

REPORTS OF COMMITTEES

2. Committee of the Whole – September 21, 2017

8. Official Community Plan Amendments to Align with Gonzales Neighbourhood Plan

Motion:

It was moved by Councillor Coleman, seconded by Councillor Alto, that Council:

1. Consider consultation under Section 475(1) and 475(2) of the Local Government Act and direct staff to undertake consultation with those affected by the proposed amendments to the Official Community Plan through online consultation, a public open house, and a meeting with owners of property within proposed heritage conservation areas, concurrent with public review of the proposed Gonzales Neighbourhood Plan.
2. Consider consultation under Section 475(2)(b) of the Local Government Act and direct staff:
 - a. to refer the proposed Official Community Plan amendments to the Songhees Nation, the Esquimalt Nation, the School District Board, the Council of Oak Bay, Island Health Board of Directors; and
 - b. that no referrals are necessary to the Capital Regional District Board, or the provincial or federal governments.
3. Direct staff to prepare Official Community Plan amendment bylaws following consultation to adjust urban place designations, adjust development permit area boundaries and guidelines, and create a new heritage conservation area in accordance with feedback received on the proposed Official Community Plan amendments.
4. Direct staff to create Development Permit Area Guidelines for the Small Urban Villages at Fairfield Road, Wildwood Avenue and Lilian Street.
5. Direct staff to develop appropriate tools to make secondary suites permissible in the neighbourhood.
6. Refer the proposed Gonzales Neighbourhood Plan to the meeting of Council at which the above Official Community Plan amendments Public Hearing is held, for consideration of final approval.
7. Following approval of the proposed Gonzales Neighbourhood Plan, rescind the Gonzales Neighbourhood Community Plan (2002).

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, Madoff, and Thornton-Joe
Opposed: Councillor Young

7. STAFF REPORTS

7.1 Official Community Plan Amendments to Align with Gonzales Neighbourhood Plan

Committee received a report dated September 1, 2017, from the Director of Sustainable Planning and Community Development regarding proposed amendments to the OCP and the public review of the proposed Gonzales Neighbourhood Plan.

Committee discussed:

- Zoning changes for the neighbourhood that do not require OCP amendments.

Motion: It was moved by Councillor Coleman, seconded by Councillor Alto, that Council:

1. Consider consultation under Section 475(1) and 475(2) of the Local Government Act and direct staff to undertake consultation with those affected by the proposed amendments to the Official Community Plan through online consultation, a public open house, and a meeting with owners of property within proposed heritage conservation areas, concurrent with public review of the proposed Gonzales Neighbourhood Plan.
2. Consider consultation under Section 475(2)(b) of the Local Government Act and direct staff:
 - a. to refer the proposed Official Community Plan amendments to the Songhees Nation, the Esquimalt Nation, the School District Board, the Council of Oak Bay, Island Health Board of Directors; and
 - b. that no referrals are necessary to the Capital Regional District Board, or the provincial or federal governments.
3. Direct staff to prepare Official Community Plan amendment bylaws following consultation to adjust urban place designations, adjust development permit area boundaries and guidelines, and create a new heritage conservation area in accordance with feedback received on the proposed Official Community Plan amendments.
4. Refer the proposed Gonzales Neighbourhood Plan to the meeting of Council at which the above Official Community Plan amendments Public Hearing is held, for consideration of final approval.
5. Following approval of the proposed Gonzales Neighbourhood Plan, rescind the Gonzales Neighbourhood Community Plan (2002).

Amendment: It was moved by Councillor Madoff, seconded by Councillor Coleman, that the motion be amended to include the following point:

4. **Direct staff to create Development Permit Area Guidelines for Small Urban Villages at Fairfield Road, Wildwood Avenue and Lilian Street.**

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Amendment: It was moved by Councillor Alto, seconded by Mayor Helps, that the motion be amended to include the following point:

5. Direct staff to develop appropriate tools to make secondary suites permissible in the neighbourhood.

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Committee discussed:

- Concerns about the transitions with allowing multi-unit buildings on Fairfield Road.

Main motion as amended:

It was moved by Councillor Coleman, seconded by Councillor Alto, that Council:

That Council:

1. Consider consultation under Section 475(1) and 475(2) of the Local Government Act and direct staff to undertake consultation with those affected by the proposed amendments to the Official Community Plan through online consultation, a public open house, and a meeting with owners of property within proposed heritage conservation areas, concurrent with public review of the proposed Gonzales Neighbourhood Plan.
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 - a. to refer the proposed Official Community Plan amendments to the Songhees Nation, the Esquimalt Nation, the School District Board, the Council of Oak Bay, Island Health Board of Directors; and
 - b. that no referrals are necessary to the Capital Regional District Board, or the provincial or federal governments.
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5. Direct staff to develop appropriate tools to make secondary suites permissible in the neighbourhood.
6. Refer the proposed Gonzales Neighbourhood Plan to the meeting of Council at which the above Official Community Plan amendments Public Hearing is held, for consideration of final approval.
7. Following approval of the proposed Gonzales Neighbourhood Plan, rescind the Gonzales Neighbourhood Community Plan (2002).

On the main motion as amended:
CARRIED 17/COTW

For: Mayor Helps, Councillors Alto, Coleman, Loveday, and Thornton-Joe
Against: Councillors Isitt, Madoff, and Young



Committee of the Whole Report

For the Meeting of September 21, 2017

To: Committee of the Whole **Date:** September 1, 2017
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: OCP Amendments to Align with Gonzales Neighbourhood Plan

RECOMMENDATION

That Council:

1. Consider consultation under Section 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with those affected by the proposed amendments to the Official Community Plan through online consultation, a public open house, and a meeting with owners of property within proposed heritage conservation areas, concurrent with public review of the proposed Gonzales Neighbourhood Plan.
2. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff:
 - a. to refer the proposed Official Community Plan amendments to the Songhees Nation, the Esquimalt Nation, the School District Board, the Council of Oak Bay, Island Health Board of Directors; and
 - b. that no referrals are necessary to the Capital Regional District Board, or the provincial or federal governments.
3. Direct staff to prepare Official Community Plan amendment bylaws following consultation to adjust urban place designations, adjust development permit area boundaries and guidelines, and create a new heritage conservation area in accordance with feedback received on the proposed Official Community Plan amendments.
4. Refer the proposed Gonzales Neighbourhood Plan to the meeting of Council at which the above Official Community Plan amendments Public Hearing is held, for consideration of final approval.
5. Following approval of the proposed Gonzales Neighbourhood Plan, rescind the Gonzales Neighbourhood Community Plan (2002).

EXECUTIVE SUMMARY

The purpose of this report is to advise Council on proposed amendments needed for the Official Community Plan (OCP) to ensure it aligns with the Gonzales Neighbourhood Plan, and for Council to turn their minds to consultation necessary for the proposed OCP amendments. Based on consultation on the draft Gonzales Neighbourhood Plan with the public, affected stakeholders, and Council, staff are preparing the final plan and parallel amendments to the OCP to align urban place designations and implement development permit areas (DPA) and heritage conservation areas (HCA).

