation 2. 150mm concrete deck 3. 1.5mm waterproofing membrane	250	0.18		
3		1. 100mm EPS insulation 2. 150mm concrete deck 3. 100mm EPS insulation	350	0.12		

FLOOR ASSEMBLIES

TYPE	PLAN	DESCRIPTION	THICKNESS (mm)	U-VALUE	REFERENCE	NOTES
1		1. 100mm EPS insulation 2. 150mm concrete slab	250	0.18		
2		1. 100mm EPS insulation 2. 150mm concrete slab 3. 1.5mm waterproofing membrane	250	0.18		
3		1. 100mm EPS insulation 2. 150mm concrete slab 3. 100mm EPS insulation	350	0.12		
4		1. 100mm EPS insulation 2. 150mm concrete slab 3. 1.5mm waterproofing membrane 4. 20mm screed	270	0.18		
5		1. 100mm EPS insulation 2. 150mm concrete slab 3. 1.5mm waterproofing membrane 4. 20mm screed	270	0.18		

SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CONCRETE		INSULATION		STEEL REINFORCEMENT
	BRICKWORK		WATERPROOFING MEMBRANE		SCREED
	MASONRY		FLOOR FINISH		WALL FINISH
	PLASTERBOARD		CEILING FINISH		DOOR
	WINDOW		ROOF FINISH		ROOF STRUCTURE

WALL ASSEMBLY

TYPE	PLAN	DESCRIPTION	THICKNESS (mm)	U-VALUE	REFERENCE	NOTES
1		1. 100mm EPS insulation 2. 150mm concrete wall	250	0.18		
2		1. 100mm EPS insulation 2. 150mm concrete wall 3. 1.5mm waterproofing membrane	250	0.18		
3		1. 100mm EPS insulation 2. 150mm concrete wall 3. 100mm EPS insulation	350	0.12		
4		1. 100mm EPS insulation 2. 150mm concrete wall 3. 1.5mm waterproofing membrane 4. 20mm screed	270	0.18		
5		1. 100mm EPS insulation 2. 150mm concrete wall 3. 1.5mm waterproofing membrane 4. 20mm screed	270	0.18		

ABBREVIATIONS

1. 100mm EPS insulation	2. 150mm concrete wall	3. 1.5mm waterproofing membrane	4. 20mm screed
5. 100mm EPS insulation	6. 150mm concrete wall	7. 1.5mm waterproofing membrane	8. 20mm screed
9. 100mm EPS insulation	10. 150mm concrete wall	11. 1.5mm waterproofing membrane	12. 20mm screed
13. 100mm EPS insulation	14. 150mm concrete wall	15. 1.5mm waterproofing membrane	16. 20mm screed
17. 100mm EPS insulation	18. 150mm concrete wall	19. 1.5mm waterproofing membrane	20. 20mm screed
21. 100mm EPS insulation	22. 150mm concrete wall	23. 1.5mm waterproofing membrane	24. 20mm screed
25. 100mm EPS insulation	26. 150mm concrete wall	27. 1.5mm waterproofing membrane	28. 20mm screed
29. 100mm EPS insulation	30. 150mm concrete wall	31. 1.5mm waterproofing membrane	32. 20mm screed
33. 100mm EPS insulation	34. 150mm concrete wall	35. 1.5mm waterproofing membrane	36. 20mm screed
37. 100mm EPS insulation	38. 150mm concrete wall	39. 1.5mm waterproofing membrane	40. 20mm screed
41. 100mm EPS insulation	42. 150mm concrete wall	43. 1.5mm waterproofing membrane	44. 20mm screed
45. 100mm EPS insulation	46. 150mm concrete wall	47. 1.5mm waterproofing membrane	48. 20mm screed
49. 100mm EPS insulation	50. 150mm concrete wall	51. 1.5mm waterproofing membrane	52. 20mm screed
53. 100mm EPS insulation	54. 150mm concrete wall	55. 1.5mm waterproofing membrane	56. 20mm screed
57. 100mm EPS insulation	58. 150mm concrete wall	59. 1.5mm waterproofing membrane	60. 20mm screed
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65. 100mm EPS insulation	66. 150mm concrete wall	67. 1.5mm waterproofing membrane	68. 20mm screed
69. 100mm EPS insulation	70. 150mm concrete wall	71. 1.5mm waterproofing membrane	72. 20mm screed
73. 100mm EPS insulation	74. 150mm concrete wall	75. 1.5mm waterproofing membrane	76. 20mm screed
77. 100mm EPS insulation	78. 150mm concrete wall	79. 1.5mm waterproofing membrane	80. 20mm screed
81. 100mm EPS insulation	82. 150mm concrete wall	83. 1.5mm waterproofing membrane	84. 20mm screed
85. 100mm EPS insulation	86. 150mm concrete wall	87. 1.5mm waterproofing membrane	88. 20mm screed
89. 100mm EPS insulation	90. 150mm concrete wall	91. 1.5mm waterproofing membrane	92. 20mm screed
93. 100mm EPS insulation	94. 150mm concrete wall	95. 1.5mm waterproofing membrane	96. 20mm screed
97. 100mm EPS insulation	98. 150mm concrete wall	99. 1.5mm waterproofing membrane	100. 20mm screed

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1. 100mm EPS insulation

1. 100mm EPS insulation	2. 150mm concrete wall	3. 1.5mm waterproofing membrane	4. 20mm screed
5. 100mm EPS insulation	6. 150mm concrete wall	7. 1.5mm waterproofing membrane	8. 20mm screed
9. 100mm EPS insulation	10. 150mm concrete wall	11. 1.5mm waterproofing membrane	12. 20mm screed
13. 100mm EPS insulation	14. 150mm concrete wall	15. 1.5mm waterproofing membrane	16. 20mm screed
17. 100mm EPS insulation	18. 150mm concrete wall	19. 1.5mm waterproofing membrane	20. 20mm screed
21. 100mm EPS insulation	22. 150mm concrete wall	23. 1.5mm waterproofing membrane	24. 20mm screed
25. 100mm EPS insulation	26. 150mm concrete wall	27. 1.5mm waterproofing membrane	28. 20mm screed
29. 100mm EPS insulation	30. 150mm concrete wall	31. 1.5mm waterproofing membrane	32. 20mm screed
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49. 100mm EPS insulation	50. 150mm concrete wall	51. 1.5mm waterproofing membrane	52. 20mm screed
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73. 100mm EPS insulation	74. 150mm concrete wall	75. 1.5mm waterproofing membrane	76. 20mm screed
77. 100mm EPS insulation	78. 150mm concrete wall	79. 1.5mm waterproofing membrane	80. 20mm screed
81. 100mm EPS insulation	82. 150mm concrete wall	83. 1.5mm waterproofing membrane	84. 20mm screed
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93. 100mm EPS insulation	94. 150mm concrete wall	95. 1.5mm waterproofing membrane	96. 20mm screed
97. 100mm EPS insulation	98. 150mm concrete wall	99. 1.5mm waterproofing membrane	100. 20mm screed

Project File
727 JOHNSON STREET
VICTORIA, BC

Drawing Title
ASSEMBLIES
& LEGENDS

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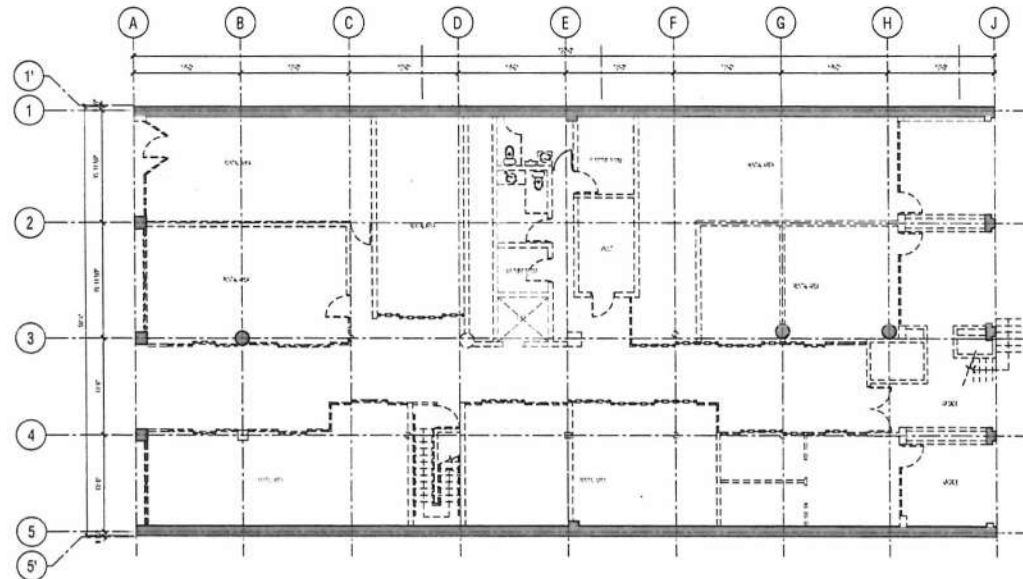
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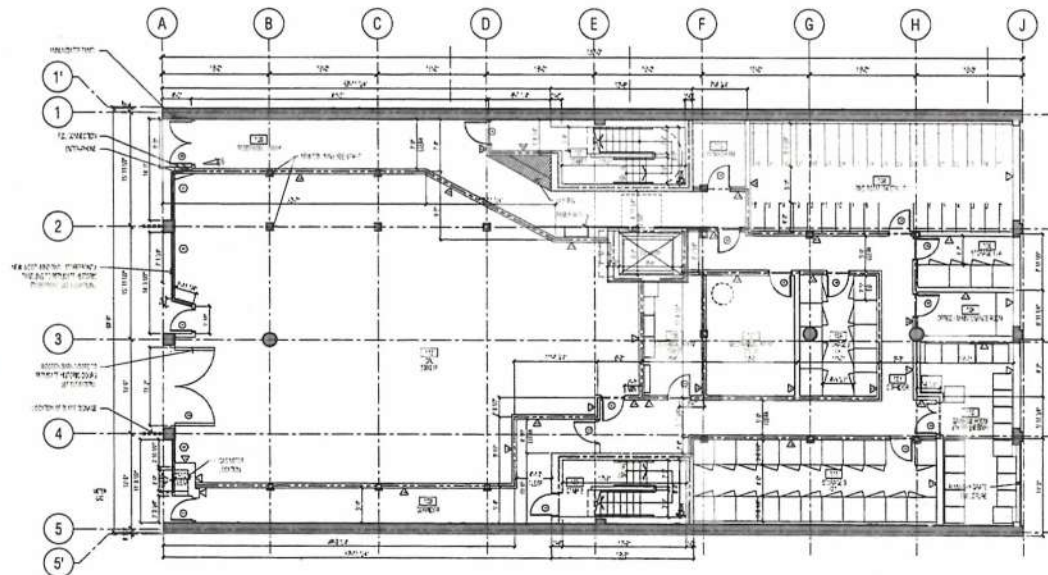
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PROPOSED SITE PLAN
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 160



