

ATTACHMENT A – DRAFT OFF-STREET PARKING REGULATIONS (SCHEDULE C)

Schedule C
Zoning Regulation Bylaw (no. 80-159)

***Draft* Off-Street Parking Regulations**

1. Parking Requirements

1.1 Interpretation

1. The minimum number of parking spaces required for each use must be calculated to the nearest whole number.
2. Where a building contains more than one use, the total number of parking spaces required shall be the sum of the number of parking spaces required for each use, calculated separately.

Example: Calculating Vehicular Parking Requirements

Type of Building or Use	Units / Floor Area	Parking Required	Visitor Parking Required	Total Parking Required
Multi-Residential, Condominium	14 units greater than 70m ² in the Core Area	14 x 1.2 = 16.8 (16.8 → 17)	14 x 0.1 = 1.4 (1.4 → 1)	17 + 1 = 18
Restaurant	155m ²	7.75 (7.75 → 8)	N/A	8
Office, Health Care	678m ²	18.1 (18.1 → 18)	N/A	18

Total Vehicular Parking Spaces Required

44

3. If a use is not specifically listed in Table 1 or Table 2 of this Schedule, the number of parking spaces required shall be calculated on the basis of a use or class of use that is most similar to the actual use, based on parking demand characteristics.
4. Unless otherwise stated, all references to "floor area" in this Schedule shall be calculated as gross floor area.
5. For the purpose of calculating parking requirements under this Bylaw, in addition to all internal floor areas, all outside seating and serving areas located on a lot and associated with a Restaurant or a Drinking Establishment use shall be counted as floor area.
6. For the purposes of calculating parking requirements, the City is divided into "Core Area", "Village / Centre", and "Other Area", as shown in Figure 1 of this Schedule.

Schedule C, Zoning Regulation Bylaw (no. 80-159)



1.2 Required Vehicle and Bicycle Parking Spaces

1. The owner or occupier of any land or of any building or other structure must provide off-street vehicular parking spaces in accordance with Table 1 of this Schedule and calculated in accordance with section 1.1.

Table 1: Minimum Number of Required Vehicular Parking Spaces

Use or Class of Use	Minimum Number of Parking Spaces per Dwelling Unit				Minimum Number of Visitor Parking Spaces per Dwelling Unit
Residential					
Single Family Dwelling	1.0				-
Two Family Dwelling	1.0				-
Attached Dwelling	1.0				0.1
Secondary Suite	-				-
Garden Suite	-				-
Assisted Living Facility (dwelling unit within housing for elderly or people with disabilities that provides nursing care, housekeeping and prepared meals as needed and includes Nursing Homes)	0.35				0.1
Use or Class of Use	Minimum Number of Parking Spaces per Dwelling Unit				Minimum Number of Visitor Parking spaces per Dwelling Unit
Multiple Dwelling	Dwelling unit floor area	Core Area	Village / Centre	Other Area	
Condominium (dwelling unit in a building owned by a Strata Corporation)	< 40m ²	0.65	0.70	0.85	0.1
	40m ² to 70m ²	0.80	0.85	1.00	
	> 70m ²	1.20	1.30	1.45	

Apartment (dwelling unit secured as rental in perpetuity through a legal agreement)		< 40m ²	0.50	0.60	0.75	0.1
		40m ² to 70m ²	0.60	0.70	0.90	
		> 70m ²	1.00	1.10	1.30	
Affordable (affordable dwelling units secured in perpetuity through a legal agreement)		< 40m ²	0.20			0.1
		40m ² to 70m ²	0.50			
		> 70m ²	0.75			
Use or Class of Use		Minimum Number of Parking Spaces per Gross Floor Area				
Commercial		Core Area		Village / Centre		Other Area
Office		1 space per 70m ²		1 space per 55m ²		1 space per 50m ²
Medical Office (includes dental offices, surgeries and similar uses)		1 space per 50m ²		1 space per 40m ²		1 space per 37.5m ²
Personal Services (includes hairdressers, dry cleaners, repair of personal goods, travel agents and other similar uses)		1 space per 50m ²		1 space per 40m ²		1 space per 37.5m ²
Financial Service		1 space per 50m ²		1 space per 40m ²		1 space per 37.5m ²
Restaurant		1 space per 40m ²		1 space per 25m ²		1 space per 20m ²
Drinking Establishment (a building or area used primarily for the sale of beer, wine or liquor for consumption on the premises, and includes pubs and bars)		--		1 space per 70m ²		1 space per 60m ²
Retail		1 space per 80m ²		1 space per 50m ²		1 space per 40m ²
Grocery Store	800m ² or less	1 space per 80m ²		1 space per 50m ²		1 space per 40m ²
	> 800m ²	1 space per 50m ²		1 space per 40m ²		1 space per 20m ²
Transient Accommodation		0.25 spaces per room		0.50 spaces per room		