In accordance with Section 475 of the *Local Government Act*, Council must turn their minds to appropriate public consultation for the proposed OCP amendments. This includes timing of the consultation (whether early, repeated, etc.), who will be affected, and therefore ought to be

consulted, and the extent of that consultation. It is recommended that consultation be in the form of online public consultation, outreach to key stakeholders, a public open house regarding the proposed plan and OCP amendments, and a homeowner's meeting regarding the proposed HCAs. Following this, the findings of the consultation and the proposed OCP amendments will be considered by Council. After readings of the OCP amendment bylaws, there will be a Public Hearing for the OCP amendments, and at the same Council meeting, consideration of the final Gonzales Neighbourhood Plan for approval.

PURPOSE

The purpose of this report is to seek Council's direction to consult with those affected by proposed amendments to the OCP as outlined in this report, concurrent with public review of the proposed Gonzales Neighbourhood Plan.

BACKGROUND

On July 13, 2017, Council considered the draft Gonzales Neighbourhood Plan and directed staff to:

1. Refer the draft Gonzales Neighbourhood Plan and draft Design Guidelines for Intensive Residential Development - Townhouse and Rowhouse to the Advisory Design Panel for comment.
2. Refer the draft Gonzales Neighbourhood Plan to the Heritage Advisory Panel for comment.
3. Direct staff to create Gonzales-specific guidelines or exemptions for the proposed Heritage Conservation Areas that address feedback from homeowners, community and Heritage Advisory Panel.
4. Invite further public comment to inform Council's consideration of the next iteration of the plan.

Following the Council workshop, staff made a number of revisions to the draft Gonzales Neighbourhood Plan, and are currently in the referral process with the Advisory Design Panel and Heritage Advisory Panel on the above items.

LEGISLATIVE AUTHORITY

Section 475 of the *Local Government Act* requires that during an amendment of an official community plan, the proposing local government must provide one or more opportunities it considers appropriate for consultation (in addition to the public hearing requirements later on in the process). In addition to the general requirement to consider appropriate consultation with persons, organizations and authorities it considers will be affected, the local government must specifically consider whether consultation is required with the following:

- the board of the regional district in which the area covered by the plan is located, in the case of a municipal official community plan
- the board of any regional district that is adjacent to the area covered by the plan
- the council of any municipality that is adjacent to the area covered by the plan
- first nations
- boards of education, greater boards and improvement district boards
- the provincial and federal governments and their agencies.

ISSUES & ANALYSIS

Proposed OCP Amendments

The following OCP amendments are proposed to align with the land use and urban design directions in the Gonzales Neighbourhood Plan, which has been informed by public engagement during 2016-2017:

1. Revise urban place designations to reflect the following (Attachment A):
 - a. add opportunities for multi-unit buildings up to 3 storeys on Fairfield Road between St. Charles Street and Foul Bay Road, as part of the Traditional Residential Urban Place Designation in Figure 8: Urban Place Designations
 - b. designate properties at Fairfield Road, Wildwood Avenue and Lillian Street as "Small Urban Village."
2. Expand Development Permit Area 7A: Corridors, to include Fairfield Road between St. Charles Street and Foul Bay Road and apply the *Revitalization Guidelines for Corridors, Villages and Town Centres* with content specific to Gonzales added (Attachment A, B).
3. Propose a new Development Permit Area 15F: Intensive Residential - Townhouse and Rowhouse with new guidelines to apply to the entire Gonzales neighbourhood (Attachment C).
4. Create a new Heritage Conservation Area 2: Traditional Residential for portions of Redfern Street, Lower Foul Bay Road and Upper Foul Bay Road, with clear permit exemptions and guidelines for minor alterations to newer homes and to balance heritage conservation principles with energy efficiency retrofits (Attachment D).

The proposed OCP amendments are in the process of referral to Advisory Design Panel and Heritage Advisory Panel, and their input will be considered in making revisions to proposed amendments.

Recommended Consultation

To meet the requirements of the *Local Government Act* when OCP amendments are considered, staff propose online engagement and a public engagement event, anticipated as follows:

- | | |
|------------|--|
| September: | Invite homeowners affected by the proposed HCAs to a meeting for information on the proposed OCP amendments. |
| October: | Initiate online public engagement, refer to the affected groups noted below. Hold a public open house and meeting with homeowners in the proposed HCAs.
Revise OCP amendments based on the results of public consultation |
| November: | Provide a summary of engagement to Council when the OCP amendment bylaws are introduced for readings. |
| December: | Hold a Public Hearing on the OCP amendments and consider approval of the final Gonzales Neighbourhood Plan. |

Referral to the following groups are recommended:

- Songhees Nation and Esquimalt Nation as the Gonzales neighbourhood is located within their traditional territories
- Island Health as adjustments to Urban Place Designations affect the Glengarry Hospital site
- the Greater Victoria School District Board (GVSD) as adjustments to an Urban Place Designation affect the Margaret Jenkins School site
- the Gonzales Neighbourhood Plan will be referred to District of Oak Bay as a courtesy due to the shared boundary with Gonzales.

Staff do not recommend referral to other groups including the Capital Regional District Board or the provincial and federal governments as the proposed OCP amendments do not impact these entities or the use of properties owned by these entities.

OPTIONS & IMPACTS

Accessibility Impact Statement

A design guideline that encourages accessibility in open space design was added to the Design Guidelines for Intensive Residential – Townhouse and Rowhouse on the recommendation of the Advisory Design Panel.

2015 – 2018 Strategic Plan

This milestone in the Gonzales Neighbourhood Plan process supports Strategic Plan, Objective 3: Strive for Excellence in Planning and Land Use, which contains actions and outcomes to undertake local area planning focused on urban villages and transportation corridors.

Impacts to Financial Plan

The proposed OCP amendments do not impact the Financial Plan as costs associated with public engagement are provided under the current project budget.

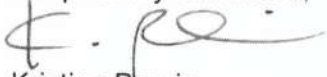
Official Community Plan Consistency Statement

While the draft Gonzales Neighbourhood Plan contains policy directions that are in line with the broad growth objectives and policies of the OCP, some amendments to the OCP are required to align the two plans given the finer grain of detail that emerged out of the neighbourhood plan process and to implement the urban design and heritage objectives.

CONCLUSIONS

Bringing forward proposed amendments to the OCP in parallel with the Gonzales Neighbourhood Plan will provide engagement efficiencies, meet the consultation requirements of the *Local Government Act*, and ensure both plans are aligned. Plan alignment will provide more clarity for the public, landowners and developers seeking to submit development proposals to the City, and for staff in providing development advice to applicants.

