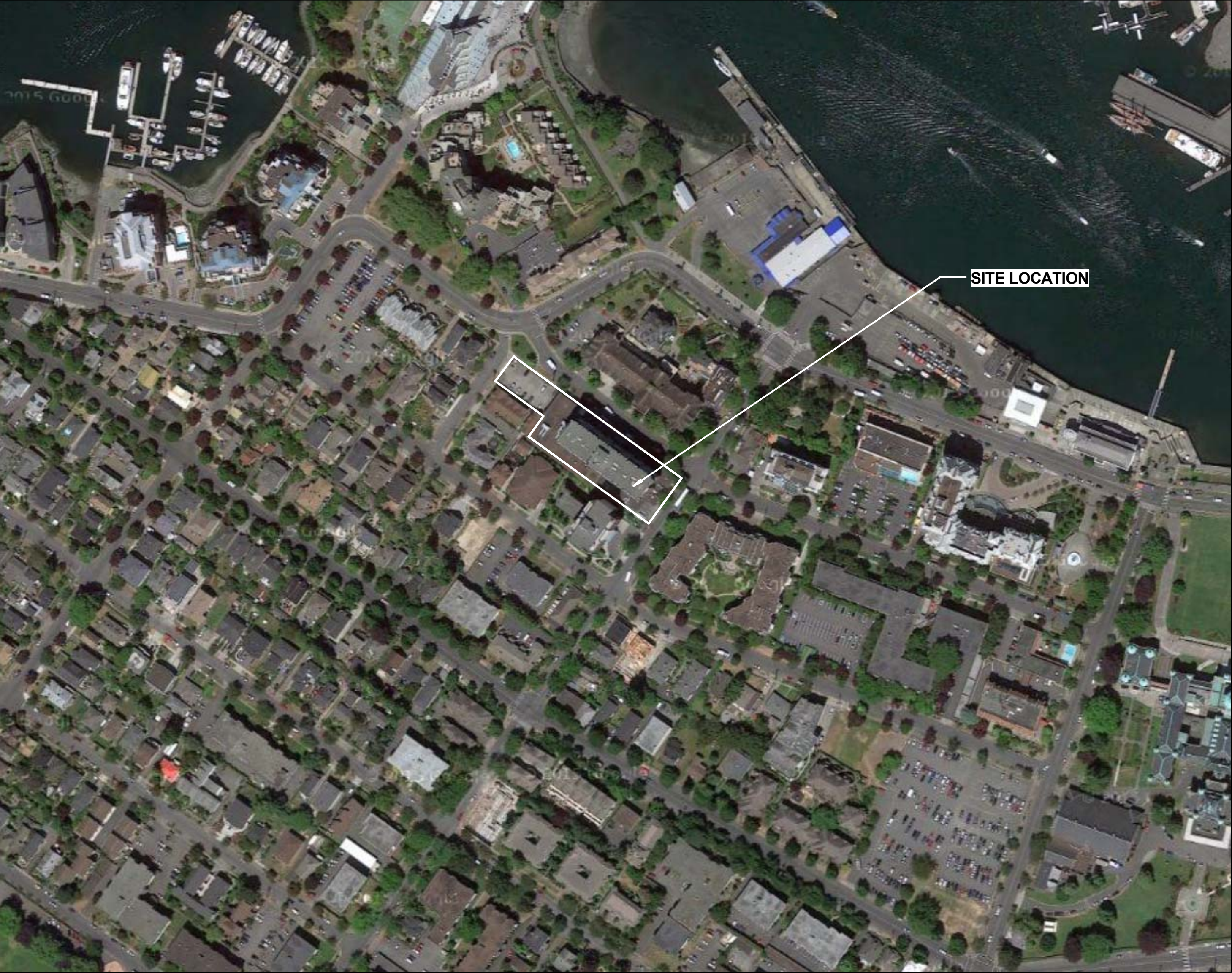


LOCATION PLAN



DRAWING LIST - ARCHITECTURAL

- A0.0.0 COVER PAGE
- A0.0.1 PROJECT INFORMATION
- A1.0.0 SITE SURVEY
- A1.0.1 SITE PLAN
- A2.0.4 GROUND FLOOR DEMOLITION PLAN
- A2.0.5 SECOND FLOOR DEMOLITION PLAN
- A2.1.1 PARKING FLOOR PLANS - PENDRAY ST. LOT
- A2.1.2 PARKING LEVEL P3 & P4 FLOOR PLANS
- A2.1.3 PARKING LEVEL P1 & P2 FLOOR PLANS
- A2.1.4 GROUND FLOOR PLAN
- A2.1.5 SECOND FLOOR PLAN
- A2.1.6 3RD - 5TH FLOOR PLANS
- A2.1.7 6TH - 11TH FLOOR PLANS
- A2.1.8 12TH & 13TH FLOOR PLANS
- A2.1.9 ROOF PLAN
- A4.1.1 BUILDING ELEVATIONS - PROPOSED
- A4.1.2 BUILDING ELEVATIONS - PROPOSED
- A4.1.3 BUILDING ELEVATIONS - PROPOSED
- A4.1.4 BUILDING ELEVATIONS - PROPOSED
- A4.1.5 BUILDING ELEVATIONS - PROPOSED
- A4.2.1 ENLARGED ELEVATIONS - PROPOSED
- A4.2.2 ENLARGED ELEVATIONS - PROPOSED
- A5.1.1 BUILDING SECTIONS
- A5.1.2 BUILDING SECTIONS
- A5.1.3 BUILDING SECTIONS
- A5.1.4 BUILDING SECTIONS
- A8.0.1 3D BUILDING ISOMETRIC ELEVATIONS

DRAWING LIST - LANDSCAPE

- L1 LANDSCAPE PLAN

DRAWING LIST - STRUCTURAL

- S2.0.5 SECOND FLOOR STRUCTURAL DEMOLITION PLAN
- S2.0.6 THIRD FLOOR STRUCTURAL DEMOLITION PLAN

PROJECT DATA

PROJECT NAME / ADDRESS:

HARBOUR TOWERS
345 QUEBEC ST.
VICTORIA, BC V8V 1W4

APPLICABLE CODES:

2012 BRITISH COLUMBIA BUILDING CODE
ZONING REGULATION BY-LAW (NO. 80-159)

GOVERNING BODIES:

CITY OF VICTORIA

LEGAL DESCRIPTION:

LOT A OF LOTS 926 - 930, 945 & 954, VICTORIA CITY, PLAN 24914
PID: 002-836-271

ZONING:

NEW ZONE - EXISTING ZONING REQUIREMENTS AS PER T-1 (LIMITED TRANSIENT ACCOMMODATION DISTRICT)	REQUIRED: 1,850 S.M. MIN.	PROPOSED: 3,993.80 S.M. 3,186.77 S.M. (EXISTING) 2,658.80 S.M. (PROPOSED)
LOT SIZE		
BUILDING FOOTPRINT:		
MAXIMUM SITE COVERAGE:	20% (>6 STOREYS)	79.82% (EXISTING) 69.21% (PROPOSED)
OPEN SITE SPACE:	30.00%	1.95% (EXISTING) 14.92% (PROPOSED)
YARD SETBACK REQUIREMENTS:		
FRONT:	7.5 M. MIN.	0.1 M. (EXISTING)
SIDE:	7.5 M. MIN.	0.1 M. (EXISTING)
REAR:	7.5 M. MIN.	0.1 M. (EXISTING)
BUILDING HEIGHT:	21.5 M. MAX.	36.6 M. (EXISTING)

FLOOR AREA:

EXISTING FLOOR AREAS		PROPOSED FLOOR AREAS	
LEVEL P3 & P4 FLOOR AREA:	3,092.51 S.M.	LEVEL P3 & P4 FLOOR AREA:	3,092.51 S.M.
LEVEL P1 & P2 FLOOR AREA:	3,911.11 S.M.	LEVEL P1 & P2 FLOOR AREA:	3,911.11 S.M.
(INCL. PENDRAY BASEMENT LOT)		(INCL. PENDRAY BASEMENT LOT)	
GROUND FLOOR AREA:	3,145.35 S.M.	GROUND FLOOR AREA:	2,297.50 S.M.
2ND FLOOR AREA:	2,248.04 S.M.	2ND FLOOR AREA:	1,978.44 S.M.
3RD FLOOR AREA:	1,151.27 S.M.	3RD FLOOR AREA:	1,151.27 S.M.
4TH FLOOR AREA:	1,151.27 S.M.	4TH FLOOR AREA:	1,151.27 S.M.
5TH FLOOR AREA:	1,151.27 S.M.	5TH FLOOR AREA:	1,151.27 S.M.
6TH FLOOR AREA:	1,108.30 S.M.	6TH FLOOR AREA:	1,108.30 S.M.
7TH FLOOR AREA:	1,108.30 S.M.	7TH FLOOR AREA:	1,108.30 S.M.
8TH FLOOR AREA:	1,108.30 S.M.	8TH FLOOR AREA:	1,108.30 S.M.
9TH FLOOR AREA:	1,108.30 S.M.	9TH FLOOR AREA:	1,108.30 S.M.
10TH FLOOR AREA:	1,108.30 S.M.	10TH FLOOR AREA:	1,108.30 S.M.
11TH FLOOR AREA:	1,108.30 S.M.	11TH FLOOR AREA:	1,108.30 S.M.
12TH FLOOR AREA:	1,037.67 S.M.	12TH FLOOR AREA:	1,037.67 S.M.
13TH FLOOR AREA:	1,033.65 S.M.	13TH FLOOR AREA:	1,033.65 S.M.
GROSS FLOOR AREA:	24,571.94 S.M.	GROSS FLOOR AREA:	23,454.49 S.M.
ABOVE GRADE FLOOR AREA:	17,568.32 S.M.	ABOVE GRADE FLOOR AREA:	16,450.87 S.M.

FLOOR SPACE RATIO:

MAXIMUM FSR:	1.2 TO 1 (>6 STOREYS)
EXISTING FSR:	4.40
PROPOSED FSR:	4.12

VEHICLE PARKING:

RENTAL BUILDING REQUIREMENT:	1.4 SPACES FOR EACH SUITE
TOTAL PARKING REQUIRED:	307 PARKING STALLS
DISABLED PARKING ZONING REQ:	1 PER 100 PARKING STALLS (INCL. IN OVERALL COUNT)
LEVEL P1	EXISTING 34
LEVEL P2	PROPOSED 35
LEVEL P3	27
LEVEL P4	34
PENDRAY LOT - SURFACE	42
PENDRAY LOT - BASEMENT	24
TOTAL	177 STALLS

REFER TO PARKING REPORT FOR FURTHER INFORMATION

BICYCLE PARKING:

CLASS 1 BICYCLE REQUIREMENT:	MIN. ONE CLASS 1 SPACE FOR EACH SUITE
CLASS 2 BICYCLE REQUIREMENT:	MIN. SIX CLASS 2 SPACES (ONE BIKE RACK)
CLASS 1:	REQUIRED: 219
CLASS 2:	PROVIDED: 18

BREAKDOWN OF CLASS 1 PROVISION:
70% (154) OF CLASS 1 SPACES ARE HORIZONTAL
SIZE: 0.6m(w) x 1.8m(l) x 1.9m(h) OR 2'-0"w x 6'-0"l x 6'-3"h
30% (65) OF CLASS 1 SPACES ARE VERTICAL
SIZE: 0.6m(w) x 1.0m(l) x 1.9m(h) OR 2'-0"w x 3'-4"l x 6'-3"h
ACCESS AISLE SIZE: 1.2m(w) x 1.9m(h) OR 4'-0"w x 6'-3"h

RESIDENTIAL STORAGE:

MIN. 2.3 S.M. (25 S.F.) STORAGE REQUIRED FOR EACH SUITE
IN-SUITE STORAGE PROVIDED FOR 1 BED, 1.5 BED, 2 BED AND PENTHOUSE SUITES
SECURE STORAGE LOCKERS PROVIDED IN BASEMENT FOR STUDIO SUITES

CITY OF VICTORIA - REZONING - PROJECT INFORMATION TABLE	
ZONE (EXISTING)	T-1
PROPOSED ZONE OR SITE SPECIFIC ZONE	NEW
SITE AREA	3,993.80m²
TOTAL FLOOR AREA	23,454.49m²
COMMERCIAL FLOOR AREA	0m²
FLOOR SPACE RATIO	4.12
SITE COVERAGE	69.21%
OPEN SITE SPACE	14.92%
HEIGHT OF BUILDING	36.6m
NUMBER OF STOREYS	13
PARKING STALLS ON SITE	179
BICYCLE PARKING (CLASS 1)	219
BICYCLE PARKING (CLASS 2)	12
BUILDING SETBACKS	
FRONT YARD	0.1m
REAR YARD	0.1m
SIDE YARD WEST (OSWEGO STREET)	0.1m
SIDE YARD EAST (INTERIOR LOT LINE)	0.3m
COMBINED SIDE YARD	N/A
RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF UNITS	219
UNIT TYPE	STUDIO/1 BED/1.5 BED/2 BED/PENTHOUSE
GROUND-ORIENTED UNITS	23
MINIMUM UNIT FLOOR AREA	28m²
TOTAL RESIDENTIAL FLOOR AREA	16,450.87m²

SUITE MIX

345 Quebec St (Harbour Towers) - Suite Mix																																					
Current Date: December 13, 2016																																					
Residential																																					
	STUDIO										ONE BED										1.5 BED				TWO BED		PENTHOUSE										
Level / Suite Area: Gross, approximate	Suite A	Suite AA	Suite AB	Suite B	Suite C	Suite CA	Suite CB	Suite CC	Suite CD	Suite D	Suite DA	Suite E	Suite EA	Suite F	Suite G	Suite GA	Suite GB	Suite GC	Suite GD	Suite GE	Suite J	Suite JA	Suite JB	Suite L	Suite H	Suite HA	Suite PH1	Suite PH2	Suite PH3	Suite PH4	Suite PH5	Suite PH6	Total				
	28 sm	26 sm	27 sm	33 sm	27 sm	29 sm	30 sm	27 sm	29 sm	56 sm	58 sm	59 sm	55 sm	50 sm	42 sm	45 sm	46 sm	44 sm	52 sm	44 sm	62 sm	58 sm	63 sm	59 sm	80 sm	78 sm	114 sm	117 sm	105 sm	114 sm	111 sm	122 sm					
Ground Floor					3	1	2	1	1						8	1		1	1	2	1	5	1	1	3								29 suites				
2nd Floor		4	4		3	1	2	1	1	1		3		1	4	1	1																30 suites				
3rd Floor	20											2	2	1																			25 suites				
4th Floor												2	2	11																			15 suites				
5th Floor											2	2	11																				15 suites				
6th Floor				4									7												2	2							15 suites				
7th Floor				4								7													2	2							15 suites				
8th Floor				4								7													2	2							15 suites				
9th Floor				4								7													2	2							15 suites				
10th Floor				4								7													2	2							15 suites				
11th Floor				4								7													2	2							15 suites				
12th & 13th Flrs.																									2	2		2	5	4	1	1	15 suites				
Total Residential suites	20	4	4	24	6	2	4	2	2	7	6	26	42	1	12	2	2	1	2	1	5	1	1	3	12	12	2	2	5	4	1	1	219 suites				
Total per type					68										102							10			24				15								

OMICRON ARCHITECTURE ENGINEERING CONSTRUCTION LTD.

This drawing is a copyright instrument of service and remains the property of the Consultant. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be used or reproduced in any way without written permission. Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations.

All work shall conform to the latest editions of local Building Codes, jurisdictional codes and local ordinances. Drawing sheet numbers are prefixed as follows:
A = Architectural
S = Structural
M = Mechanical/HVAC
P = Plumbing
L = Landscape
C = Civil

permitted to executing the work. Discrepancies and variations shall be reported to the Consultant prior to commencing construction. In all cases, the latest issue of the drawing shall be used in the execution of the work. The Contractor shall ensure that all previous issues of this drawing are marked "Superseded" with reference to the latest issue, and used for reference purposes only.

PROJECT INFORMATION

Fifth Floor, Three Bentall Centre
595 Burrard Street
PO Box 49369 Vancouver, BC
V7X 1L4 CANADA
CONSULTANT

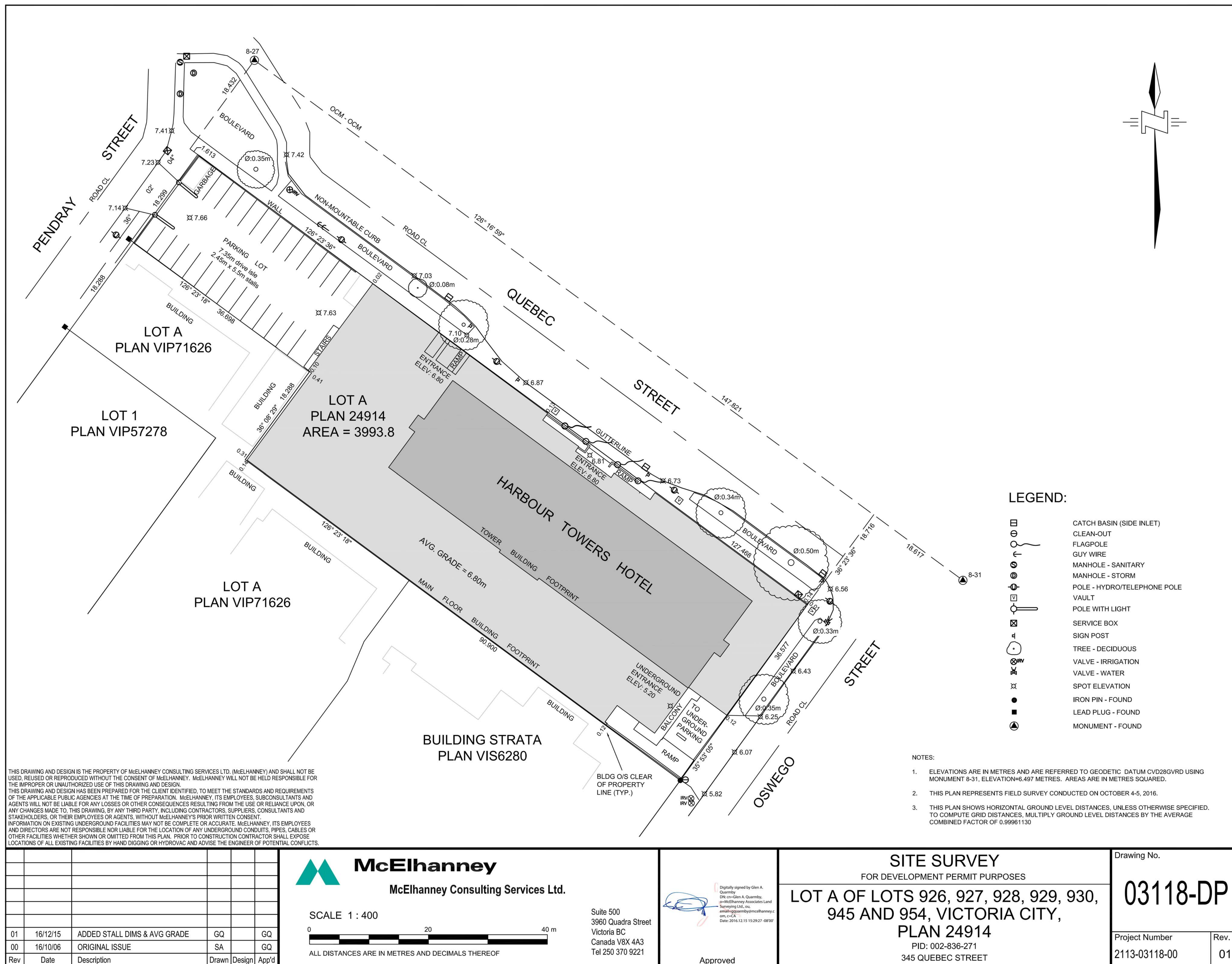
Toll-free 1 877 632 3350
T. 604 632 3350
F. 604 632 3351
www.omicronnaec.com