Use or Class of Use	Minimum Number of Parking Spaces per Gross Floor Area		
Institutional	Core Area	Village / Centre	Other Area
Hospital	1 space per 80m ²		
Elementary / Middle School	1 space per 150m ²		
Secondary School	1 space per 75m ²		
University / College (as defined under British Columbia legislation, and regulated as such under said legislation)	1 space per 80m ²		
Arts and Culture (includes museums, art galleries, theatres and other similar uses, but does not include cinemas)	1 space per 80m ²		1 space per 40m ²
Place of Worship	-	1 space per 80m ²	1 space per 40m ²
Assembly (includes convention facilities, cinemas, training facilities and other similar uses)	1 space per 30m ²	1 space per 20m ²	
Health and Fitness (commercial recreational facilities, gymnasiums and other similar uses)	1 space per 30m ²	1 space per 20m ²	
Care Facility (day use facilities, and includes preschool, day care, residential care facilities and similar uses)	1 space per 100m ²	1 space per 80m ²	
Transitional Housing and Emergency Shelters (a staffed facility, open year round, that provides temporary accommodation for persons who are homeless or at risk of homelessness, and may include food and support services)	1 space per 80m ²		

Use or Class of Use	Minimum Number of Parking Spaces per Gross Floor Area
Industrial	
Industrial	1 space per 140m ²
Warehouse	1 space per 100m ²

2. The owner or occupier of any land or of any building or other structure must provide off-street bicycle parking spaces in accordance with Table 2 of this Schedule and calculated in accordance with section 1.1.

Table 2: Minimum Number of Required Bicycle Parking Spaces

Use or Class of Use	Minimum Number of Long Term Bicycle Parking Spaces		Minimum Number of Short Term Bicycle Parking Spaces
Residential			
<u>Single Family Dwelling</u> , <u>Two Family Dwelling</u> , <u>Secondary Suite</u> , <u>Garden Suite</u>	-		-
<u>Attached Dwelling</u>			1 per unit
<u>Multiple Dwelling</u>	1 per unit < 40m ²	1.25 per unit ≥ 40m ²	0.20 spaces per unit
Assisted Living Facility (housing for elderly or disabled people that provides nursing care, housekeeping and prepared meals as needed and includes <u>Nursing Homes</u>)	1 space per 20 units		1 space per 50 units
Commercial			
Office	1 space per 200m ²		1 space per 200m ²
Medical Office (includes dental office, surgeries and similar uses)	1 space per 200m ²		1 space per 200m ²
Personal Services (includes hairdressers, dry cleaners, repair of personal goods, travel agents and other similar uses)	1 space per 200m ²		1 space per 200m ²
<u>Financial Service</u>	1 space per 200m ²		1 space per 200m ²
<u>Restaurant</u>	1 space per 200m ²		1 space per 200m ²
Drinking Establishment (a <u>building</u> or area used primarily for the sale of beer, wine or liquor for consumption on the premises and includes pubs and bars)	1 space per 200m ²		1 space per 200m ²

Retail	1 space per 200m ²	1 space per 200m ²
Grocery Store	1 space per 200m ²	1 space per 200m ²
<u>Transient Accommodation</u>	1 space per 25 rooms	1 space per 40 rooms
Institutional		
<u>Hospital</u>	1 space per 500m ²	6 spaces per public building entrance
Elementary / Middle School	1 space per 1,600m ²	1 space per 160m ²
Secondary School	1 space per 1,600m ²	1 space per 125m ²
University / College (pursuant to British Columbia legislation)	1 space per 1,600m ²	1 space per 100m ²
Arts and Culture (includes museums, art galleries, theatres and other similar uses, but does not include a cinema)	1 space per 450m ²	1 space per 130m ²
Place of Worship	-	1 space per 200m ²
Assembly (includes convention facilities, cinemas, training facilities and other similar uses)	-	1 space per 200m ²
Health and Fitness (commercial recreational facilities, gymnasiums and other similar uses)	1 space per 100m ²	1 space per 100m ²
Care Facility (includes preschool, day care, residential care facilities and similar uses licensed under the <i>Community Care and Assisted Living Act</i>)	1 space per 700m ²	1 space per 200m ²
Industrial		
Industrial	1 space per 1,200m ²	6 spaces
Warehouse	1 space per 1,200m ²	6 spaces