Respectfully submitted,



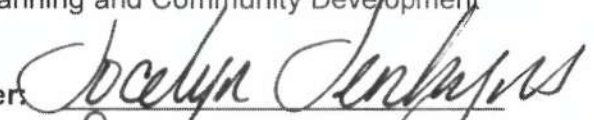
Kristina Bouris
Senior Planner
Community Planning



Jonathan Tinney
Director
Sustainable Planning and Community Development

Report accepted and recommended by the City Manager:

Date:


Sept. 14, 2017

List of Attachments

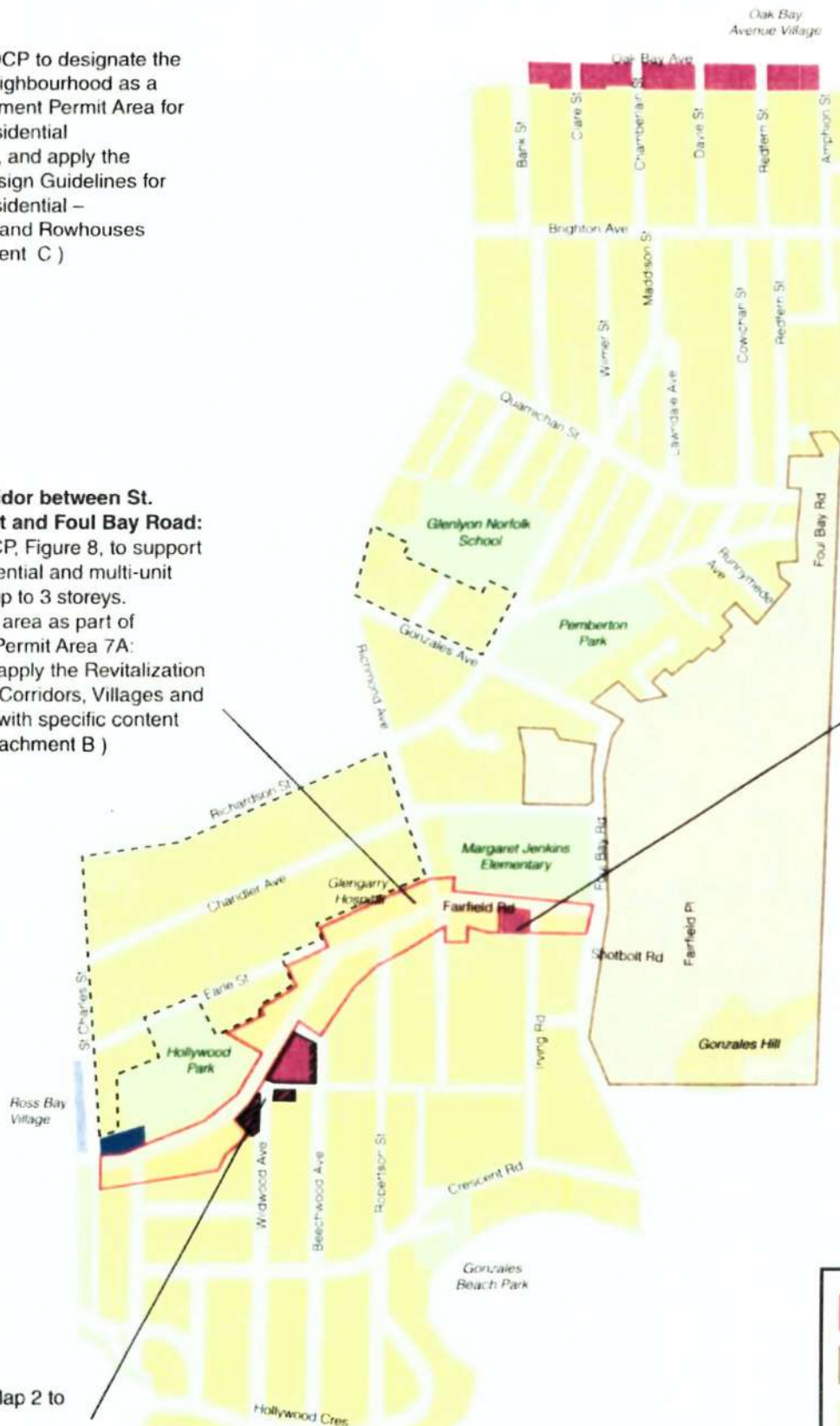
- Attachment A: Proposed OCP Amendments: Land Use and Development Permit Areas
- Attachment B: Draft Revitalization Guidelines for Corridors, Villages and Town Centres
- Attachment C: Draft Design Guidelines for Intensive Residential Development - Townhouse and Rowhouse
- Attachment D: Proposed OCP Amendment: Heritage Conservation Areas

Amend the OCP to designate the Gonzales Neighbourhood as a new Development Permit Area for Intensive Residential development, and apply the proposed Design Guidelines for Intensive Residential – Townhouses and Rowhouses (see Attachment C)

Fairfield Corridor between St. Charles Street and Foul Bay Road:
Amend the OCP, Figure 8, to support attached residential and multi-unit development up to 3 storeys. Designate this area as part of Development Permit Area 7A: Corridors and apply the Revitalization Guidelines for Corridors, Villages and Town Centres with specific content added (see Attachment B)

Fairfield at Irving Village:
Amend the OCP to Designate this area as part of Development Permit Area 6A: Small Urban Villages and apply the Revitalization Guidelines for Corridors, Villages and Town Centres with specific content added (see Attachment B)

Amend the OCP, Map 2 to designate the **Fairfield/Wildwood/Lillian** area as a Small Urban Village. Designate this area as part of Development Permit Area 6B: Small Urban Villages Heritage and apply the Revitalization Guidelines for Corridors, Villages and Town Centres with specific content added (see Attachment B)



- Traditional Residential Area 1: Fairfield Low-Rise Apartment
- Traditional Residential Area 2: Queen Anne Heights / Foul Bay Road / Gonzales Hill
- Traditional Residential Area 3: All other areas
- Traditional Residential Area 3: Blocks appropriate for townhouses
- Proposed Small Urban Village (see Chapter 6)
- Existing Small Urban Village (see Chapter 6)
- Existing Large Urban Village (see Chapter 6)



Revitalization Guidelines for Corridors, Villages and Town Centres

Revitalization Guidelines for Corridors, Villages and Town Centres

Preamble

These guidelines apply to designated Corridors, Villages and Town Centres and are intended to supplement the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial, July 2012* which address form and character of developments across the city.

It is intended that both guideline documents will be considered together in conjunction with other applicable guidelines noted in each designated development permit area as detailed in the *Official Community Plan*. Collectively, the guidelines are intended to guide applicants in achieving new development and additions to existing buildings that result in design excellence, livability, and high-quality pedestrian environments. This is intended to contribute to sense of place and urbanism that is responsive to Victoria's context, while enabling flexibility and fostering creativity.

All visuals in this document are provided for illustrative purposes only to support description of the guidelines.

General Guidelines

1) Context and Streetscapes

- a. Buildings flanking streets should create a sense of enclosure and human scale. To achieve this, buildings fronting streets should provide a "street wall" that is at a height approximately 1/2 to 1/3 the width of the flanking street. This can be expressed as a street-wall-to-street-width ratio range of approximately 1:2 to 1:3. For buildings located on corner sites, this principle should be applied to the facades facing both streets where possible.