2 EXISTING GROUND FLOOR PLAN (DEMO PLAN)
scale 1/8" = 1'-0"



1 PROPOSED GROUND LEVEL PLAN
scale 1/8" = 1'-0"

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Drawing Title:
PROPOSED & EXISTING
GROUND FLOOR PLAN

Project No.:
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Drawing No.:
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Scale:
1/8" = 1'-0"

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Drawing Title:
PROPOSED & EXISTING
GROUND FLOOR PLAN

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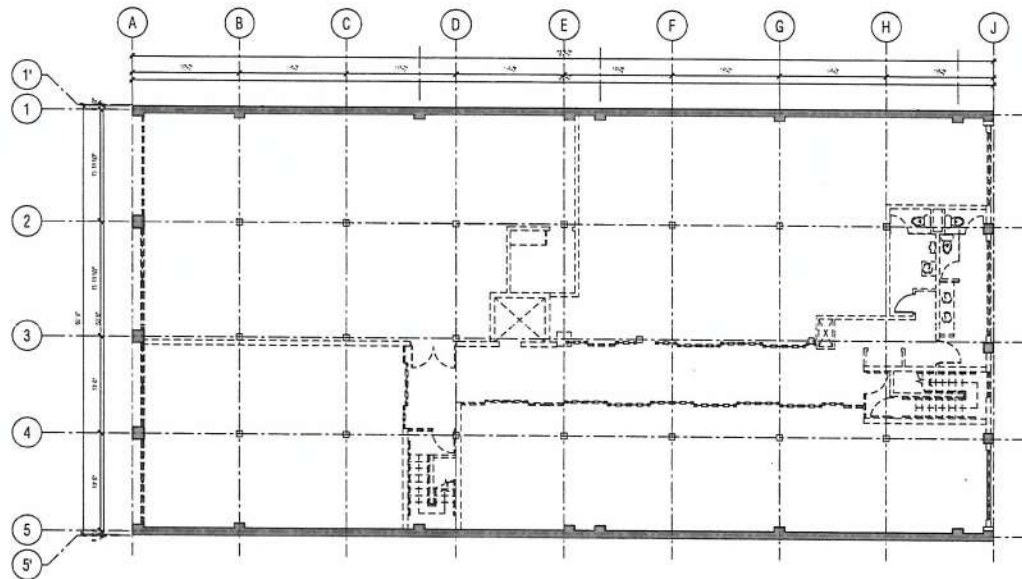
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GROUND FLOOR PLAN

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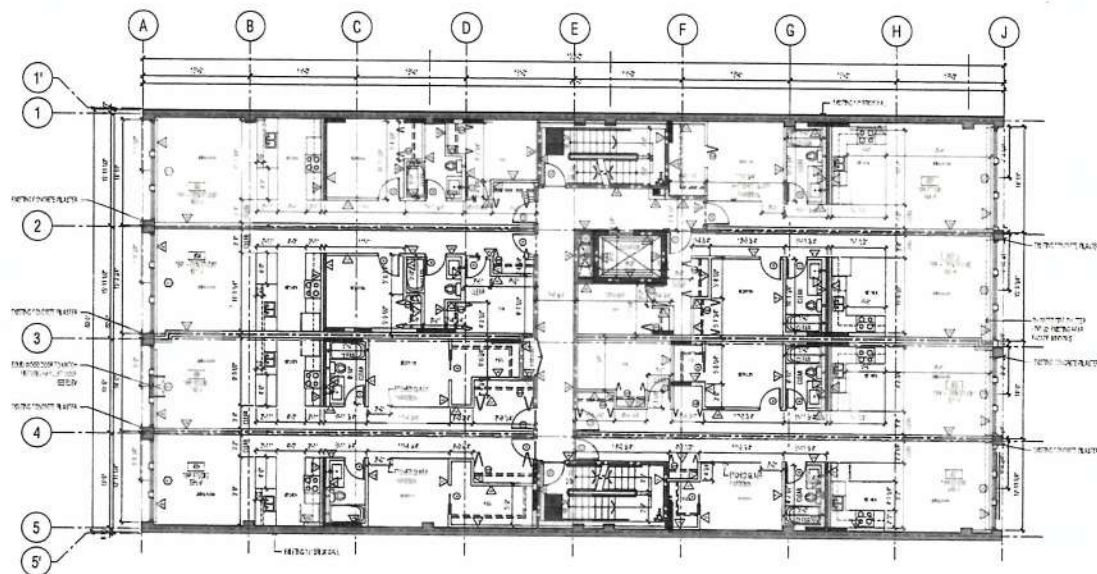
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2 EXISTING LEVEL 3 PLAN
scale: 1/8" = 1'-0"



1 PROPOSED LEVEL 3 PLAN
scale: 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
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- 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE

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drawing title
PROPOSED & EXISTING
3rd FLOOR PLANS

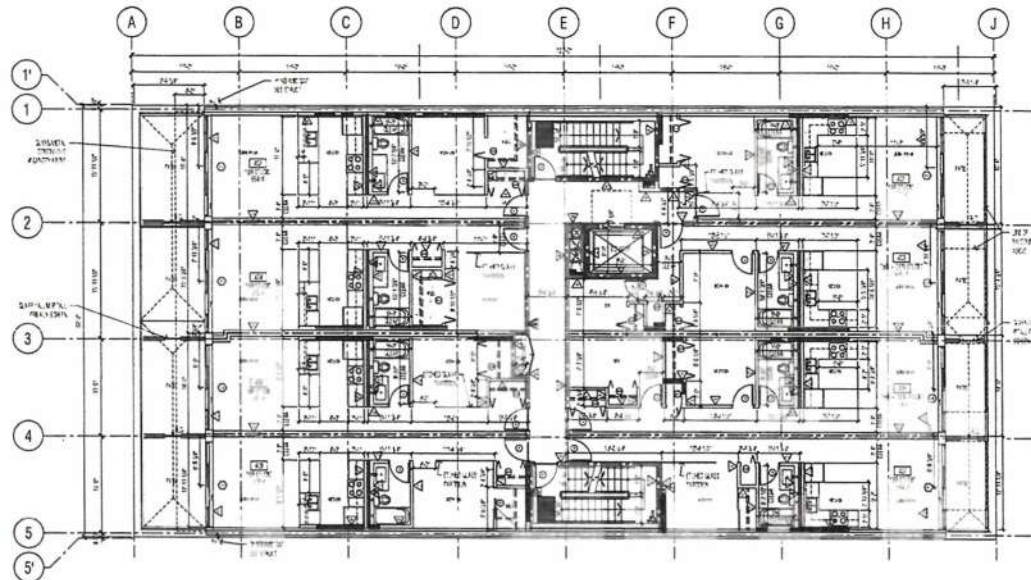
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drawn by: EA
checked by: JW
date: APR 27 2016
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drawing no.:
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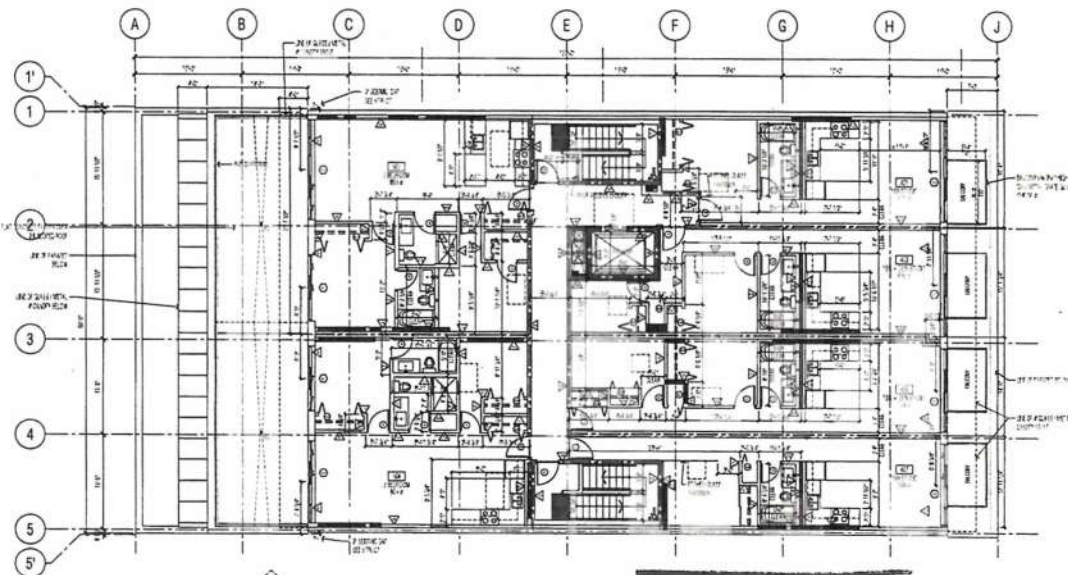
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1 PROPOSED LEVEL 4 PLAN
scale: 1/8" = 1'-0"



