

SKETCH PLAN OF PROPOSED SUBDIVISION OF

LOTS F and G, PLAN 1526, and LOT 37, PLAN 796,
SECTION 4, VICTORIA DISTRICT

All distances are shown in metres.

LEGEND

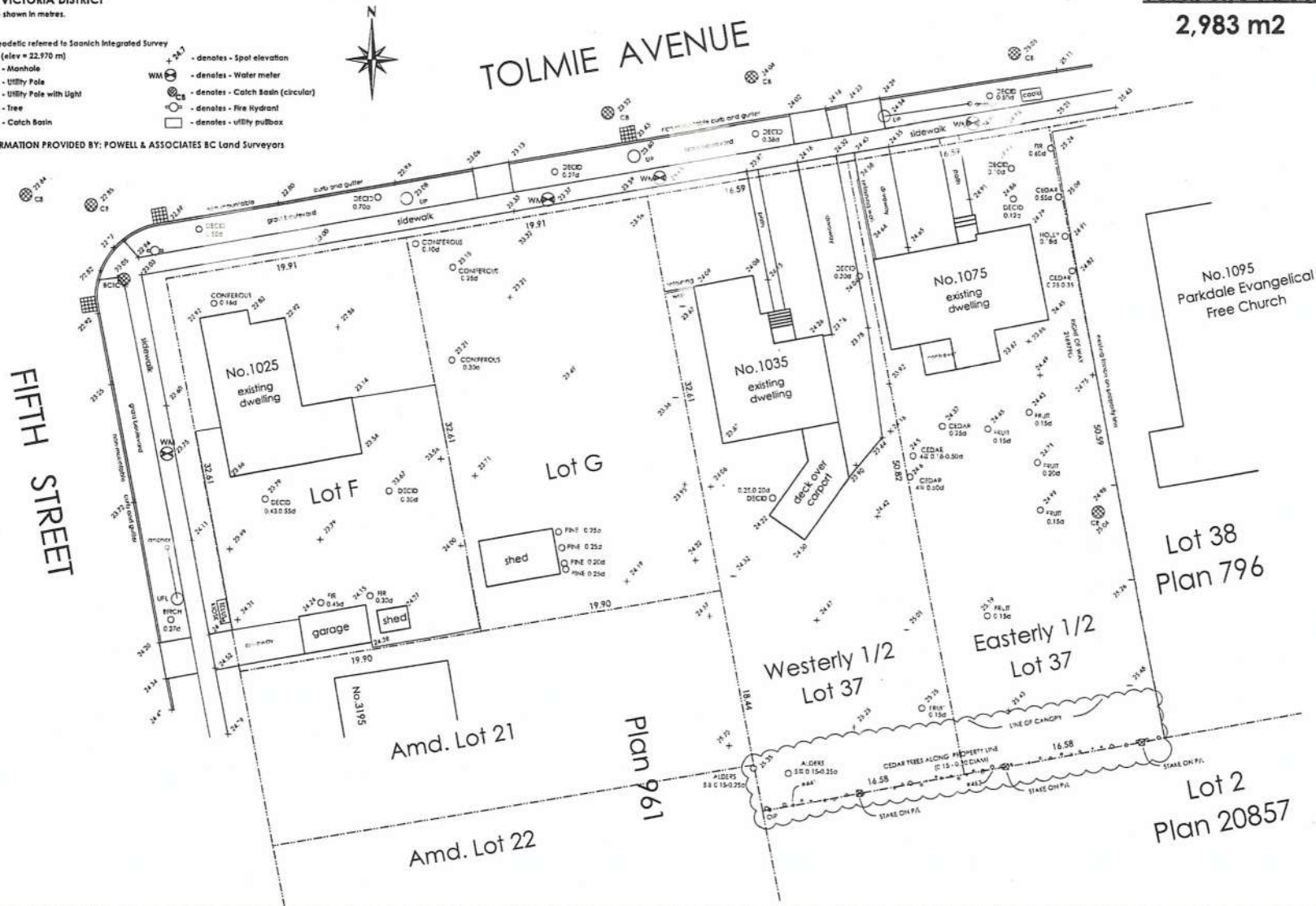
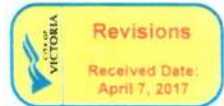
Belevations are geodetic referred to Sanich Integrated Survey
Monument 32-3. (elev = 22.970 m)

- denotes - Spot elevation
- denotes - Manhole
- denotes - Water meter
- denotes - Catch Basin (circular)
- denotes - Fire Hydrant
- denotes - utility pullbox
- denotes - Tree
- denotes - Catch Basin

SURVEY INFORMATION PROVIDED BY: POWELL & ASSOCIATES BC Land Surveyors

Total Site Area
2,983 m²

MANDEEP BAINS
Existing Site Plan



development
permit
Fifth and Tolmie

drawing #
7733

scale
1:150

drawn by
MDK

VICTORIA
DESIGN
GROUP

Date: 4/5/17

#103 - 891ATREE AVENUE
VICTORIA, B.C.
V8B 0A6

PH: 250.382.7374
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Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

7733-PROPOSED DEVELOPMENT PERMIT: FIFTH AND TOLMIE, VICTORIA B.C.

SKETCH PLAN OF PROPOSED SUBDIVISION OF LOTS F and G, PLAN 1526, and LOT 37, PLAN 796, SECTION 4, VICTORIA DISTRICT

Total Site Area
2,983 m²

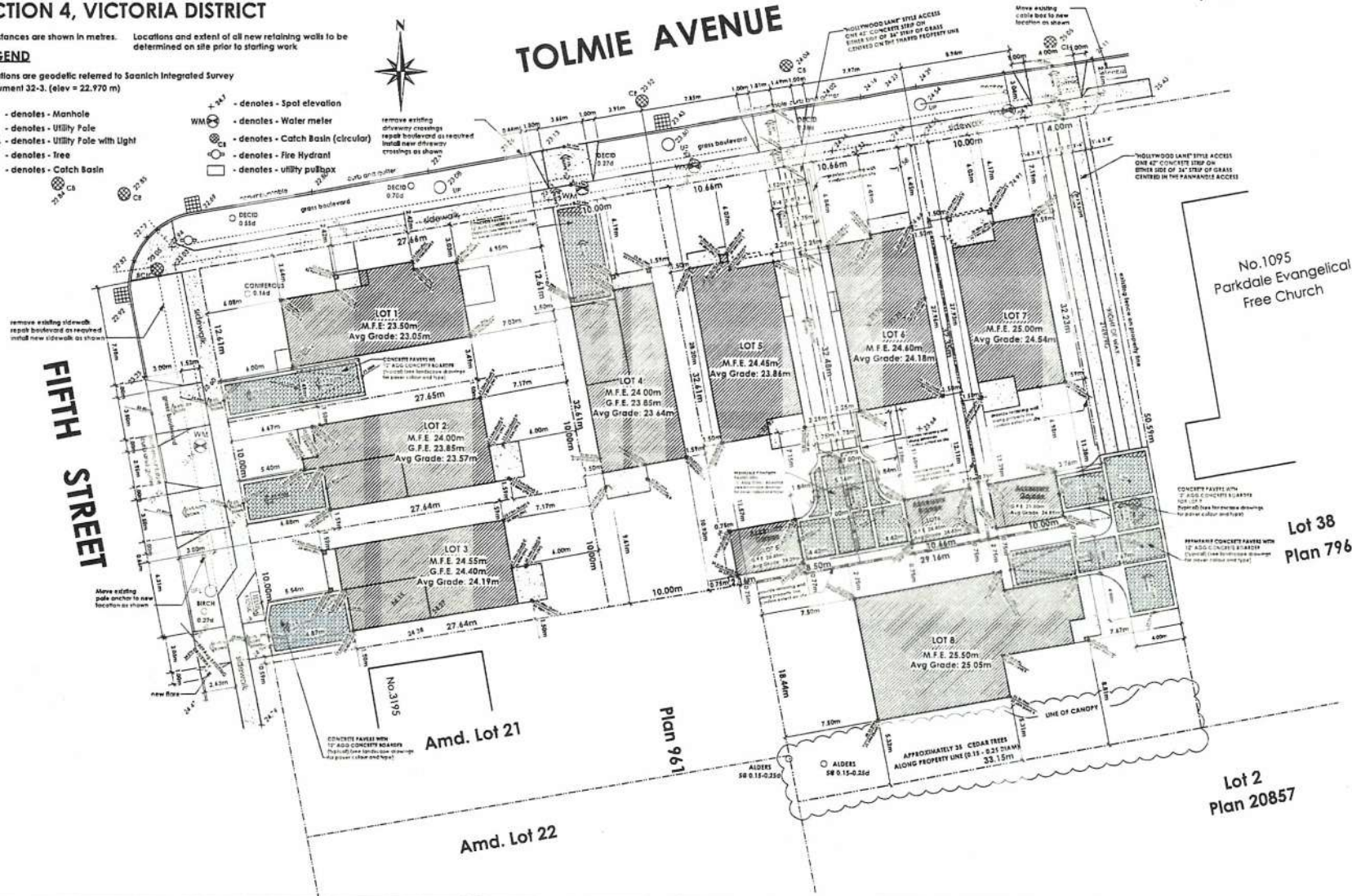
MANDEEP BAINS
Proposed Site Plan

All distances are shown in metres. Locations and extent of all new retaining walls to be determined on site prior to starting work.