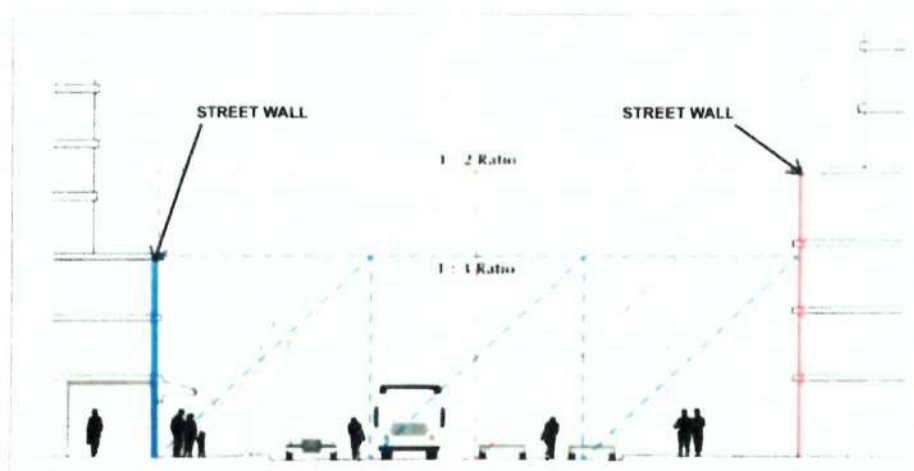


Figure 1: A building height-to-street-width ratio of between approximately 1:3 and 1:2 is recommended to frame streets and provide human scale. Portions of buildings above the street wall are encouraged to step back.

- b. To mitigate the visual impact of building height and to maximize sunlight exposure to the street, the upper portions of buildings above the street wall should be set back by at least two metres.
- c. Where an established pedestrian-friendly street wall exists, the front facade of new buildings should be generally aligned with adjacent buildings to create visual continuity along the streetscape.
- d. Buildings with commercial uses at grade should generally be built up to the sidewalk. Portions of the front facade may be set back from the front property line to accommodate features such as patios, courtyards or seating areas.
- e. Buildings should create "eyes on the street" and public spaces by orienting doorways, windows and balconies to overlook sidewalks, walkways, parks and other open spaces.
- f. Consider unique rooflines for taller buildings that have a visually prominent location (e.g. at corners, or at terminating vistas of streets) in order to create a distinct landmark.

2) Building Design

- a. Building facades, especially those facing streets, should be well-designed and articulated with human-scale architectural features that create visual interest for pedestrians. Facade designs should consider the rhythm and pattern of existing building facades and architectural elements in the surrounding context, such as building articulation, rooflines, window placement, entryways, canopies and cornice lines.
- b. Large expanses of blank walls should be avoided. Where this is not possible, design treatments such as vertical plant materials, landscaping, art (e.g. mosaic, mural or relief) or the use of other building materials and building elements are encouraged to add visual interest.
- c. Weather protection for pedestrians should be provided in the following manner:
 - a) Individual canopies or awnings of sufficient depth should be provided to protect pedestrians from inclement weather, especially at building entrances.
 - b) The underside of canopies should be illuminated.
 - c) Canopies with translucent or frosted glazing are encouraged to maximize winter sunlight, particularly for north-facing facades.
- d. For buildings located on a corner, the corner design should include an architectural feature that addresses and emphasizes the corner. Strategies to achieve this include but are not limited to a chamfered or setback corner, prominent glazing, or a primary building entrance oriented to the corner.
- e. The first storey of a mixed-use or commercial building should be designed with a minimum floor-to-ceiling height of at least 4m and a minimum depth of approximately 10 metres to accommodate a range of commercial uses.
- f. Buildings with commercial uses at grade should be designed with a series of modulated storefronts and entrances, with transparent glazing. This design strategy is encouraged even where the building has a single tenant or use.



Figure 2 Modulated, transparent storefronts create interest for pedestrians and encourage activity along the street

- g. Buildings that extend along sloping sites should be designed to follow and respond to the natural topography while maintaining a strong relationship of facades and building entrances to the street. Where retaining walls are unavoidable, they should be designed to ensure that they do not negatively impact the pedestrian experience along adjacent sidewalks.

3) Parking

- a. Parking should be located underground or to the rear of buildings to provide human scale pedestrian environments. Where rear yard surface parking is proposed, building designs and landscaping interventions should be employed so that parking is integrated into sites in a manner that results in an attractive and safe environment.

4) Livability

- a. Where two or more buildings are located on a single site, or where a single structure contains two or more building elements above a common base or podium, a comfortable separation space should be provided for residential units, with consideration for window placement, sunlight penetration to residential units, and adequate spaces for landscaping.

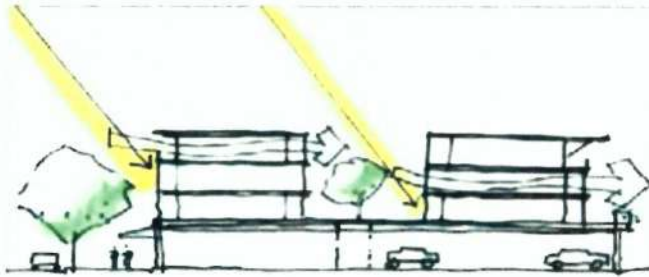


Figure 3. Comfortable separation space allows for sunlight access to individual units and outdoor spaces.

- b. Multi-unit buildings should be designed to provide a sensitive transition in scale to adjacent, smaller developments through considerations for massing and other design features. Strategies to achieve this may include but are not limited to setting upper storeys back, varying roof lines, siting or scaling buildings to reduce shading, etc.
- c. Residential building designs are strongly encouraged to include common outdoor space such as landscaped courtyards or rooftops, where possible.
- d. Buildings with residential use should be designed so that units receive daylight and natural ventilation from at least two sides of the building, or from one side and a roof. Where possible, provide dwelling units with a choice of aspect: front and back, or on two sides (for corner units).
- e. Residential buildings located along busy arterial streets should incorporate design features that minimize noise and pollution impacts (e.g. triple-pane glazing, residential units oriented towards courtyards, design of residential units with multiple orientations or side orientations, and building air intakes located away from the road).
- f. As a means to improve privacy between adjacent buildings, consider design solutions such as window size, window height, window placement and orientation, exterior landscaping, privacy screens or the use of frosted glazing on balconies.
- g. Pedestrian walkways that connect the primary entrance of multi-unit residential or commercial buildings with the adjacent public sidewalk should be a minimum of 2m wide and distinguishable from driving surfaces by using varied paving treatments.

5) Materials and Finishes

- a. Exterior materials that are high quality, durable and capable of withstanding a range of environmental conditions throughout the year are strongly encouraged, particularly on lower portions of buildings that are more closely experienced by pedestrians. High quality building materials include but are not limited to:
 - Natural wood
 - Composite materials
 - Brick masonry
 - Glazed tile
 - Stone
 - Concrete
 - Flat profile "slate" concrete tiles
 - Glass and wood for window assemblies
 - Standing seam metal roofing
- b. Light-coloured, heat reflective and permeable paving materials are encouraged for hard surfaces such as parking areas, walkways, patios and courtyards as a means to reduce storm water run-off and reduce heat-island effects. Light-coloured or heat reflective materials are also encouraged for rooftops to reduce heat island effects.