2. Vehicular Parking Specifications

2.1 Vehicular Parking Appearance

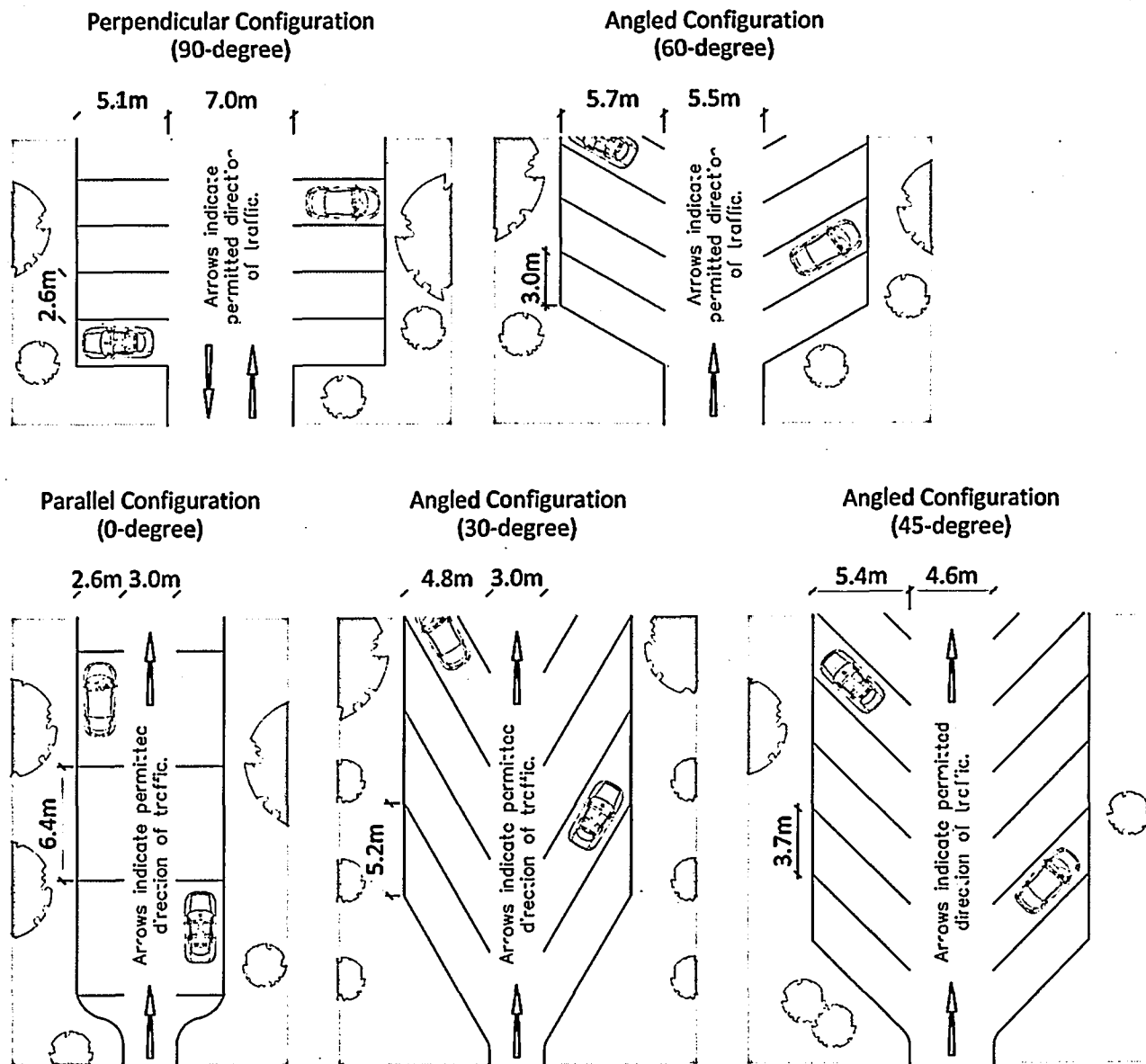
1. A vehicular parking area or vehicle parking space must be surfaced with asphalt, concrete, pavers, or permeable material that provides a durable surface.
2. Each vehicle parking space must be clearly delineated on the parking surface.
3. Vehicular parking areas consisting of five (5) or more parking spaces must be illuminated with shield lighting that is directed toward the ground and designed so that the light does not directly fall on an adjacent lot or street.
4. Each visitor vehicle parking space required under this Bylaw must be clearly identified for the sole use of visitors.

2.2 Vehicular Parking Location and Dimensions

1. All vehicle parking spaces required under this Bylaw must be provided on the same lot as the building or use which they serve.
2. A vehicle parking space must not be closer than 1.0m to a street.
3. A vehicle parking space must have unobstructed access.
4. All vehicle parking spaces and drive aisles must have dimensions not less than those identified in Figure 2 of this Schedule.
5. Notwithstanding section 2.2.4, where:
 - (a) the vehicle parking space is associated with either a Single Family Dwelling or Two Family Dwelling use, and
 - (b) the vehicle parking space is accessed directly from a street,
the width of the adjacent street may be included towards the total width of the drive aisle provided.
6. One way vehicle access and egress through the parking area is required where:
 - (a) more than one vehicle parking space is provided in the parking area, and
 - (b) the vehicle parking spaces are not configured parallel or perpendicular to the drive aisle.
7. A vehicle parking space that abuts a structure on one side, such as a wall or column, must have a minimum width of 2.7m.
8. A vehicle parking space that abuts a structure on both sides, such as a wall or column, must have a minimum width of 3.0m.

9. Where a vehicle parking space or drive aisle is located underground or covered by a roof, a minimum unobstructed height clearance of 2.1m must be provided between the floor and ceiling.