LEGEND

Belevations are geodetic referred to Saanich Integrated Survey Monument 32-3. (elev = 22.970 m)

- - denotes - Manhole
- - denotes - Utility Pole
- - denotes - Utility Pole with Light
- - denotes - Tree
- - denotes - Catch Basin
- - denotes - Spot elevation
- WM - denotes - Water meter
- - denotes - Catch Basin (circular)
- - denotes - Fire Hydrant
- - denotes - utility pullbox



No.1095
Parkdale Evangelical
Free Church

Lot 38
Plan 796

development
permit
Fifth and Tolmie

drawing #
7733

scale
1:150

drawn by
MDK

**VICTORIA
DESIGN
GROUP**

Date: 4/5/17

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Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

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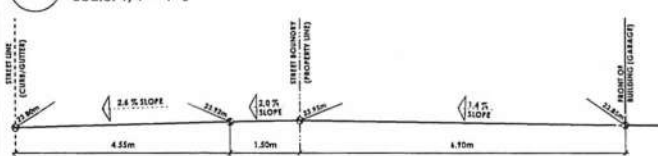
MANDEEP BAINS Site Data Tables & Driveway Slopes

PROJECT INFORMATION TABLE								
Lot Number	1	2	3	4	5	6	7	8
Zone (existing)	R1-52	R1-52	R1-52	R1-52	R1-52	R1-52	R1-52	R1-52
Lot Area	348.82 sq.m.	276.50 sq.m.	276.40 sq.m.	326.13 sq.m.	347.13 sq.m.	345.67 sq.m.	322.87 sq.m.	610.69 sq.m.
Total floor area (sq.m.)	168.71 sq.m.	144.59 sq.m.	144.04 sq.m.	151.91 sq.m.	166.92 sq.m.	170.18 sq.m.	153.97 sq.m.	141.79 sq.m.
Commercial floor area (sq.m.)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Floor space ratio	0.45 to 1.0	0.52 to 1.0	0.52 to 1.0	0.47 to 1.0	0.48 to 1.0	0.47 to 1.0	0.48 to 1.0	0.23 to 1.0
Site coverage %	25.10%	35.84%	36.77%	32.89%	34.60%	33.11%	36.77%	24.99%
Open site space %	64.27%	55.41%	52.37%	58.76%	55.53%	59.62%	59.42%	N/A
Open site space rear yard %	100.00%	100.00%	100.00%	100.00%	55.43%	58.42%	71.56%	N/A
Height of building (m)	6.63 m.	7.05 m.	7.46 m.	7.16 m.	7.21 m.	6.87 m.	6.91 m.	4.45 m.
Number of storeys	2	2	2	2	2	2	2	1
Parking stalls (number) on site	1	1	1	1	1	1	1	1
Bicycle parking number (storage and rack)	None	None	None	None	None	None	None	None
Building setbacks (m)								
Front yard	6.00 m.	5.40 m.**	5.54 m.**	6.17 m.	6.07 m.	6.45 m.	6.03 m.	7.67 m.
Rear yard to building	6.95 m.	6.00 m.	6.00 m.	9.61 m.	11.64 m.	11.60 m.	11.38 m.	7.50 m.
Side yard	2.42 m.	1.50 m.	1.50 m.	1.50 m.	1.50 m.	2.25 m.	1.50 m.	5.31 m.**
Side yard	3.49 m.	1.59 m.	1.59 m.	1.59 m.	2.25 m.	1.50 m.	1.59 m.	2.75 m.**
Combined side yards	5.91 m.	3.09 m.	3.09 m.	3.09 m.	3.75 m.	3.75 m.	3.09 m.	N/A
Residential Use Details								
Total number of units	1	1	1	1	1	1	1	1
Unit type, e.g. 1 bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom
Ground-orientated units	1	1	1	1	1	1	1	1
First floor area (excluding garage area)	80.44 sq.m.	67.73 sq.m.	67.73 sq.m.	68.42 sq.m.	86.40 sq.m.	88.17 sq.m.	79.64 sq.m.	141.79 sq.m.
Garage Area	0.00 sq.m.	20.44 sq.m.	20.44 sq.m.	21.37 sq.m.	0.00 sq.m.	0.00 sq.m.	0.00 sq.m.	0.00 sq.m.
Second floor area	75.07 sq.m.	75.42 sq.m.	74.47 sq.m.	80.52 sq.m.	80.52 sq.m.	82.01 sq.m.	74.31 sq.m.	0.00 sq.m.
Total building floor area (excluding required parking)	155.71 sq.m.	144.59 sq.m.	144.04 sq.m.	151.91 sq.m.	166.92 sq.m.	170.18 sq.m.	153.97 sq.m.	141.79 sq.m.

**INDICATES VARIANCE



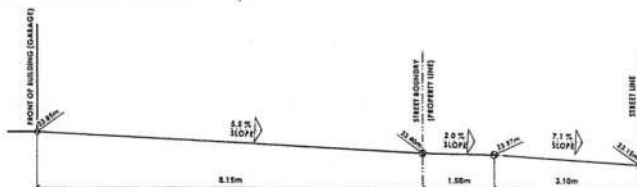
1 Lot 1 Driveway Slope
Scale: 1/4" = 1'-0"



2 Lot 2 Driveway Slope
Scale: 1/4" = 1'-0"



3 Lot 3 Driveway Slope
Scale: 1/4" = 1'-0"



4 Lot 4 Driveway Slope
Scale: 1/4" = 1'-0"

PROJECT INFORMATION TABLE (Accessory)		
Lot Number	5	7
Zone (existing)	R1-52	R1-52
Site Area (sq.m.)	347.13 sq.m.	345.67 sq.m.
Rear yard area	123.31 sq.m.	129.09 sq.m.
Rear yard site coverage %	16.28%	19.55%
Height of building (m)	3.49 m.	3.36 m.
Number of storeys	1	1
Building setbacks (m)		
Front yard	28.20 m.	27.96 m.
Rear yard	0.75 m.	0.75 m.
Side yard (East)	4.42 m.	0.75 m.
Side yard (West)	4.42 m.	0.75 m.
Between buildings	7.15 m.	7.19 m.
Residential Use Details		
Total number of units	1	1
Unit type, e.g. 1 bedroom	Garage	Garage
Ground-orientated units	1	1
Garage Area	18.25 sq.m.	18.25 sq.m.

AVERAGE GRADE CALCULATION LOT 1

A TO B: (23.23 + 23.23) ÷ 2 = 5.41 = 129.43
B TO C: (23.83 + 23.93) ÷ 2 = 4.83 = 105.44
C TO D: (23.90 + 23.93) ÷ 2 = 1.22 = 27.74
D TO E: (23.90 + 23.93) ÷ 2 = 0.81 = 149.01
E TO F: (23.95 + 23.95) ÷ 2 = 0.81 = 89.63
F TO G: (23.95 + 23.95) ÷ 2 = 0.81 = 140.73
G TO H: (23.13 + 23.23) ÷ 2 = 1.63 = 337.37
Total = 953.43

Average Grade: 953.43 ÷ 42.68 = 22.05m

AVERAGE GRADE CALCULATION LOT 2

A TO B: (23.47 + 23.20) ÷ 2 = 12.82 = 322.47
B TO C: (23.20 + 23.56) ÷ 2 = 3.76 = 92.51
C TO D: (23.54 + 23.56) ÷ 2 = 1.22 = 28.72
D TO E: (23.54 + 23.76) ÷ 2 = 2.15 = 41.77
E TO F: (23.76 + 23.76) ÷ 2 = 14.73 = 355.13
F TO G: (23.78 + 23.84) ÷ 2 = 3.51 = 82.26
G TO H: (23.44 + 23.84) ÷ 2 = 1.52 = 35.76
H TO I: (23.44 + 23.82) ÷ 2 = 0.91 = 21.51
I TO J: (23.42 + 23.82) ÷ 2 = 1.22 = 28.82
J TO A: (23.42 + 23.47) ÷ 2 = 2.43 = 58.63
Total = 1091.94

Average Grade: 1091.94 ÷ 43.33 = 25.21m

AVERAGE GRADE CALCULATION LOT 3

A TO B: (23.95 + 23.95) ÷ 2 = 14.88 = 334.28
B TO C: (23.95 + 24.34) ÷ 2 = 3.76 = 92.51
C TO D: (24.34 + 24.34) ÷ 2 = 1.22 = 27.74
D TO E: (24.34 + 24.40) ÷ 2 = 2.85 = 71.89
E TO F: (24.40 + 24.40) ÷ 2 = 14.73 = 355.13
F TO G: (24.40 + 24.20) ÷ 2 = 3.51 = 82.26
G TO H: (24.20 + 24.20) ÷ 2 = 1.37 = 33.20
H TO A: (24.20 + 23.95) ÷ 2 = 3.40 = 81.84
Total = 1113.34

Average Grade: 1113.34 ÷ 44.02 = 24.19m

AVERAGE GRADE CALCULATION LOT 4

A TO B: (23.81 + 23.85) ÷ 2 = 15.54 = 347.99
B TO C: (23.85 + 23.85) ÷ 2 = 3.36 = 79.50
C TO D: (23.85 + 23.85) ÷ 2 = 1.22 = 27.74
D TO E: (23.85 + 23.85) ÷ 2 = 3.36 = 84.91
E TO F: (23.85 + 23.85) ÷ 2 = 2.37 = 87.00
F TO G: (23.85 + 23.20) ÷ 2 = 15.16 = 310.25
G TO H: (23.30 + 23.40) ÷ 2 = 3.88 = 85.44
H TO I: (23.40 + 23.40) ÷ 2 = 1.32 = 28.65
I TO A: (23.40 + 23.51) ÷ 2 = 2.31 = 74.23
Total = 1119.28

Average Grade: 1119.28 ÷ 47.25 = 23.44m

AVERAGE GRADE CALCULATION LOT 5

A TO B: (24.97 + 23.85) ÷ 2 = 13.61 = 324.10
B TO C: (23.85 + 23.82) ÷ 2 = 4.91 = 164.30
C TO D: (23.82 + 23.65) ÷ 2 = 14.35 = 329.74
D TO E: (23.65 + 24.00) ÷ 2 = 3.64 = 82.85
E TO F: (24.00 + 24.00) ÷ 2 = 0.41 = 16.44
F TO G: (24.00 + 24.00) ÷ 2 = 0.81 = 16.44
G TO H: (24.00 + 24.00) ÷ 2 = 1.32 = 21.72
H TO A: (24.00 + 24.07) ÷ 2 = 3.64 = 88.10
Total = 1043.32

Average Grade: 1043.32 ÷ 43.67 = 23.84m

AVERAGE GRADE CALCULATION LOT 6 ACCESSORY

A TO B: (24.34 + 24.41) ÷ 2 = 5.49 = 129.87
B TO C: (24.41 + 24.10) ÷ 2 = 3.64 = 82.85
C TO D: (24.10 + 24.34) ÷ 2 = 5.49 = 129.87
D TO A: (24.34 + 24.34) ÷ 2 = 3.64 = 82.85
Total = 434.71