6) Landscaping and Open Space:

- a. Buildings that include residential units should include private open space (e.g. balconies, porches) or easily accessed shared open space in the form of courtyards, green spaces, terraces, yards, play areas or rooftop gardens.
- b. The rear yard of multi-unit or mixed-use buildings adjacent to lower scale residential development should provide landscaping and trees that mitigate the appearance of massing and contribute to a transition in scale.
- c. Landscape design should consider the local climate and water efficiency through species selection, including selection of draught-tolerant species, efficient irrigation systems or design of unirrigated landscapes, use of run-off for irrigation, presence of rain gardens and other approaches.
- d. Consider features in landscaping or open space that add to sociability, such as shared areas to sit, garden plots, play areas, balconies fronting courts, etc.

Area-Specific Guidelines:

In addition to the General Guidelines, the following guidelines apply to each specific designated area.

1) Mayfair Town Centre:

- a. Taller buildings should generally be focused in the western part of the site, near Douglas Street.
- b. Design taller buildings to have a clear architectural distinction between the base (podium or street wall portion), middle and upper portion of the building.
- c. The podium base or street wall portion of buildings are encouraged to be three to five storeys (approximately 10–15m) in height.
- d. Major redevelopment of the Mayfair Shopping Centre should incorporate an internal network of pedestrian-friendly streets and connections between Speed Street, Nanaimo Street and Oak Street in order to create a structure of city blocks and to support permeability for pedestrians, cyclists and vehicles.

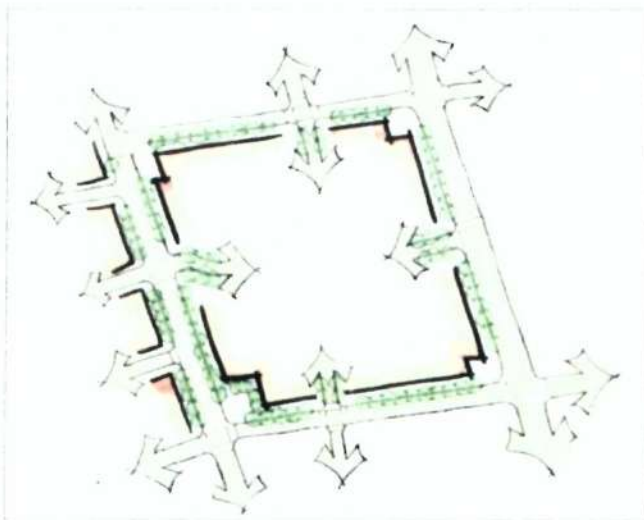


Figure 5: Major redevelopment of the Mayfair Shopping Centre site should establish an internal block structure connecting to adjacent streets.

- e. Building design should emphasize Douglas Street as the primary retail street of the Mayfair Town Centre. However, building designs should not “turn their back” on adjacent streets. Instead, provide facades that address all street frontages and are consistent with the General Guidelines for Building Designs (SECTION 2).
- f. Building design that results in a landmark expression is encouraged at the intersection of Douglas and Finlayson Streets.
- g. The tower portions of buildings above six storeys in height should generally be sited and designed to maintain access to sunlight, with a sufficient face-to-face separation distance between towers on the same site, and a sufficient clear distance to lot lines abutting other developable parcels. A desired face-to-face separation distance for towers at the Mayfair Shopping Centre site (the area bounded by Douglas Street, Nanaimo Street, Blanshard Street and Tolmie Avenue) is 25 metres.

2) Gorge at Irma Village

- a. Development within this village should create multiple smaller storefronts facing Gorge Road and turning the corner onto Irma Street to support a variety of neighbourhood-oriented commercial uses.

3) Douglas-Blanshard Corridor

- a. In the Humber Green area between Douglas and Blanshard Streets, residential units are encouraged to be oriented to inner courtyards or quieter interior streets to mitigate noise impacts from adjacent arterial traffic. However, building designs should not “turn their backs” to Douglas and Blanshard Streets. Instead, provide facades that address all street frontages and are consistent with the General Guidelines for Building Designs (SECTION 2).

4) Gorge Road East Corridor

- a. Redevelopment along Gorge Road East should consider site planning and building massing to preserve and enhance view corridors looking south from Balfour Street and Carroll Street toward the Olympic Mountains.

5) Fairfield Road Corridor

- a. Multi-unit buildings along Fairfield Road should be designed to be compatible with the scale and rhythm of existing development along the street. For new building facades that appear longer than others within the established context, design strategies should be employed to mitigate the appearance of building length, such as:
 - modulation of massing
 - variations in rooflines
 - composition of architectural features, materials and colours
 - other architectural solutions.
- b. The Fairfield Road corridor is envisioned to be a tree-lined street, supporting the urban forest and contributing to its character. When site planning and landscape design is considered, the following should be addressed:
 - Location of driveway access should strive to preserve existing canopy trees or provide opportunities for new canopy trees within the boulevard by providing enough planting space. A minimum of one planting space per 15 metres of frontage is recommended.
 - Where there is no boulevard, or it is of insufficient width to support trees, canopy trees are encouraged within front yards adjacent to the right-of-way.

**DESIGN GUIDELINES FOR:
INTENSIVE RESIDENTIAL DEVELOPMENT – TOWNHOUSE AND ROWHOUSE**

1. Introduction

Townhouse and Rowhouse Building Typologies

Within these guidelines, the term "rowhouse" means a single row of attached housing, with each housing unit on its own legal lot (i.e. fee-simple rowhouse) and with its own driveway access.

The term "townhouse" also means attached housing, but can be designed in different configurations and may involve more than one building complex on a site (i.e. more than one row).

These guidelines address both types of attached housing forms.

2. Site Planning

Objectives: *To site buildings in a manner that considers and maintains the pattern of landscaped front and back yards, that makes a positive contribution to the streetscape and achieves a more compact residential building form while maintaining livability.*

a. Building Placement

- i. Townhouse and rowhouse buildings should be designed parallel to the street with unit entrances oriented to and directly accessed from the fronting street. Both front and rear yards should be provided:



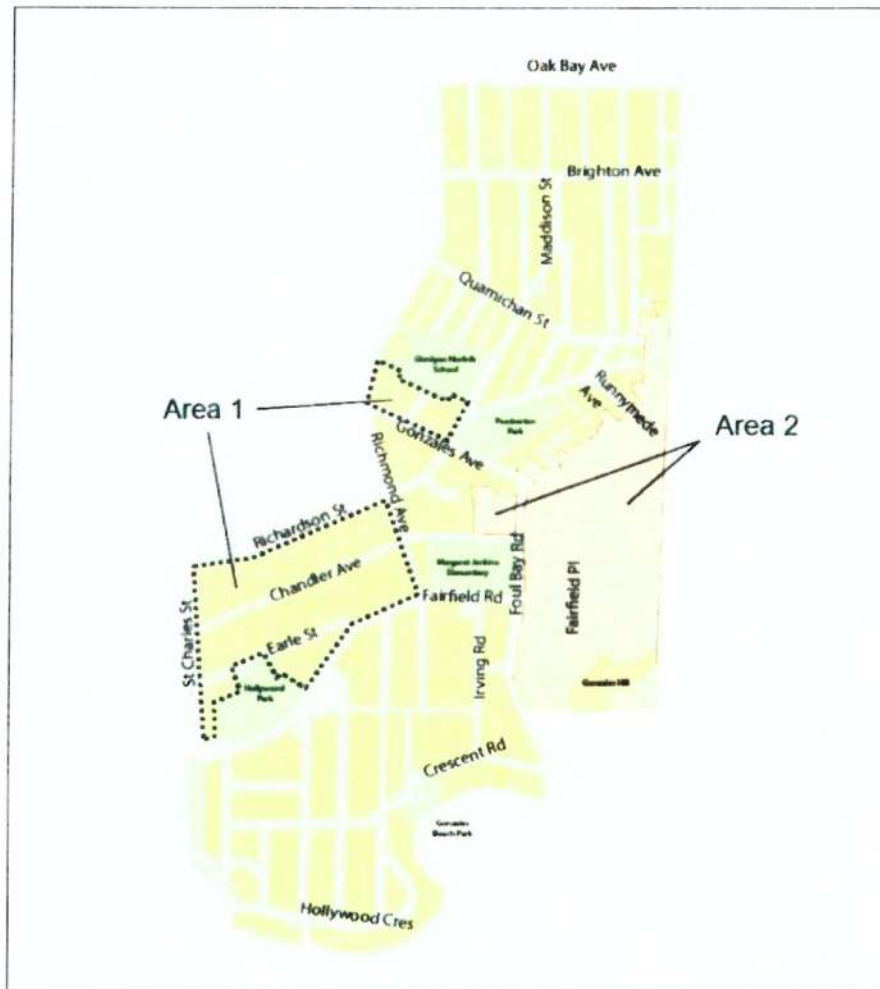
Illustrative example of rowhouses along a street.