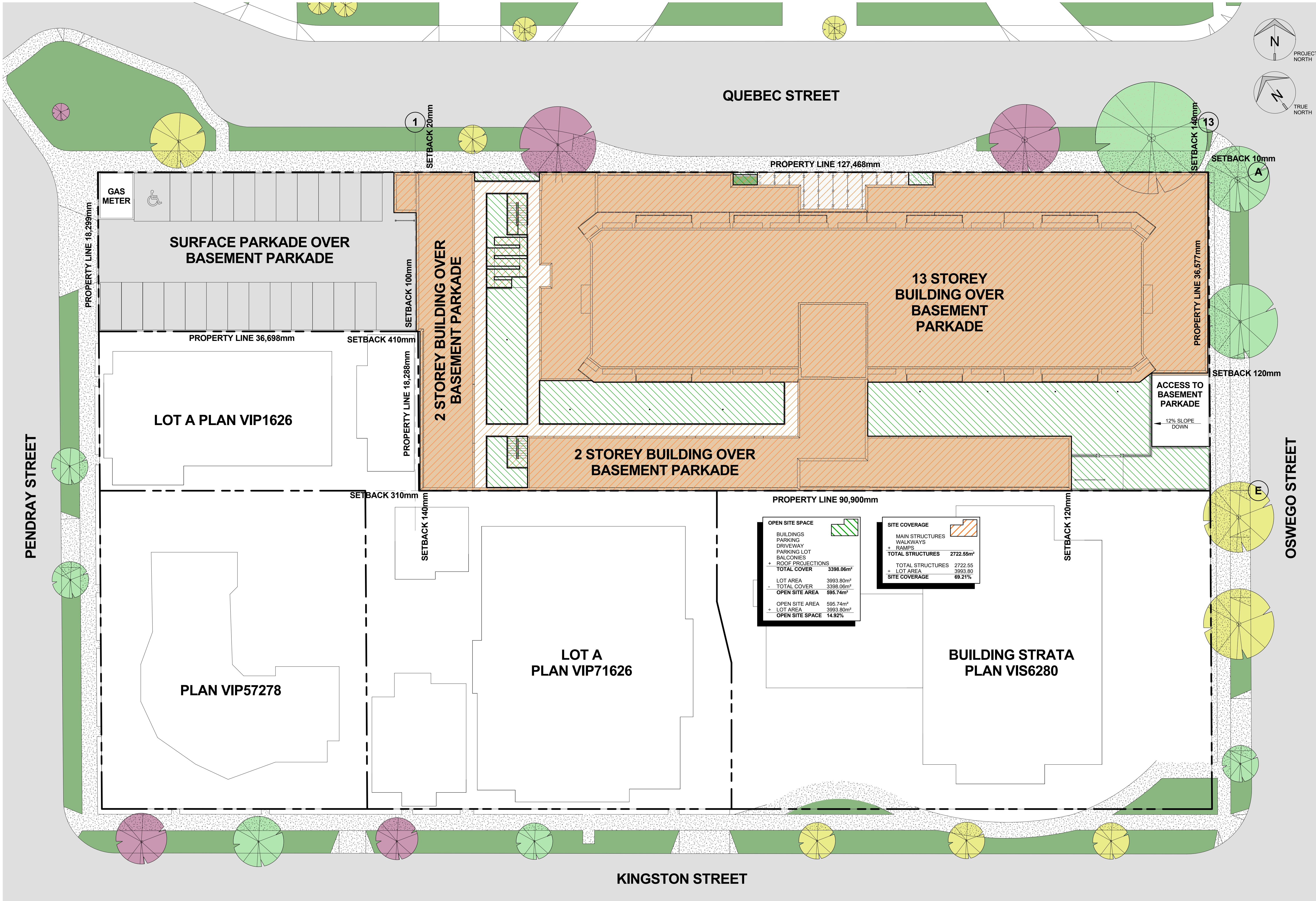
ISSUED	Date	Remarks
2016 DEC 13	2016 DEC 13	ISSUED FOR D.P. / REZONING
2017 FEB 07	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
2017 JUN 05	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING

HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

A0.0.1





ISSUED	Date	Remarks
2016 DEC 13	2016 DEC 13	ISSUED FOR D.P. / REZONING
2017 FEB 07	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
2017 JUN 05	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING

OPEN SITE SPACE	
BUILDINGS	
PARKING	
DRIVEWAY	
PARKING LOT	
BALCONIES	
+ ROOF PROJECTIONS	
TOTAL COVER	3398.06m ²
LOT AREA	3993.80m ²
- TOTAL COVER	3398.06m ²
OPEN SITE AREA	595.74m ²
OPEN SITE AREA	595.74m ²
- LOT AREA	3993.80m ²
OPEN SITE SPACE	14.92%

SITE COVERAGE	
MAIN STRUCTURES	
WALKWAYS	
+ RAMPS	
TOTAL STRUCTURES	2722.55m ²
LOT AREA	3993.80m ²
SITE COVERAGE	69.21%

ISSUED	Date	Remarks
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	

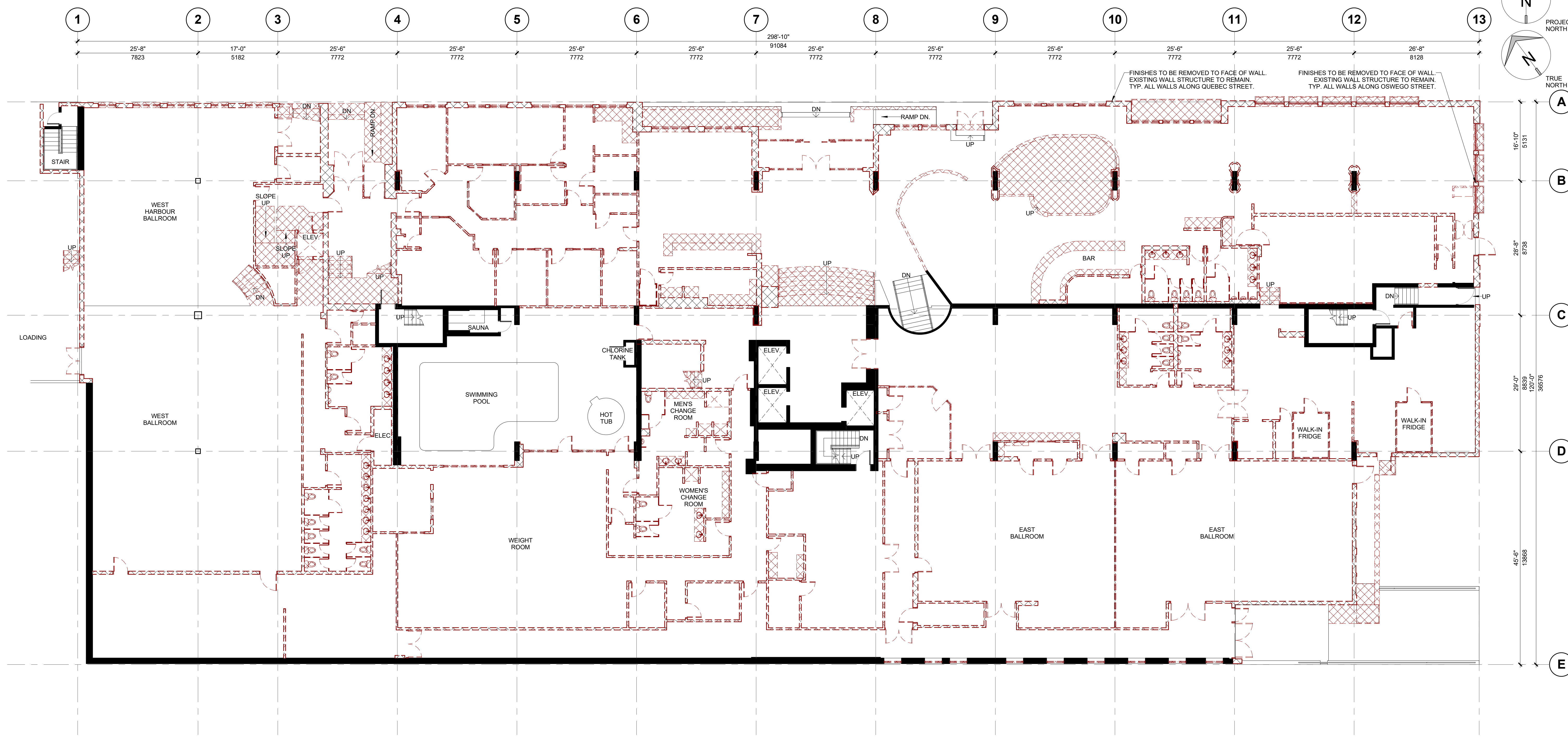
HARBOUR TOWERS LIMITED
PARTNERSHIP

HARBOUR TOWERS
RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM

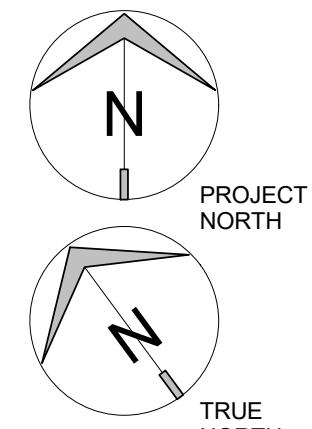
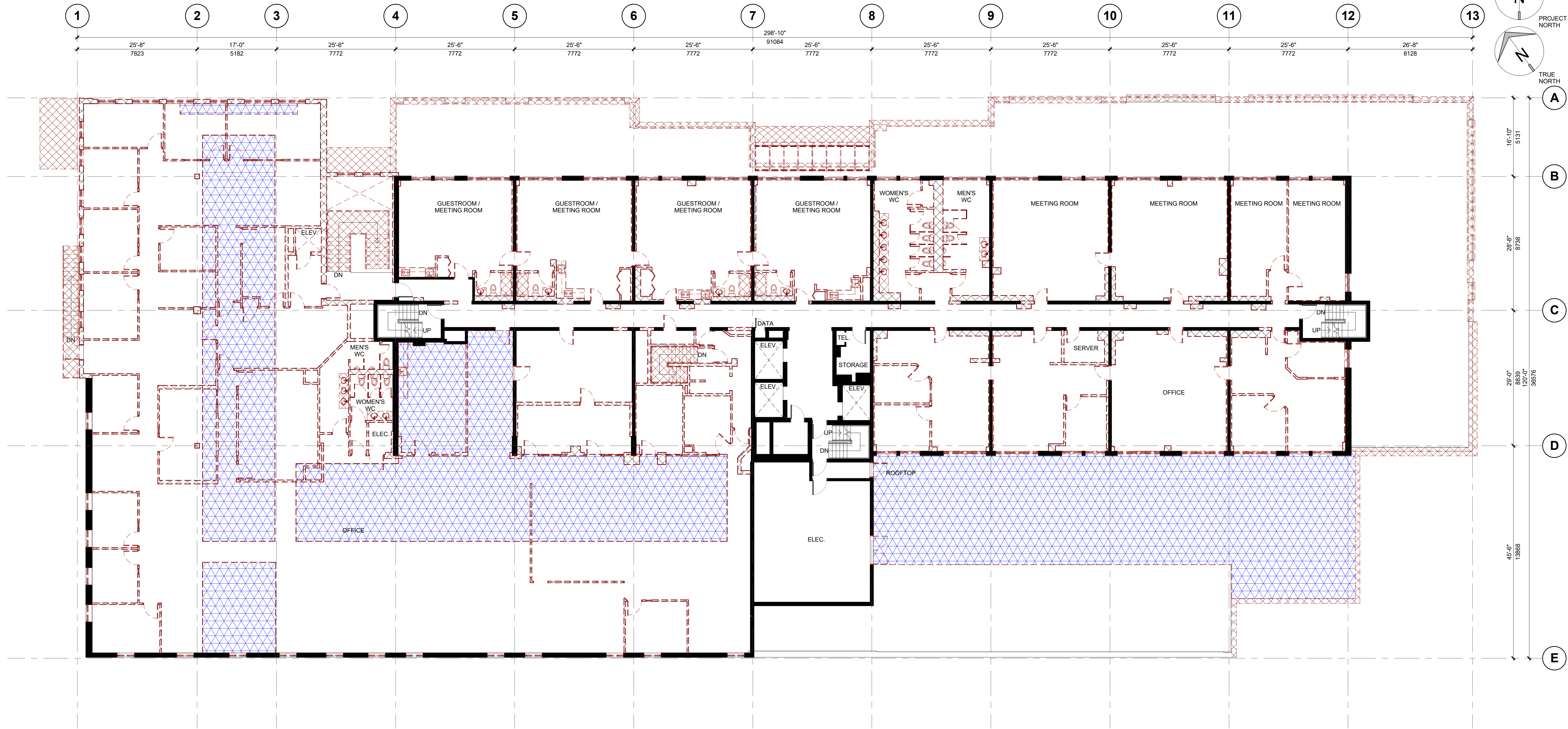
Project Number 10 16 040



1 GROUND FLOOR DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

DEMOLITION LEGEND

- DENOTES WALL/PARTITION OR FINISHES TO BE REMOVED
- DENOTES STRUCTURE TO BE REMOVED
- DENOTES WALL/PARTITION TO BE RETAINED
- DENOTES DOOR, FRAME AND HARDWARE TO BE REMOVED
- DENOTES DOOR, FRAME AND HARDWARE TO BE RETAINED



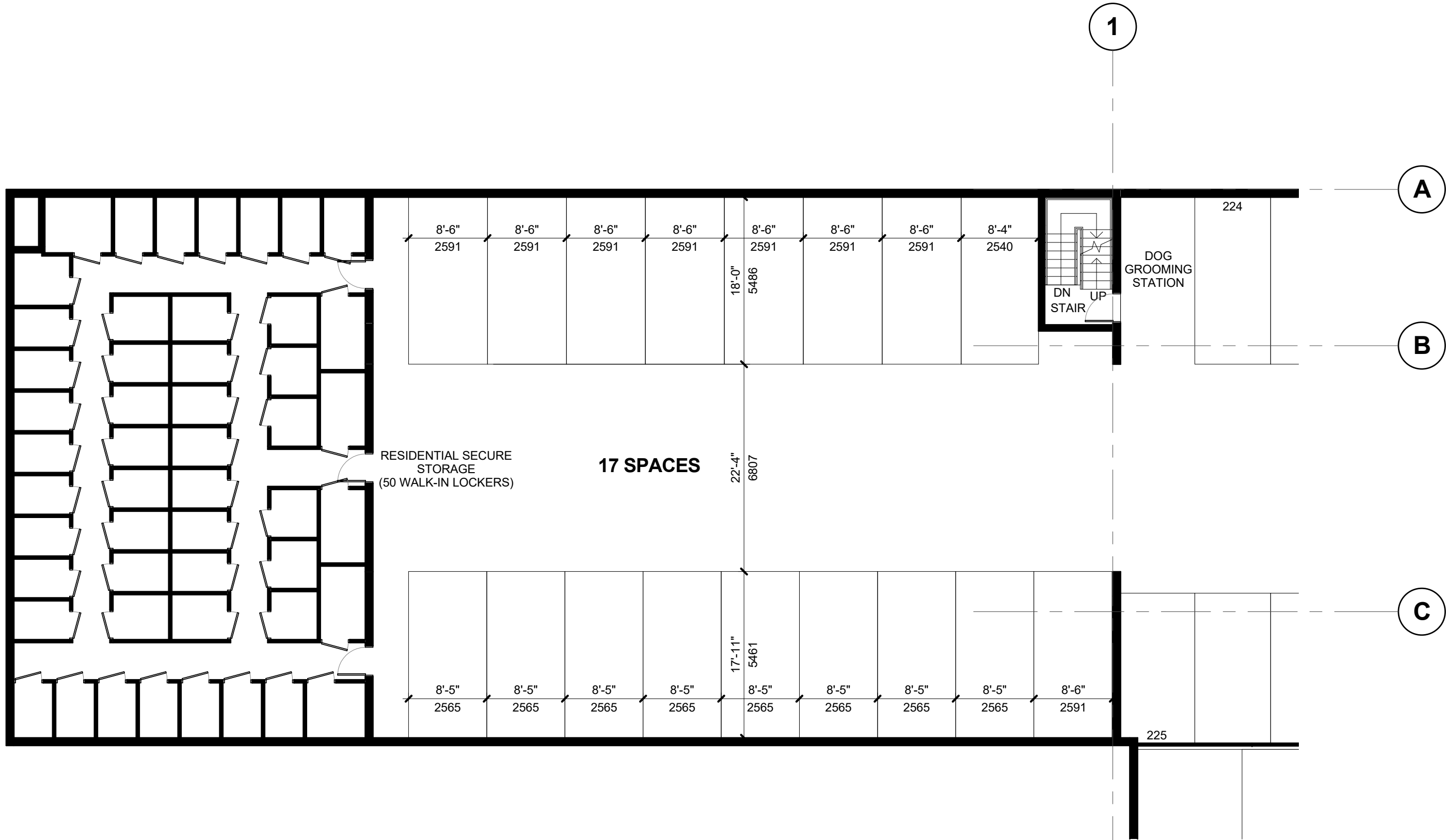
ISSUED	Date	Remarks
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	