1 PROPOSED LEVEL 5 PLAN
scale: 1/8" = 1'-0"

LINE	DESCRIPTION
---	PROPOSED EXISTING STRUCTURE
---	NEW STRUCTURE
---	EXISTING EXTERIOR FINISH
---	NEW EXTERIOR FINISH
---	EXISTING INTERIOR FINISH
---	NEW INTERIOR FINISH
---	EXISTING GLASS
---	NEW GLASS

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Thomas Bull Architect ABC

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C. A. 1/8" = 1'-0" EXISTING & PROPOSED
D. A. 1/8" = 1'-0" EXISTING & PROPOSED
E. A. 1/8" = 1'-0" EXISTING & PROPOSED
F. A. 1/8" = 1'-0" EXISTING & PROPOSED
G. A. 1/8" = 1'-0" EXISTING & PROPOSED
H. A. 1/8" = 1'-0" EXISTING & PROPOSED
I. A. 1/8" = 1'-0" EXISTING & PROPOSED
J. A. 1/8" = 1'-0" EXISTING & PROPOSED

no. date description

revisions

PROJECT NAME:
727 JOHNSON STREET
VICTORIA, BC

Drawing Title:
PROPOSED
4th & 5th FLOOR PLANS

drawn by: JN
checked by: JN
date: APR 27 2016
scale: AS SHOWN

drawing no.:

A1.04

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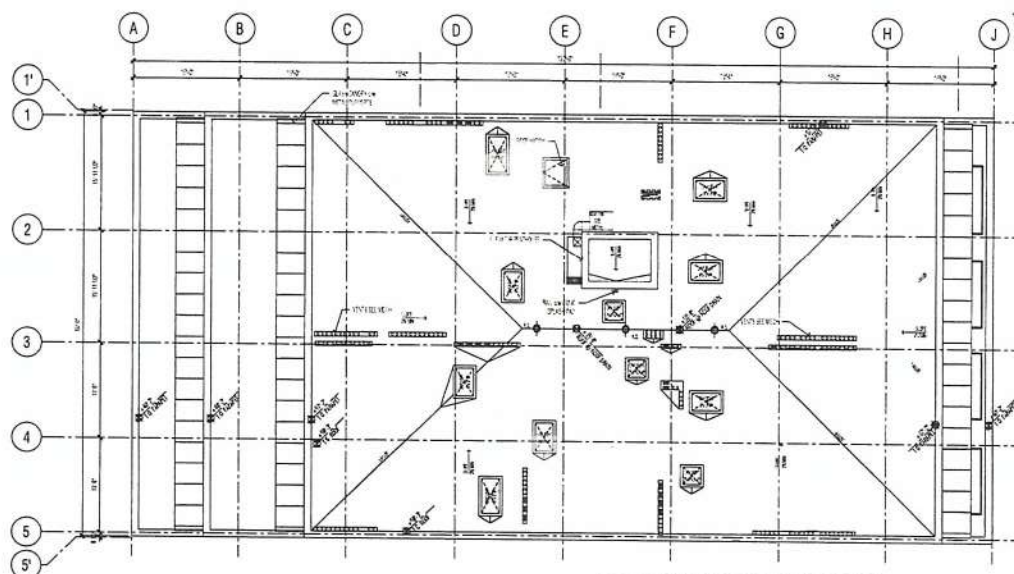
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Tamara Atch Architecture LLC

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Design Review: This is a preliminary drawing and should not be used for construction without the approval of the City of Victoria.



1 PROPOSED ROOF PLAN
scale: 1/8" = 1'-0"

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C. 1/2" = 1'-0" for 8' x 11' sheet
C. 1/4" = 1'-0" for 11' x 17' sheet
no. date description
revision

project title
727 JOHNSON STREET
VICTORIA BC

drawing title
PROPOSED ROOF PLAN

project no.: 1600
drawn by: EJ
checked by: JH
date: APR 27 2016
scale: 1/8" = 1'-0"

drawing no.:
A1.05

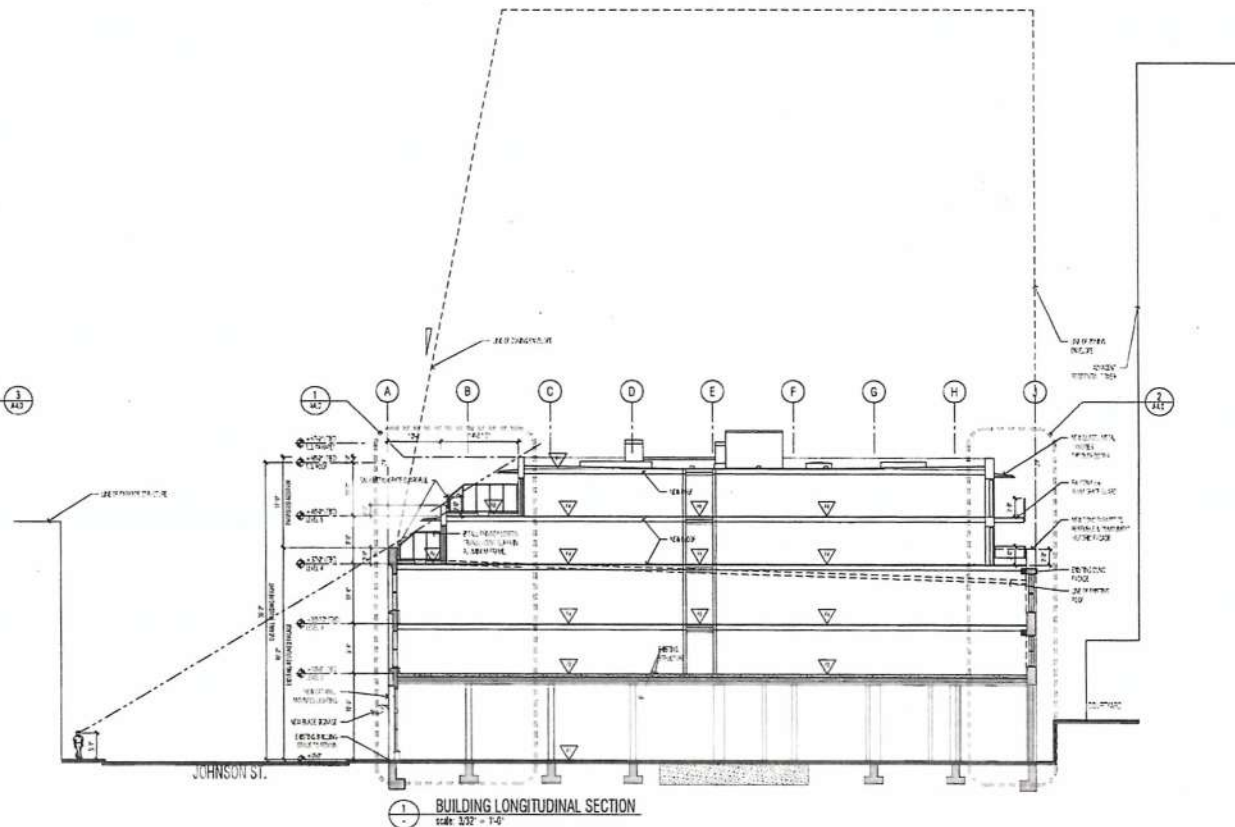
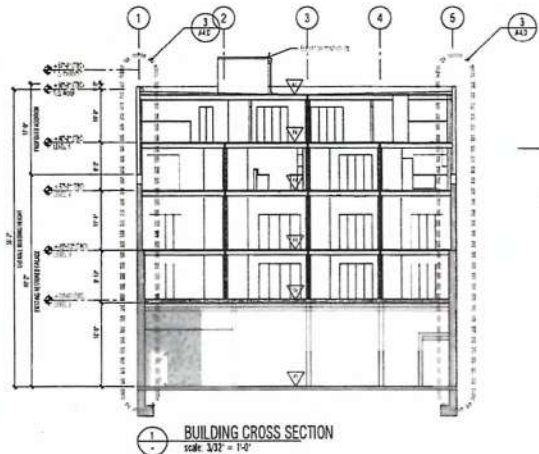
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Tomas Hoff Architect AIBC

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0	JAN 2017 ISSUED FOR A LIVING DEBT
0	MAR 2016 RECEIVED FOR CP & RETURNING
3	MAR 2016 ISSUED FOR CP & RETURNING
4	JUL 2015 ISSUED FOR HERFAS A ²
no.	date description

project title:
727 JOHNSON STREET
VICTORIA, BC

drawing title:
BUILDING SECTION

project no.:	15001
drawn by:	EN
checked by:	JW
date:	MAR.24.2016
scale:	AS NOTED

drawing no.