- ii. Townhouse developments that involve more than one building complex on a site (i.e. more than one row) are suitable in the following areas shown below, due to the appropriate block and lot sizes that can accommodate these forms of development:

For the Gonzales Neighbourhood:

Area 1: Limited areas within lands designated for Traditional Residential use, delineated below with a black dashed line;

Area 2: The Queen Anne Heights/Foul Bay Road/Gonzales Hill area, shown shaded in brown.

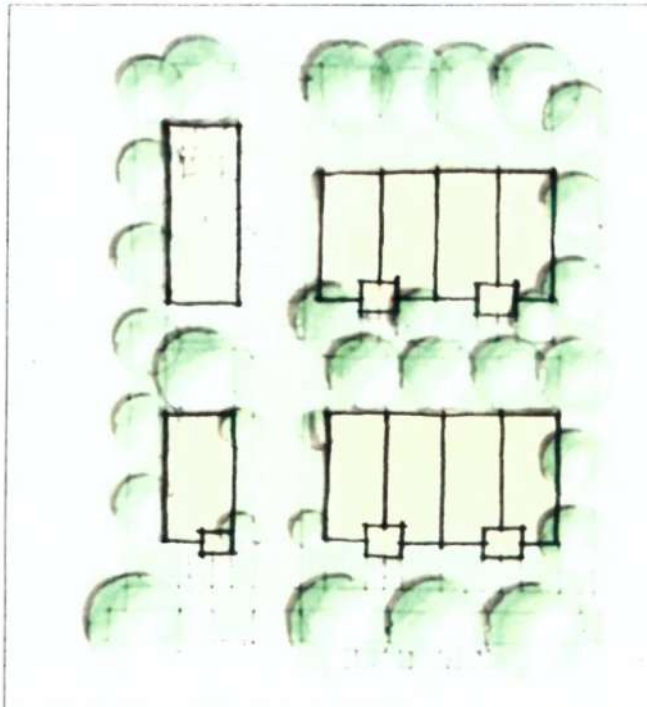


Map 1: Gonzales Neighbourhood Sub-Areas

- iii. For townhouse developments that include multiple building complexes (i.e. more than one row), the following should be achieved:
1. Site planning should ensure that townhouse units face the street;
 2. Townhouse units located in the interior of lots should be designed with adequate separation from other buildings and have access to open space;
 3. Vehicle access, parking and circulation should be integrated sensitively so it is not the dominant aspect of the development. See Section 2.c. for further guidance.



Illustrative example of a townhouse complex organized into two parallel rows around a parking court.

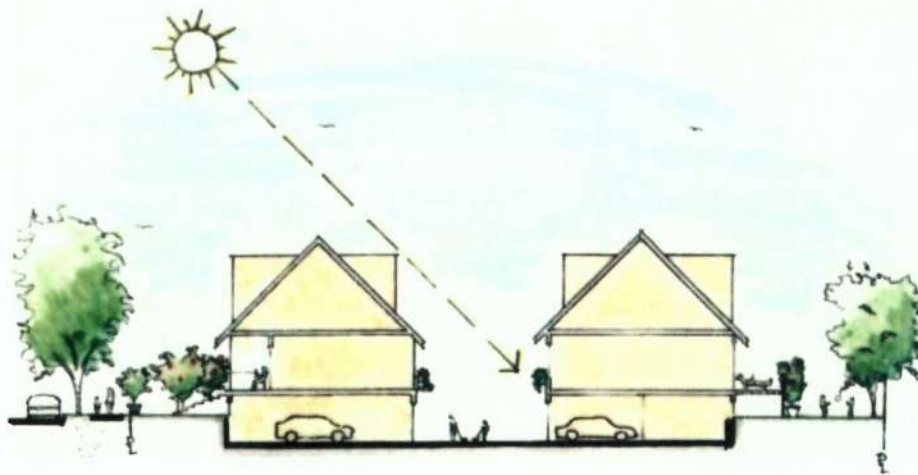


Illustrative example of individual townhome units oriented to landscape and pedestrian spaces, with parking clustered to the side of the lot.

- iv. "Galley-style" townhouses where building complexes are sited perpendicular to streets with residential unit entries oriented internally are strongly discouraged. This layout is discouraged because it does not orient as many residential units towards the street, typically provides less landscaped open space and insufficient separation between buildings.
- v. For properties that include buildings of heritage value (Heritage Designated or listed on the City's Heritage Register) that may be integrated into townhouse or rowhouse developments, alternative siting of new buildings or additions may be considered to facilitate heritage conservation.
- vi. For properties in the Queen Anne Heights/Foul Bay Road/Gonzales Hill area (Area 2), site planning and buildings should strive to have minimal disturbance on the tree canopy. While developments are encouraged to be oriented to streets, alternative siting of townhouses or rowhouses may be considered to facilitate retention of the tree canopy, open space or landscape features.

b. Building Separation

- i. Where more than one row of townhouses are proposed on one site, a sufficient building separation should be provided between buildings to maximize daylight and minimize shadowing and overlook.



c. Vehicular Access, Parking, and Circulation

- i. Vehicular access, circulation, garage doors and parking should not be the dominant aspect of townhouse and rowhouse developments. Design strategies should be employed to minimize the impact of accommodating vehicles on site, including but not limited to the following:

1. Integrate parking in a manner that provides landscaped areas in rear yards.
2. Consider grouping driveway access points to minimize the number of driveway cuts and maximize space for landscaping and on-street parking;
3. Location of driveway access should strive to preserve existing canopy trees or provide opportunities for new canopy trees within the boulevard by providing enough planting space. See Section 5 Open Space Design for further guidance;
4. Consider ways to minimize the appearance of garage doors through recessing, architectural materials, design which emphasizes residential unit entries, or other design strategies.
5. Use high quality and permeable paving materials for driveways;
6. Use attractive, high quality materials and consider incorporating glazing in garage doors;
7. See Section 5, Open Space Design for additional design guidelines related to landscaping and screening.