1 2ND FLOOR DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

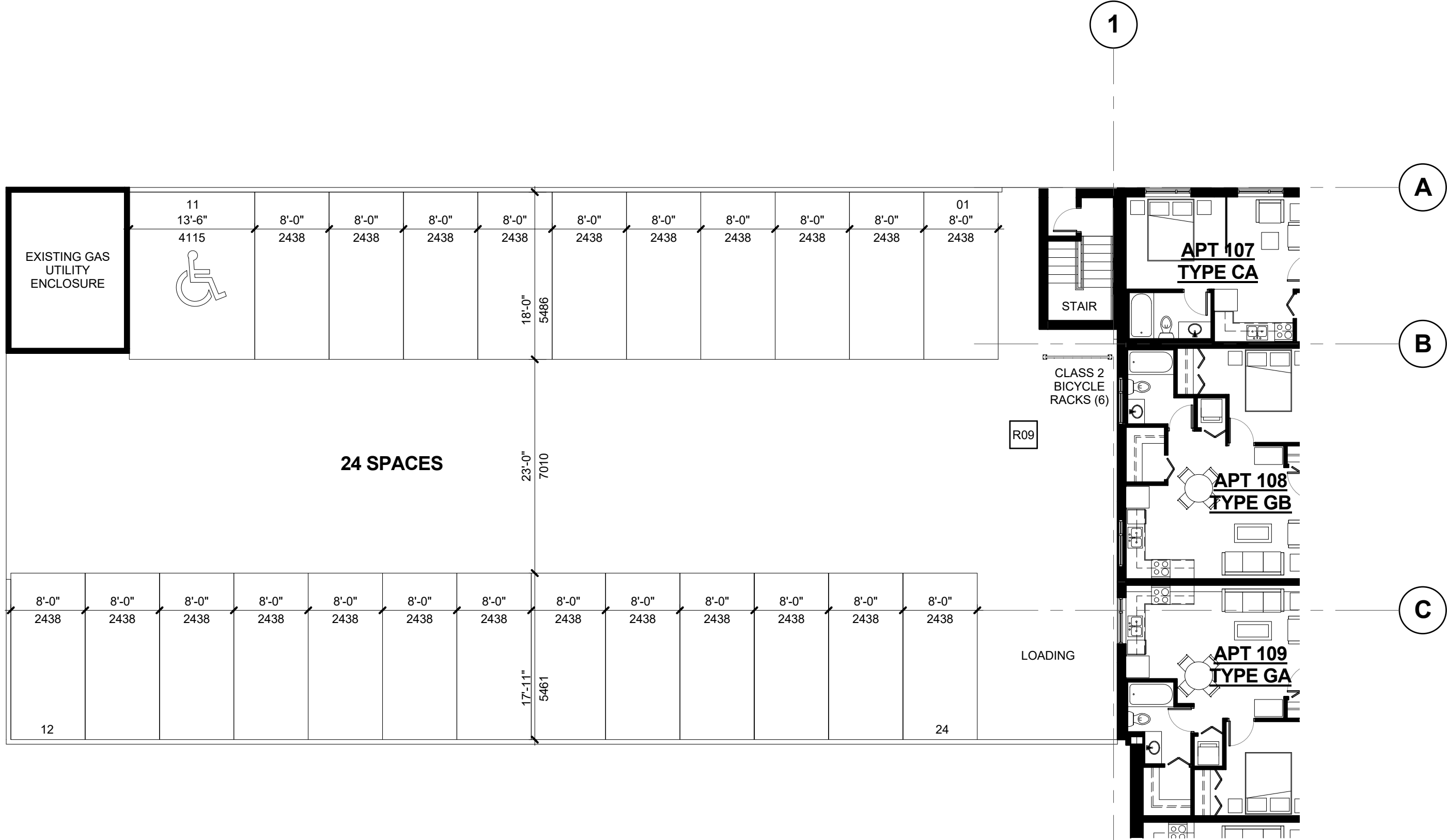
DEMOLITION LEGEND

- DENOTES WALL/PARTITION OR FINISHES TO BE REMOVED
- DENOTES DOOR, FRAME AND HARDWARE TO BE REMOVED
- DENOTES STRUCTURE TO BE REMOVED
- DENOTES WALL/PARTITION TO BE RETAINED
- DENOTES DOOR, FRAME AND HARDWARE TO BE RETAINED

ISSUED		
#	Date	Remarks
	2016 DEC 13	ISSUED FOR D.P. / REZONING
	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING



1 BASEMENT PARKING PLAN - PENDRAY ST. LOT
SCALE: 3/32" = 1'-0"



2 SURFACE PARKING PLAN - PENDRAY ST. LOT
SCALE: 3/32" = 1'-0"

HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

ISSUED	Date	Remarks
2016 DEC 13	2017 FEB 07	ISSUED FOR D.P. / REZONING RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING RE-ISSUED FOR D.P. / REZONING

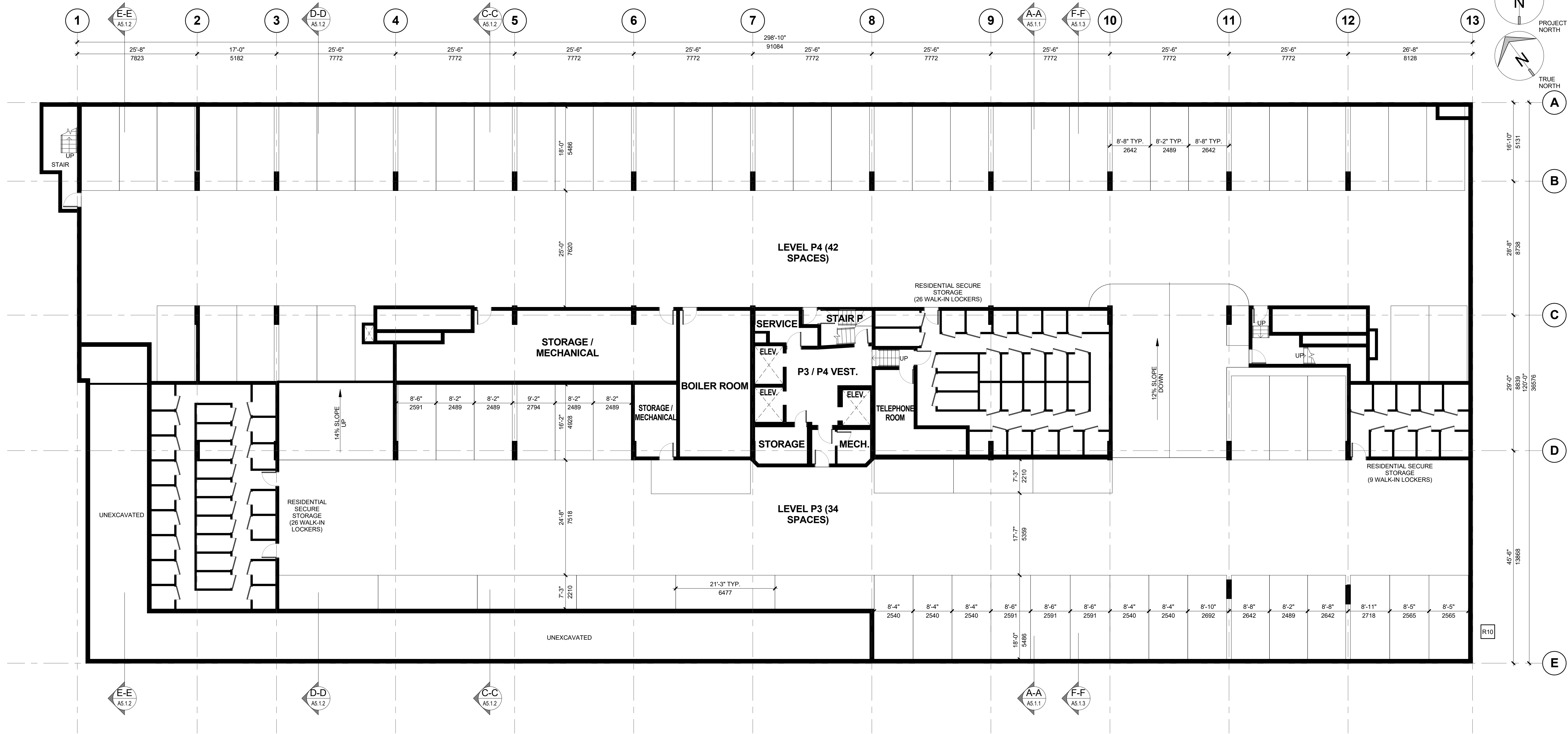
HARBOUR TOWERS LIMITED
PARTNERSHIP

HARBOUR TOWERS
RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM

Project Number 10 16 040



1 PARKING LEVEL P3 & P4 FLOOR PLANS
SCALE: 3/32" = 1'-0"

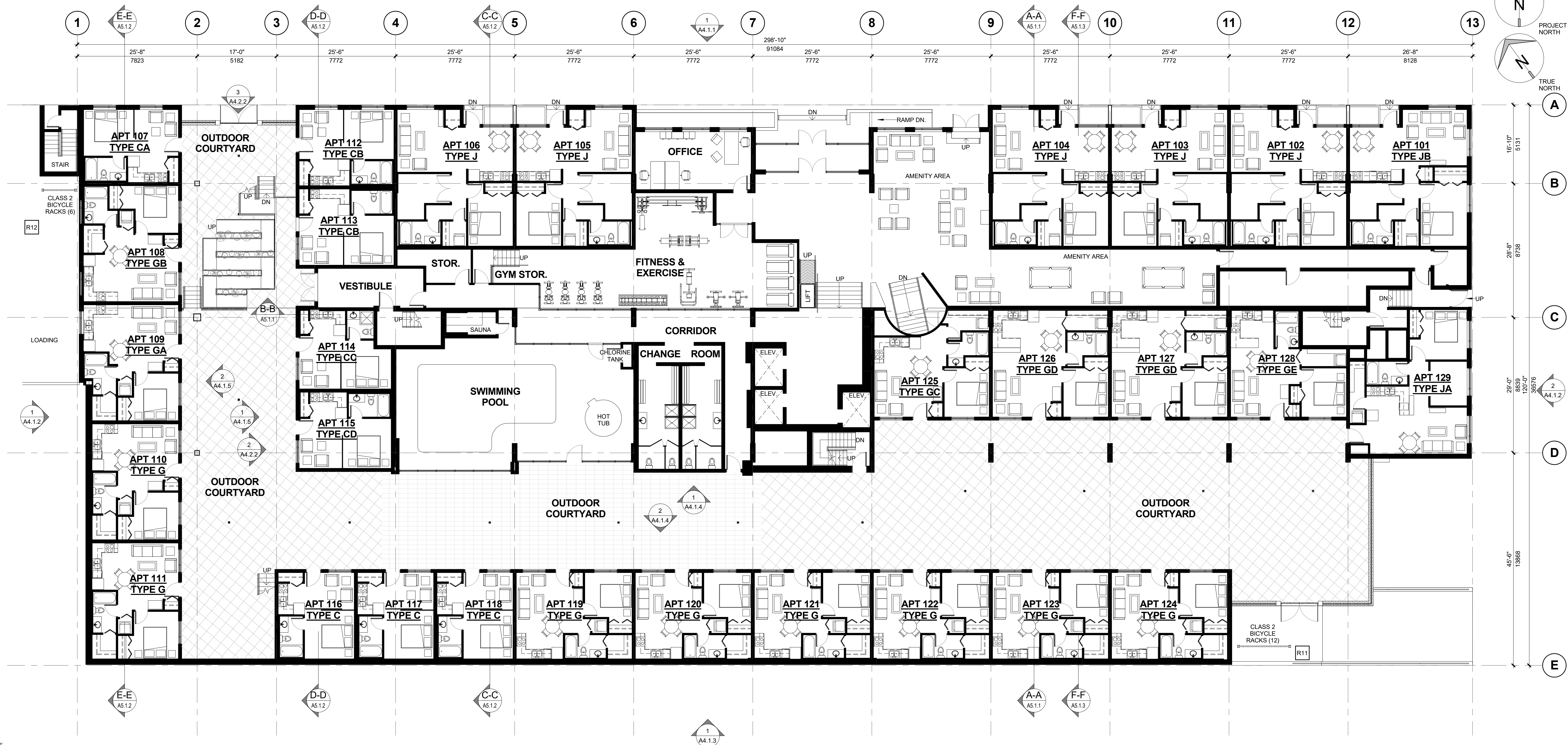
ISSUED	Date	Remarks
2016 DEC 13	2017 FEB 07	ISSUED FOR D.P. / REZONING RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING RE-ISSUED FOR D.P. / REZONING



1 PARKING LEVEL P1 & P2 FLOOR PLANS
SCALE: 3/32" = 1'-0"

2017.06.02 9:01:12 AM C:\Users\lgm\Documents\106040_HARBOUR TOWERS_ARCH_CEN_drawing\lgm.dwg

ISSUED	Date	Remarks
2016 DEC 13	ISSUED FOR D.P. / REZONING	
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	



1 GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"

2017.06.02 9:01:20 AM C:\Users\jgarnett\Documents\101604_HARBOUR TOWERS_ARCH_CEN_drawing\01.dwg

HARBOUR TOWERS LIMITED
PARTNERSHIP

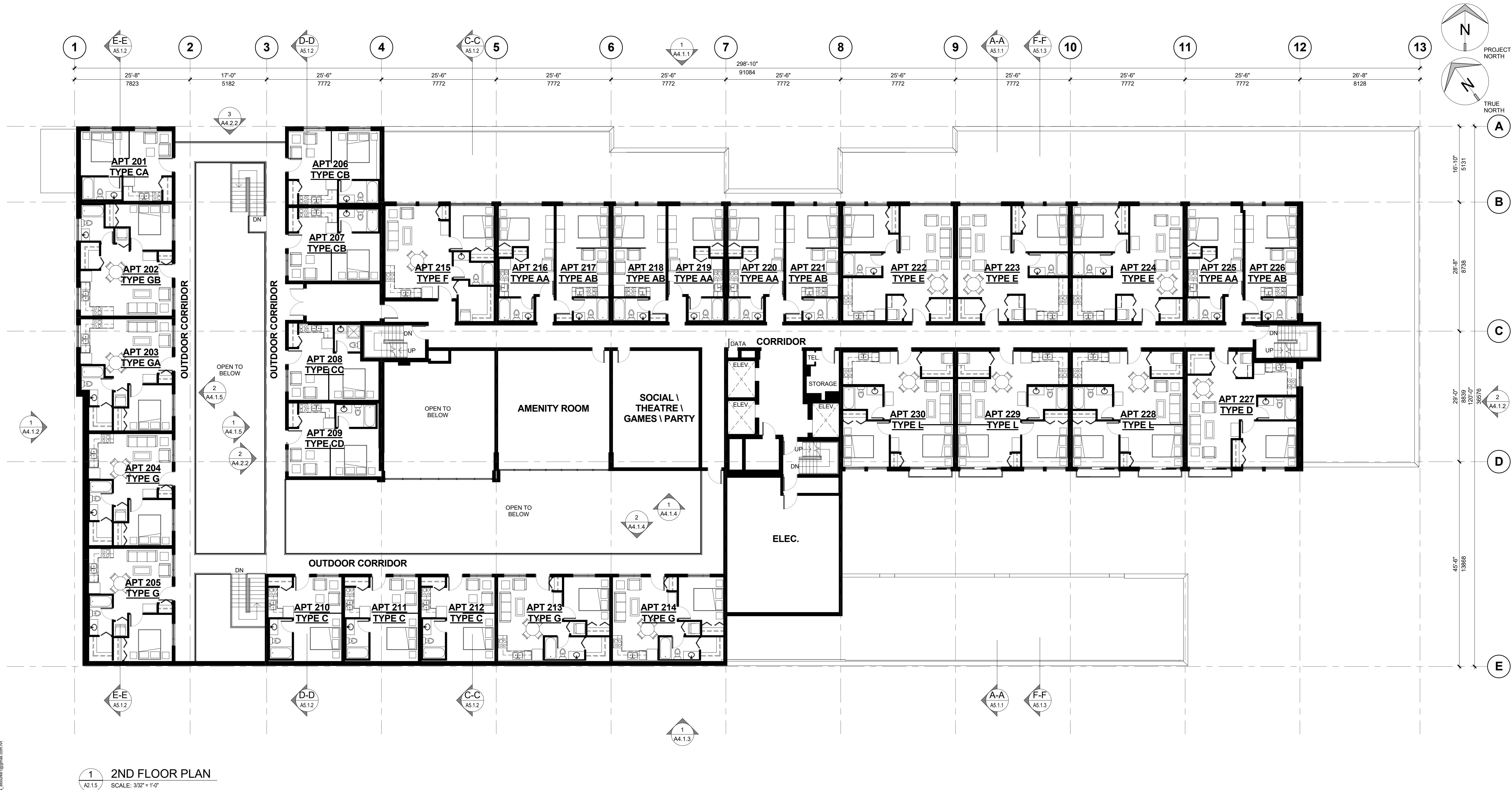
HARBOUR TOWERS

RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

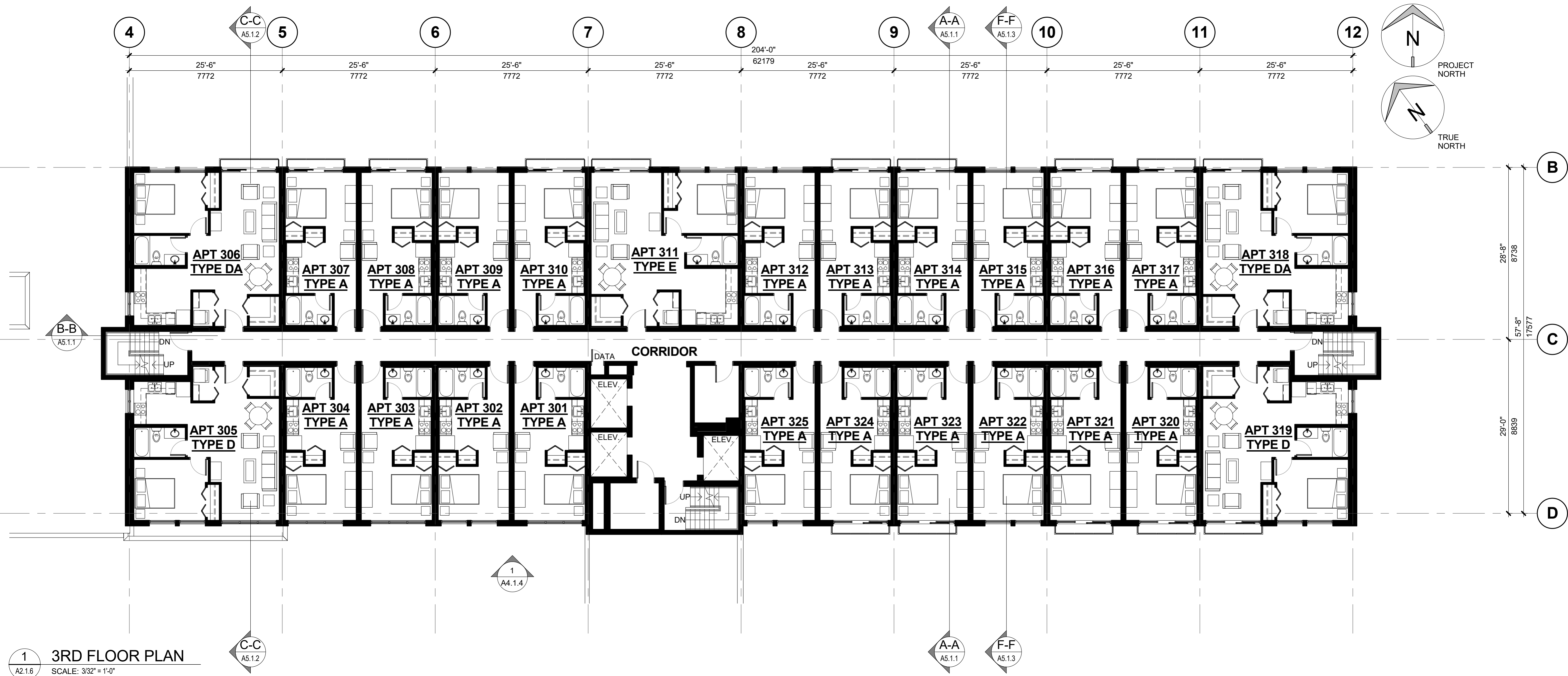
ISSUED	Date	Remarks
2016 DEC 13	2016 DEC 13	ISSUED FOR D.P. / REZONING
2017 FEB 07	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
2017 JUN 05	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING



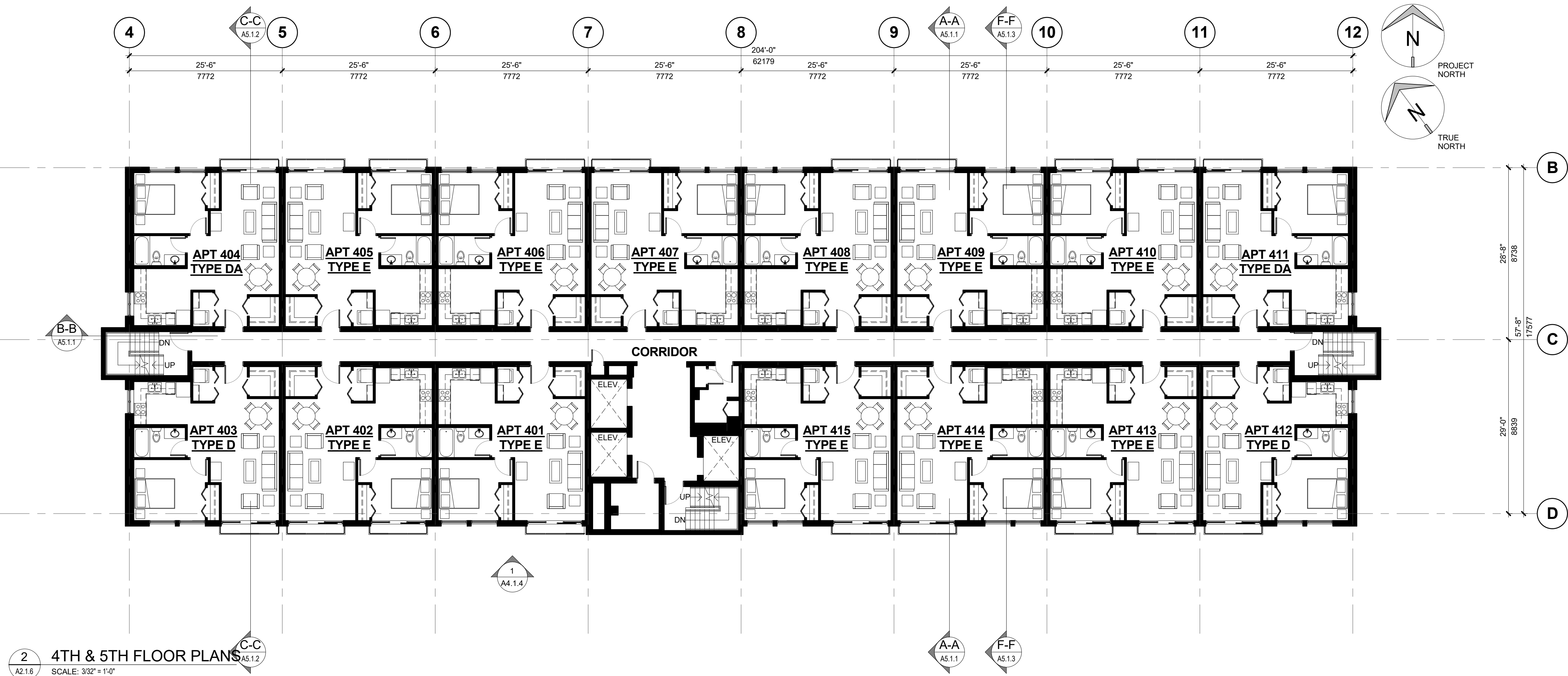
HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

2017.06.02 9:01:28 AM C:\Users\jgarnett\Documents\1016040_HARBOUR TOWERS_ARCH_CEN_document\01.mxd



1 3RD FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 4TH & 5TH FLOOR PLANS
SCALE: 3/32" = 1'-0"

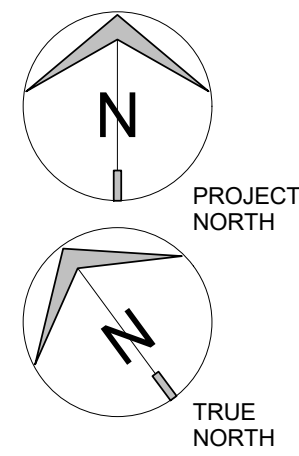
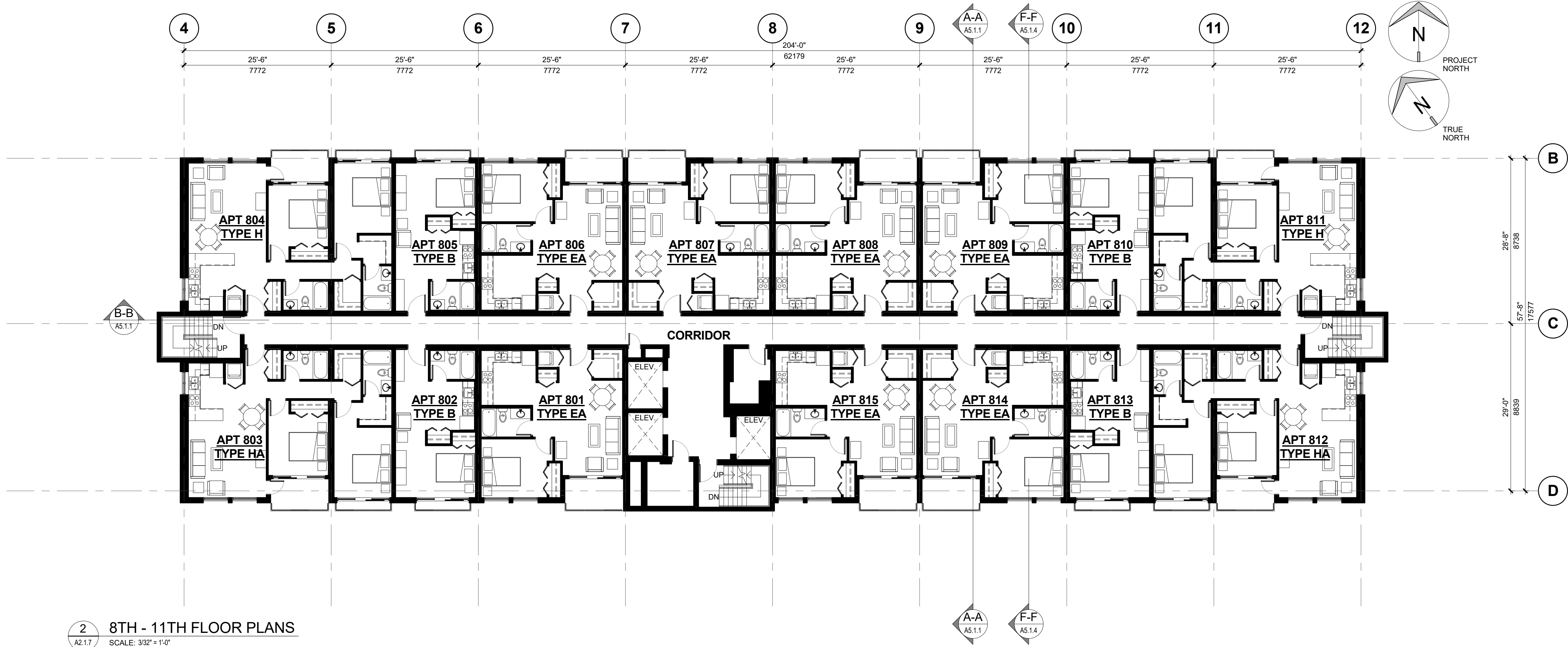
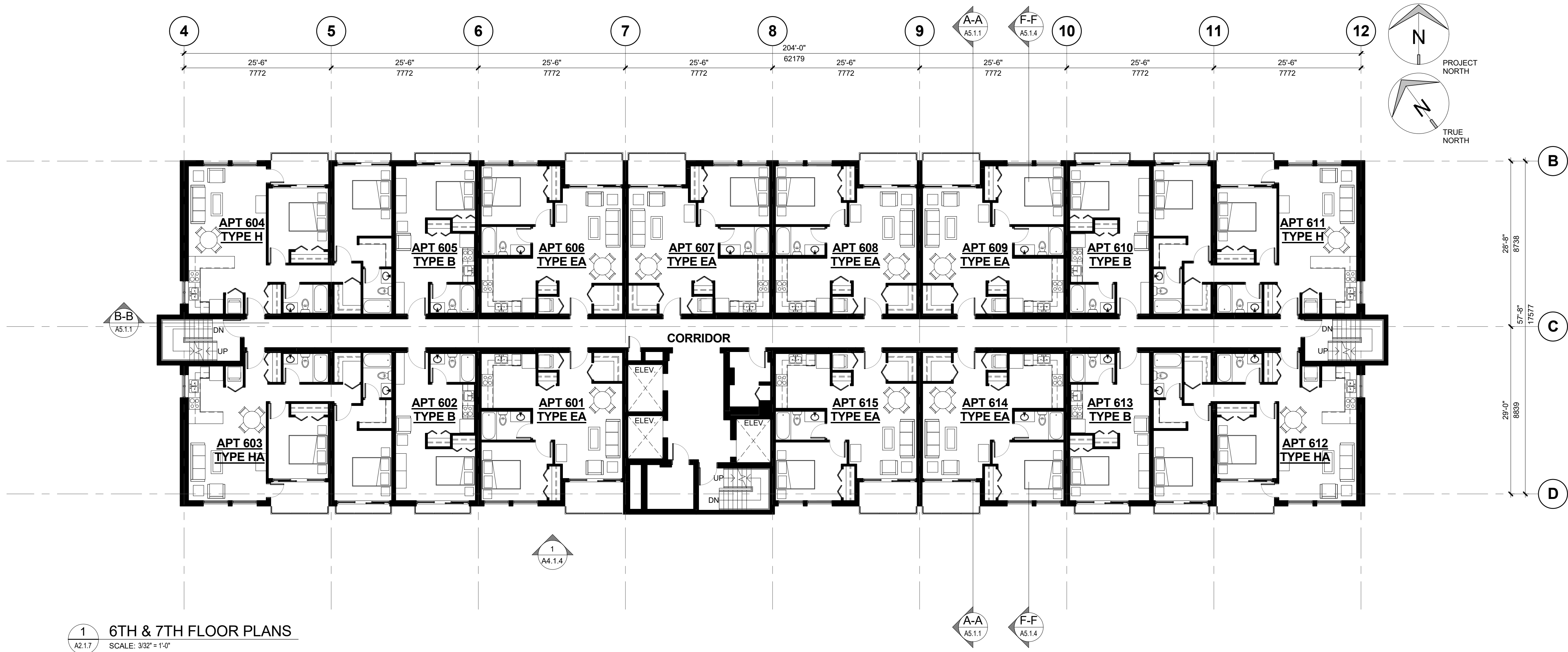
ISSUED	Date	Remarks
2016 DEC 13	2017 FEB 07	ISSUED FOR D.P. / REZONING
2017 APR 07	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
2017 JUN 05	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING

HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

2017.06.02 9:01:35 AM C:\Users\amw\Documents\1016040_HARBOUR TOWERS_ARCH_CEN_document\01.mxd

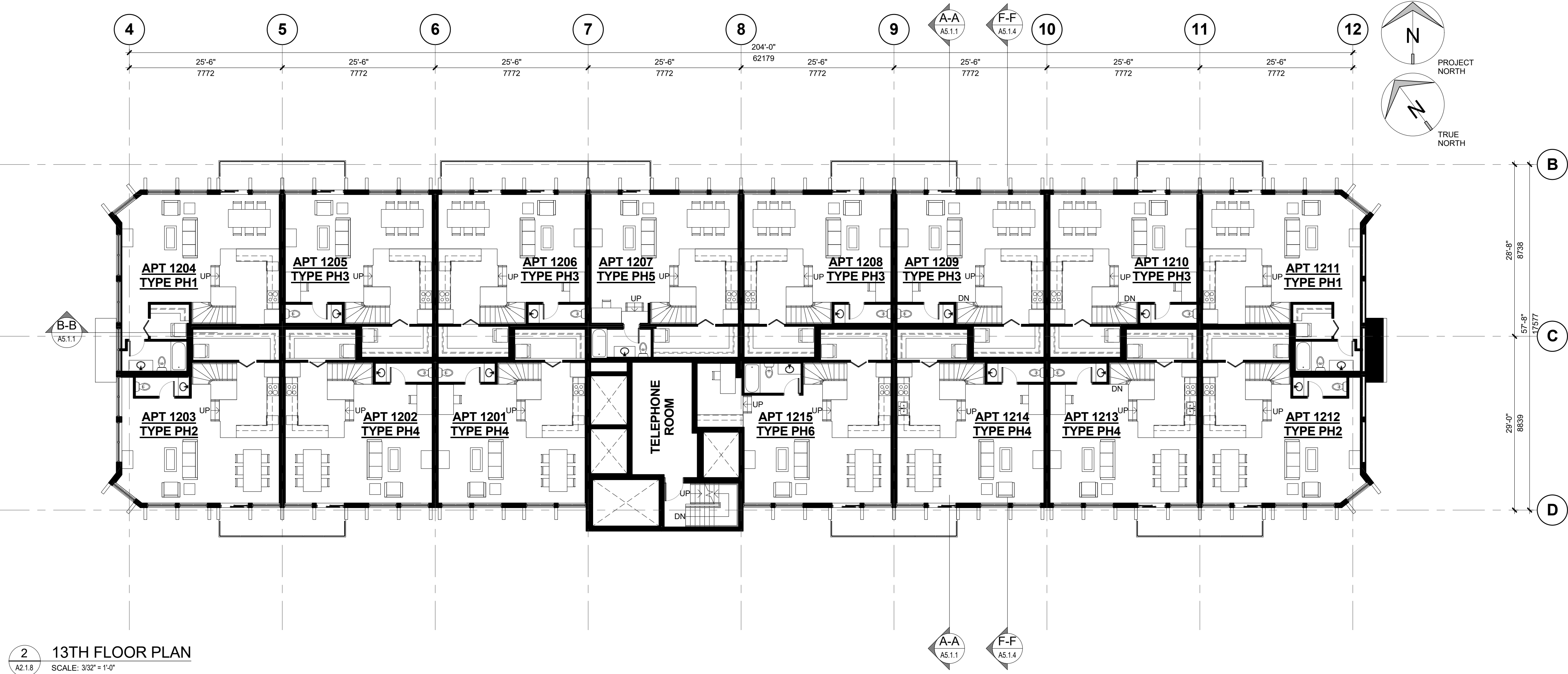
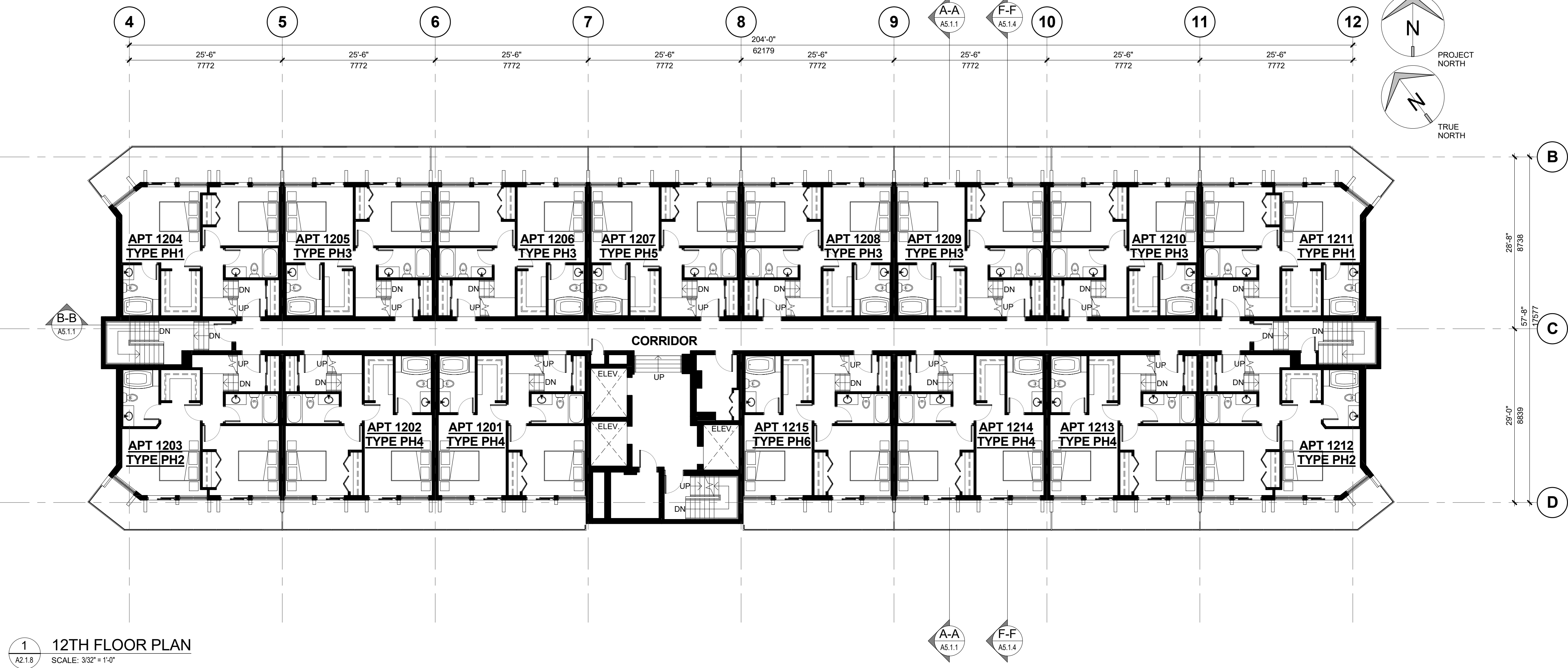
1 6TH & 7TH FLOOR PLANS
SCALE: 3/32" = 1'-0"