A2.0

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City of Victoria

DEC 07 2017

Planning & Development Department
Community Planning Division

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Web: www.studioone.ca
Toronto: 416-464-4444

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7 HISTORIC PHOTO: FRONT OF BUILDING
scale: NTS

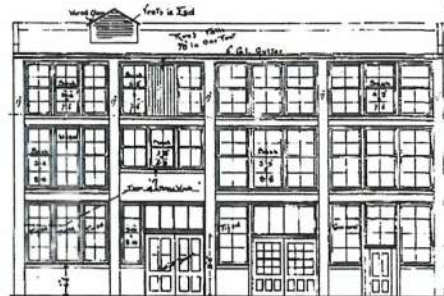


1 HISTORIC PHOTO: FRONT OF BUILDING
scale: NTS

- 1. REPAIR/REPLACE EXISTING WINDOWS
- 2. REPAIR/REPLACE EXISTING DOORS
- 3. REPAIR/REPLACE EXISTING ROOF
- 4. REPAIR/REPLACE EXISTING FLOORING
- 5. REPAIR/REPLACE EXISTING CEILINGING
- 6. REPAIR/REPLACE EXISTING PAINTING
- 7. REPAIR/REPLACE EXISTING PLUMBING
- 8. REPAIR/REPLACE EXISTING ELECTRICAL
- 9. REPAIR/REPLACE EXISTING MECHANICAL
- 10. REPAIR/REPLACE EXISTING STRUCTURE
- 11. REPAIR/REPLACE EXISTING LANDSCAPE
- 12. REPAIR/REPLACE EXISTING SITEWORK
- 13. REPAIR/REPLACE EXISTING UTILITIES
- 14. REPAIR/REPLACE EXISTING SIGNAGE
- 15. REPAIR/REPLACE EXISTING FURNITURE
- 16. REPAIR/REPLACE EXISTING FIXTURES
- 17. REPAIR/REPLACE EXISTING EQUIPMENT
- 18. REPAIR/REPLACE EXISTING MATERIALS
- 19. REPAIR/REPLACE EXISTING FINISHES
- 20. REPAIR/REPLACE EXISTING ACCESSORIES



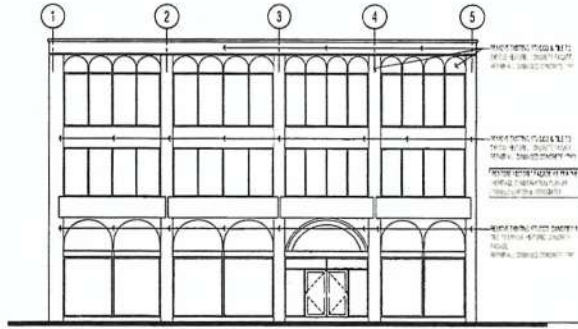
3 EXISTING REAR ELEVATION
scale: 1/8" = 1'-0"



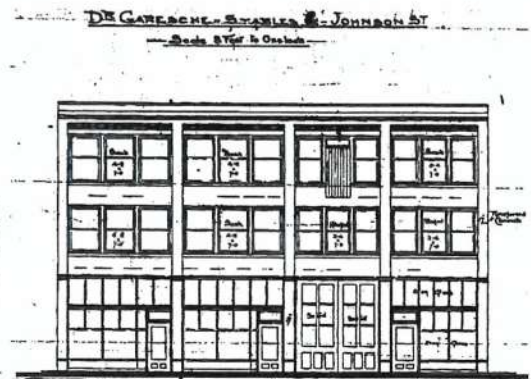
5 HERITAGE (1910) REAR ELEVATION
scale: 1/8" = 1'-0"



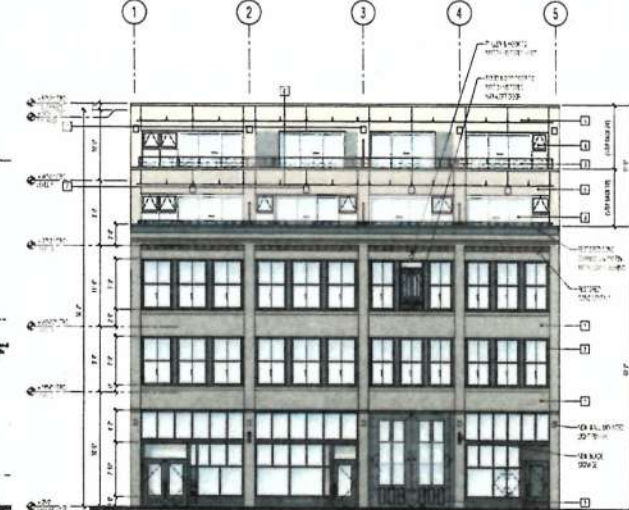
4 PROPOSED REAR ELEVATION (RESTORED TO HERITAGE)
scale: 1/8" = 1'-0"



1 EXISTING FRONT ELEVATION
scale: 1/8" = 1'-0"



2 HERITAGE (1910) FRONT ELEVATION (JOHNSON ST)
scale: 1/8" = 1'-0"



1 PROPOSED FRONT ELEVATION (RESTORED TO HERITAGE)
scale: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	10/11/17	ISSUED FOR PERMIT REVIEW
2	11/01/17	REVISED PERMIT REVIEW
3	11/01/17	REVISED PERMIT REVIEW
4	11/01/17	REVISED PERMIT REVIEW
5	11/01/17	REVISED PERMIT REVIEW

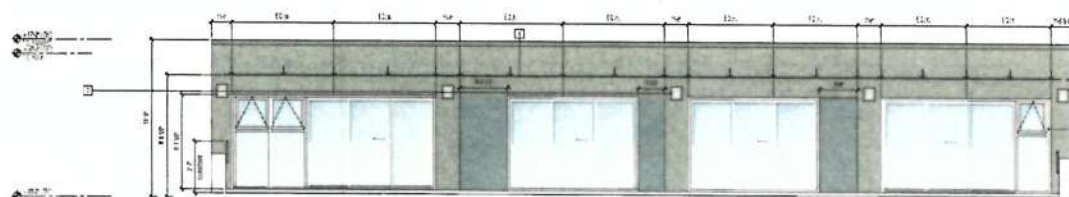
Project Title:
727 JOHNSON STREET
VICTORIA, BC

Drawing Title:
BUILDING ELEVATION

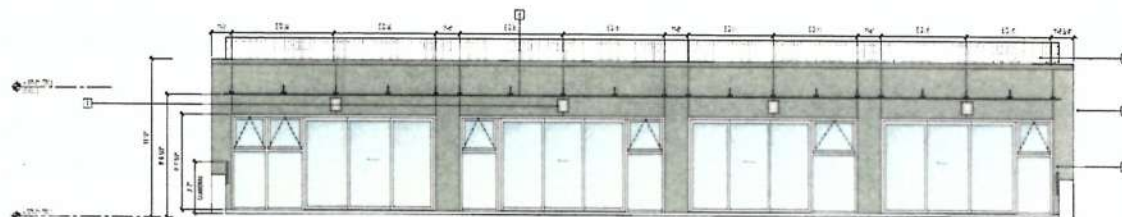
Project No.: 10001
Drawn by: JS
Checked by: JS
Date: 11/17/17
Scale: AS NOTED

Drawing No.:

A3.0



1 ELEVATION: LEVEL 5 ADDITION
scale: 1/4" = 1'-0"

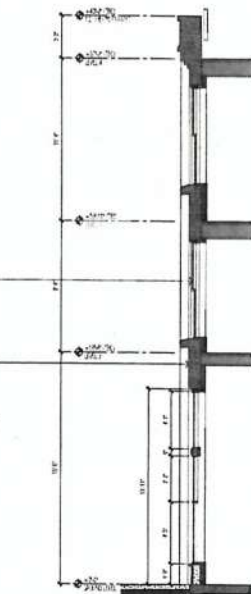


1 ELEVATION: LEVEL 4 ADDITION
scale: 1/4" = 1'-0"

- NOTES:
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE.
 - 2. THE EXISTING FACADE SHALL BE REPAIRED AND MATCHED TO THE NEW ADDITION.
 - 3. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 4. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 5. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 6. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 7. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 8. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 9. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.
 - 10. THE NEW ADDITION SHALL BE CONSTRUCTED TO MATCH THE EXISTING FACADE.



1 ELEVATION: RESTORED FACADE BAY
scale: 1/4" = 1'-0"



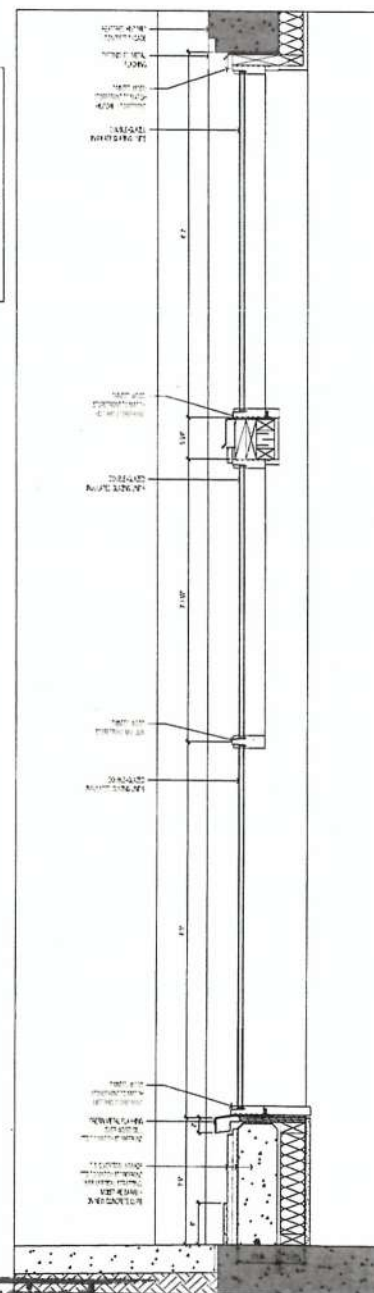
2 WALL SECTION: RESTORED FACADE
scale: 1/4" = 1'-0"



1 EXAMPLE OF BLADE SIGNAGE
scale: NTS



1 MATERIALS BOARD
scale: NTS



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1. A. 2017 REVISED PROJECT REPORT
2. A. 2017 REVISED PROJECT REPORT
no. date description
revisions

Project Title:
727 JOHNSON STREET
VICTORIA, BC

Drawing Title:
FRONT FACADE DETAILS

Project no.: 1500
drawn by: JN
checked by: JN
date: APR 27 2014
scale: AS NOTED

Drawing no.:

A3.2

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City of Victoria

DEC 07 2017

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Community Planning Division

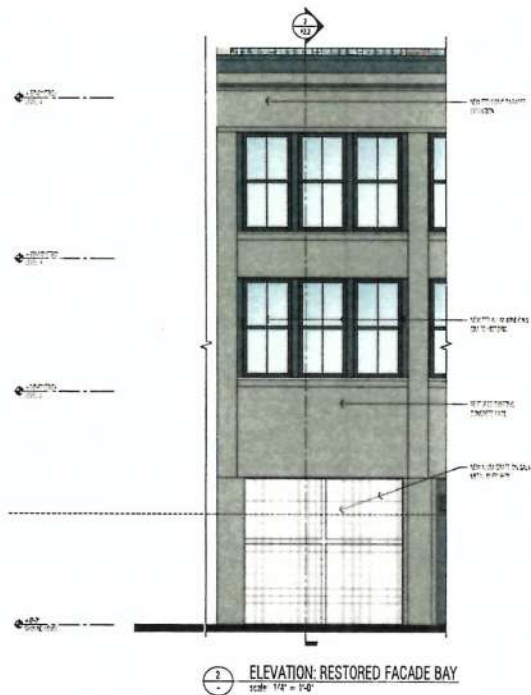
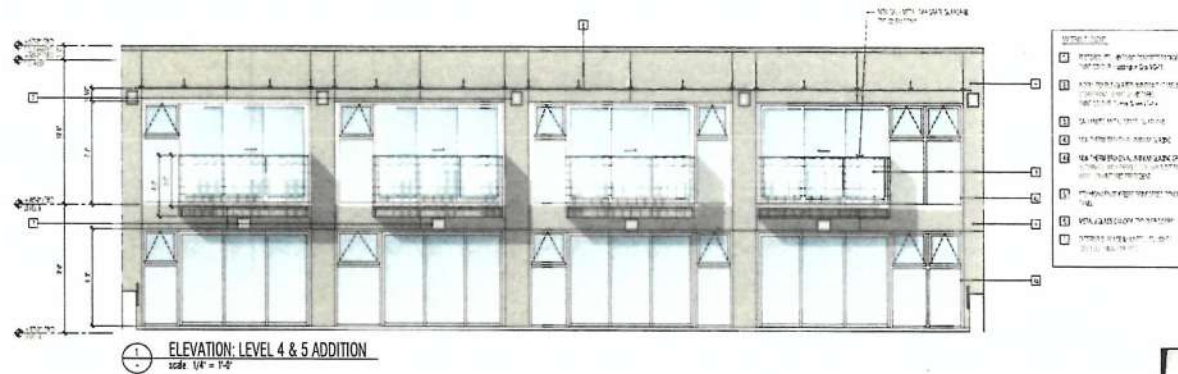
City of Victoria

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**Planning & Development Department
Community Planning Division**

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Thomas Wolf Architect 480

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3
-
EXAMPLE OF METAL GRATE BALCONY
scale 1/15



4 MATERIALS BOARD
NTS

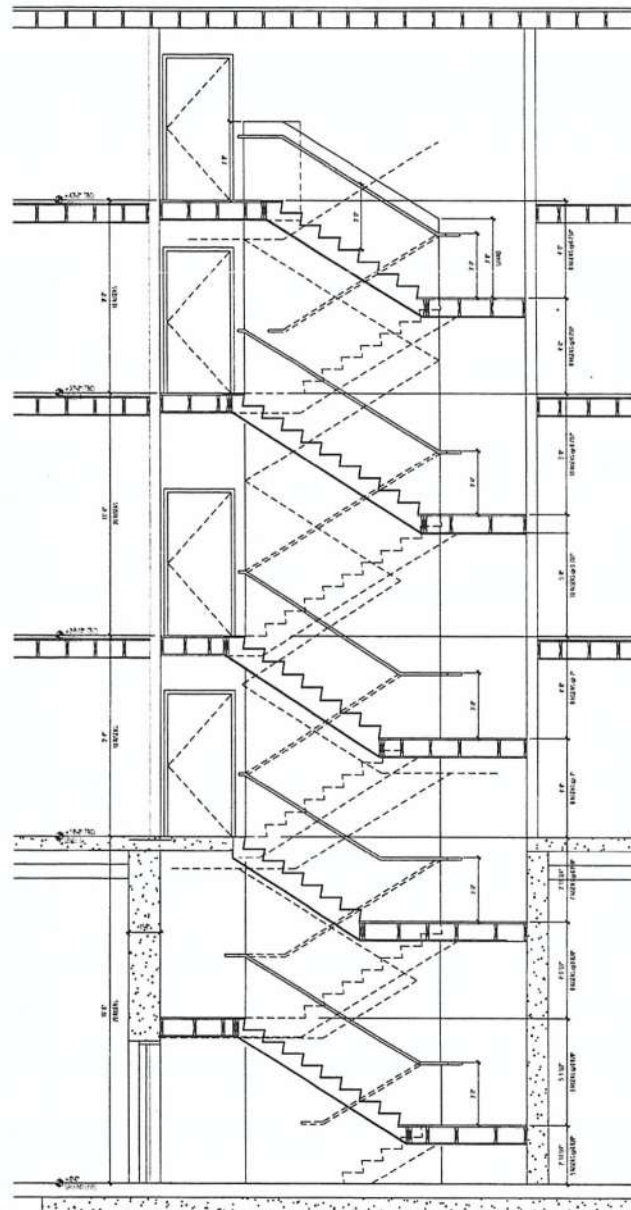
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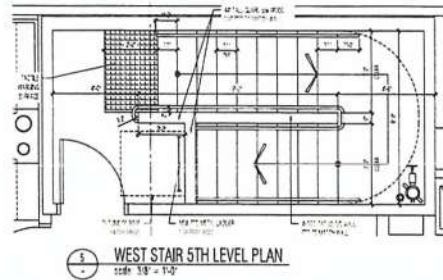
Planning & Development Department
Community Planning Division

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Tanya Goff Architects INC.

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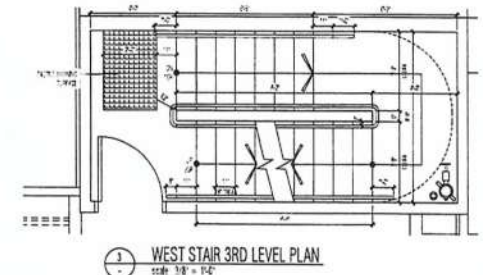
WEST STAIR SECTION
scale 1/8" = 1'-0"



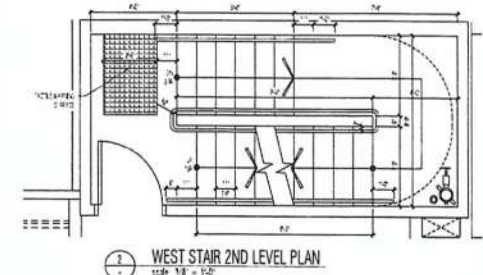
WEST STAIR 5TH LEVEL PLAN
scale 1/8" = 1'-0"



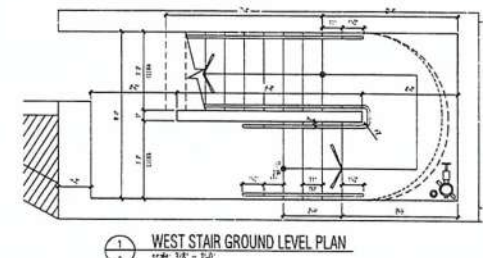
WEST STAIR 4TH LEVEL PLAN
scale 1/8" = 1'-0"



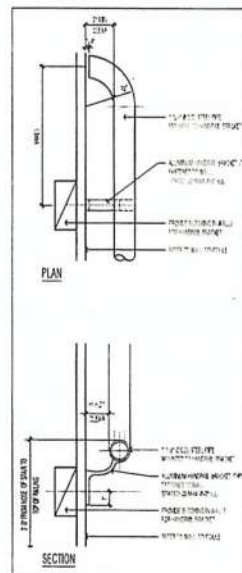
WEST STAIR 3RD LEVEL PLAN
scale 1/8" = 1'-0"



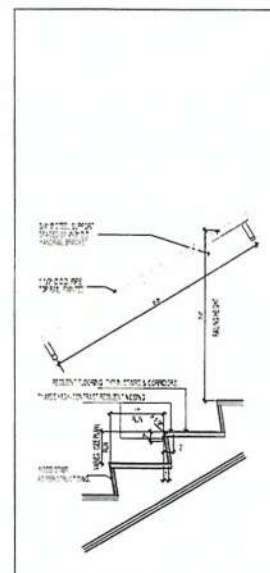
WEST STAIR 2ND LEVEL PLAN
scale 1/8" = 1'-0"



WEST STAIR GROUND LEVEL PLAN
scale 1/8" = 1'-0"



TYP HANDRAIL DETAILS
scale 3/4" = 1'-0"



TYP STAIR SECTION
scale 1" = 1'-0"

Keep this drawing for reference only. Do not use for construction without the original drawing.