Figure 2: Minimum Parking Space and Drive Aisle Dimensions (all measurements in metres)

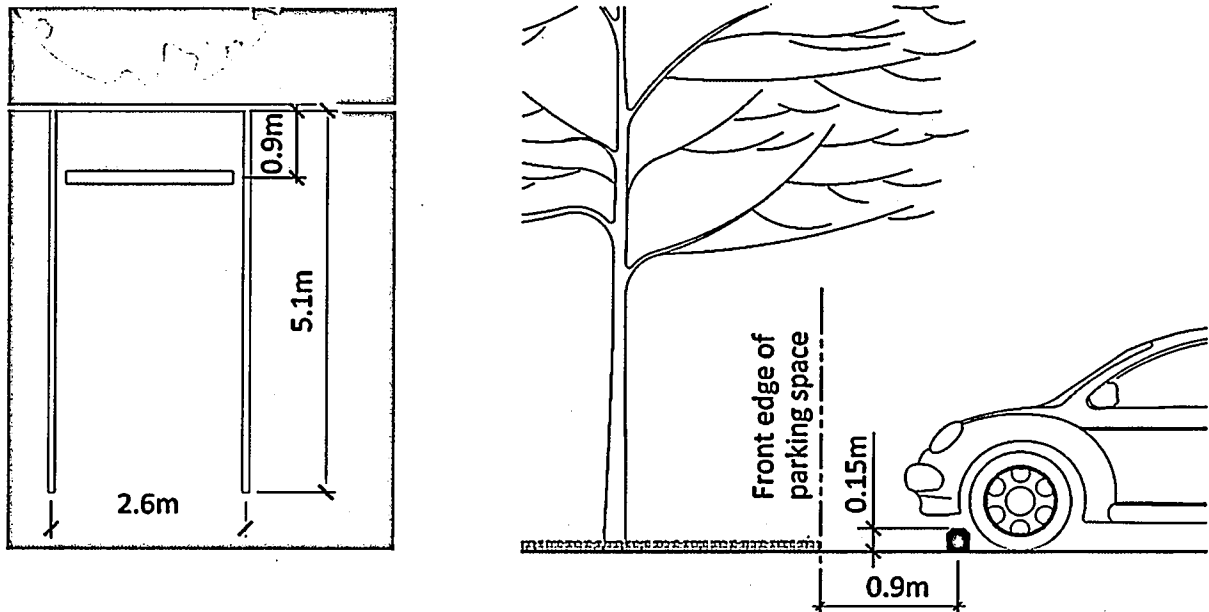


10. Vehicle parking is not permitted in the front yard of a lot except as follows:

- (a) Parking may be provided in the front yard of a lot where:
 - (i) the principal use of the lot is industrial or warehouse,
 - (ii) such parking is required to serve that use, and
 - (iii) the number of parking spaces in the front yard does not exceed the total amount of parking spaces required by this Bylaw;
- (b) Parking may be provided in the front yard of a property where:
 - (i) the principal use of the lot is commercial or institutional,
 - (ii) such parking is required to serve that use, and
 - (iii) the building on the lot existed on the date of adoption of the bylaw incorporating this Schedule;
- (c) A maximum of one parking space that meets the minimum dimensions described in this Schedule may be provided in the front yard of a property where the principal use of the lot is Single Family Dwelling; or
- (d) A maximum of two parking spaces that meet the minimum dimensions described in this Schedule may be provided in the front yard of a property where the principal use of the lot is Two Family Dwelling.

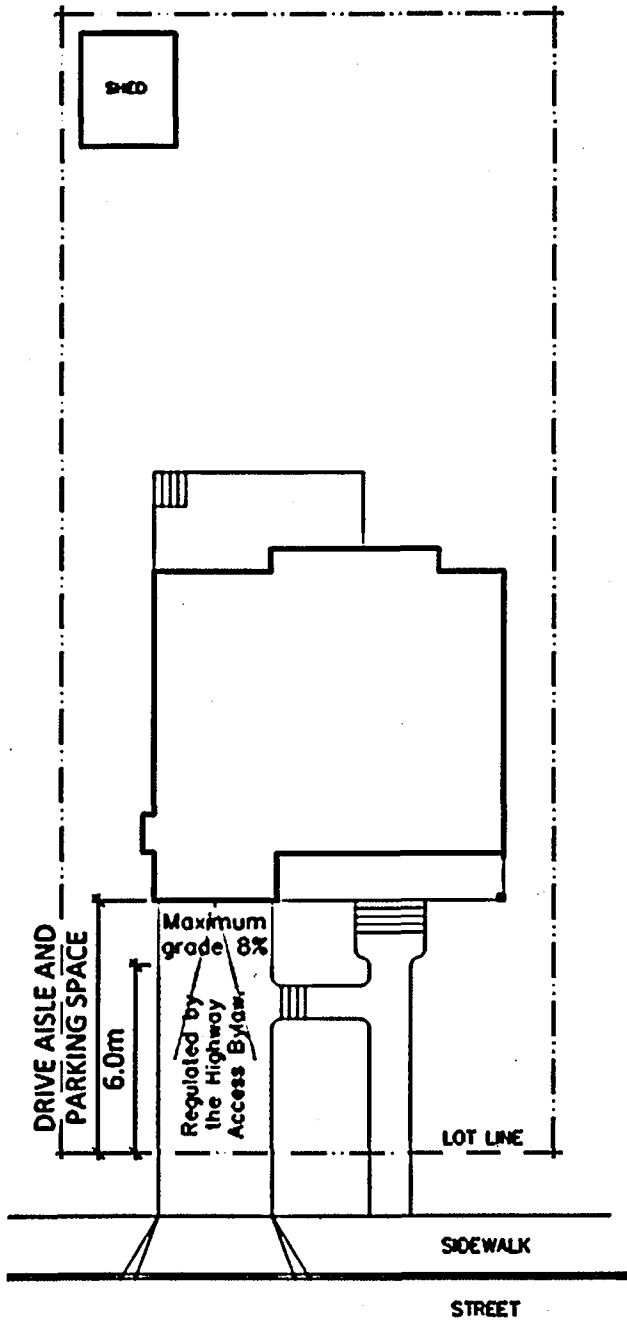
11. (a) An unenclosed surface vehicle parking space that abuts a pedestrian walkway or landscaped area without a barrier curb between the parking space and the pedestrian walkway or landscaped area must have a wheel stop centered horizontally within the parking space and placed 0.9m from the end of the parking space adjacent to the pedestrian walkway or landscaped area, in accordance with Figure 3 of this Schedule.
- (b) The requirements of subsection (a) do not apply to a parking space that satisfies at least one of the following conditions:
- (i) The parking space is configured parallel to the curb or drive aisle;
 - (ii) The parking space shares a common front boundary with another parking space;
or
 - (iii) The parking space is associated with either a Single Family Dwelling or Two Family Dwelling use.
- (c) Where a wheel stop is provided pursuant to subsection (a), the portion of the parking space between the wheel stop and the front edge of the parking space, as marked in Figure 3, is exempt from the requirements of section 2.1.2 and may be surfaced with permeable material or landscaping, provided that no landscaping exceed 0.15m in height.