Average Grade: 434.71 ÷ 18.30 = 23.74m

AVERAGE GRADE CALCULATION LOT 7

A TO B: (23.40 + 24.43) ÷ 2 = 8.51 = 192.54
B TO C: (24.43 + 24.16) ÷ 2 = 7.94 = 184.95
C TO D: (24.16 + 23.73) ÷ 2 = 0.91 = 165.00
D TO E: (23.73 + 24.20) ÷ 2 = 1.51 = 321.97
E TO F: (24.20 + 24.43) ÷ 2 = 3.61 = 88.47
F TO G: (24.43 + 24.43) ÷ 2 = 0.31 = 7.58
G TO A: (24.43 + 24.43) ÷ 2 = 3.40 = 83.13
Total = 1072.24

Average Grade: 1072.24 ÷ 41.45 = 24.18m

AVERAGE GRADE CALCULATION LOT 8 ACCESSORY

A TO B: (24.45 + 24.45) ÷ 2 = 5.49 = 129.87
B TO C: (24.45 + 24.45) ÷ 2 = 1.51 = 34.92
C TO D: (24.45 + 24.28) ÷ 2 = 2.10 = 53.39
D TO E: (24.28 + 24.45) ÷ 2 = 2.27 = 55.31
E TO F: (24.45 + 24.45) ÷ 2 = 3.22 = 73.73
F TO A: (24.45 + 24.45) ÷ 2 = 3.64 = 81.47
Total = 454.71

Average Grade: 454.71 ÷ 19.30 = 23.56m

AVERAGE GRADE CALCULATION LOT 9

A TO B: (24.78 + 24.55) ÷ 2 = 13.67 = 324.10
B TO C: (24.55 + 24.09) ÷ 2 = 4.91 = 164.30
C TO D: (24.09 + 24.72) ÷ 2 = 14.73 = 355.13
D TO E: (24.72 + 24.81) ÷ 2 = 3.64 = 82.85
E TO F: (24.81 + 24.74) ÷ 2 = 1.07 = 24.31
F TO A: (24.74 + 24.78) ÷ 2 = 3.31 = 80.47
Total = 1052.33

Average Grade: 1052.33 ÷ 43.29 = 24.34m

AVERAGE GRADE CALCULATION LOT 10 ACCESSORY

A TO B: (23.00 + 24.84) ÷ 2 = 5.47 = 124.81
B TO C: (24.84 + 24.73) ÷ 2 = 3.44 = 79.75
C TO D: (24.73 + 24.80) ÷ 2 = 5.49 = 124.82
D TO A: (24.80 + 25.00) ÷ 2 = 3.64 = 82.85
Total = 454.71

Average Grade: 454.71 ÷ 19.30 = 23.56m

AVERAGE GRADE CALCULATION LOT 11

A TO B: (23.35 + 25.20) ÷ 2 = 3.51 = 82.85
B TO C: (25.20 + 25.20) ÷ 2 = 7.04 = 177.91
C TO D: (25.20 + 25.01) ÷ 2 = 5.33 = 134.00
D TO E: (25.01 + 24.92) ÷ 2 = 6.87 = 147.25
E TO F: (24.92 + 24.92) ÷ 2 = 1.12 = 25.84
F TO G: (24.92 + 24.42) ÷ 2 = 12.09 = 271.25
G TO H: (24.42 + 25.24) ÷ 2 = 10.34 = 238.28
H TO A: (25.24 + 25.33) ÷ 2 = 10.92 = 272.22
Total = 1417.57

Average Grade: 1417.57 ÷ 58.48 = 24.25m

#103 - 891A TREE AVENUE
VICTORIA, B.C.
V9B 0A6

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Fifth and Tolmie DEVELOPMENT PERMIT PRESENTATION

**VICTORIA
DESIGN
GROUP**

Date: 4/5/17



1095 TOLMIE AVENUE
(Parkdale Evangelical Free Church)

1 Tolmie Steet Elevations

Scale: 1/8" = 1'-0"



Lot 7



Lot 4



Lot 5



Lot 4

TO LOT 1 (Corner lot)

TO 1095 TOLMIE AVENUE
(Parkdale Evangelical Free Church)



Lot 7



Lot 4



Lot 5



Lot 4



Lot 1

2 Tolmie Steet Elevations

Scale: 1/8" = 1'-0"



Lot 1



Lot 2



Lot 3



3195 Fifth Street

3 Fifth Steet Elevations

Scale: 1/8" = 1'-0"

MANDEEP BAINS
Streetscape

development
permit
Fifth and Tolmie

drawing #
7733

scale
1/8" = 1'-0"

drawn by
MDK

VICTORIA
DESIGN
GROUP

Date: 4/5/17

#103 - 891 ATREE AVENUE
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Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

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7733: PROPOSED DEVELOPMENT PERMIT: FIFTH AND TOLMIE, VICTORIA B.C.



1 **West (Fifth) Elevation**
Scale: 1/4" = 1'-0"



2 **South Elevation**
Scale: 1/4" = 1'-0"



3 **East Elevation**
Scale: 1/4" = 1'-0"



4 **North (Tolmie) Elevation**
Scale: 1/4" = 1'-0"

Colour Legend

- HardiePlank Lap Siding Smooth
- Benjamin Moore: Rainstorm (BM CSP-50)
- HardiePanel Smooth
- Benjamin Moore: Moonshine (BM OC-56)
- TRIM
- Benjamin Moore: Snow White (BM 2122-70)
- Laminated Asphalt Roofing Shingle
- Oxford Grey
- Doors
- Natural Stain Wood
- Windows
- White Vinyl Windows

MANDEEP BAINS
Lot 1
Colour Elevations

development
permit
Fifth and Tolmie

drawing #
7733

scale
1/4" = 1'-0"

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VICTORIA
DESIGN
GROUP

Date: 4/5/17

#103 - 8911 TREE AVENUE
VICTORIA, B.C.
V9B 0A6

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Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

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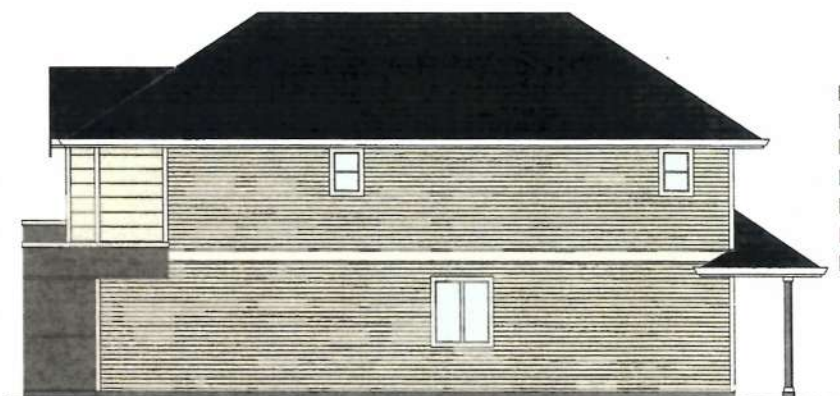
MANDEEP BAINS
Lot 2
Colour Elevations

Colour Legend

- HardiePlank Lap Siding Smooth
- Benjamin Moore: Sea Salt (BM CSP-115)
- HardiePanel Smooth & Posh
- Benjamin Moore: Barnwood (BM CSP-45)
- TRIM
- Benjamin Moore: Foggy Morning (BM 2104-70)
- Laminated Asphalt Roofing Shingle
- Rustic Black
- EASYTRIM Aluminum Reveal
- Unpainted Aluminum
- Doors
- Natural Stain Wood
- Windows
- White Vinyl Windows



1 **West (Fifth) Elevation**
Scale: 1/4" = 1'-0"



2 **South Elevation**
Scale: 1/4" = 1'-0"



3 **East Elevation**
Scale: 1/4" = 1'-0"



4 **North Elevation**
Scale: 1/4" = 1'-0"

development
permit
Fifth and Tolmie

drawing #
7733

scale
1/4" = 1'-0"

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VICTORIA
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GROUP

Date: 4/5/17

#103 - 891A TREE AVENUE
VICTORIA, B.C.
V9B 0A6

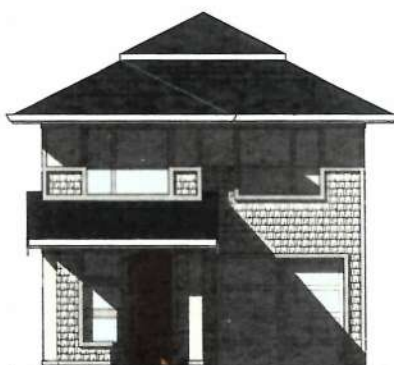
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Fifth and Tolmie DEVELOPMENT PERMIT PRESENTATION

MANDEEP BAINS
Lot 3
Colour Elevations

Colour Legend

- HardieShingle Siding Straight Edge Panel
- Benjamin Moore: Frostone (BM AF-5)
- HardiePanel Smooth, Columns, and Garage Door
- Benjamin Moore: Frostone (BM AF-5)
- TRIM
- Benjamin Moore: Perspective (BM CSP-5)
- Laminated Asphalt Roofing Shingle
- Oxford Grey
- Doors
- Natural Stain Wood
- Windows
- White Vinyl Windows



1 **West (Fifth) Elevation**
Scale: 1/4" = 1'-0"



2 **South Elevation**
Scale: 1/4" = 1'-0"



3 **East Elevation**
Scale: 1/4" = 1'-0"



4 **North Elevation**
Scale: 1/4" = 1'-0"

development
permit
Fifth and Tolmie

drawing #
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scale
1/4" = 1'-0"

drawn by
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VICTORIA
DESIGN
GROUP

Date: 4/5/17

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Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