2 8TH - 11TH FLOOR PLANS
SCALE: 3/32" = 1'-0"



ISSUED	Date	Remarks
2016 DEC 13	2016 DEC 13	ISSUED FOR D.P. / REZONING
2017 FEB 07	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
2017 JUN 05	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING

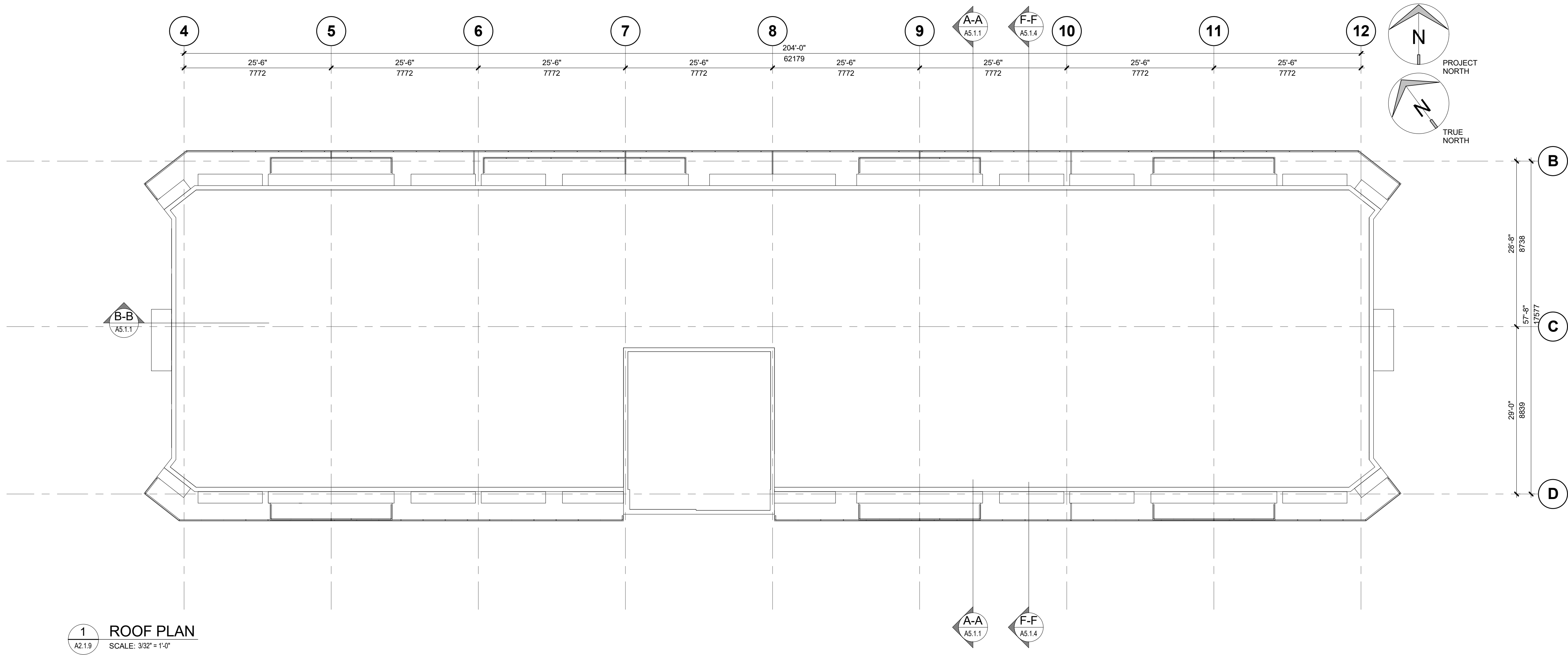
ISSUED		
Date	Remarks	
2016 DEC 13	ISSUED FOR D.P. / REZONING	
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	



HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: TS/EB
Project Number 10 16 040

2017.06.02 9:01:47 AM C:\Users\lgunn\Documents\1016040_HARBOUR TOWERS_ARCH_CEN_chosen1 (0).dwg



OMICRON

Fifth Floor, Three Bentall Centre
595 Burrard Street
PO Box 49369 Vancouver, BC
V7X 1L4 CANADA

Toll-free 1 877 632 3350
T: 604 632 3350
F: 604 632 3351
www.omicronaec.com

CONSULTANT

ISSUED

#	Date	Remarks
2016 DEC 13	ISSUED FOR D.P. / REZONING	
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	

HARBOUR TOWERS LIMITED
PARTNERSHIP

HARBOUR TOWERS
RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB
Project Number

Checked: IM
10 16 040

ROOF PLAN

A2.1.9



1 NORTH ELEVATION (TO QUEBEC STREET) - PROPOSED
SCALE: 3/32" = 1'-0"

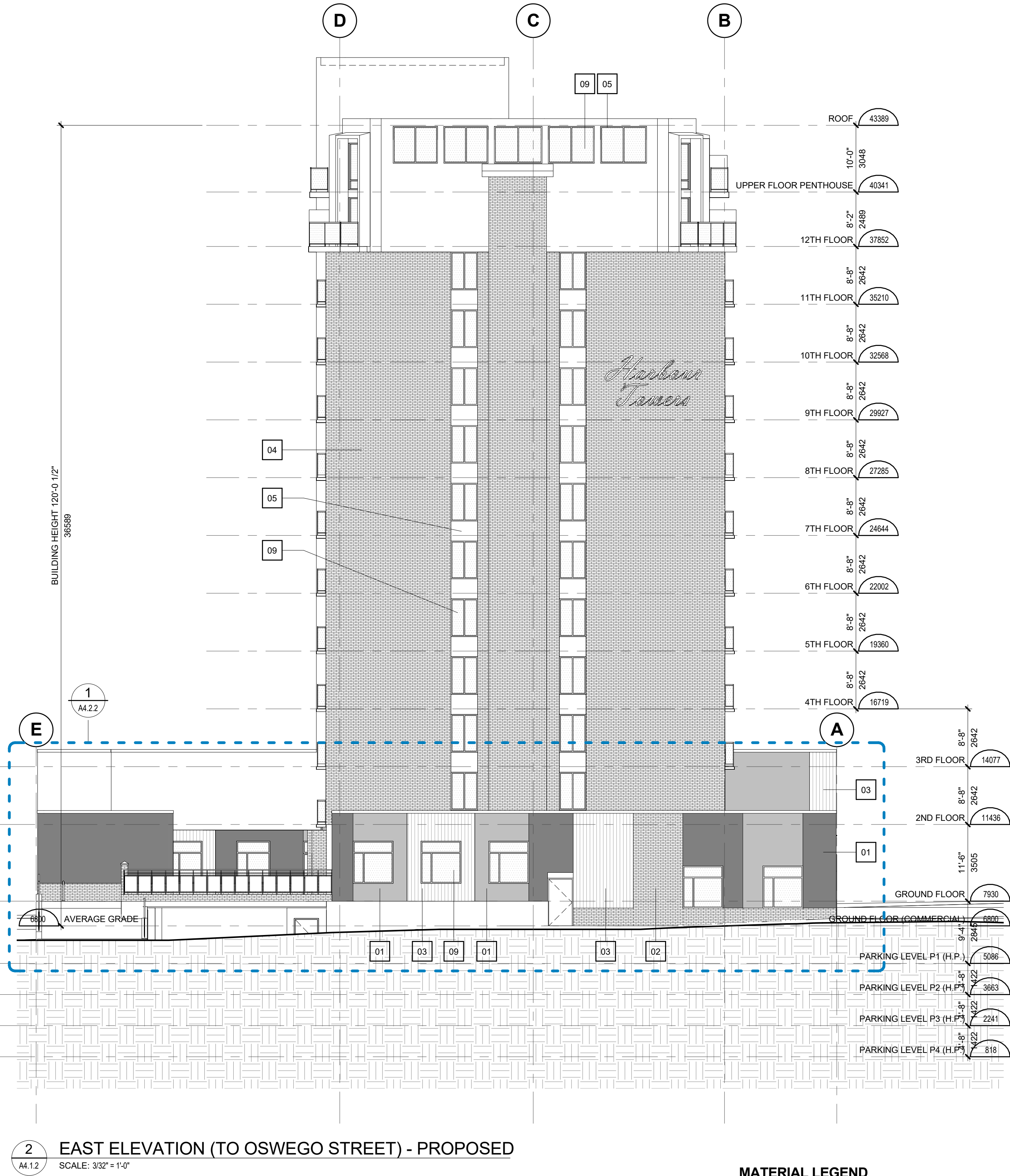
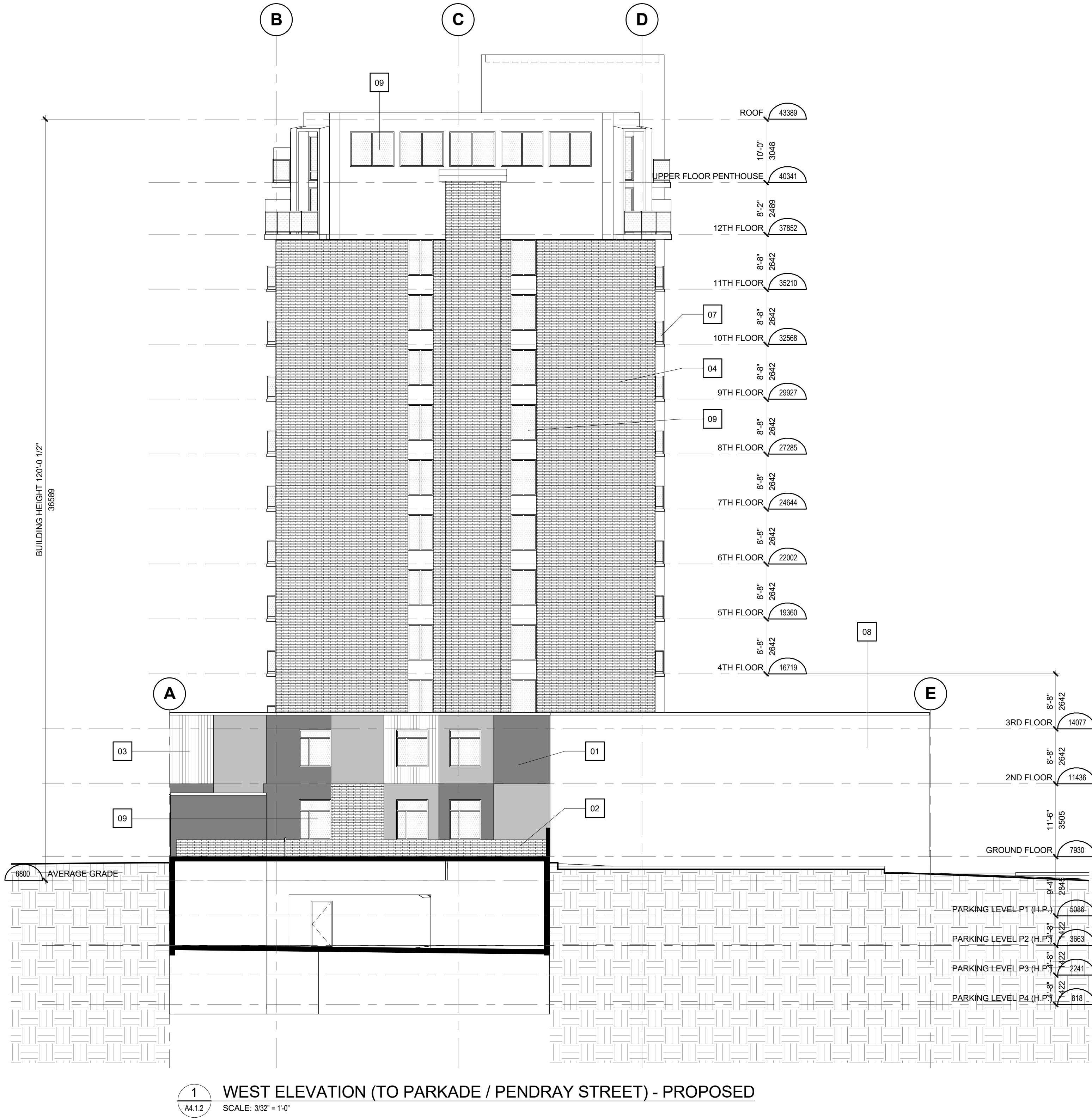
MATERIAL LEGEND

- | | |
|----|--|
| 01 | EIFS |
| 02 | BRICK |
| 03 | VERTICAL SIDING - WOOD EFFECT |
| 04 | BRICK - SEALED AND STAINED, GREY |
| 05 | STUCCO - PAINTED |
| 06 | CONCRETE - PAINTED |
| 07 | ALUMINUM & GLASS GUARDRAILS - BLACK |
| 08 | CONCRETE BLOCK - PAINTED |
| 09 | GLAZING - CLEAR; SOLARBAN 60 #2 PANE W/ ANOD. ALUM. FRAMES |

HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

2017.06.02 9:45:50 AM C:\Users\jgarnett\Documents\1016040_HARBOUR TOWERS_ARCH_CEN_drawing\Bgmml.com.rvt



MATERIAL LEGEND	
01	EIFS
02	BRICK
03	VERTICAL SIDING - WOOD EFFECT
04	BRICK - SEALED AND STAINED, GREY
05	STUCCO - PAINTED
06	CONCRETE - PAINTED
07	ALUMINUM & GLASS GUARDRAILS - BLACK
08	CONCRETE BLOCK - PAINTED
09	GLAZING - CLEAR, SOLARBAN 60 #2 PANE W/ ANOD. ALUM. FRAMES

HARBOUR TOWERS LIMITED
PARTNERSHIP

HARBOUR TOWERS
RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM

Project Number 10 16 040

2017.06.02 9:02:24 AM C:\Users\Garnett\Documents\1016040_HARBOUR TOWERS_ARCH_CEN_south.evt@gmail.com.rvt



1 SOUTH ELEVATION (TO REAR) - PROPOSED
A4.1.3 SCALE: 3/32" = 1'-0"

MATERIAL LEGEND

01	EIFS
02	BRICK
03	VERTICAL SIDING - WOOD EFFECT
04	BRICK - SEALED AND STAINED, GREY
05	STUCCO - PAINTED
06	CONCRETE - PAINTED
07	ALUMINUM & GLASS GUARDRAILS - BLACK
08	CONCRETE BLOCK - PAINTED
09	GLAZING - CLEAR; SOLARBAN 60 #2 PANE W/ ANOD. ALUM. FRAMES

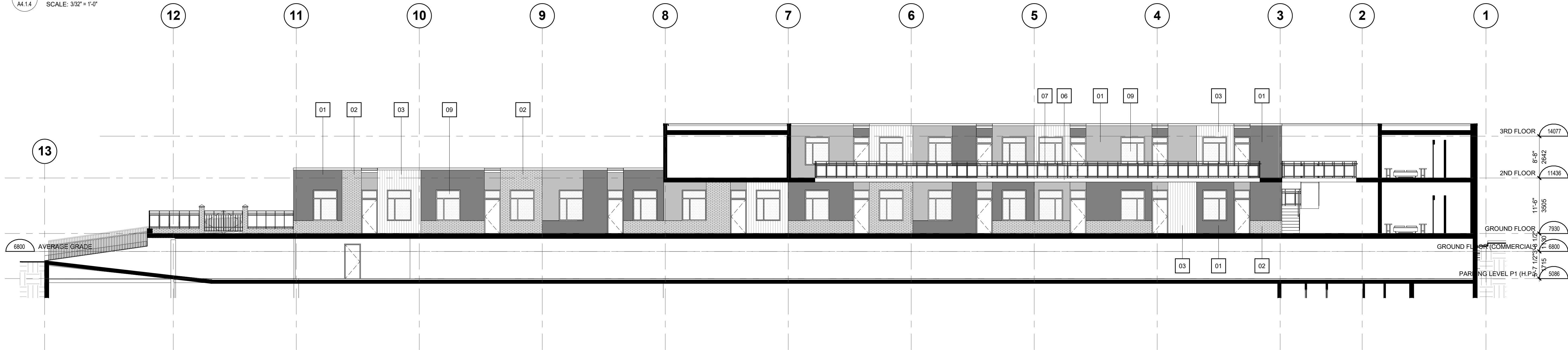
HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

#	Date	Remarks
1	2016 DEC 13	ISSUED FOR D.P. / REZONING
2	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
3	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
4	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING



1 SOUTH ELEVATION (TO COURTYARD) - PROPOSED
A4.1.4 SCALE: 3/32" = 1'-0"

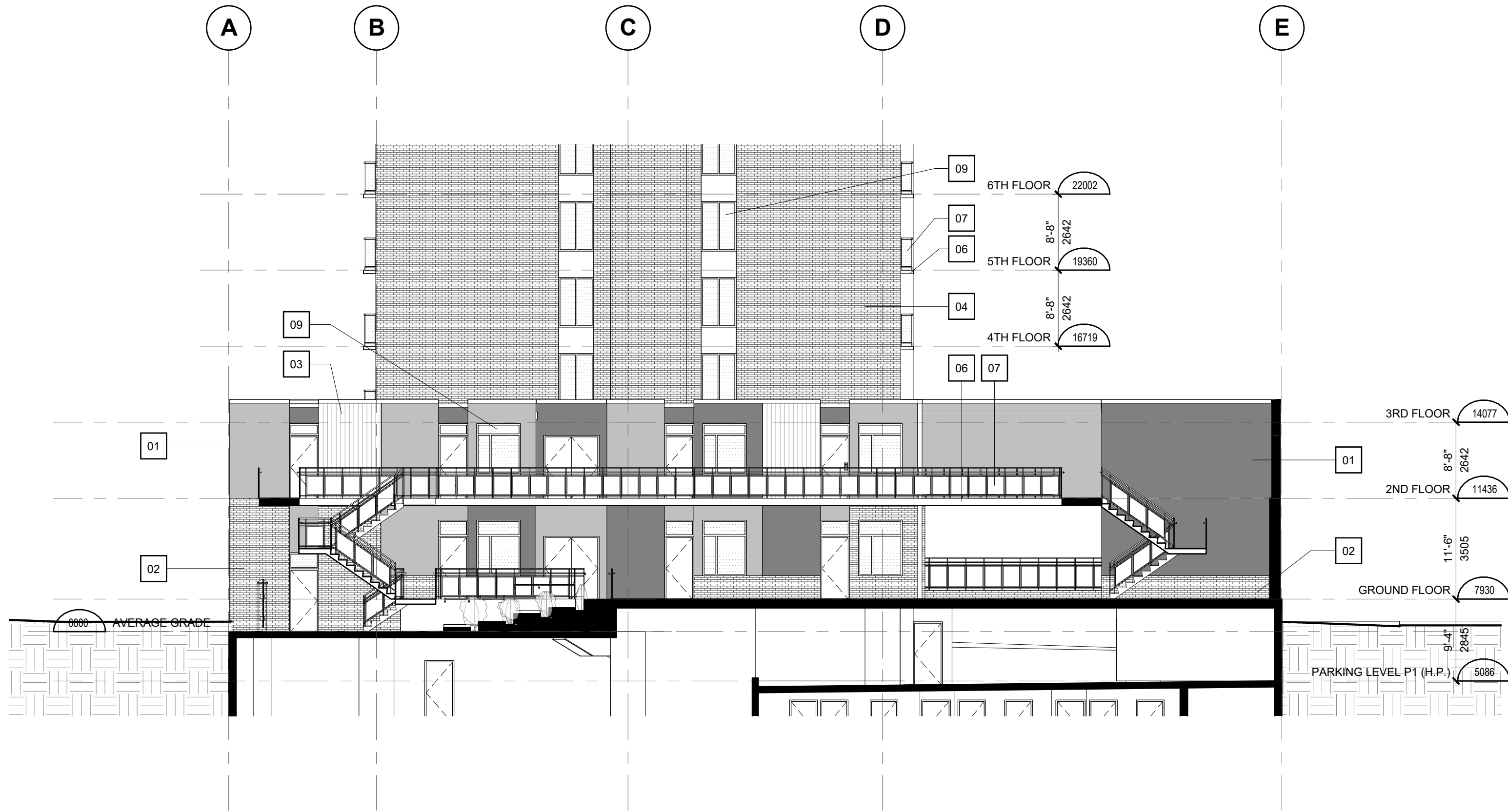


2 NORTH ELEVATION (TO COURTYARD) - PROPOSED
A4.1.4 SCALE: 3/32" = 1'-0"

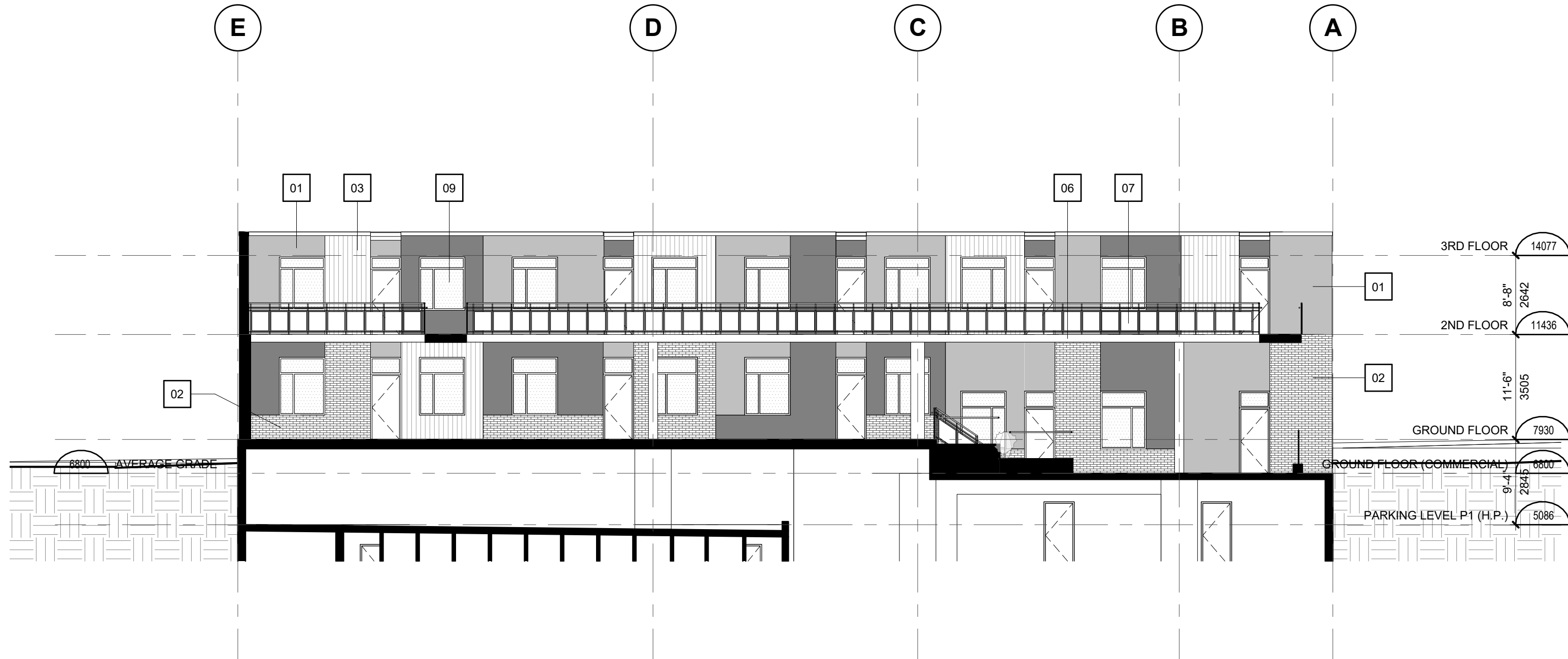
MATERIAL LEGEND

01	EIFS
02	BRICK
03	VERTICAL SIDING - WOOD EFFECT
04	BRICK - SEALED AND STAINED, GREY
05	STUCCO - PAINTED
06	CONCRETE - PAINTED
07	ALUMINUM & GLASS GUARDRAILS - BLACK
08	CONCRETE BLOCK - PAINTED
09	GLAZING - CLEAR; SOLARBAN 60 #2 PANE W/ ANOD. ALUM. FRAMES

ISSUED		
#	Date	Remarks
2016 DEC 13	ISSUED FOR D.P. / REZONING	
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	



1 WEST ELEVATION (TO COURTYARD) - PROPOSED
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION (TO COURTYARD) - PROPOSED
SCALE: 3/32" = 1'-0"

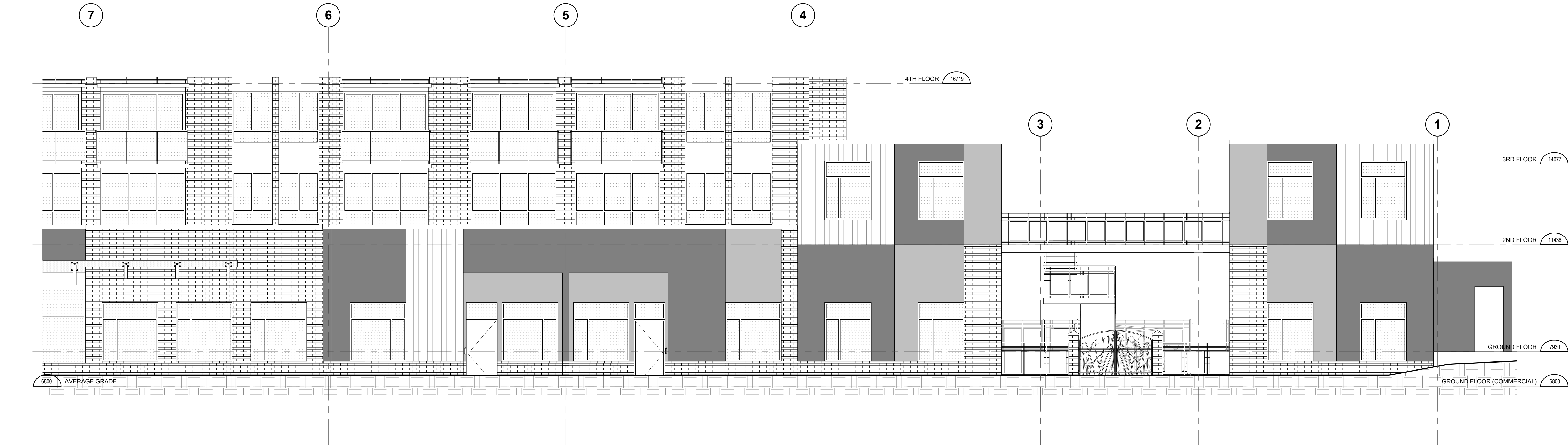
MATERIAL LEGEND

01	EIFS
02	BRICK
03	VERTICAL SIDING - WOOD EFFECT
04	BRICK - SEALED AND STAINED, GREY
05	STUCCO - PAINTED
06	CONCRETE - PAINTED
07	ALUMINUM & GLASS GUARDRAILS - BLACK
08	CONCRETE BLOCK - PAINTED
09	GLAZING - CLEAR; SOLARBAN 60 #2 PANE W/ ANOD. ALUM. FRAMES

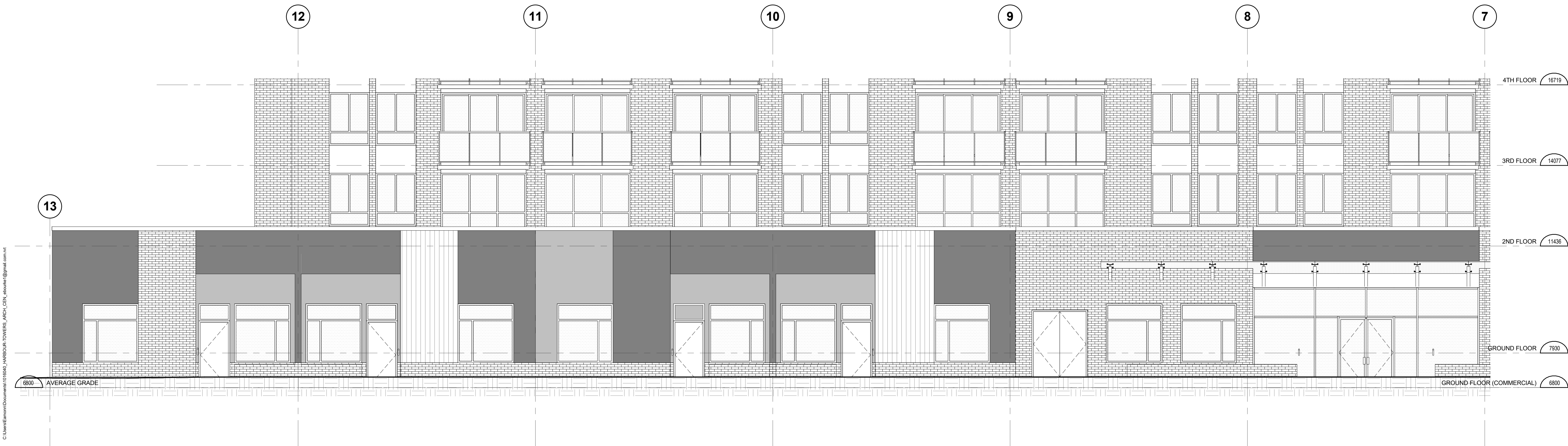
HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn:	TS/EB	Checked:	IM
Project Number	10 16 040		

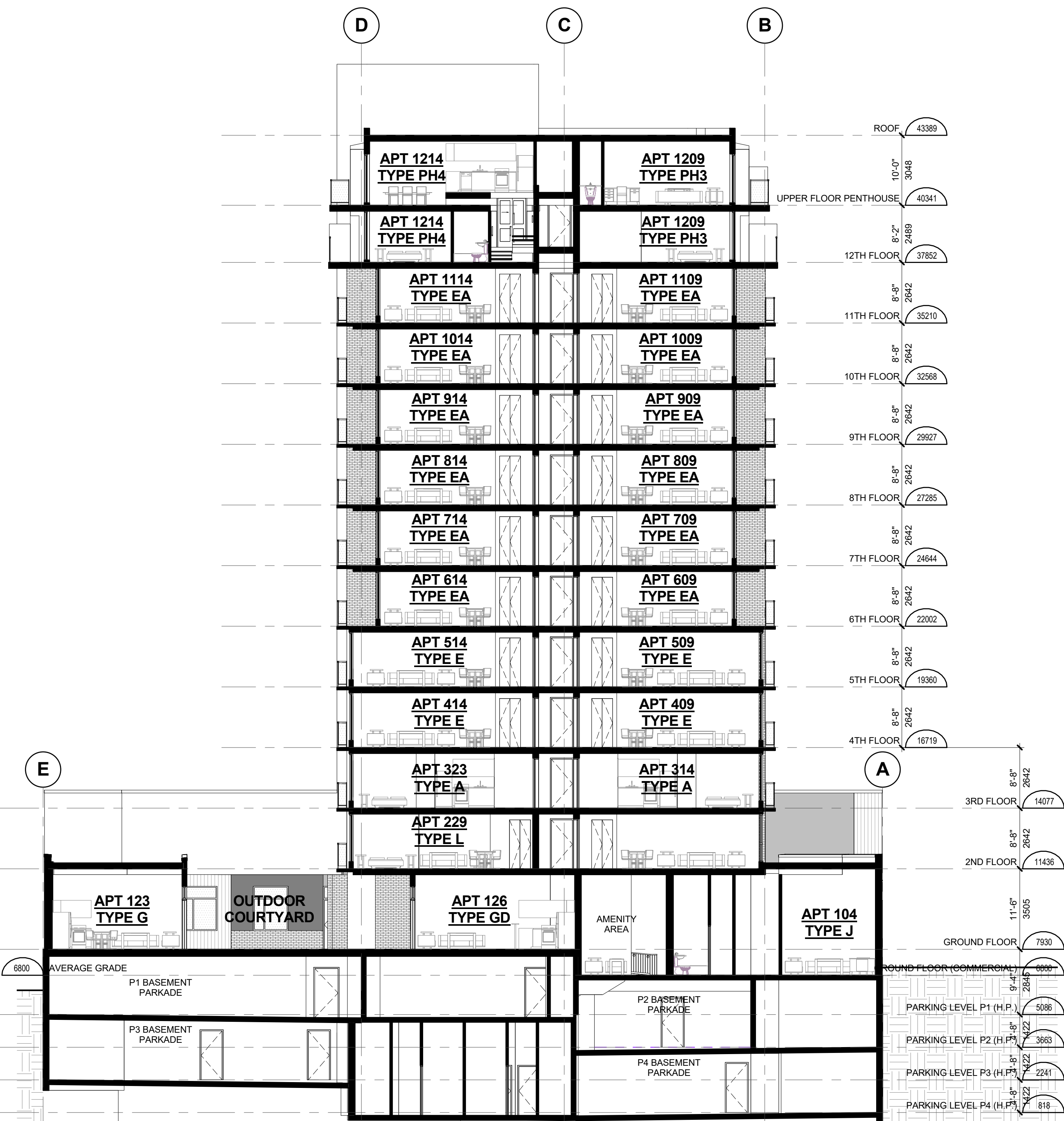
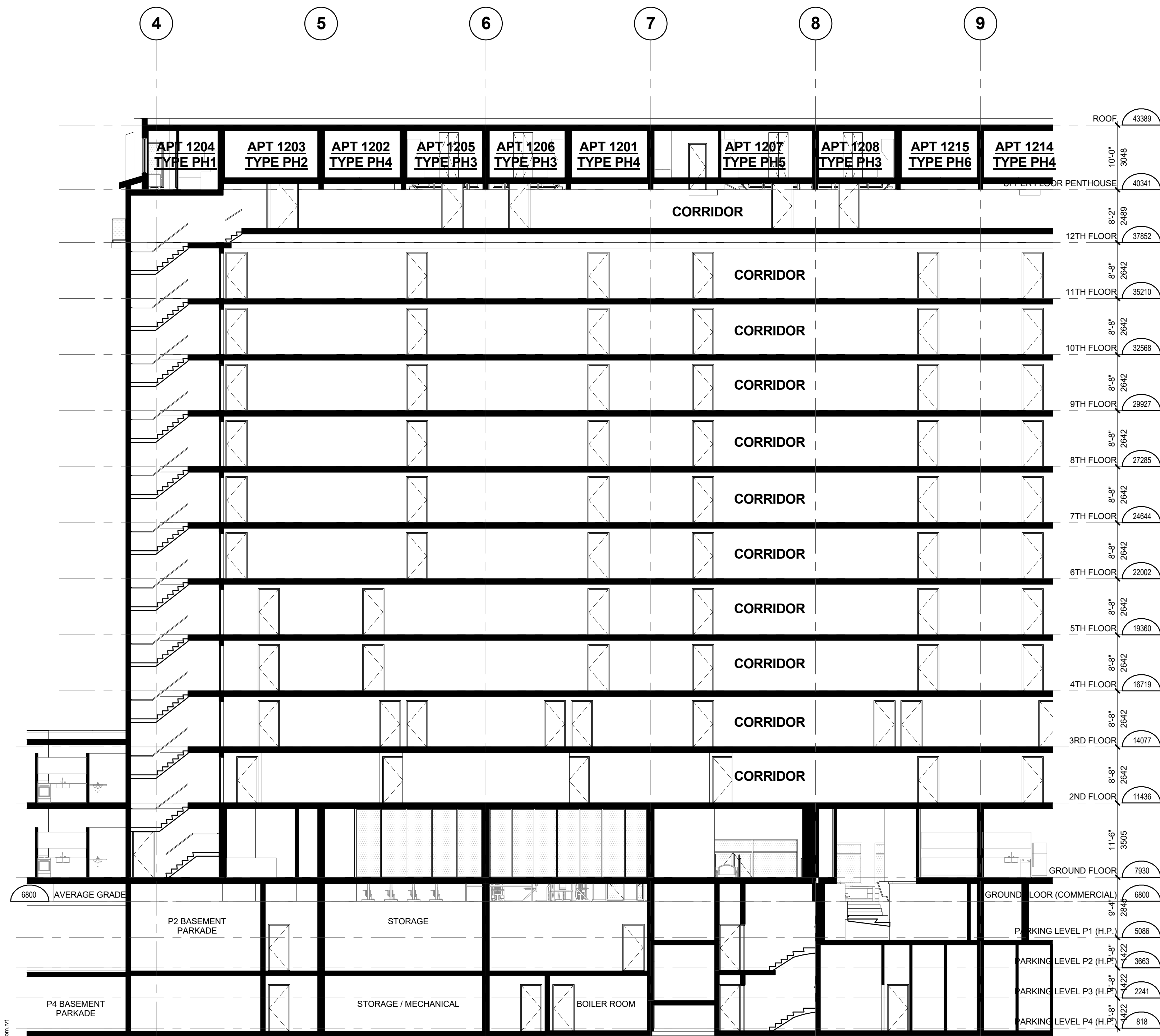
ISSUED	Date	Remarks
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	



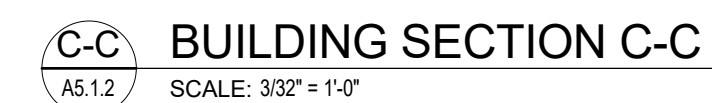
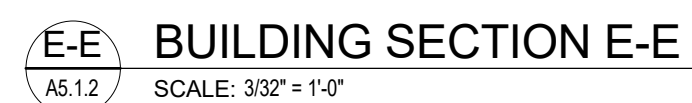
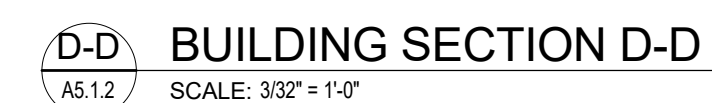
2 ENLARGED NORTH ELEVATION (TO QUEBEC STREET) @ WEST END
SCALE: 3/16" = 1'-0"



1 ENLARGED NORTH ELEVATION (TO QUEBEC STREET) @ EAST END
SCALE: 3/16" = 1'-0"



C:\Users\lgm\Documents\1016040_HARBOUR TOWERS_ARCH_CEN.docx (lgm) 2017/06/02 09:30 AM



Drawn: TS/EB Checked: IM

Project Number 10 16 040

This drawing is a copyright instrument of work and remains the property of the Consultant. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be reproduced in anyway without written permission.