Figure 3: Required Wheel Stop Placement

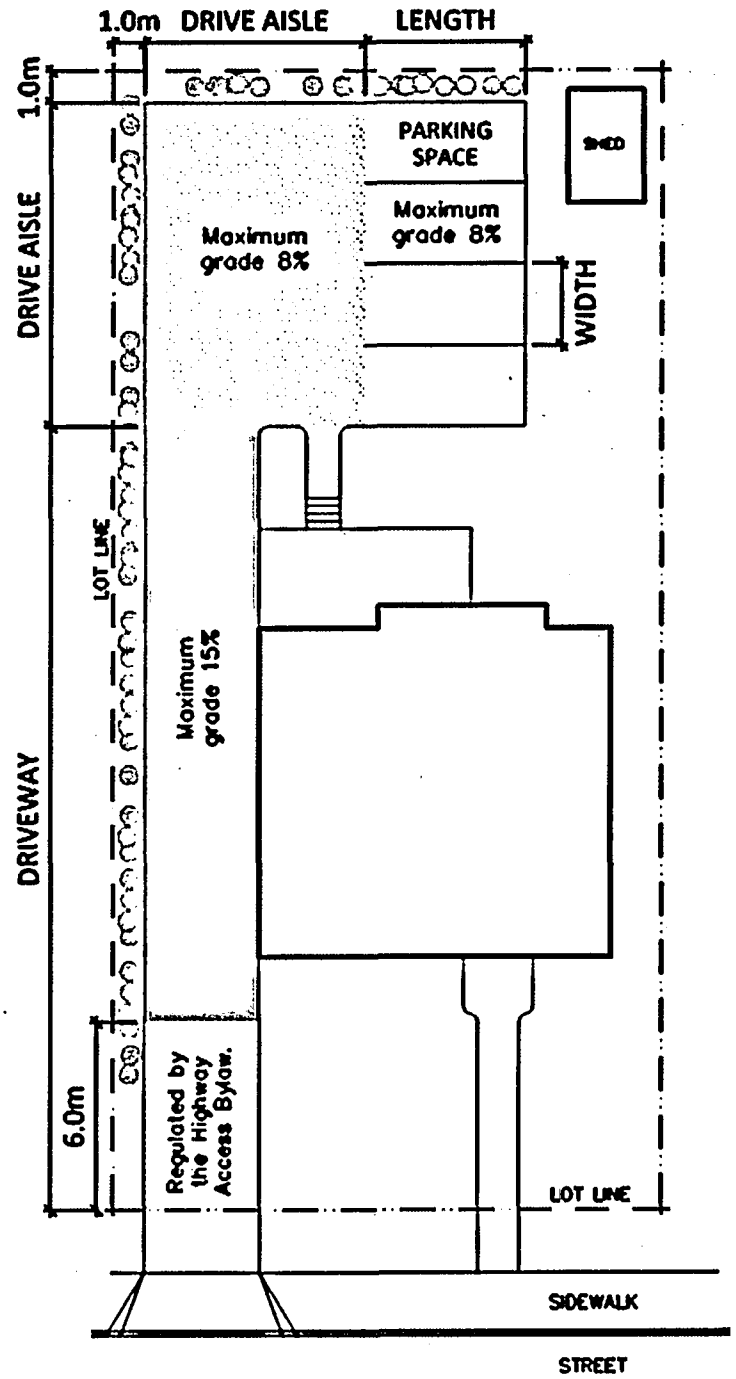


12. (a) Where a drive aisle or parking space is located within 6.0m of a street boundary it must comply with applicable grade requirements prescribed in this Schedule and the *Highway Access Bylaw*.
- (b) The maximum grade for a drive aisle or parking stall is 8%.
- (c) The maximum grade for a driveway is 15%.