MANDEEP BAINS
 Lot 4
 Colour Elevations



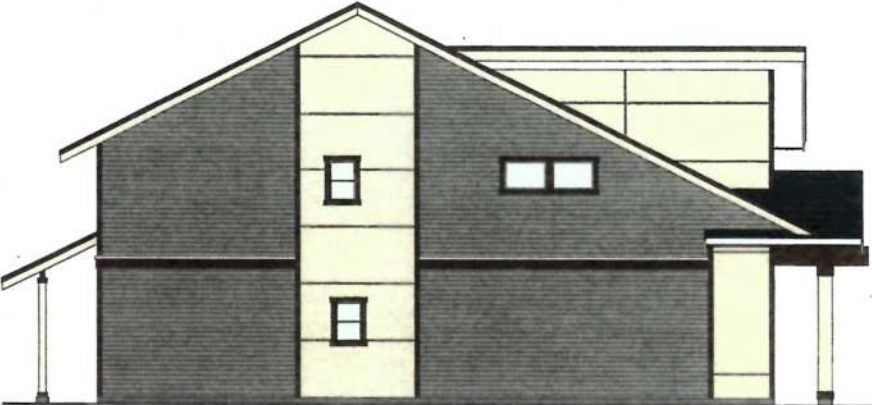
1 North (Tolmie) Elevation
 Scale: 1/4" = 1'-0"



2 West Elevation
 Scale: 1/4" = 1'-0"



3 South Elevation
 Scale: 1/4" = 1'-0"



4 East Elevation
 Scale: 1/4" = 1'-0"

- Colour Legend**
- HardiePlank Lap Siding Smooth
 - Benjamin Moore: Upper West Side (BM C15F-70)
 - HardiePanel Smooth, Columns, and Garage Door
 - Benjamin Moore: Skipping Stone (BM C15F-155)
 - Trim
 - Benjamin Moore: Deep Taupe (BM 2111-10)
 - Laminated Asphalt Roofing Shingle
 - Kvick Black
 - EASYTRIM Aluminum Reveals
 - Unpainted Aluminum
 - Doors
 - Natural Stain Wood
 - Windows
 - White Vinyl Windows

development
 permit
 Fifth and Tolmie

drawing #
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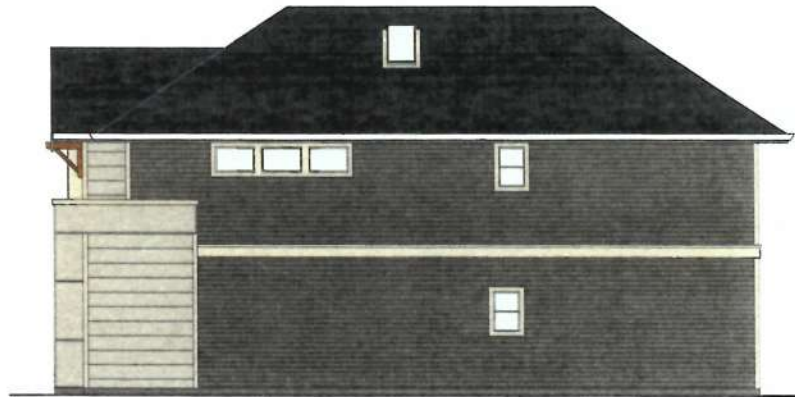
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1 **North (Tolmie) Elevation**
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2 **West Elevation**
Scale: 1/4" = 1'-0"



3 **South Elevation**
Scale: 1/4" = 1'-0"



4 **East Elevation**
Scale: 1/4" = 1'-0"

Colour Legend

HardiePlank Lap Siding Smooth
Benjamin Moore: Sarnwood (BM CSP-115)
HardiePanel Siding Smooth
Benjamin Moore: cosmopolitan (BM CSP-100)
TRIM
Benjamin Moore: Camouflage (BM 2143-40)
Laminated Asphalt Roofing Shingle
Oxford Grey
EASTRIM Aluminum Reveals
Unpainted Aluminum
Doors & Knee Braces
Natural Stain Wood
Windows
White Vinyl Windows

MANDEEP BAINS
Lot 5
Colour Elevations

development
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Fifth and Tolmie

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Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

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7733::PROPOSED DEVELOPMENT PERMIT::FIFTH AND TOLMIE, VICTORIA B.C.

MANDEEP BAINS
Lot 6
Colour Elevations

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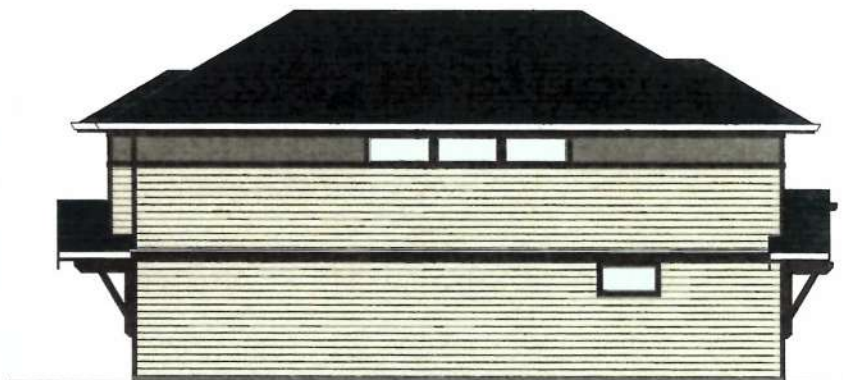
1 North (Tolmie) Elevation
Scale: 1/4" = 1'-0"



2 West Elevation
Scale: 1/4" = 1'-0"



3 South Elevation
Scale: 1/4" = 1'-0"



4 East Elevation
Scale: 1/4" = 1'-0"

Colour Legend

	HardiePlank Lap Siding Smooth
	Benjamin Moore: Penthouse (BM CSP-35)
	HardiePanel Smooth (butt joint)
	Benjamin Moore: Tuxedo Coat (BM CSP-85)
	Trim
	Benjamin Moore: Deep Caviar (BM 2130-20)
	Laminated Asphalt Roofing Shingle
	Artic Black
	Doors
	Benjamin Moore: Blue Danube (BM 2042-30)
	Windows
	White Vinyl Windows

development
permit
Fifth and Tolmie

drawing #
7733

scale
1/4" = 1'-0"

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GROUP

Date: 4/5/17

#103 - 891ATREE AVENUE
VICTORIA, B.C.
V9B 0A6

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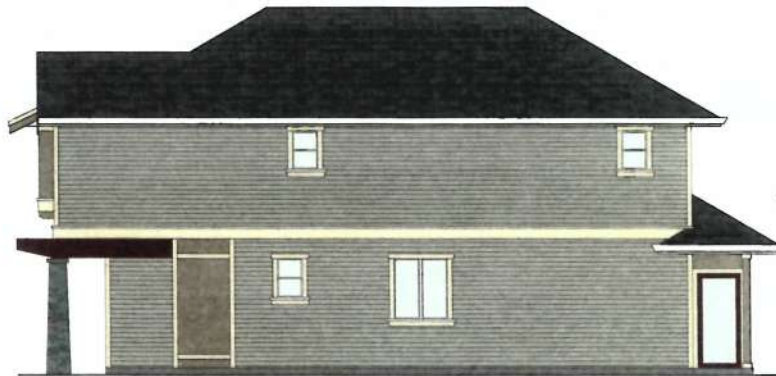
Fifth and Tolmie
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1 **North (Tolmie) Elevation**
Scale: 1/4" = 1'-0"



2 **West Elevation**
Scale: 1/4" = 1'-0"

Colour Legend

	HardiePlank Lap Siding Smooth
	Benjamin Moore: Museum Felce (BM CSP-40)
	HardiePanel Smooth
	Benjamin Moore: Cathedral Gray (BM CSP-205)
	TRIM
	Benjamin Moore: Nappe (BM AF-85)
	Laminated Asphalt Roofing Shingle
	Oxford Gray
	Doors and Exposed Beams
	Natural Stain Wood
	Windows
	White Vinyl Windows



3 **South Elevation**
Scale: 1/4" = 1'-0"



4 **East Elevation**
Scale: 1/4" = 1'-0"

MANDEEP BAINS
Lot 7
Colour Elevations

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scale
1/4" = 1'-0"

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MANDEEP BAINS
Lot 8
Colour Elevations



1 **East Elevation**
Scale: 1/4" = 1'-0"



2 **North Elevation**
Scale: 1/4" = 1'-0"

Colour Legend

	HardiePlank Lap Siding Smooth
	Benjamin Moore: Pristine (BM A1-5)
	HardiePanel Smooth
	Benjamin Moore: Pristine (BM A1-5)
	TRIM
	Benjamin Moore: Perspective (BM C3F-5)
	Laminated Asphalt Roofing Shingle
	Oxford Grey
	Door
	Benjamin Moore: Snow White (BM 2122-70)



3 **West Elevation**
Scale: 1/4" = 1'-0"



4 **South Elevation**
Scale: 1/4" = 1'-0"

development
permit
Fifth and Tolmie

drawing #
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scale
1/4" = 1'-0"

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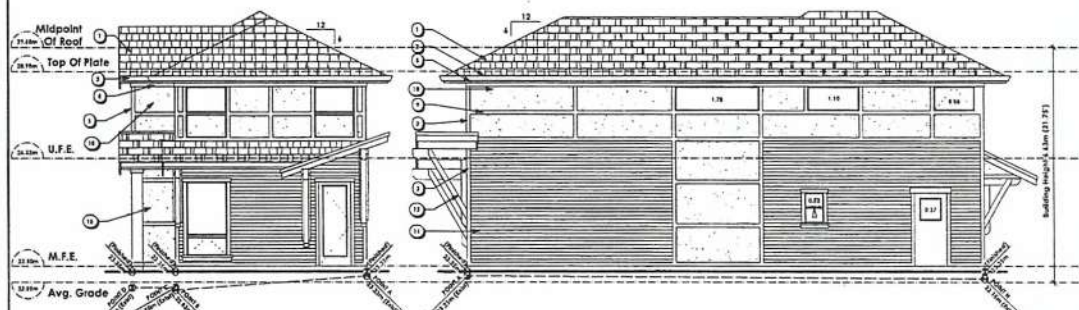
MANDEEP BAINS
Lot 1

development
permit
Fifth and Tolmie

drawing #
7733
scale
3/16" = 1'-0"
drawn by
MDK

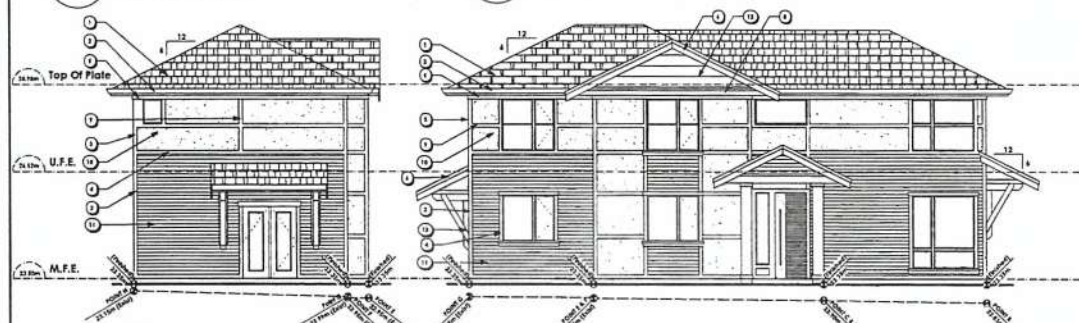
VICTORIA
DESIGN
GROUP

Date: 4/5/17



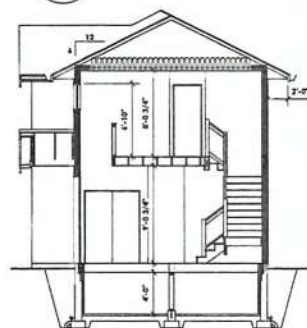
1 West (Fifth) Elevation
Scale: 3/16" = 1'-0"