3. Building Form and Features

Objective: *To achieve buildings of high architectural quality and interest with human-scale building proportions that are oriented towards and are compatible with the established streetscape character and pattern.*

a. Building Massing and Roof Forms

- i. Modulation in massing or roof forms are encouraged to differentiate individual units within townhouse and rowhouse building complexes and to provide architectural interest.

b. Building Materials and Finishes

- i. Exterior building materials are encouraged to contribute to high-quality architecture by achieving the following:
 1. provide interest to facades by incorporating a range of architectural features and details;
 2. articulate different building features;
 3. use substantive, natural materials that are durable and weather gracefully over time;
 4. help mitigate the impact of blank walls, where necessary;

5. visually reduce the perception of building massing, where necessary; and
 6. wrap around the corner of buildings, where appropriate.
- ii. Consider exterior building materials, finishes and colours that are compatible with other developments along the streetscape so new development integrates with existing architectural character.

4. **Building Entrances and Windows**

Objective: *To enhance livability by locating windows and entrances to encourage sociability and eyes on the street while minimizing privacy impacts on neighbouring homes.*

- a. Townhouse and rowhouse developments should maintain a street-fronting "front-to-back" orientation to the street.
- b. All residential units in townhouse and rowhouse building complexes facing streets should have entries oriented towards, and be clearly accessible and visible, from the street.
- c. For townhouse complexes that have interior-facing units, ensure unit entries are legible and emphasized through design features.
- d. Consider design strategies to delineate private front yard spaces from the public realm, while maintaining visibility of unit entrances. Design strategies may include but are not limited to:

- i. elevating the front entryway or patio slightly above the fronting sidewalk level; or
- ii. where a change in grade is not desired to provide accessibility, delineate the space through other means such as landscaping features, low fencing or planters.



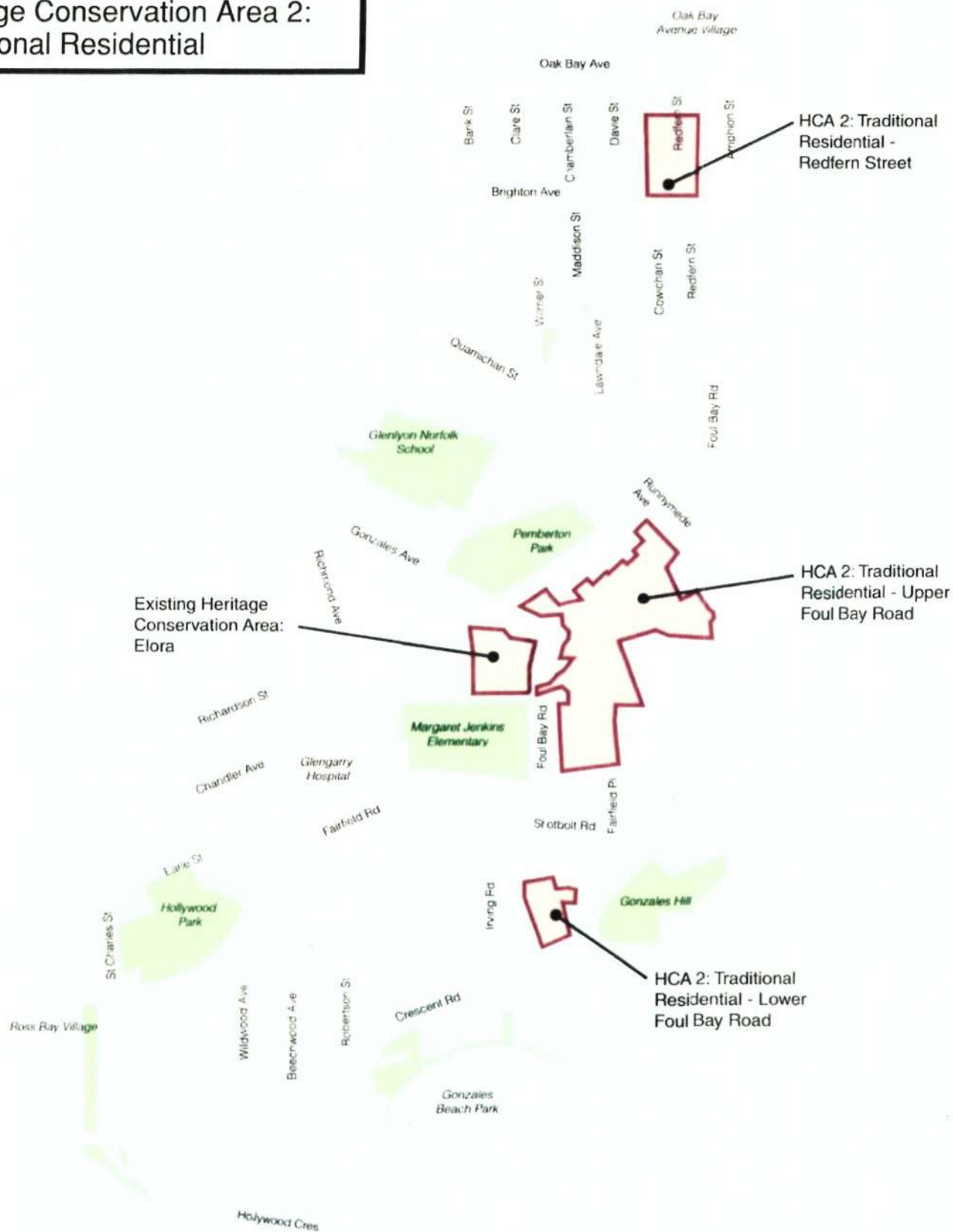
- e. Window placement along shared property lines should consider locations of windows of adjacent properties and be off-set where possible to mitigate privacy impacts.

5. Open Space Design

Objective: *To enhance the quality of open space, provide privacy where needed, delineate unit entrances and pedestrian circulation, reduce storm water runoff, and to ensure that rear yards are not dominated by parking.*

- a. Accessibility should be provided, where possible, in open space design.
- b. Areas within setbacks should consist primarily of landscaped space, but may include paved pedestrian paths.
- c. Landscape areas are encouraged to include a mixture of tree sizes and types, considering exotic and native species.
- d. Consider planting tree species and other landscape plants that will tolerate a degree of drought and will survive the summer water restrictions and dry conditions of southern Vancouver Island.
- e. In considering tree placement adjacent to street rights-of-way or along boulevards, a minimum of one planting space per 15 metres of frontage is recommended.
- f. Landscaped screening along circulation and parking areas which abut lot lines is strongly encouraged, while maintaining site lines and enabling casual surveillance. Where possible, other surface parking areas should be screened with landscaping.
- g. Integration of landscaping to soften hardscape areas associated with vehicle circulation and parking is encouraged.
- h. Driveways and surface parking areas should include permeable paving to help manage on-site run-off and to mitigate the visual impact of hard-surfaced areas.
- i. Non-glare lighting should be provided at residential unit entrances, along pedestrian paths and common areas to contribute to safety. Lighting strategies that mitigate undue spill-over for adjacent residential units are encouraged.