Examples: Maximum Grades for Parking Areas



Typical single family dwelling configuration

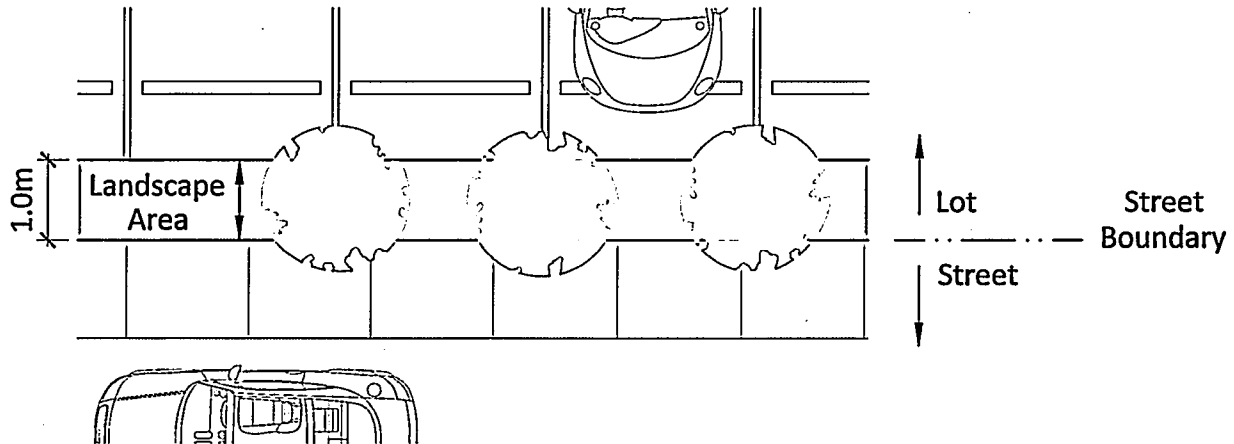


Typical multiple dwelling configuration

2.3 Vehicular Parking Landscaping and Screening

1. If a surface vehicular parking area or vehicle parking space is located adjacent to a street, it must include a soft landscaped area, with a minimum width of 1.0m between the parking area or parking space and the street boundary.

Example: Minimum Landscape Area Adjacent to a Street Boundary



2. A surface vehicular parking area or surface vehicle parking space must include:
 - (a) continuous soft landscape areas with a minimum width of 1.0m, and
 - (b) a continuous landscape screenbetween the parking area or parking space and any adjacent lot used primarily for residential purposes, excluding the area where landscaping is prohibited pursuant to the *Highway Access Bylaw*.
3. The requirements of sections 2.3.1 and 2.3.2 do not apply where the principal use of the lot is Single Family Dwelling or Two Family Dwelling.
4. Where thirty (30) or more vehicular parking spaces are provided on a lot as surface parking, a minimum of 10% of the parking area must be soft landscaped.