It shall not be so used by the Contractor that it will be responsible for all dimensions, datum and elevations

pertinent to executing the work. Discrepancies and variations shall be reported to the Consultant prior to commencing construction. In all cases, the latest issue of the drawing shall be used in the execution of the work. The Contractor shall ensure that all previous issues of this drawing are marked "Superseded" in accordance to the latest issue, and used for reference purposes only.

All work shall conform to the latest editions of local Building Codes, jurisdictional codes and local ordinances.

Drawing sheet numbers are prefixed as follows:

- A = Architectural
- E = Electrical
- S = Structural
- FP = Fire Protection
- M = Mechanical/HVAC
- P = Plumbing
- C = Civil

A5.1.2

ISSUED		
#	Date	Remarks
2016 DEC 13	ISSUED FOR D.P. / REZONING	
2017 FEB 07	RE-ISSUED FOR D.P. / REZONING	
2017 APR 07	RE-ISSUED FOR D.P. / REZONING	
2017 JUN 05	RE-ISSUED FOR D.P. / REZONING	

HARBOUR TOWERS LIMITED
PARTNERSHIP

HARBOUR TOWERS
RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

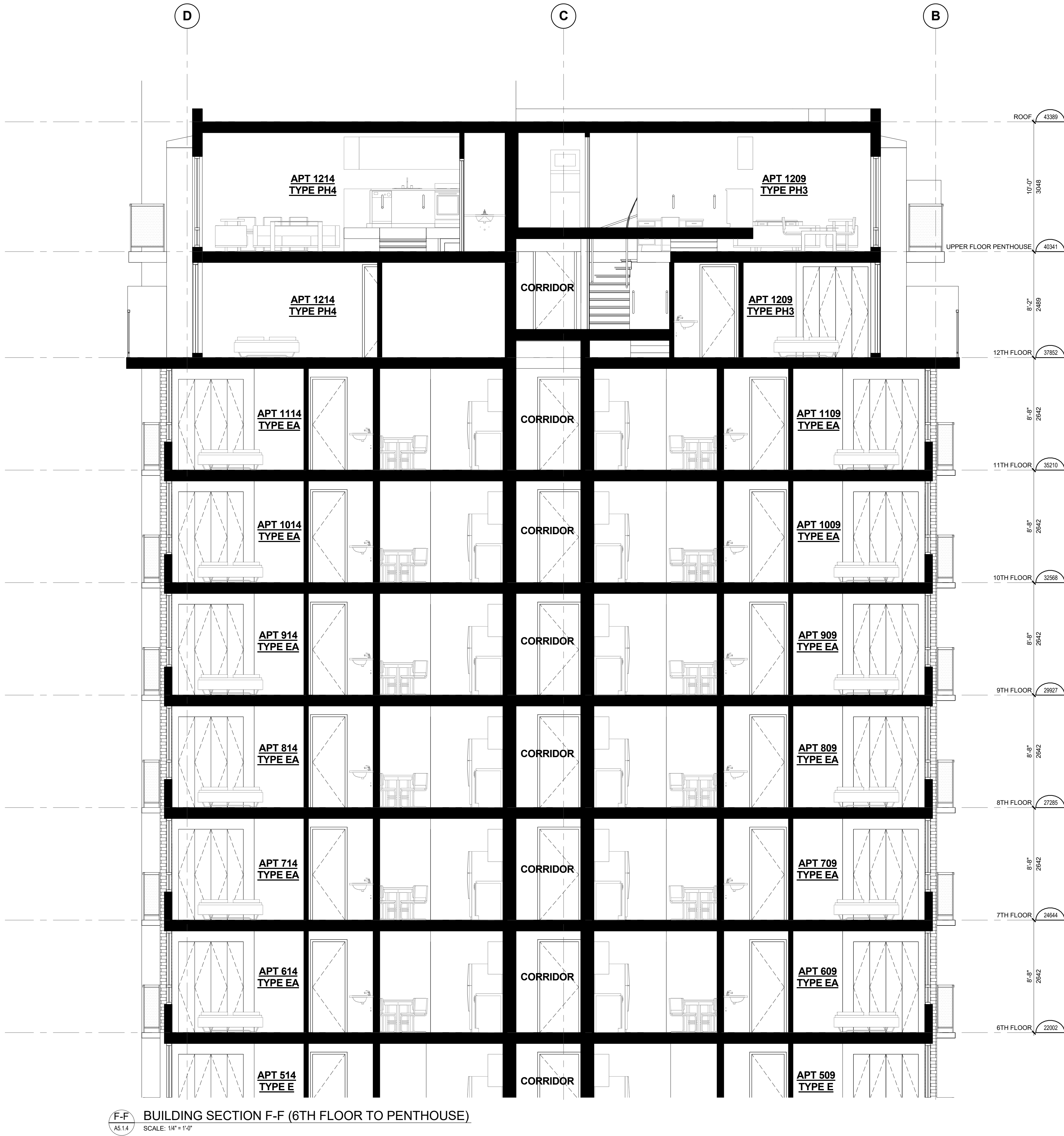
Drawn: TS/EB Checked: IM

Project Number 10 16 040



F-F BUILDING SECTION F-F (PARKING LEVEL B-LOW TO 6TH FLOOR)
A5.1.3 SCALE: 1/4" = 1'-0"

2017.06.02 9:02:32 AM C:\Users\amw\Documents\1016040_HARBOUR TOWERS_ARCH_CEN.docx (gimail.com)



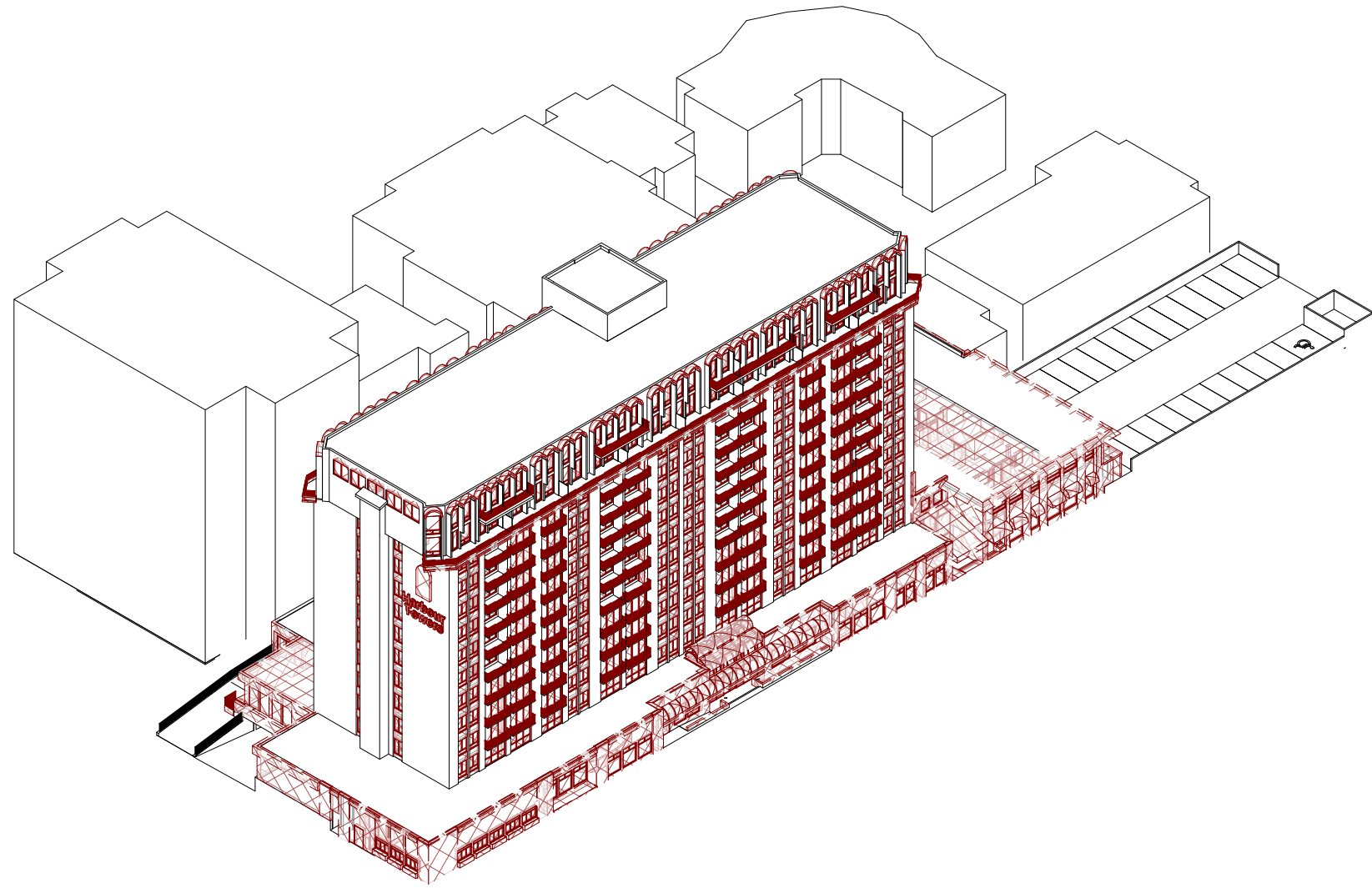
F-F
A5.1.4
BUILDING SECTION F-F (6TH FLOOR TO PENTHOUSE)
SCALE: 1/4" = 1'-0"

ISSUED		
#	Date	Remarks
2016 DEC 13	2017 FEB 07	ISSUED FOR D.P. / REZONING
2017 FEB 07	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
2017 APR 07	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING
2017 JUN 05		RE-ISSUED FOR D.P. / REZONING

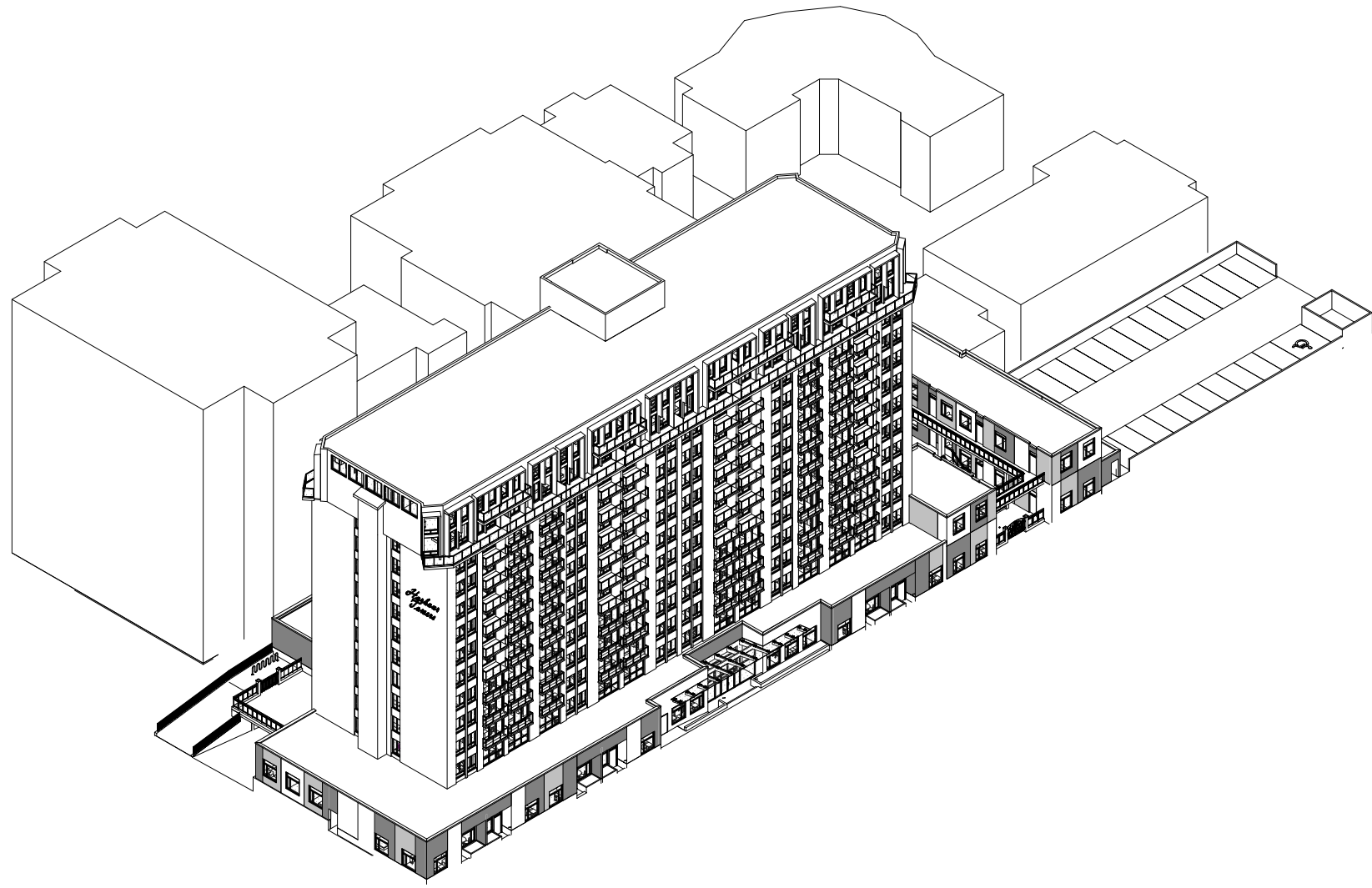
HARBOUR TOWERS LIMITED
PARTNERSHIP
HARBOUR TOWERS
RENO, VICTORIA
345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn: TS/EB Checked: IM
Project Number 10 16 040

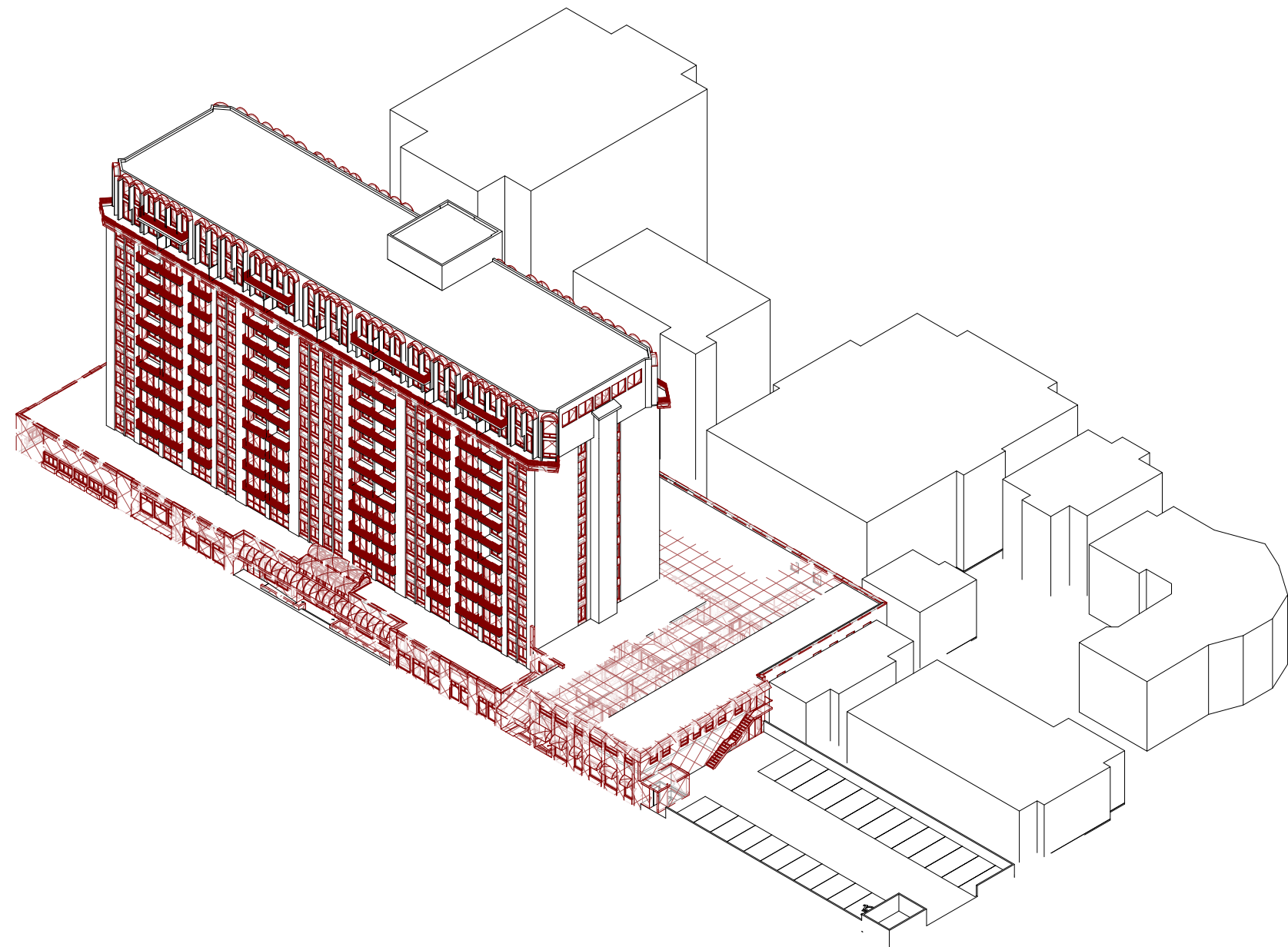
ISSUED		
#	Date	Remarks
	2017 FEB 07	RE-ISSUED FOR D.P. / REZONING
	2017 APR 07	RE-ISSUED FOR D.P. / REZONING
	2017 JUN 05	RE-ISSUED FOR D.P. / REZONING