Proposed areas to be included in
Heritage Conservation Area 2:
Traditional Residential



HCA 2: TRADITIONAL RESIDENTIAL

1. Pursuant to Section 614(1) of the Local Government Act (formerly Section 970.1(1)), the area that is shaded and circumscribed by solid lines on Map X is designated as Heritage Conservation Area HCA 2, Traditional Residential, for the purpose of heritage conservation.

2. Application and Exemptions:

(a) Heritage Alteration Permits are required in accordance with the Local Government Act except for:

(i) Exterior painting;

(ii) Any of the following alterations for homes that were built in 1940 or after, including:

- window replacement;
- roof replacement;
- new deck construction;
- solar panel installation;
- additions under 100m², when not visible from ground level of the main right of way abutting the property

(iii) Landscaping changes not related to stone walls, mature landscaping, and large trees;

(iv) Installation of any of the following energy efficiency upgrades:

- solar panels when the installations will not be visible from ground level of the main right of way abutting the property;
- interior insulation;
- envelope air sealing (e.g., weather-stripping);
- mechanical system upgrades (including those with exterior equipment such as heat pumps and air conditioning units).

3. The special features, characteristics and special conditions that justify this designation include:

(a) Victoria has high quality examples of Victorian, Edwardian and mid-century Modern architecture, streetscapes and street patterns in its residential areas.

(b) Traditional Residential areas in this plan are the primary location of ground-oriented housing. They have some capacity for building additions and infill including but not limited to small-lot subdivisions, garden suites, duplexes and low-rise multi-family (multi-unit) and mixed use residential development.

(c) Low-density single-family dwellings, duplexes, multi-unit residential and residential mixed-use along arterial and secondary arterial streets are identified in this plan for Traditional Residential areas, with built form and place character appropriate to an established and stable context.

- (d) Lower Foul Bay Road's character is defined by Tudor Revival elements, Arts and Crafts houses, mature landscaping and large trees, and remnants of stone walls and gateposts that recall the original grand estates typical of the neighbourhood in the early twentieth century.
- (e) Upper Foul Bay Road's character is defined by a number of large, early twentieth century mansions, the irregular winding route of the road, mature landscaping, large trees, and rough stone walls. The varied architectural styles of the neighbourhood, and picturesque streetscape features make this area an important reminder of the early development of Victoria's residential suburbs.
- (f) Redfern Street represents an important part of the eastward expansion of Victoria during the construction boom period of the early twentieth century. Many of the houses are of a similar form, with Edwardian Arts and Crafts architectural style, and homes are close to the front of the lot, have mature, well landscaped front yards, gable roof forms and wood shingle finishes.
- (g) The predominant architectural styles identified in (d) through (f) are representative of homes generally built prior to 1940, thus the exemptions described in 2 (a) (ii) correspond with that date. This ensures that the requirement for permits for properties developed after 1940 are focused on proposed alterations that could have the greatest impact on the character of the area.

4. The objectives of this designation include:

- (a) To conserve and enhance the heritage value, special character and the significant buildings, features and characteristics of low-scale residential areas.
- (b) To maintain and enhance the function, form and character of Traditional Residential areas through low-scale residential development, and low-scale residential mixed-use development along major roads.
- (c) To enhance the area through infill and building additions with a high quality of architecture, landscape and urban design that responds to its historic setting through sensitive and innovative interventions.
- (d) To encourage energy efficiency retrofits balanced with heritage conservation principles.

5. Guidelines:

These Guidelines are to be considered and applied for Heritage Alteration Permits:

- (a) for Lower Foul Bay Road:
 - Standards and Guidelines for the Conservation of Historic Places in Canada.
 - Advisory Design Guidelines for Buildings, Signs and Awnings (1981).
 - New development should be compatible in scale, design, form and materials to surrounding development.
- (b) for Upper Foul Bay Road:
 - Standards and Guidelines for the Conservation of Historic Places in Canada.

- Advisory Design Guidelines for Buildings, Signs and Awnings (1981).
- New development should be compatible in scale, design, form and materials to surrounding development.

(c) for Redfern Street:

- Standards and Guidelines for the Conservation of Historic Places in Canada.
- Advisory Design Guidelines for Buildings, Signs and Awnings (1981).
- New development should be compatible in scale, design, form and materials to surrounding development.

(d) for energy efficiency upgrades in all areas:

- Window replacement:
 - Refurbishment should be prioritized over replacement - refurbishment through resealing and the installation of interior storm windows can result in energy performance similar to new windows without sacrificing heritage character.
 - If refurbishment is not an acceptable option, replacement in kind with respect to materiality and design should be prioritized.
- Solar panels:
 - The installation should be located so as to minimize visual impact for the public from the main right of way abutting the property.
 - The installation should, when possible, lay flat on the roof. In the case of flat roofs or other special circumstances, different installation methods will be considered.
- Exterior mechanical systems, such as the air intake for a heat pump system:
 - The system should, when possible, be screened to minimize visual impact for the public.

GONZALES NEIGHBOURHOOD PLAN:

OCP Amendments to Align with Gonzales Neighbourhood Plan



Purpose

- To propose amendments to the OCP for alignment with the Gonzales Neighbourhood Plan
- For Council to consider consultation on the proposed OCP amendments with affected parties.



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Proposed Amendments to OCP Urban Place Designations

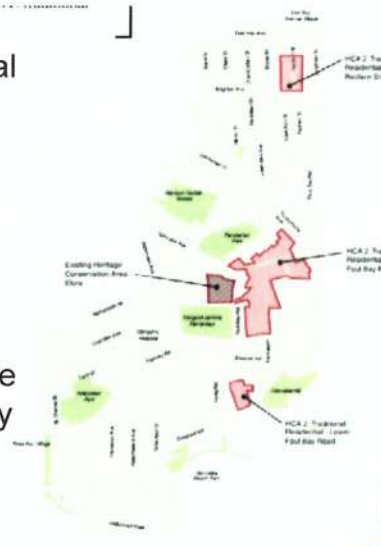
- Support multi-unit buildings up to 3 storeys on Fairfield Road between St. Charles Street and Foul Bay Road
- New "Small Urban Village" at Fairfield Road, Wildwood Avenue and Lillian Street



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Proposed Amendments to HCAs

- New HCA 2: Traditional Residential for portions of Redfern Street, Lower Foul Bay Road and Upper Foul Bay Road
- Exemptions for certain works for newer houses
- New guidelines to balance heritage conservation with energy efficiency retrofits



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Proposed Amendments to DPAs

- New DPA 15F: Intensive Residential – Townhouse and Rowhouse
- Expand DPA 7: Corridors, to include Fairfield Road between St. Charles and Fairfield Road



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Proposed Engagement for OCP Amendments

- Open House (October)
- On-line questionnaire
- Referral to Esquimalt Nation, Songhees Nation, Island Health, School District and Oak Bay
- Letter and meeting with HCA homeowners
- Promotion to residents, businesses and landowners



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Recommendations

- Direct staff to consult on OCP amendments
- Direct staff to prepare OCP amendment bylaws following consultation



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