

**ATTACHMENT B – DRAFT OFF-STREET PARKING REGULATIONS (ZONING BYLAW
2017)**

5.1 Off-Street Parking Regulations

1. Parking Requirements

1.1 Interpretation

1. The minimum number of parking spaces required for each use must be calculated to the nearest whole number.
2. Where a **Building** contains more than one use, the total number of parking spaces required shall be the sum of the number of parking spaces required for each use, calculated separately.

Example: Calculating Vehicular Parking Requirements

Type of Building or Use	Units/Floor Area	Parking Required	Visitor Parking Required	Total Parking Required
Multi-Residential, Condominium	14 units greater than 70m ² in the Downtown Area	14 x 1.2 = 16.8 (16.8 → 17)	14 x 0.1 = 1.4 (1.4 → 1)	17 + 1 = 18

Total Vehicular Parking Spaces Required

18

3. If a use is not specifically listed in Table 1 or Table 2 of this Part, the number of parking spaces required shall be calculated on the basis of a use or class of use that is most similar to the actual use, based on parking demand characteristics.
4. Unless otherwise stated, all references to "**Floor Area**" in this Schedule shall be calculated as gross floor area.

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1.2 Required Vehicle and Bicycle Parking Spaces

1. The owner or occupier of any land or of any **Building** or other structure must provide off-street vehicular parking spaces in accordance with Table 1 of this Schedule and calculated in accordance with section 1.1 of this Part.

Table 1: Minimum Number of Required Vehicular Parking Spaces

Use or Class of Use	Minimum Number of Parking Spaces per Dwelling Unit		Minimum Number of Visitor Parking Spaces per Dwelling Unit
Residential	Dwelling Unit Floor Area		
Condominium (dwelling unit in a building owned by a Strata Corporation)	< 40m ²	0.65	0.1
	40m ² to 70m ²	0.80	
	> 70m ²	1.20	
Apartment (dwelling unit secured as rental in perpetuity through a legal agreement)	< 40m ²	0.50	0.1
	40m ² to 70m ²	0.60	
	> 70m ²	1.00	
Affordable (affordable dwelling units secured in perpetuity through a legal agreement)	< 40m ²	0.20	0.1
	40m ² to 70m ²	0.50	
	> 70m ²	0.75	
Assisted Living Facility	-	0.35	0.1
Use or Class of Use	Minimum Number of Parking Spaces per Dwelling Unit		Minimum Number of Visitor Parking spaces per Dwelling Unit
Commercial			
Hotel	0.25 spaces per room		-

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2. The owner or occupier of any land or of any **Building** or other structure must provide off-street bicycle parking spaces in accordance with Table 2 of this Part and calculated in accordance with section 1.1 of this Part.

Table 2: Minimum Number of Required Bicycle Parking Spaces

Use or Class of Use	Minimum Number of Long Term Bicycle Parking Spaces		Minimum Number of Short Term Bicycle Parking Spaces
Residential	Dwelling Unit Floor Area		
Condominium (Dwelling unit in a Building owned by a Strata Corporation)	< 40m ²	1 per unit	0.20 spaces per unit
	≥ 40m ²	1.25 per unit	0.20 spaces per unit
Apartment (Dwelling unit secured as rental in perpetuity through a legal agreement)	< 40m ²	1 per unit	0.20 spaces per unit
	≥ 40m ²	1.25 per unit	0.20 spaces per unit
Affordable (Affordable Dwelling units secured in perpetuity through a legal agreement)	< 40m ²	1 per unit	0.20 spaces per unit
	≥ 40m ²	1.25 per unit	0.20 spaces per unit
Assisted Living Facility	1 space per 20 units		1 space per 50 units
Commercial			
Brew Pub, Distillery and Winery	1 space per 200m ²		1 space per 200m ²
Drinking Establishment	1 space per 200m ²		1 space per 200m ²
Equipment Rental	1 space per 200m ²		1 space per 200m ²
Financial Service	1 space per 200m ²		1 space per 200m ²
Food and Beverage Service	1 space per 200m ²		1 space per 200m ²
Hotel	1 space per 25 rooms		1 space per 40 rooms
Office	1 space per 200m ²		1 space per 200m ²
Personal Service	1 space per 200m ²		1 space per 200m ²
Retail Liquor Sale	1 space per 200m ²		1 space per 200m ²
Retail Trade	1 space per 200m ²		1 space per 200m ²
Storefront Cannabis Retailer	1 space per 200m ²		1 space per 200m ²
Institutional			
Assembly	-		1 space per 200m ²
Civic Facility	1 space per 400m ²		1 space per 400m ²
Cultural Facility	1 space per 450m ²		1 space per 130m ²
Care Facility	1 space per 700m ²		1 space per 200m ²

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2. Vehicular Parking Specifications