2 South Elevation
Scale: 3/16" = 1'-0"



3 East Elevation
Scale: 3/16" = 1'-0"

4 North (Tolmie) Elevation
Scale: 3/16" = 1'-0"



5 Section A-A
Scale: 3/16" = 1'-0"

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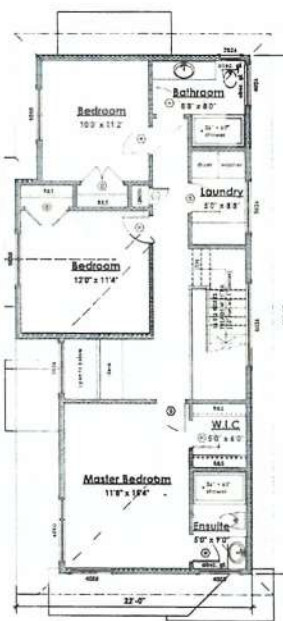
- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN ALUMINUM GUTTER
 - 3 1x4 CORNER TRIM
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 1x4 SOFFIT TRIM
 - 6 1x4 TRIM ON 2x10 BARGE BOARD
 - 7 METAL FLASHING ON 1x4 TRIM
 - 8 METAL FLASHING ON 2x4 FACIA TRIM
 - 9 1x4 TRIM
 - 10 HARDY PANEL SIDING
 - 11 HARDY PANEL LAP SIDING (1" REVEAL)
 - 12 LAPPED HARDY PANEL SIDING (1/2" REVEAL)
 - 13 KNEE BRACE

DOOR SCHEDULE

A	8'0" X 4'0" (2438 X 2032)	F	2'10" X 4'0" (644 X 2032)
B	4'0" X 4'0" (1025 X 2032)	G	3'0" X 4'0" (762 X 2032)
C	5'0" X 4'0" (1524 X 2032)	H	2'6" X 4'0" (660 X 2032)
D	4'0" X 4'0" (1025 X 2032)	I	2'4" X 4'0" (610 X 2032)
E	3'0" X 4'0" (762 X 2032)	J	2'0" X 4'0" (508 X 2032)
		K	1'6" X 4'0" (406 X 2032)



6 Main Floor Plan
Scale: 3/16" = 1'-0"
848.00 sq.ft. (80.64 sq.m.)



7 Upper Floor Plan
Scale: 3/16" = 1'-0"
808.00 sq.ft. (75.07 sq.m.)

Fifth and Tolmie
DEVELOPMENT PERMIT PRESENTATION

MANDEEP BAINS
Lot 2

development
permit
Fifth and Tolmie

drawing #
7733

scale
3/16" = 1'-0"

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**VICTORIA
DESIGN
GROUP**

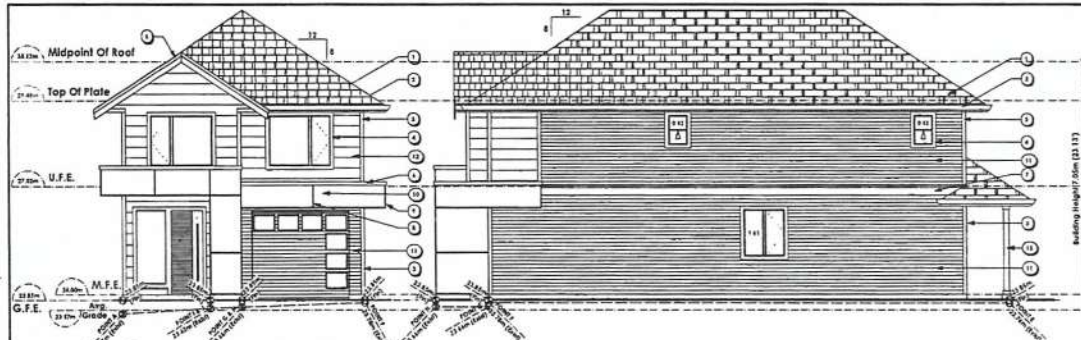
Date: 4/5/17

DOOR SCHEDULE

A	8'0" X 4'0" (2438 X 2032)	F	3'10" X 4'0" (844 X 2032)
B	4'0" X 4'0" (1027 X 2032)	G	2'0" X 4'0" (813 X 2032)
C	6'0" X 4'0" (1524 X 2032)	H	2'4" X 4'0" (712 X 2032)
D	4'0" X 4'0" (1027 X 2032)	J	2'4" X 4'0" (711 X 2032)
E	3'0" X 4'0" (764 X 2032)	K	2'0" X 4'0" (810 X 2032)
		L	1'6" X 4'0" (808 X 2032)

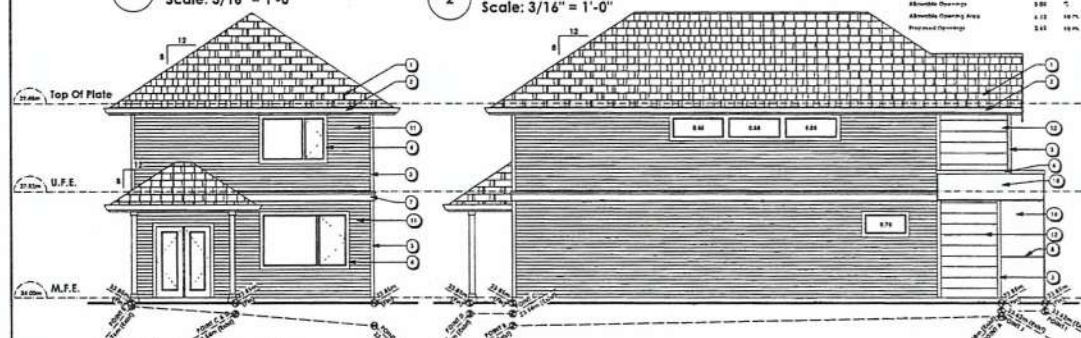
Exterior Finish Schedule

- | | | | |
|---|--|----|--|
| 1 | LAMINATED ASPHALT SHINGLES | 10 | EXTRUDED ALUMINUM REVEAL (EAST/WEST OR EQ.) |
| 2 | PER-FIN ALUMINUM GUTTER | 11 | EXTRUDED ALUMINUM CORNER TRIM (EAST/WEST OR EQ.) |
| 3 | 1-4 COPPER TRIM | 12 | HARDIPANEL SIDING |
| 4 | 1-4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED) | 13 | HARDIPANEL LAP SIDING (4" REVEAL) |
| 5 | 1-4 TRIM ON 2-10 BARGE BOARD | 14 | LAPPED HARDIPANEL SIDING (12" REVEAL) |
| 6 | METAL FLASHING ON 2-10 TRIM | 15 | CLADDING ON 8-6 WOOD POST |
| 7 | METAL FLASHING ON 2-10 FASCIA TRIM | | |



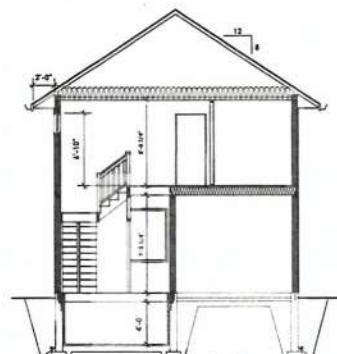
1 West (Fifth) Elevation
Scale: 3/16" = 1'-0"

2 South Elevation
Scale: 3/16" = 1'-0"

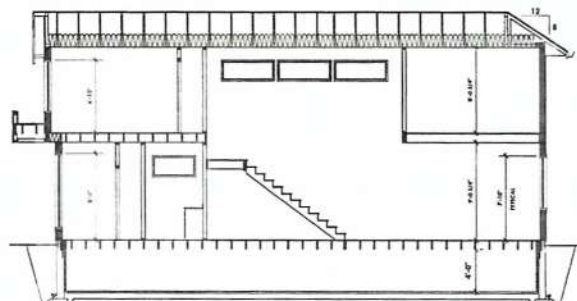


3 East Elevation
Scale: 3/16" = 1'-0"

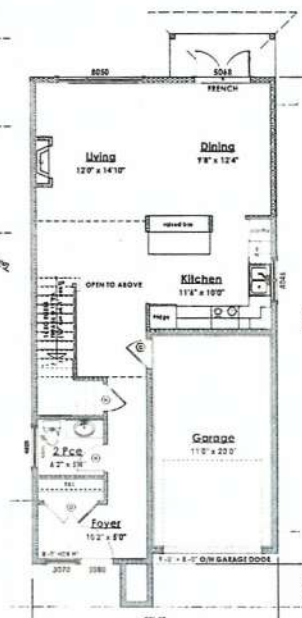
4 North Elevation
Scale: 3/16" = 1'-0"



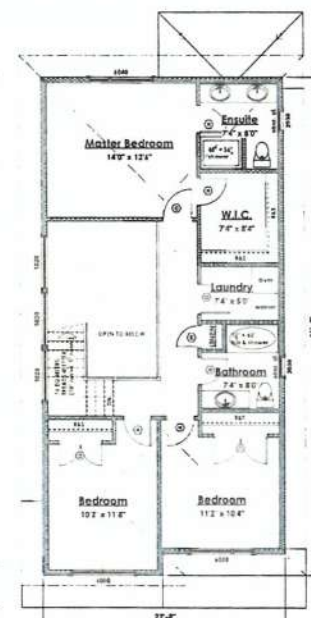
5 Section A-A
Scale: 3/16" = 1'-0"