NO. DATE DESCRIPTION
1 12/07/17 727 JOHNSON STREET VICTORIA, BC

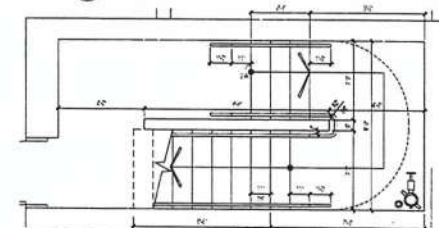
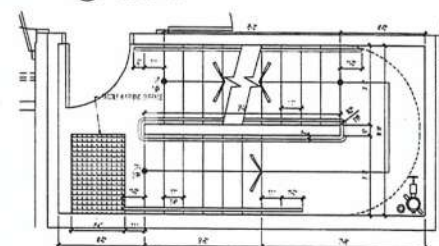
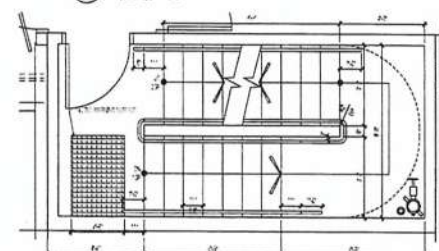
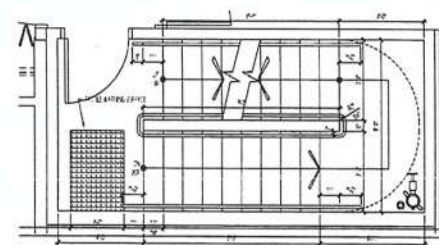
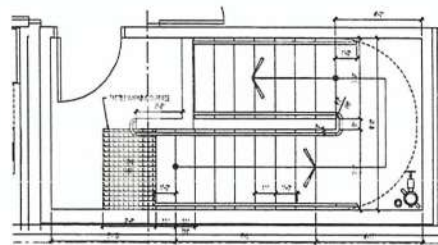
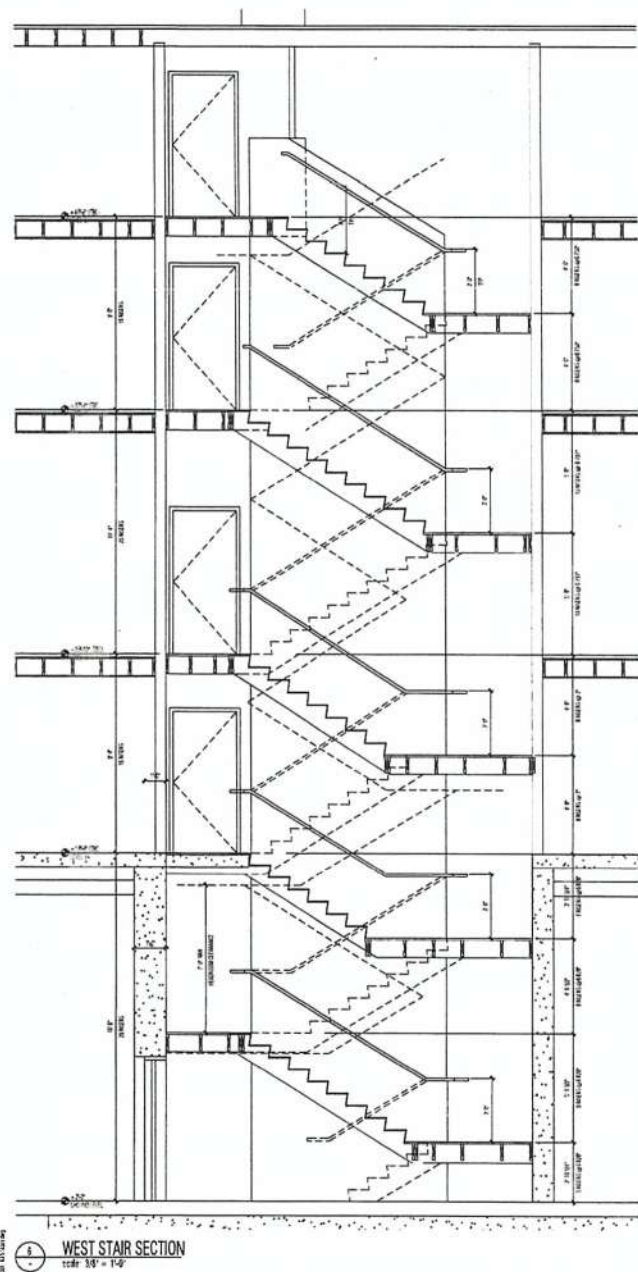
Project Title:
727 JOHNSON STREET
VICTORIA, BC

Drawing Title:
STAIR DRAWINGS

Project no.: 1530
Drawn by: EV
Checked by: JH
Date: MAY 10 2014
Scale: AS NOTED

Drawing no.:

A3.5



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Toronto Office: 416-593-8882

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Project Name: 727 Johnson Street
Project Number: 17-001
Project Location: Victoria, BC

D. A. 12/17 REVISION 0.1 - PRELIMINARY
C. 12/17 REVISION 0.2 - PRELIMINARY
B. 12/17 REVISION 0.3 - PRELIMINARY
A. 12/17 REVISION 0.4 - PRELIMINARY

rev. date description

Project Title:
727 JOHNSON STREET
VICTORIA, BC

Drawing Title:
STAIR DRAWINGS

Project No.: 17001
Drawn by: ES
Checked by: AB
Date: MAR 28 2018
Scale: AS NOTED

Drawing No.:

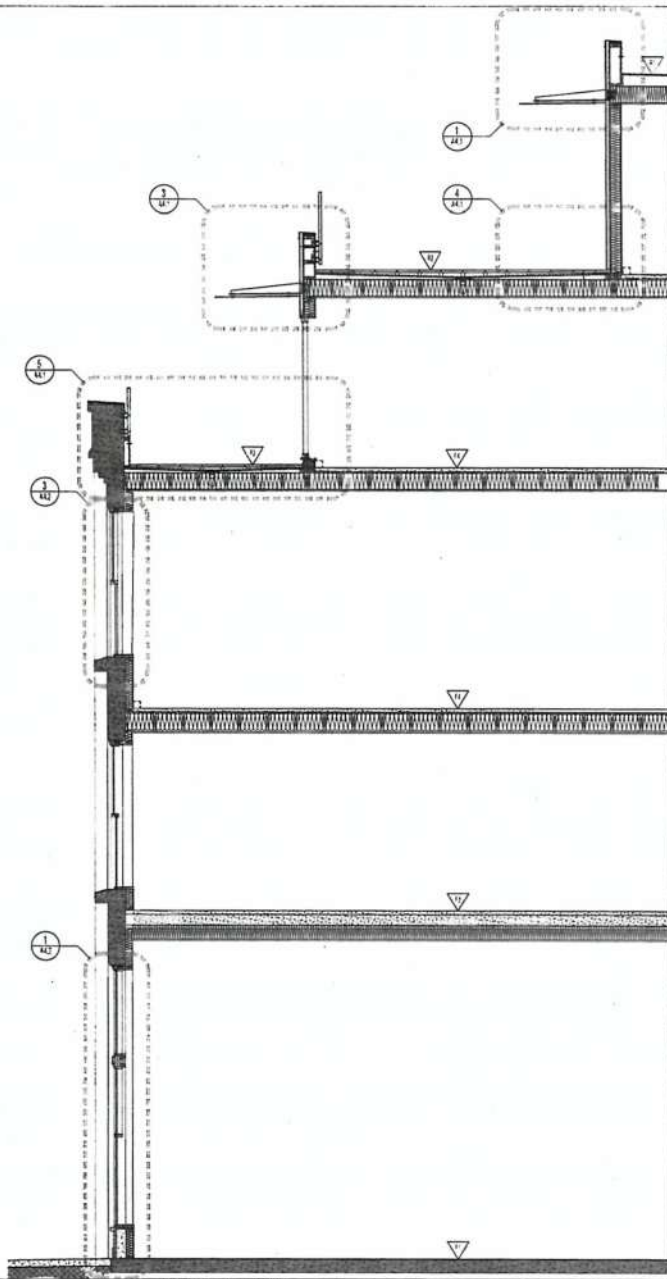
A3.6

DEC 07 2017

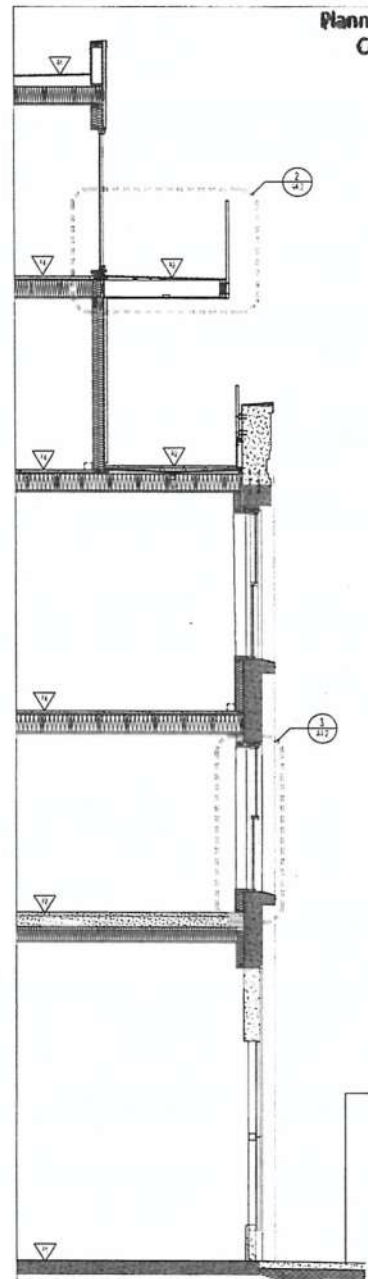
Planning & Development Department
Community Planning Division

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Fax: 604 - 734 - 1121
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Tommy Kell Architects ABC

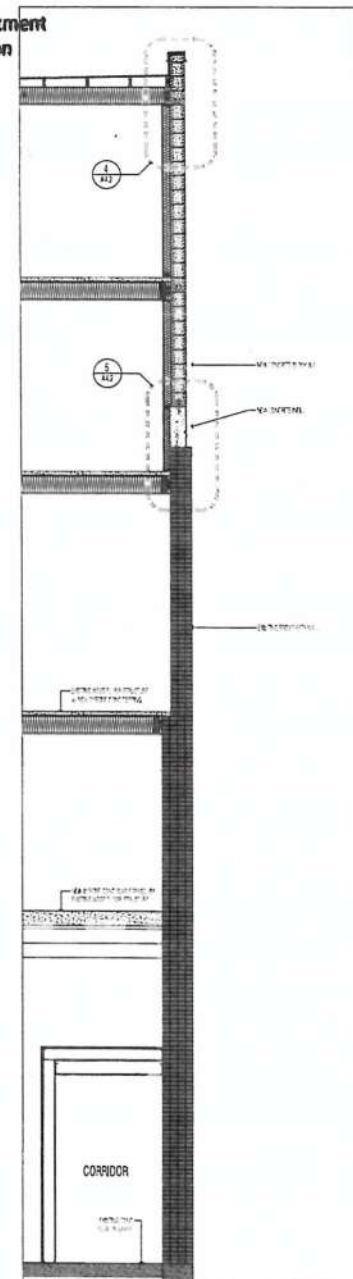
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 NORTH WALL SECTION
scale: 3/8" = 1'-4"



2 SOUTH WALL SECTION
scale: 3/8" = 1'-0"



3 WEST PARTY WALL SECTION
scale 3/4" = 1'-0"

C	A 1977 RELEASE UNDER E.O. 14176	
C	APR 07 1982 RELEASE UNDER E.O. 14176	
no.	date	detection
revision		