2.1 Vehicular Parking Appearance

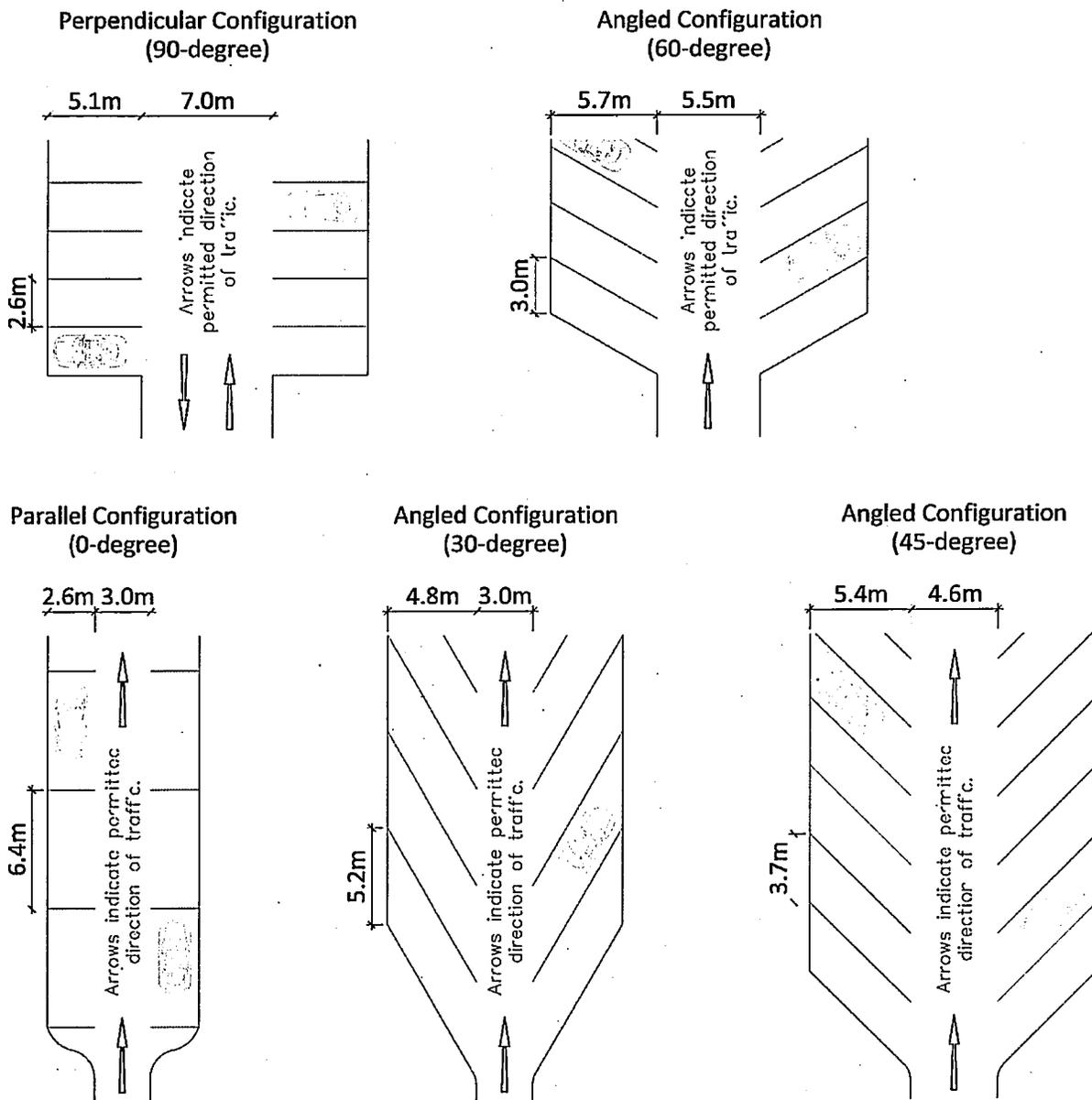
1. Each vehicle parking space must be clearly delineated on the parking surface.
2. Each visitor vehicle parking space required under this Bylaw must be clearly identified for the sole use of visitors.

2.2 Vehicular Parking Location and Dimensions

1. All vehicle parking spaces required under this Bylaw must be provided on the same **Lot** as the **Building** or use which they serve.
2. A vehicle parking space must have **Unobstructed access**.
3. All vehicle parking spaces and **Drive aisles** must have dimensions not less than those identified in Figure 2 of this Schedule.

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Figure 2: Minimum Parking Space and Drive Aisle Dimensions (all measurements in metres)



4. One way access and egress through the parking area is required where:
 - (a) more than one vehicle parking space is provided in the parking area, and
 - (b) the vehicle parking spaces are not configured parallel or perpendicular to the drive aisle.
5. A vehicle parking space that abuts a structure on one side, such as a wall or column, must have a minimum width of 2.7m.
6. A vehicle parking space that abuts a structure on both sides, such as a wall or column, must have a minimum width of 3.0m.