3. Bicycle Parking

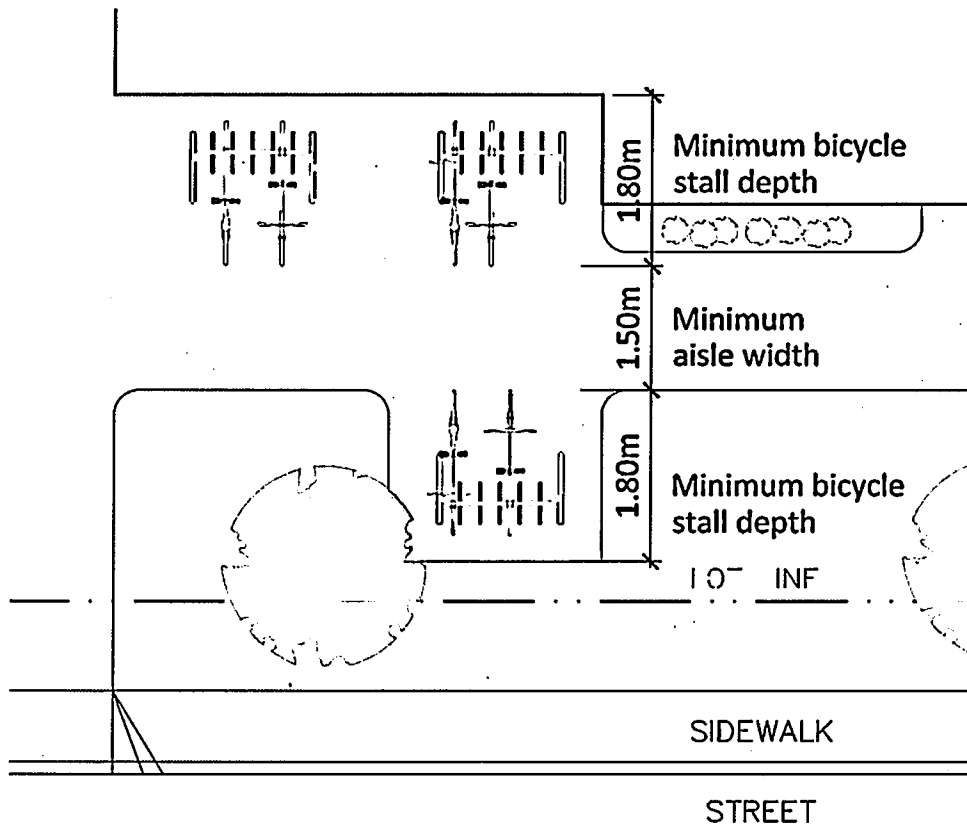
3.1 Bicycle Parking Specifications

1. All bicycle parking spaces required under this Bylaw must be provided on the same lot as the building or use which they serve.
2. (a) Each short term bicycle parking space required under this Bylaw must be:
 - (i) designed and installed to the minimum dimensions shown in Table 3 of this Schedule; and
 - (ii) provided as a bicycle rack that is permanently anchored to the ground or a wall.
- (b) Each short term bicycle parking space required under this Bylaw in association with a residential use must be located a maximum of 15.0m from a building entrance that is accessible by visitors.
- (c) Each short term bicycle parking space required under this Bylaw in association with a commercial or institutional use must be located a maximum of 15.0m from a building entrance that is accessible by the public.
- (d) Each short term bicycle parking space required under this Bylaw in association with an industrial use must be located a maximum of 15.0m from the primary building entrance.

Table 3: Minimum Dimensions for Bicycle Parking (all minimum dimensions measured in metres)

	Ground Anchored Rack		Wall Mounted Rack	
	>45 degrees	≤45 degrees	>45 degrees	≤45 degrees
Angle of Rack (in an aerial perspective, measured from the plane of the nearest wall of a <u>building</u>)				
Minimum stall depth	1.8	1.45	1.2	1.2
Minimum aisle width	1.5	1.5	1.5	1.5
Minimum distance between bicycle racks	0.9	1.3	0.9	1.3
Minimum distance between bicycle racks and entrance door to bicycle storage facility	0.6	0.6	0.6	0.6

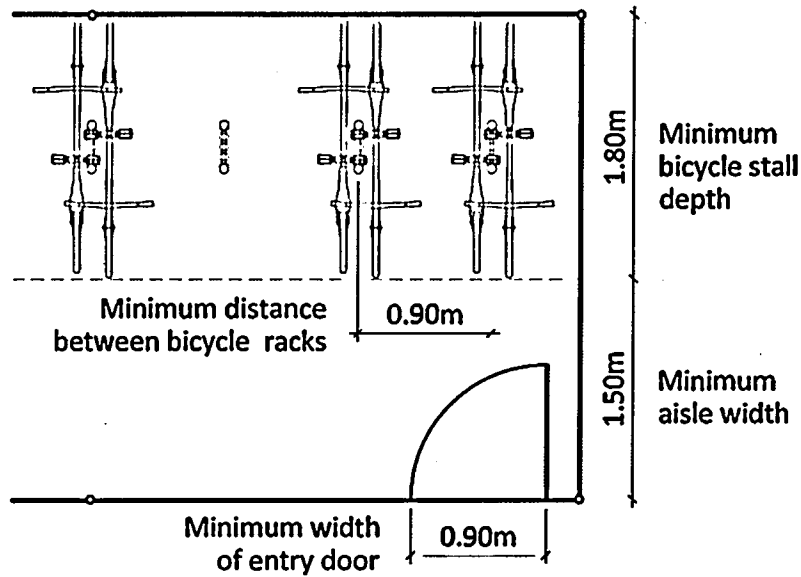
Examples: Short-Term Bicycle Parking Configuration