6 Section B-B
Scale: 3/16" = 1'-0"



7 Main Floor Plan
Scale: 3/16" = 1'-0"
729.05 sq.ft. (67.73 sq.m.)
Garage 220.00 sq.ft. (20.44 sq.m.)



8 Upper Floor Plan
Scale: 3/16" = 1'-0"
811.81 sq.ft. (75.42 sq.m.)

#103 - 891ATREE AVENUE
VICTORIA, B.C.
V8B 0A6

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Fifth and Tolmie
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MANDEEP BAINS
Lot 3

development
permit
Fifth and Tolmie

drawing #
7733
scale
3/16" = 1'-0"
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MDK

VICTORIA
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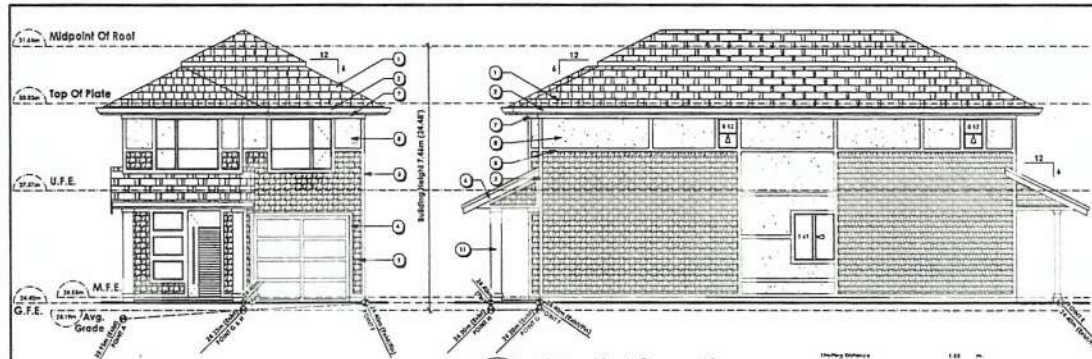
Date: 4/5/17

Exterior Finish Schedule

- ① LAMINATED ASPHALT SHINGLES
- ② PRE-FIN ALUMINUM GUTTER
- ③ 1x4 CORNER TRIM
- ④ 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- ⑤ METAL FLASHING ON 1x4 TRIM
- ⑥ 1x4 TRIM ON 2x10 BARGE BOARD
- ⑦ 1x4 SOFFIT TRIM
- ⑧ HARDIPANEL SIDING
- ⑨ HARDISINGLE SIDING STRAIGHT EDGE PANEL
- ⑩ CLADDING ON 6x6 WOOD POST
- ⑪ 12"x12" (FBI) BUILT UP WOOD COLUMN

DOOR SCHEDULE

A	6/0 X 4/8 (2436 X 2032)	F	2/10 X 4/8 (1647 X 2032)
B	4/0 X 4/8 (1627 X 2032)	G	2/6 X 4/8 (813 X 2032)
C	5/0 X 4/8 (1324 X 2032)	H	2/4 X 4/8 (762 X 2032)
D	4/0 X 4/8 (1211 X 2032)	J	2/4 X 4/8 (711 X 2032)
E	3/0 X 4/8 (914 X 2032)	K	2/0 X 4/8 (410 X 2032)
		L	1/6 X 4/8 (503 X 2032)



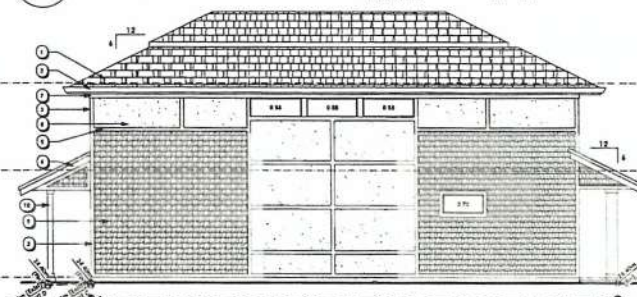
1 West (Fifth) Elevation
Scale: 3/16" = 1'-0"

2 South Elevation
Scale: 3/16" = 1'-0"

Overall Width	1.00	m
Overall Building Foot	71.21	m
Overall Depth	9.00	m
Overall Footprint Area	6.10	m ²
Overall Footprint Area	2.68	m ²

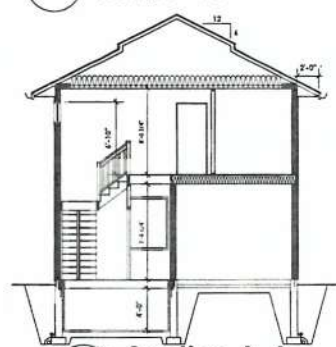


3 East Elevation
Scale: 3/16" = 1'-0"

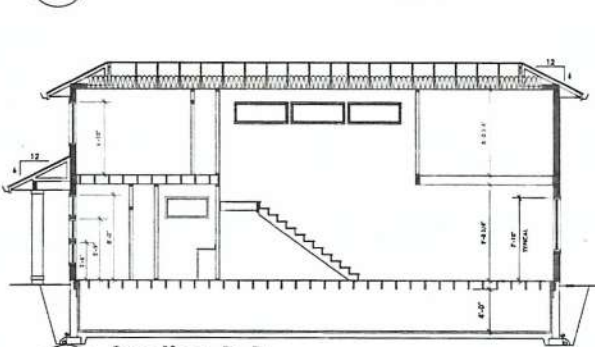


4 North Elevation
Scale: 3/16" = 1'-0"

Overall Width	1.00	m
Overall Building Foot	71.21	m
Overall Depth	9.00	m
Overall Footprint Area	6.10	m ²
Overall Footprint Area	2.68	m ²



5 Section A-A
Scale: 3/16" = 1'-0"

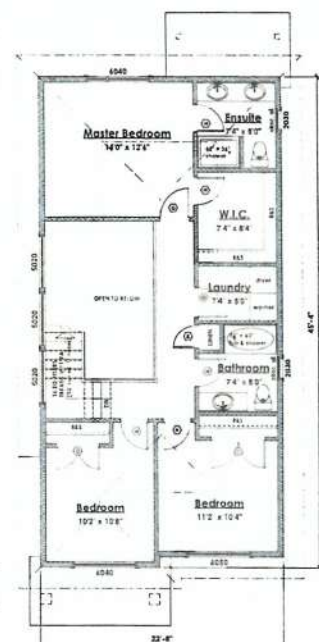


6 Section B-B
Scale: 3/16" = 1'-0"



7 Main Floor Plan
Scale: 3/16" = 1'-0"

729.05 sq.ft. (67.73 sq.m.)
Garage 220.00 sq.ft. (20.44 sq.m.)



8 Upper Floor Plan
Scale: 3/16" = 1'-0"

801.64 sq.ft. (74.47 sq.m.)

#103 - 891ATREE AVENUE
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V8B 0A6

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Fifth and Tolmie
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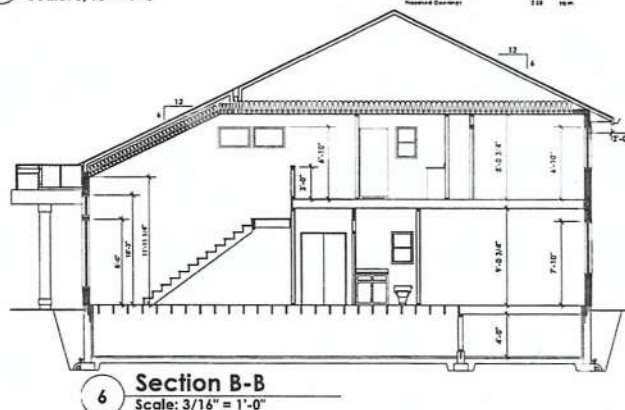
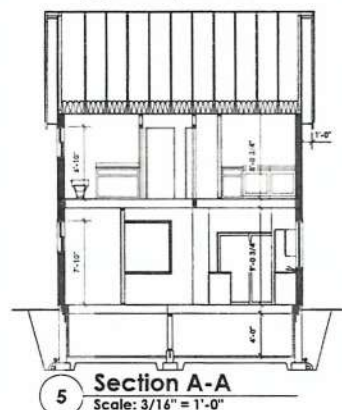
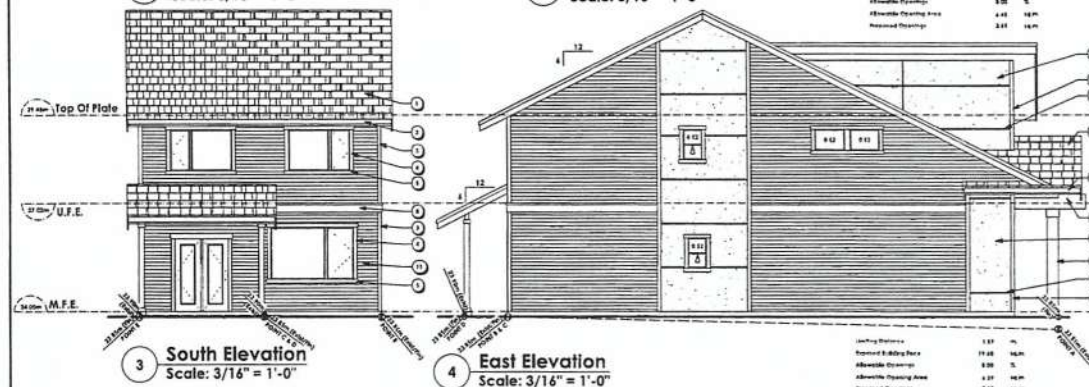
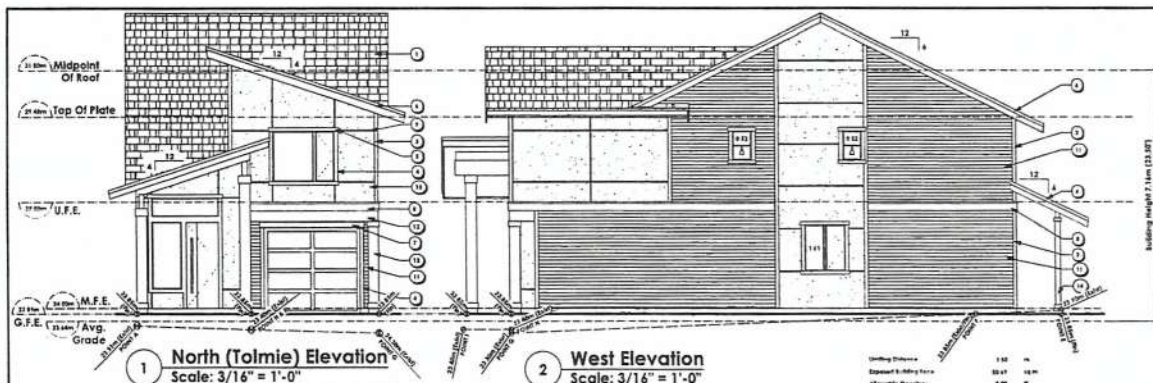
MANDEEP BAINS
Lot 4