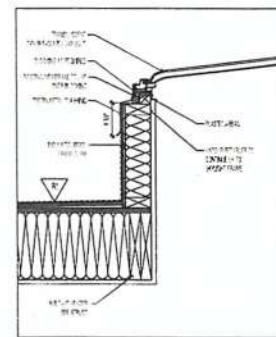
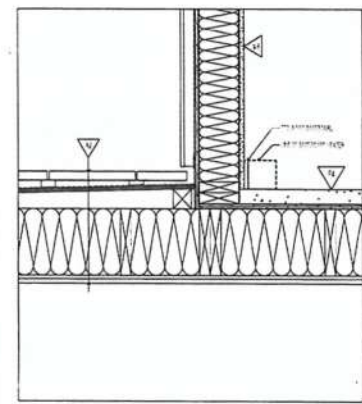
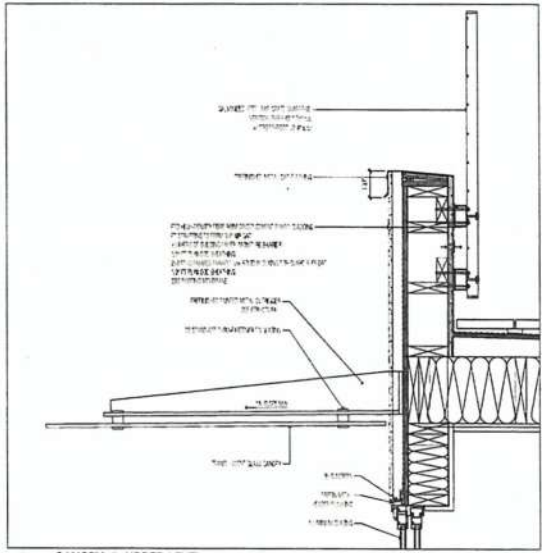
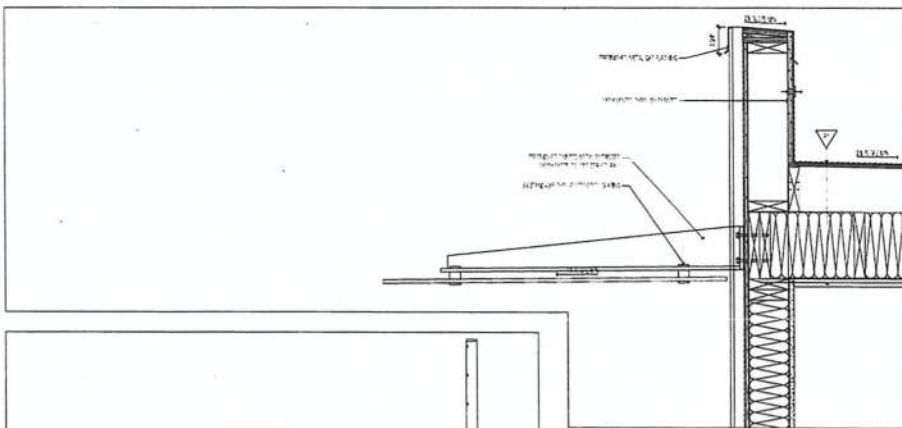
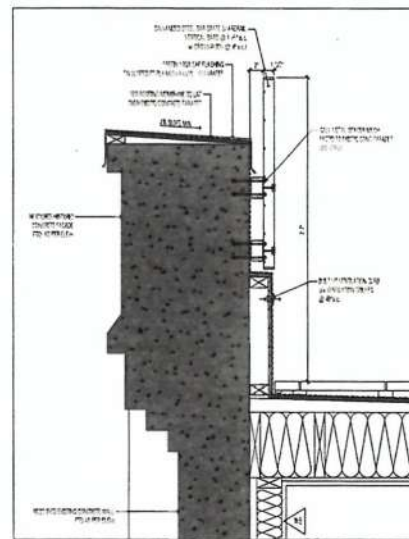
project title
727 JOHNSON STREET
VICTORIA, BC

drawing title:
WALL SECTIONS

project no.	1520
drawn by	ER
checked by	JA
date	11/17/2014
scale	AS NOTED

drawing no.:

A4.0



5 T.O. EXIST'G CONG WALL & NEW ROOF DECK
scale 1 1/2" = 1'-0"

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Toronto: 416-494-1880

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Project Title	
727 JOHNSON STREET VICTORIA, BC	
Drawing Title	
EXTERIOR DETAILS	
Project No.	1000
Drawn by	SL
Checked by	SL
Date	11/27/17
Scale	AS NOTED
Drawing No.	
A4.1	

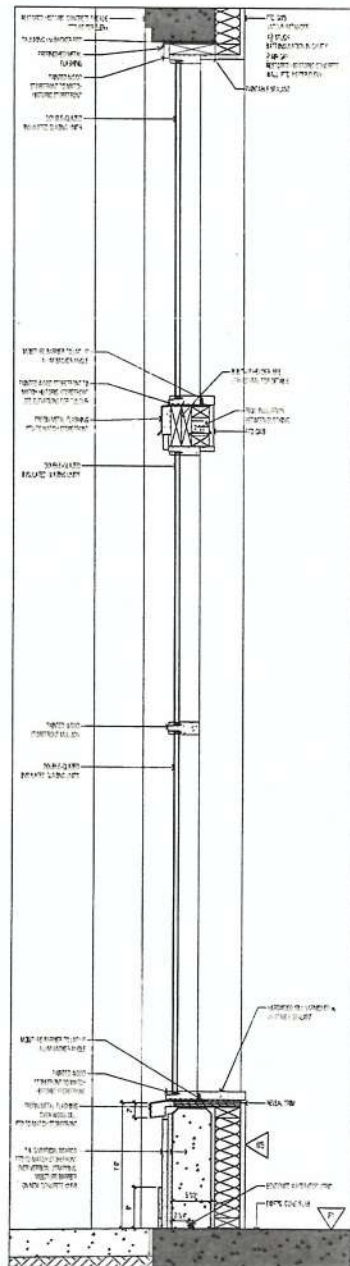
Received
City of Victoria

DEC 07 2017

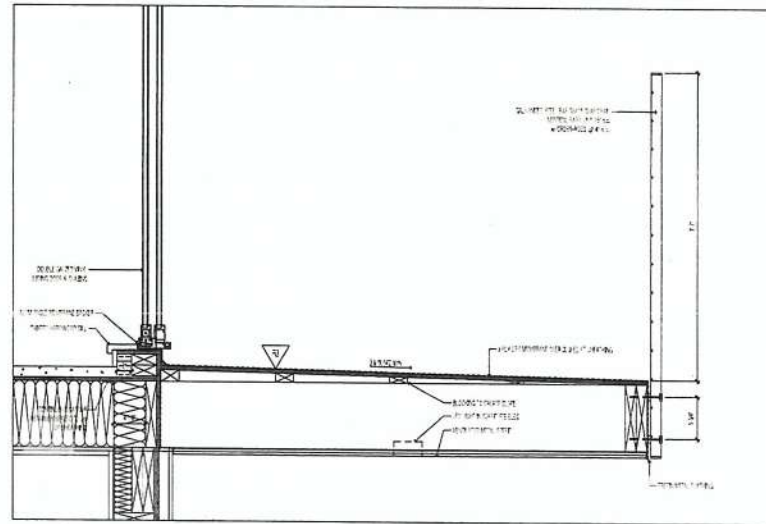
Planning & Development Department
Community Planning Division

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Vancouver, B.C. V6Y 3K2
Tel: 604 - 731 - 3366
Fax: 604 - 731 - 1121
info@studiooneinc.com
Toronto, 416-464-4800

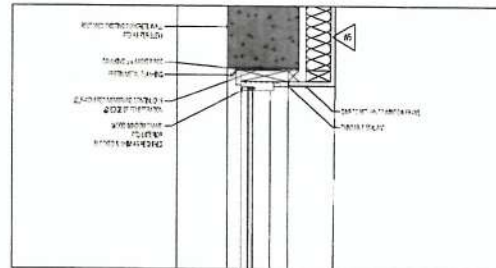
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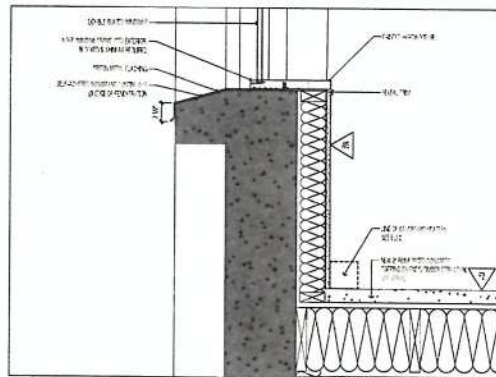
1 WOOD STOREFRONT DETAIL
scale: 1 1/2" = 1'-0"



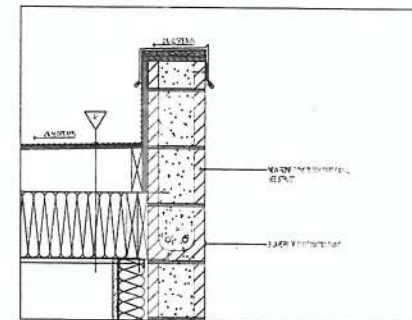
2 BALCONY DETAIL
scale: 1 1/2" = 1'-0"



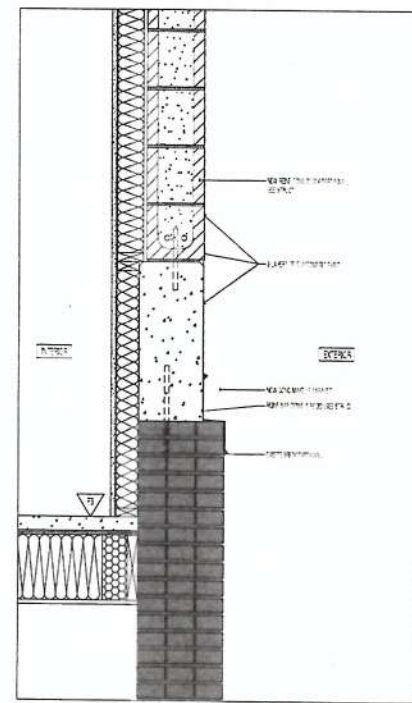
3A WOOD WINDOW HEAD IN CONC WALL
scale: 1 1/2" = 1'-0"