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7. Where a vehicle parking space or **drive aisle** is located underground or covered by a roof, a minimum unobstructed height clearance of 2.1m must be provided between the floor and ceiling.
8. (a) Where a **Drive aisle** or parking space is located within 6.0m of a **Street Boundary** it must comply with applicable grade requirements prescribed in this Schedule and the *Highway Access Bylaw*.
- (b) The maximum grade for a **Drive Aisle** or parking stall is 8%.
- (c) The maximum grade for a **Driveway** is 15%.

3. Bicycle Parking

3.1 Bicycle Parking Specifications

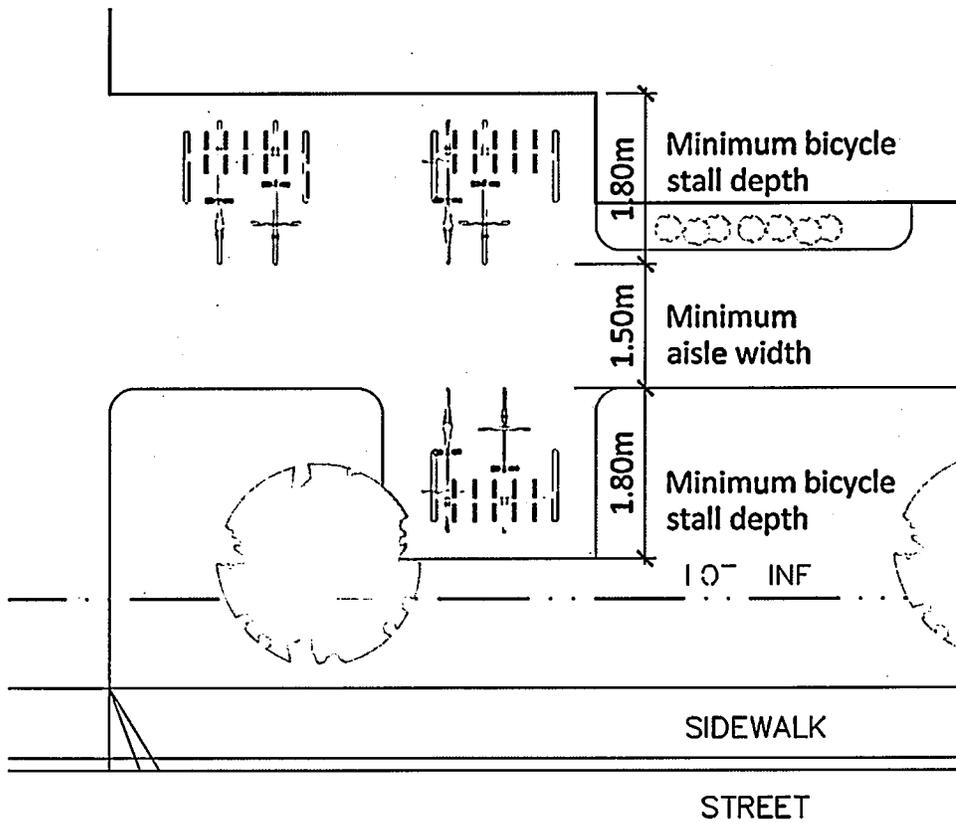
1. All bicycle parking spaces required under this Bylaw must be provided on the same **Lot** as the building or use which they serve.
2. (a) Each short term bicycle parking space required under this Bylaw must be:
 - (i) designed and installed to the minimum dimensions shown in Table 3 of this Schedule; and
 - (ii) provided as a bicycle rack that is permanently anchored to the ground or a wall.
- (b) Each short term bicycle parking space required under this Bylaw in association with a residential use must be located a maximum of 15.0m from a **Building** entrance that is accessible by visitors.
- (c) Each short term bicycle parking space required under this Bylaw in association with a commercial or institutional use must be located a maximum of 15.0m from a **Building** entrance that is accessible by the public.
- (d) Each short term bicycle parking space required under this Bylaw in association with an industrial use must be located a maximum of 15.0m from the primary **Building** entrance.