development
permit
Fifth and Tolmie

drawing #
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scale
3/16" = 1'-0"
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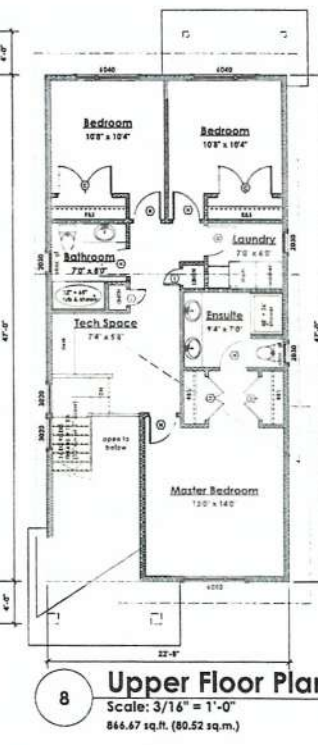
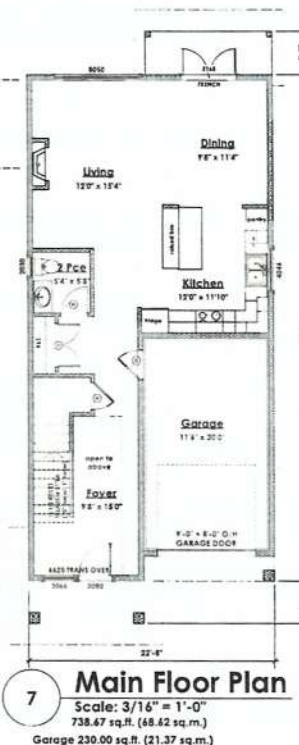
Date: 4/5/17



- Exterior Finish Schedule
- 1 LAMINATED ASPHALT SHINGLES
 - 2 2x4 CORNER TRIM
 - 3 1x4 DOGS AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 4 METAL FLASHING ON 2x4 WINDOW HEAD AND SILL TRIM
 - 5 1x4 TRIM ON 2x10 BARGE BOARD
 - 6 1x4 TRIM
 - 7 METAL FLASHING ON 2x10 FASCIA TRIM
 - 8 EXTRUDED ALUMIN. REVEAL (EAST/STREET OR EQ.)
 - 9 HARDIEPANEL SIDING
 - 10 HARDIEPANEL LAP SIDING (1" REVEAL)
 - 11 EXPOSED ENGINEERED BEAM
 - 12 12"x12" (7/8") BUILT-UP WOOD COLUMN
 - 13 CLADDING ON 4x4 WOOD POST

DOOR SCHEDULE

A	6/8 X 6/8 (2430 X 2032)	F	2/10 X 6/8 (864 X 2032)
B	6/8 X 6/8 (1829 X 2032)	G	2/8 X 6/8 (813 X 2032)
C	6/8 X 6/8 (1824 X 2032)	H	2/4 X 6/8 (711 X 2032)
D	6/8 X 6/8 (1219 X 2032)	J	2/4 X 6/8 (711 X 2032)
E	6/8 X 6/8 (1714 X 2032)	K	2/8 X 6/8 (813 X 2032)
		L	1/4 X 6/8 (508 X 2032)



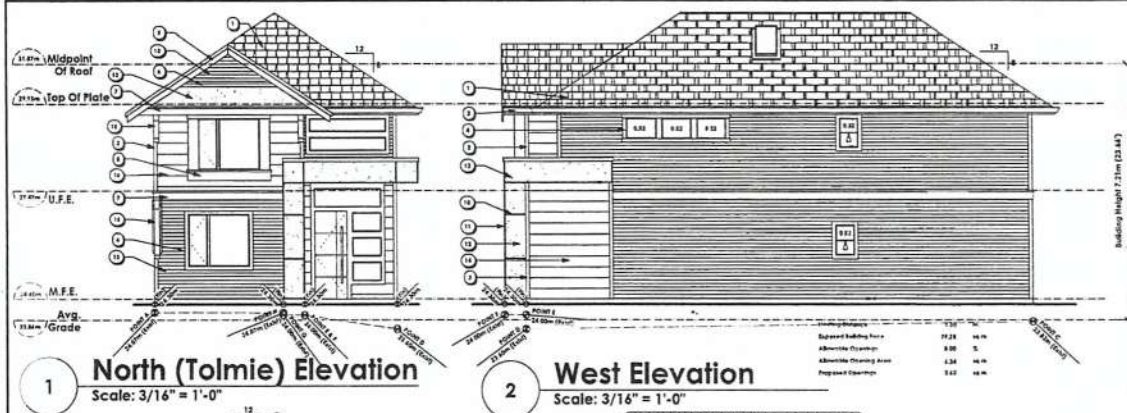
Fifth and Tolmie
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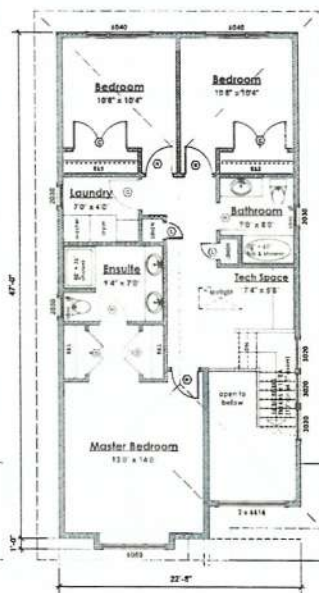
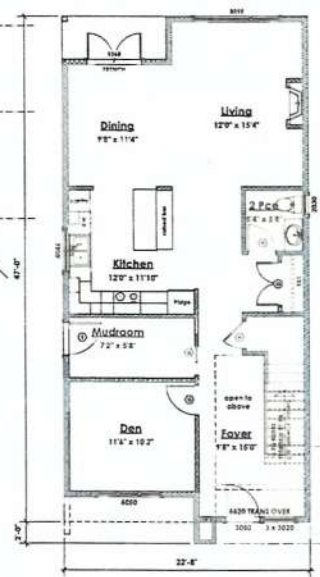
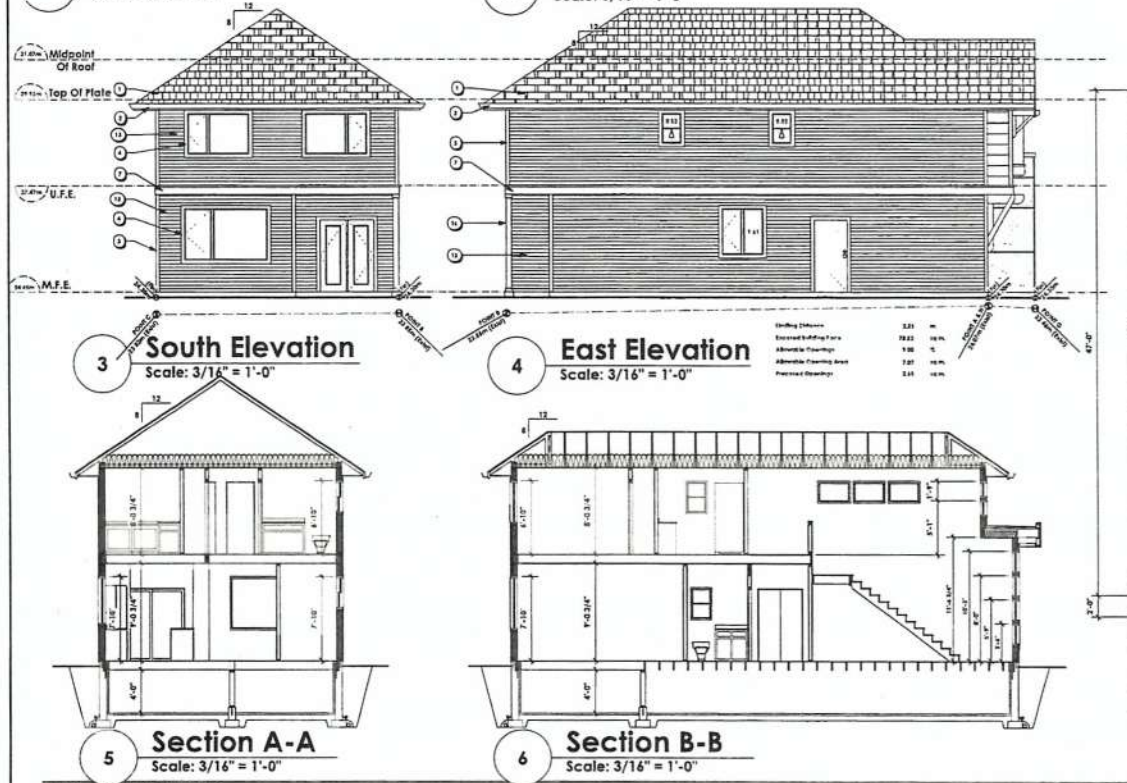
Lot 5