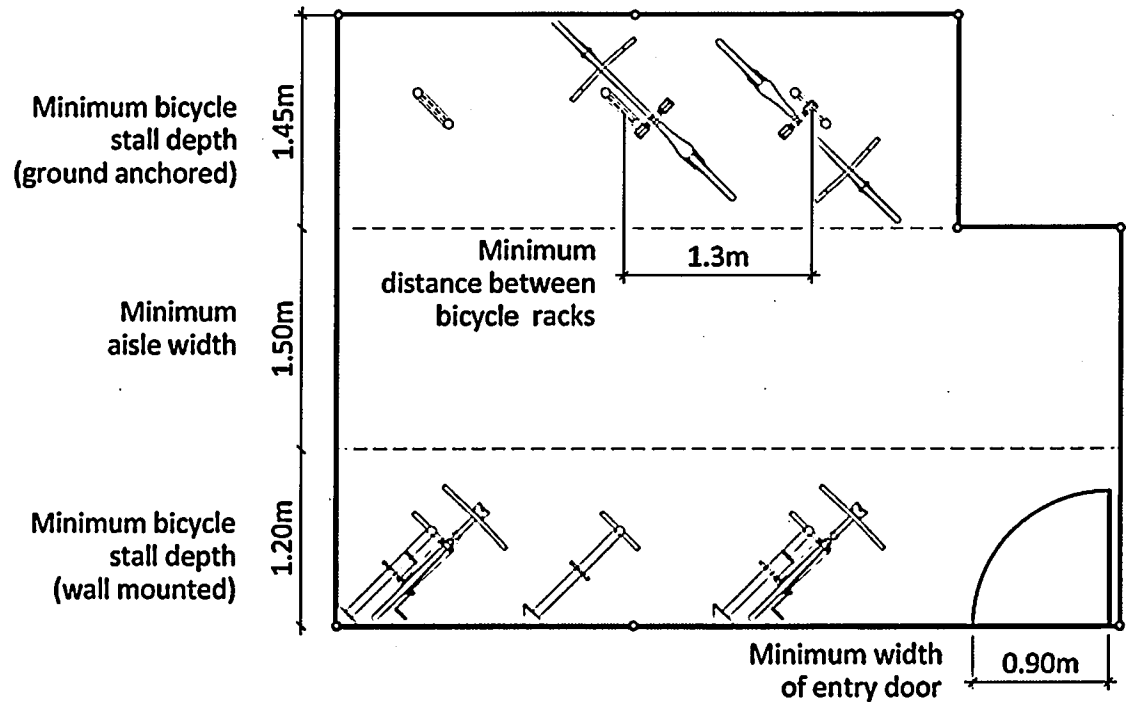
3. (a) Each long term bicycle parking space required under this Bylaw must:
 - (i) be designed and installed to the minimum dimensions shown in Table 3 of this Schedule;
 - (ii) be provided as a bicycle rack that is permanently anchored to the ground or a wall;
 - (iii) have a minimum unobstructed height clearance of 2.1m between the floor and ceiling;
 - (iv) be provided in a secure, weather-protected, dedicated bicycle parking facility accessible to residents, employees or other identified users of the building;
 - (v) be located in a bicycle parking facility accessible through an entry door with a minimum width of 0.9m; and
 - (vi) be located within one floor of finished grade and, if accessed by a stairwell only, the stairwell must include a ramp for bicycles.
- (b) At least half of the long term bicycle parking spaces required under this Bylaw must be ground anchored.

Examples: Long-term Bicycle Parking Configurations

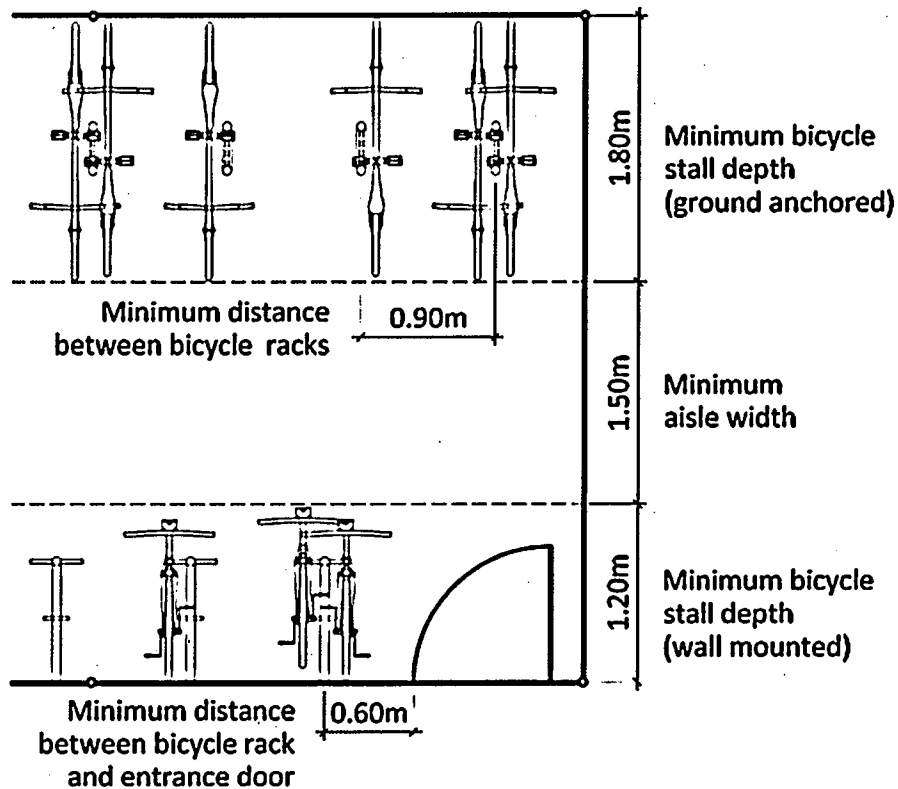
**Bicycle parking room with
90° ground anchored racks**



**Bicycle parking room with 45° angled ground
anchored and wall mounted racks**



**Bicycle parking room with 90° ground
anchored and wall mounted racks**



3.2 Bicycle Parking Exemptions

1. Notwithstanding section 1.2.2, short term bicycle parking spaces are not required to be provided where the siting of a building existing on the date of adoption of the bylaw incorporating this Schedule physically prohibits such spaces from being provided on a lot in accordance with this Bylaw.
2. Notwithstanding section 1.2.2, no additional short term or long term bicycle parking spaces are required to be provided where any additions, alterations or changes of use to a building existing on the date of adoption of the bylaw incorporating this Schedule would, in total, result in an increase of less than 10% of the number of spaces required before the additions, alterations or change in use.