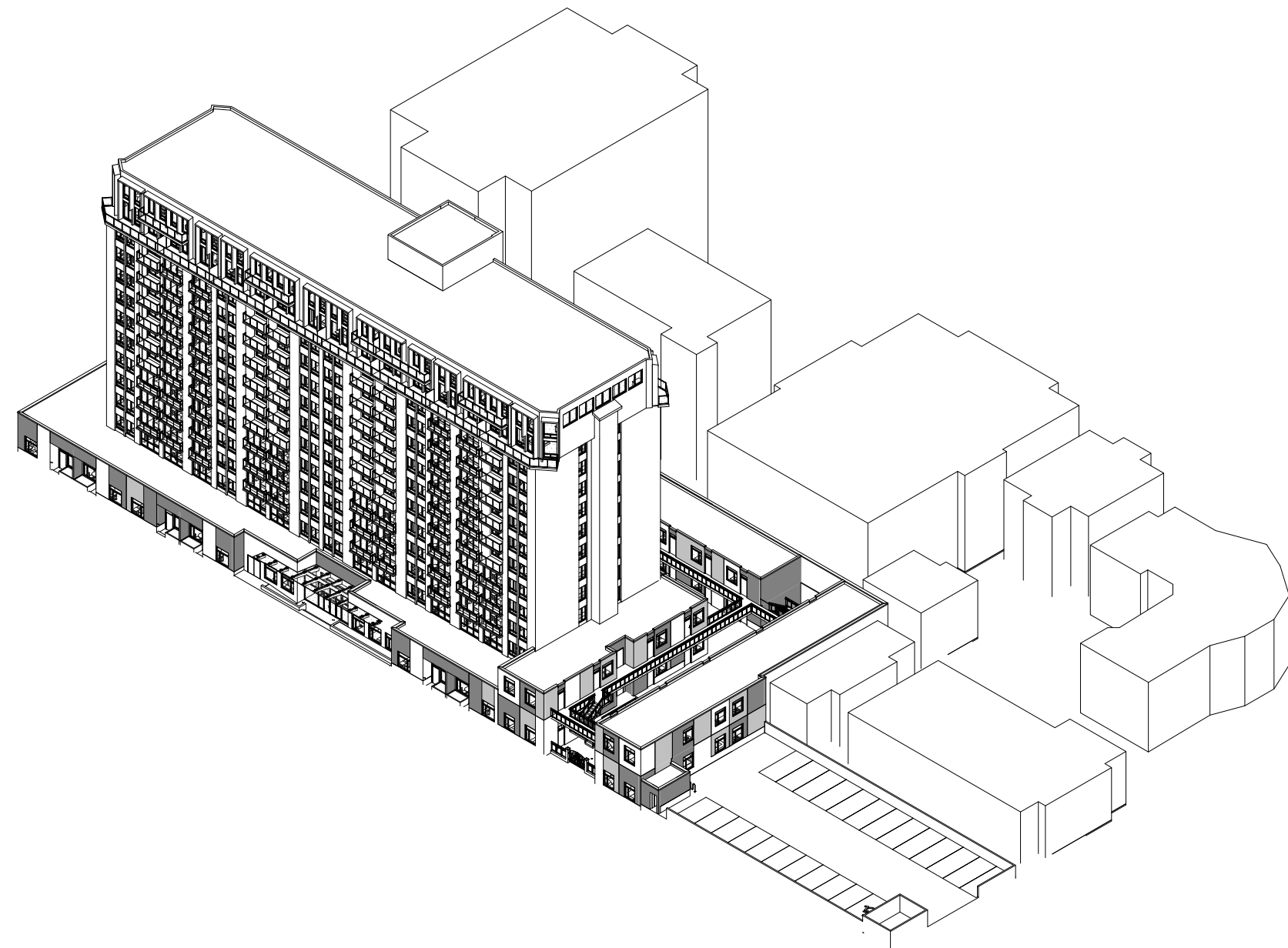
1 BUILDING ISO @ NORTH EAST DEMOLITION
SCALE: A8.0.1



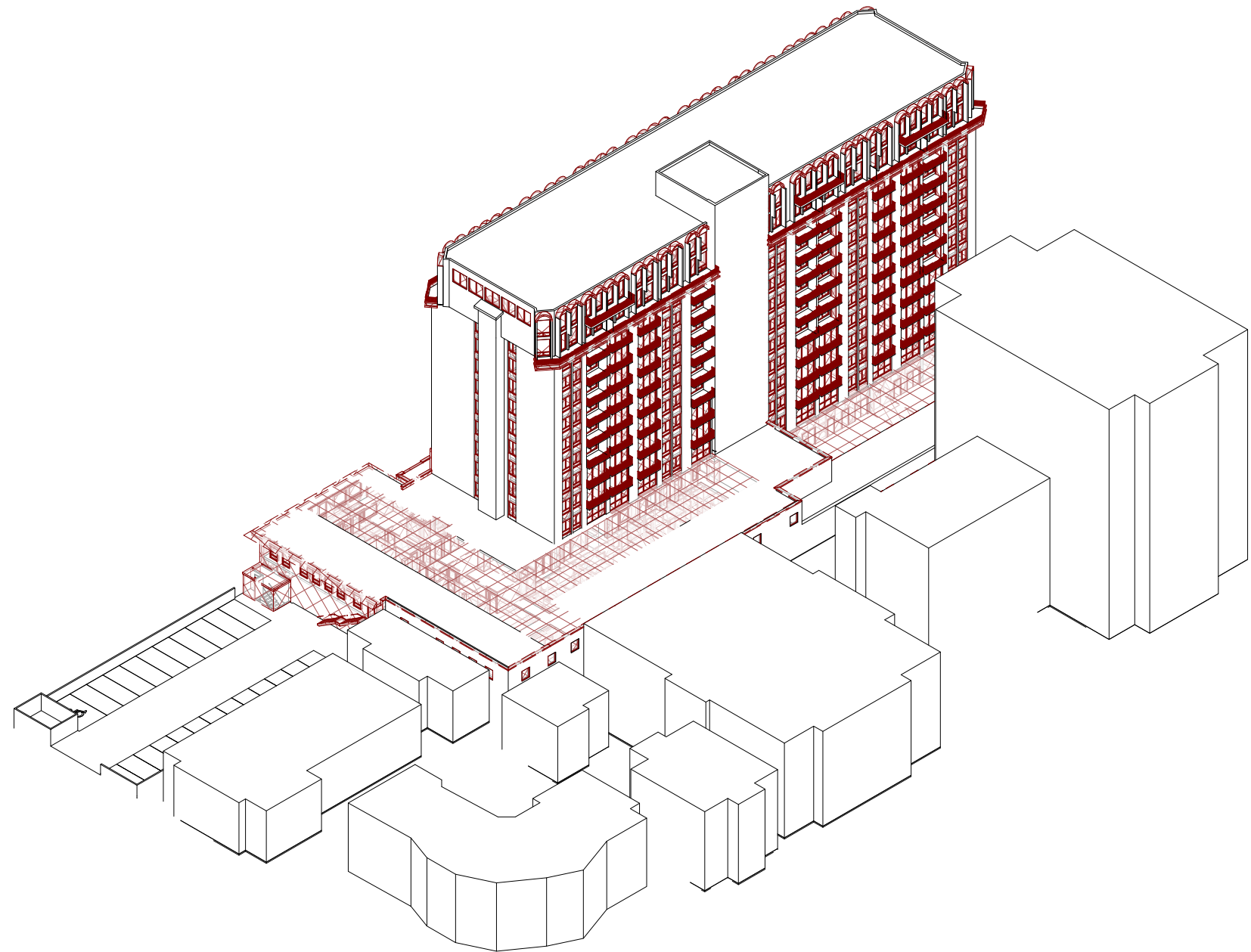
2 BUILDING ISO @ NORTH EAST PROPOSED
SCALE: A8.0.1



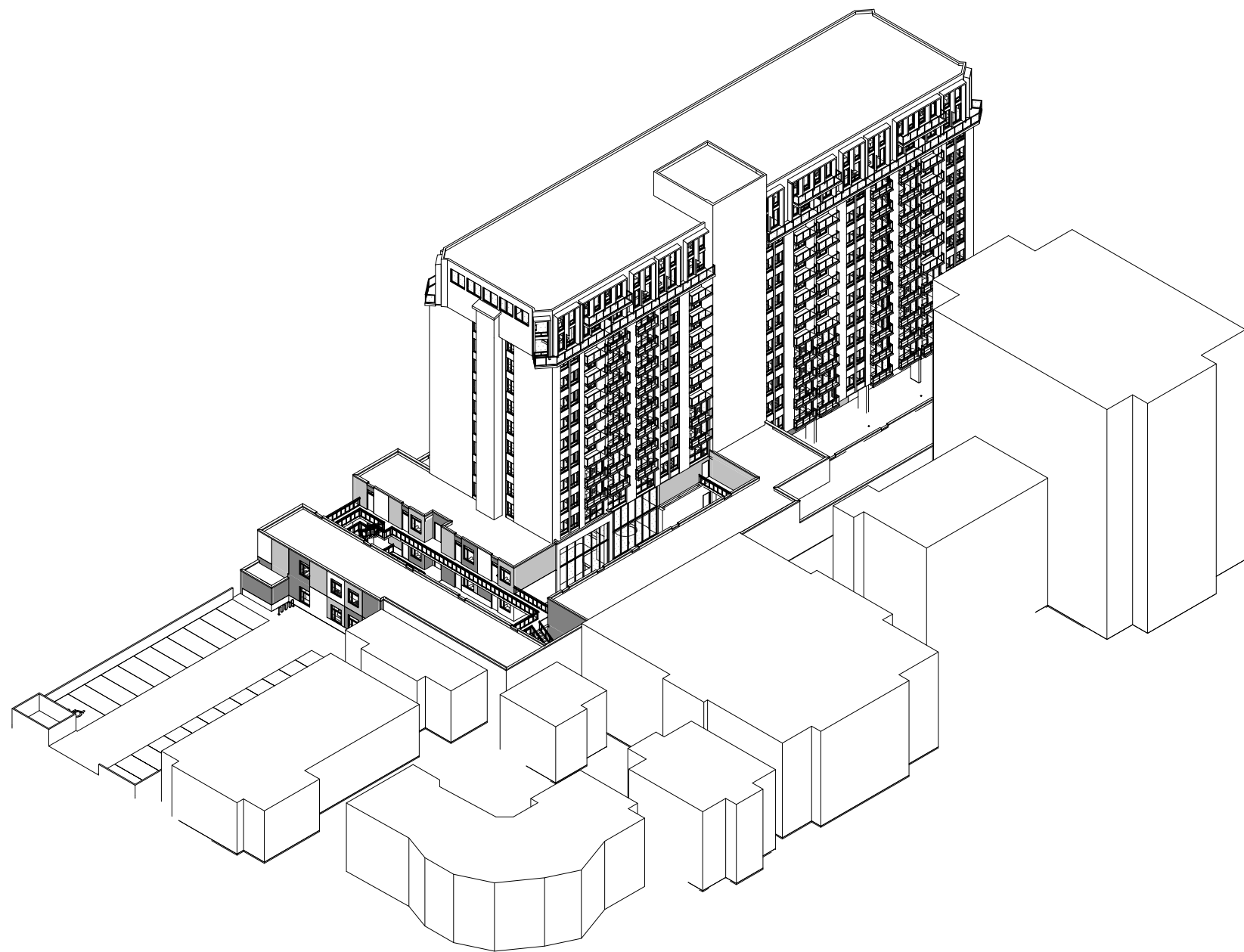
3 BUILDING ISO @ NORTH WEST DEMOLITION
SCALE: A8.0.1



4 BUILDING ISO @ NORTH WEST PROPOSED
SCALE: A8.0.1



5 BUILDING ISO @ SOUTH WEST DEMOLITION
SCALE: A8.0.1



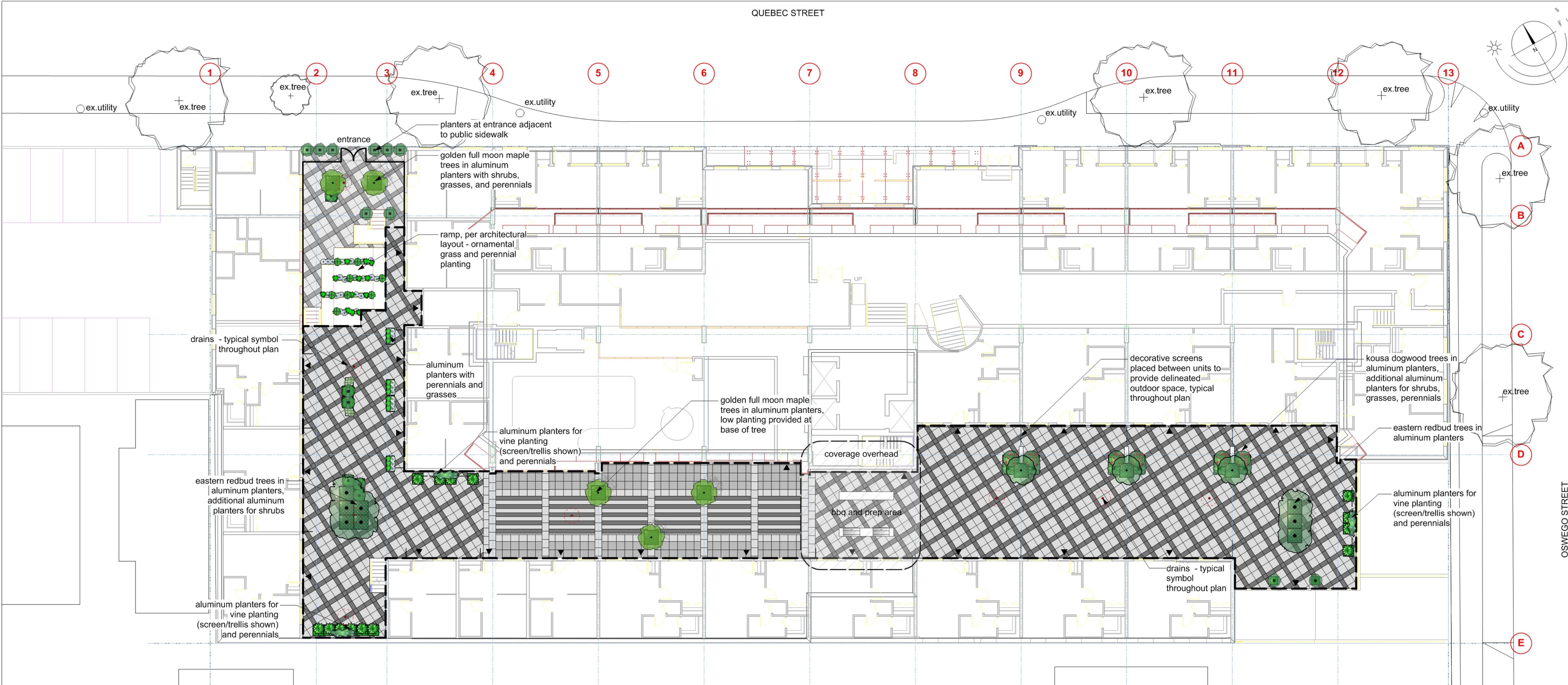
6 BUILDING ISO @ SOUTH WEST PROPOSED
SCALE: A8.0.1

HARBOUR TOWERS LIMITED
PARTNERSHIP

HARBOUR TOWERS
RENO, VICTORIA

345 QUEBEC ST., VICTORIA, BC V8V 1W4

Drawn:	TS	Checked:	IM
Project Number	10 16 040		



Copyright Reserved. These drawings are at all times the property of the Landscape Architect. Reproduction in whole or in part without written consent of the Landscape Architect is prohibited.

9	Jan 26 -17	Revised - Re-issued for Development Permit
8	Dec 12 -16	Revised - Issued for Development Permit
7	Dec 1 -16	Issued for Development Permit
6	Nov 30 -16	Final Revision
5	Nov 8 -16	Revision 4
4	Nov 3 -16	Revision 3
3	Nov 1 -16	Revision 2
2	Oct 31-16	Revision
1	Oct 28-16	Preliminary Review

ISSUANCE / REVISION

Recommended Nursery Stock

Trees

total = 24

Botanical Name	Common Name	Size
Acer shirasawanum 'Aureum'	golden full moon maple	6cm cal
Cercis canadensis	eastern redbud	6cm cal
Cornus kousa	kousa dogwood	6cm cal

Medium Shrubs

Botanical Name	Common Name	Size
Rhododendron 'Girard's Fuchsia'	evergreen azalea	#2 pot
Sarcococca ruscifolia	sweetbox	#3 pot

Small Shrubs

Botanical Name	Common Name	Size
Lavandula angustifolia 'Hidcote'	English lavender	#1 pot

Perennials, Annuals and Ferns

Botanical Name	Common Name	Size
Carex oshimensis 'Evergold'	variegated Japanese sedge	#1 pot
Deschampsia cespitosa 'Pixie Fountain'	dwarf tufted hair grass	10cm pot
Echinacea purpurea 'Magnus'	purple coneflower	10cm pot
Hellebore argutifolius	Corsican hellebore	#2 pot
Hosta 'Blue Mouse Ears'	blue dwarf hosta	10cm pot
Miscanthus sinensis 'Yaku Jima'	dwarf maiden grass	#2 pot

Groundcovers

Botanical Name	Common Name	Size
Omphalodes verna	creeping forget-me-not	#1 pot
Oxalis oregana (evergreen form)	evergreen redwood sorrell	10cm pot

Vines

Botanical Name	Common Name	Size
Hydrangea integrifolia	evergreen climbing hydrangea	#2 pot

Notes:

1. All work to be completed to current BCSLA Landscape Standards

2. All soft landscape to be irrigated with an automatic irrigation system

Site Features

CL planters, columns

CL slabs

Paving pattern 1 1:100

Paving pattern 2 - Amenity space 1:100

All paving for the courtyard area to be hydrapressed slabs (50mm thickness) to accommodate minimal coverage over underground parking.

Recommended product: Texada Series by Abbotsford Concrete in Natural (light grey), Charcoal (dark grey), and Desert Sand (mid-tone grey). Two sizes are shown in the patterns above - 610x610mm and 610x305mm.

Character Images

modular greenscreen panels

decorative screens

aluminum modular planters

aluminum modular planters

aluminum modular planters

bbq and prep

eastern redbud

golden full moon maple

kousa dogwood

Aluminum planters provided for a planted material. Colour to be coordinated with architectural features. Drainage provided at base of planters.

Recommended product: planters perfect

Metal mesh screens (black) with 50mm square spacing. Four 1200x2400mm panels shown, fixed on each end by posts. Medium sized planters included at base for plants and soil.

Recommended product: greenscreen modular panels

LADR LANDSCAPE ARCHITECTS

2B-495 Dupplin Rd. Victoria B.C. V8Z 1B8
Phone: (250) 598-0105 Fax: (250) 412-0696

PROJECT

Harbour Towers

345 Quebec Street

Victoria, BC

TITLE

Landscape Plan

SCALE

1:150

DRAWN

RL

CHECKED

BW

PROJECT No. 1643

DATE

Nov 28-16

L1 of 1

SHEET