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Table 3: Minimum Dimensions for Bicycle Parking (all minimum dimensions measured in metres)

	Ground Anchored Rack		Wall Mounted Rack	
	>45 degrees	≤45 degrees	>45 degrees	≤45 degrees
Angle of Rack (in an aerial perspective, measured from the plane of the nearest wall of a Building)				
Minimum stall depth	1.8	1.45	1.2	1.2
Minimum aisle width	1.5	1.5	1.5	1.5
Minimum distance between bicycle racks	0.9	1.3	0.9	1.3
Minimum distance between bicycle racks and entrance door to bicycle storage facility	0.6	0.6	0.6	0.6

Examples: Short-Term Bicycle Parking Configuration



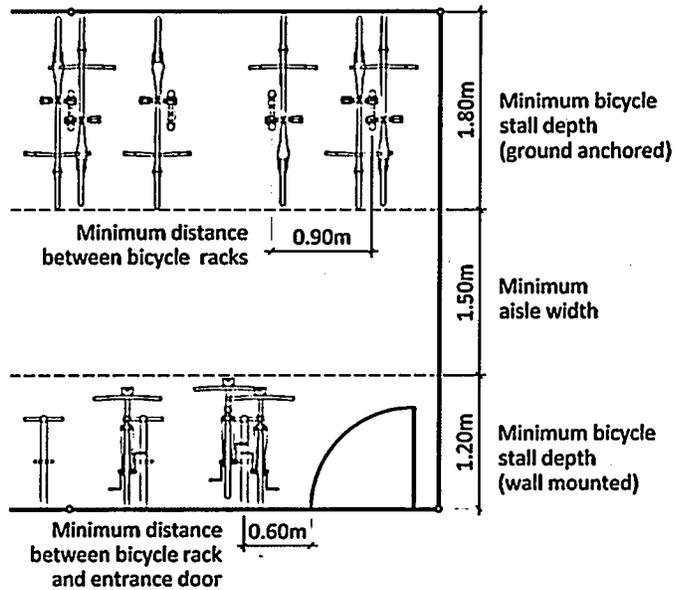
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3. (a) Each long term bicycle parking space required under this Bylaw must:
 - (i) be designed and installed to the minimum dimensions shown in Table 3 of this Schedule;
 - (ii) be provided as a bicycle rack that is permanently anchored to the ground or a wall;
 - (iii) have a minimum unobstructed height clearance of 2.1m between the floor and ceiling;
 - (iv) be provided in a secure, weather-protected, dedicated bicycle parking facility accessible to residents, employees or other identified users of the **Building**;
 - (v) be located in a bicycle parking facility accessible through an entry door with a minimum width of 0.9m; and
 - (vi) be located within one floor of **Finished Grade** and, if accessed by a stairwell only, the stairwell must include a ramp for bicycles.
- (b) At least half of the long term bicycle parking spaces required under this Bylaw must be ground anchored.

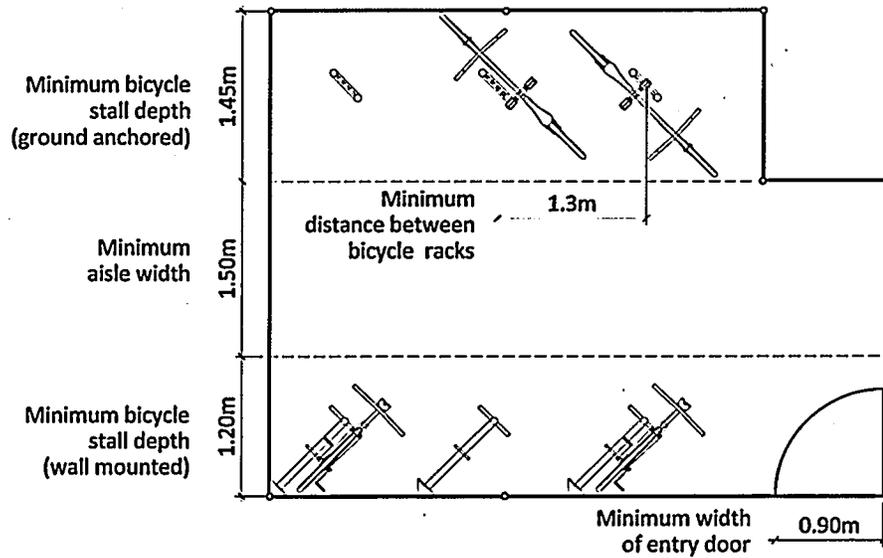
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Examples: Long-term Bicycle Parking Configurations

Bicycle parking room with 90° ground anchored and wall mounted racks



Bicycle parking room with 45° angled ground anchored and wall mounted racks



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3.2 Bicycle Parking Exemptions

1. Notwithstanding section 1.2.2, short term bicycle parking spaces are not required to be provided where the siting of a **Building** existing on the date of adoption of the bylaw incorporating this Schedule physically prohibits such spaces from being provided on a **Lot** in accordance with this Bylaw.
2. Notwithstanding section 1.2.2, no additional short term or long term bicycle parking spaces are required to be provided where any additions, alterations or changes of use to a **Building** existing on the date of adoption of the bylaw incorporating this Schedule would, in total, result in an increase of less than 10% of the number of spaces required before the additions, alterations or change in use.