3B WOOD WINDOW SILL IN CONC WALL
scale: 1 1/2" = 1'-0"



4 PARTY-WALL PARAPET DETAIL
scale: 1 1/2" = 1'-0"



5 PARTY WALL SECTION
scale: 1 1/2" = 1'-0"

no.	date	description
1	2017	REVISED TO 2017
2	2017	REVISED TO 2017
3	2017	REVISED TO 2017
4	2017	REVISED TO 2017
5	2017	REVISED TO 2017
6	2017	REVISED TO 2017
7	2017	REVISED TO 2017
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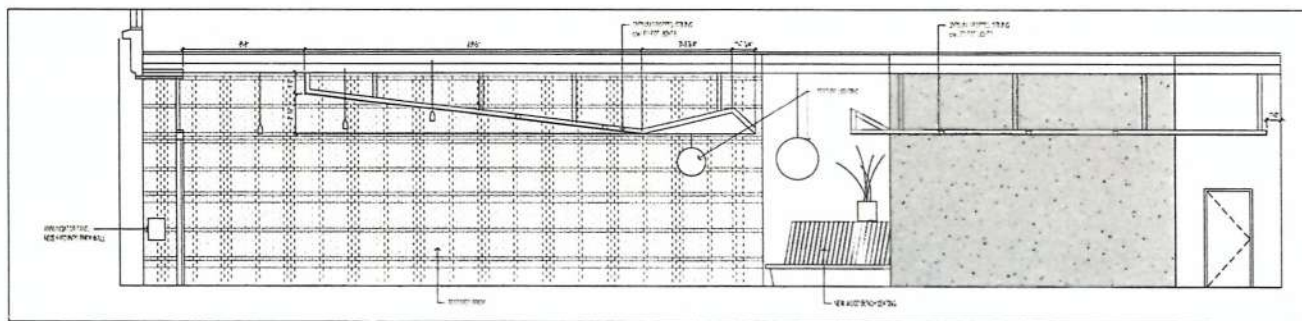
project title
727 JOHNSON STREET
VICTORIA, BC

drawing title
DETAILS

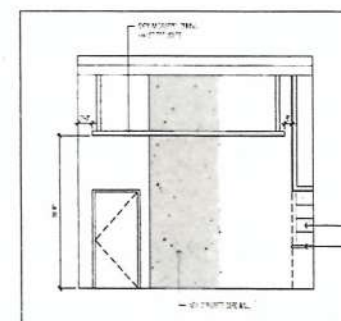
project no.	1520
drawn by	EA
checked by	EA
date	11/27/2014
scale	AS SHOWN

drawing no.

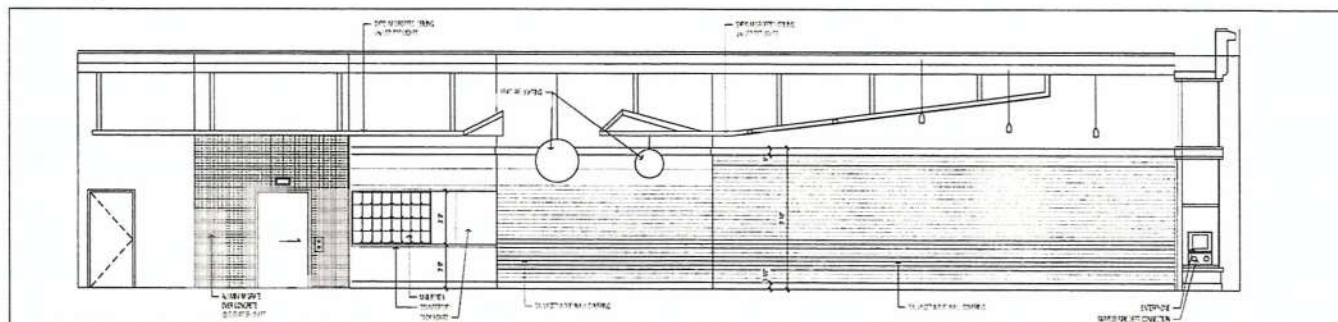
A4.2



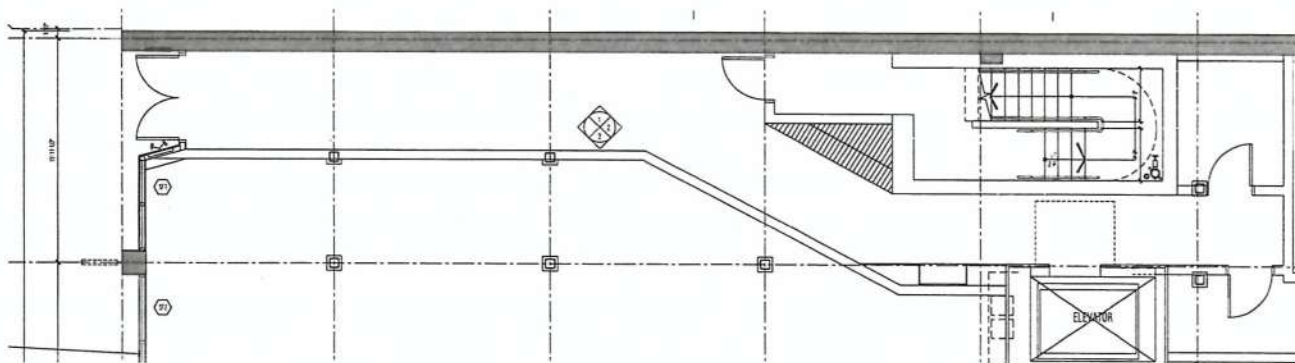
1 INTERIOR ELEVATION: LOBBY
1/4" = 1'-0"



2 INTERIOR ELEVATION: LOBBY
1/4" = 1'-0"



3 INTERIOR ELEVATION: LOBBY
1/4" = 1'-0"



4 LOBBY DETAIL PLAN
scale: 1/4" = 1'-0"

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Tomas Hoff Architect ABC

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no.	date	description
1	APRIL 2016	RECEIVED FOR APPROVAL
2	MAY 2016	RECEIVED FOR APPROVAL
3	JULY 2016	RECEIVED FOR APPROVAL

project title:
727 JOHNSON STREET
VICTORIA, BC

drawing title:
PROPOSED
RESIDENTIAL LOBBY
INTERIOR ELEVATIONS

project no.:	1009
drawn by:	JA
checked by:	JA
date:	APRIL 27, 2016
scale:	1/4" = 1'-0"

drawing no.:

A5.0

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City of Victoria

DEC 07 2017

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DEC 07 2017

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DOOR SCHEDULE									
NO.	SYMBOL	TYPE	FINISH	HEIGHT	WIDTH	SWING	GLASS	REMARKS	DATE
1		1	1	2100	1200	R	1	DOOR	
2		2	1	2100	1200	L	1	DOOR	
3		3	1	2100	1200	R	1	DOOR	
4		4	1	2100	1200	L	1	DOOR	
5		5	1	2100	1200	R	1	DOOR	
6		6	1	2100	1200	L	1	DOOR	
7		7	1	2100	1200	R	1	DOOR	
8		8	1	2100	1200	L	1	DOOR	
9		9	1	2100	1200	R	1	DOOR	
10		10	1	2100	1200	L	1	DOOR	
11		11	1	2100	1200	R	1	DOOR	
12		12	1	2100	1200	L	1	DOOR	
13		13	1	2100	1200	R	1	DOOR	
14		14	1	2100	1200	L	1	DOOR	
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19		19	1	2100	1200	R	1	DOOR	
20		20	1	2100	1200	L	1	DOOR	
21		21	1	2100	1200	R	1	DOOR	
22		22	1	2100	1200	L	1	DOOR	
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24		24	1	2100	1200	L	1	DOOR	
25		25	1	2100	1200	R	1	DOOR	
26		26	1	2100	1200	L	1	DOOR	
27		27	1	2100	1200	R	1	DOOR	
28		28	1	2100	1200	L	1	DOOR	
29		29	1	2100	1200	R	1	DOOR	
30		30	1	2100	1200	L	1	DOOR	
31		31	1	2100	1200	R	1	DOOR	
32		32	1	2100	1200	L	1	DOOR	
33		33	1	2100	1200	R	1	DOOR	
34		34	1	2100	1200	L	1	DOOR	
35		35	1	2100	1200	R	1	DOOR	
36		36	1	2100	1200	L	1	DOOR	
37		37	1	2100	1200	R	1	DOOR	
38		38	1	2100	1200	L	1	DOOR	
39		39	1	2100	1200	R	1	DOOR	
40		40	1	2100	1200	L	1	DOOR	
41		41	1	2100	1200	R	1	DOOR	
42		42	1	2100	1200	L	1	DOOR	
43		43	1	2100	1200	R	1	DOOR	
44		44	1	2100	1200	L	1	DOOR	
45		45	1	2100	1200	R	1	DOOR	
46		46	1	2100	1200	L	1	DOOR	
47		47	1	2100	1200	R	1	DOOR	
48		48	1	2100	1200	L	1	DOOR	
49		49	1	2100	1200	R	1	DOOR	
50		50	1	2100	1200	L	1	DOOR	
51		51	1	2100	1200	R	1	DOOR	
52		52	1	2100	1200	L	1	DOOR	
53		53	1	2100	1200	R	1	DOOR	
54		54	1	2100	1200	L	1	DOOR	
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57		57	1	2100	1200	R	1	DOOR	
58		58	1	2100	1200	L	1	DOOR	
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61		61	1	2100	1200	R	1	DOOR	
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69		69	1	2100	1200	R	1	DOOR	
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