- Exterior Finish Schedule**
- ① LAMINATED ASPHALT SHINGLES
 - ② PRE-FIN. ALUMIN. GUTTER
 - ③ 1"x4" CORNER TRIM
 - ④ 1"x4" DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - ⑤ 1"x4" TRIM ON 2"-10 BARGE BOARD
 - ⑥ METAL FLASHING ON 1"x4 TRIM
 - ⑦ METAL FLASHING ON 2"x10 HANGAR TRIM
 - ⑧ METAL FLASHING ON 2"x12 SILL TRIM
 - ⑨ EXTRUDED ALUMIN. REVEAL (EAST/STROM OR EQ.)
 - ⑩ EXTRUDED ALUMIN. CORNER TRIM (EAST/STROM OR EQ.)
 - ⑪ HARDEPANEL SIDING
 - ⑫ HARDEPANEL LAP SIDING (6" REVEAL)
 - ⑬ LAPPED HARDEPANEL SIDING (12" REVEAL)
 - ⑭ KNEE BRACE
 - ⑮ CLADDING ON 4"x4 WOOD POST

DOOR SCHEDULE

A	8'0" X 6'8" (2430 X 2032)	F	3'10" X 6'8" (964 X 2032)
B	6'0" X 6'8" (1829 X 2032)	G	2'0" X 6'8" (613 X 2032)
C	5'0" X 6'8" (1524 X 2032)	H	2'6" X 6'8" (762 X 2032)
D	4'0" X 6'8" (1219 X 2032)	J	3'4" X 6'8" (711 X 2032)
E	3'0" X 6'8" (914 X 2032)	K	2'0" X 6'8" (610 X 2032)
		L	1'4" X 6'8" (508 X 2032)



development
permit
Fifth and Tolmie

drawing #
7733

scale

3/16" = 1'-0"
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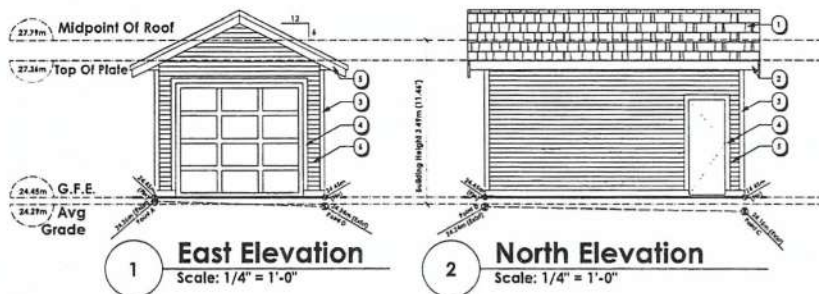
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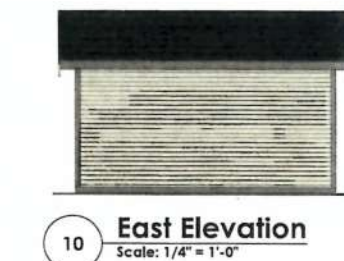
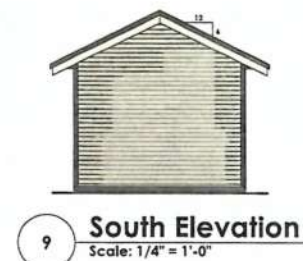
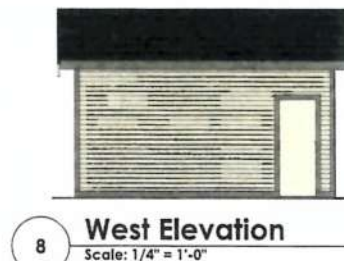
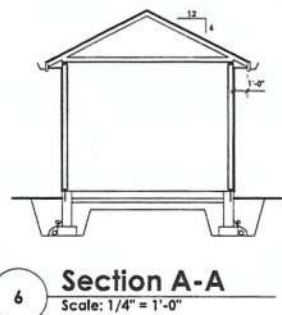
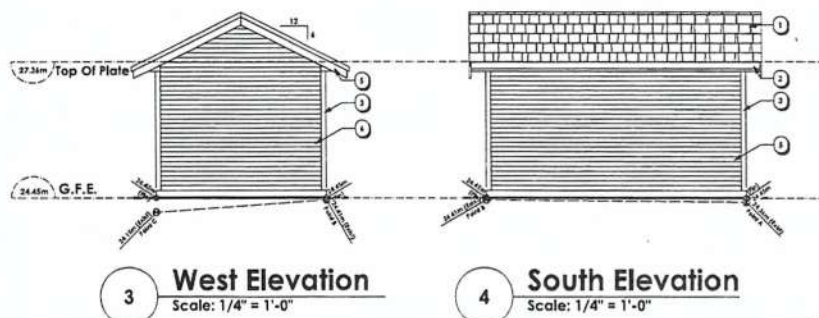
#103 - 871 ATREE AVENUE
VICTORIA, B.C.
V9B 0A6

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FAX: 250.382.7324

Fifth and Tolmie DEVELOPMENT PERMIT PRESENTATION



- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN ALUMINUM GUTTER
 - 3 1" x 6" CORNER TRIM
 - 4 1" x 6" BOARDS AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 1" x 6" TRIM ON
 - 6 2" x 10" BARGE BOARD
 - 7 HARDIEPLANK LAP SIDING (6" REVEAL)



DOOR SCHEDULE

A	8'0" X 4'0" (2438 X 2032)	F	2'10" X 4'0" (644 X 2032)
B	4'0" X 4'0" (1227 X 2032)	G	2'0" X 4'0" (513 X 2032)
C	5'0" X 4'0" (1524 X 2032)	H	2'4" X 4'0" (612 X 2032)
D	4'0" X 4'0" (1219 X 2032)	I	2'4" X 4'0" (711 X 2032)
E	3'0" X 4'0" (714 X 2032)	J	2'0" X 4'0" (410 X 2032)
		K	1'4" X 4'0" (508 X 2032)

MANDEEP BAINS
Lot 5
Accessory Structure

Colour Legend

- HardiePlank Lap Siding Smooth
- Benjamin Moore: Sea Salt (BM CSP-115)
- HardPanel Siding, Doors, and Barge Boards
- Benjamin Moore: Foggy Morning (BM 2104-70)
- TRIM
- Benjamin Moore: Ramswold (BM CSP-93)
- Laminated Asphalt Roofing Shingle
- Rustic Black

development
permit
Fifth and Tolmie

drawing #
7733

scale
1/4" = 1'-0"

drawn by
MDK

VICTORIA
DESIGN
GROUP

Date: 4/5/17

#103 - 891ATREE AVENUE
VICTORIA, B.C.
V8B 0A6

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FAX: 250.382.7344

Fifth and Tolmie
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MANDEEP BAINS
Lot 6

development
permit
Fifth and Tolmie

drawing #
7733
scale
3/16" = 1'-0"
drawn by
MDK

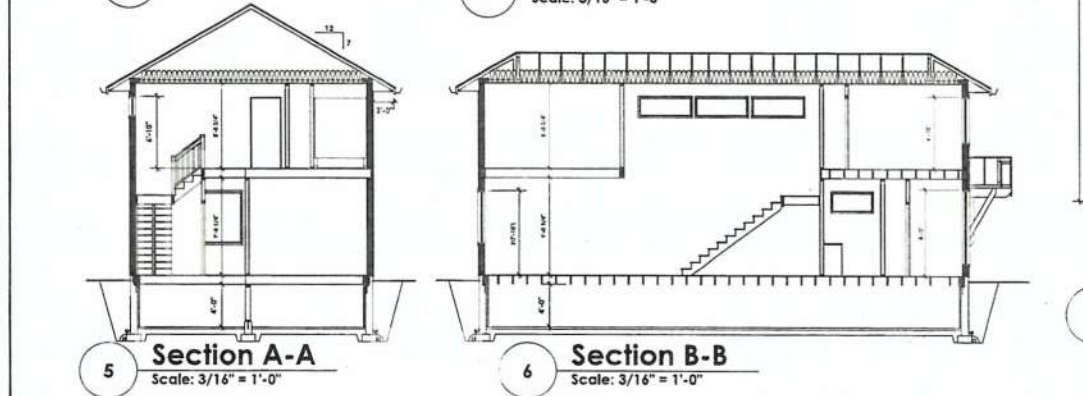
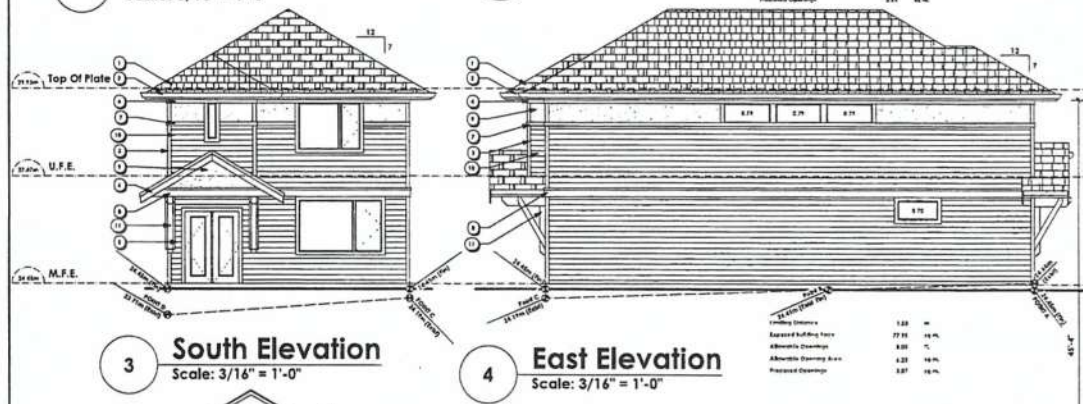
**VICTORIA
DESIGN
GROUP**

Date: 4/5/17

- Exterior Finish Schedule**
- | | |
|--|--------------------------------------|
| 1 LAMINATED ASPHALT SHINGLES | 11 HARDIPANEL SIDING (SWP JOINT) |
| 2 PRE-FIN. ALUMIN. GUTTER | 12 HARDIPANEL LAP SIDING (1" REVEAL) |
| 3 1x4 CORNER TRIM | 13 KNEE BRACE |
| 4 1x4 SOFFIT TRIM | |
| 5 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED) | |
| 6 1x4 TRIM ON 3x10 BARGE BOARD | |
| 7 METAL FLASHING ON 1x4 TRIM | |
| 8 METAL FLASHING ON 3x10 FASCIA TRIM | |

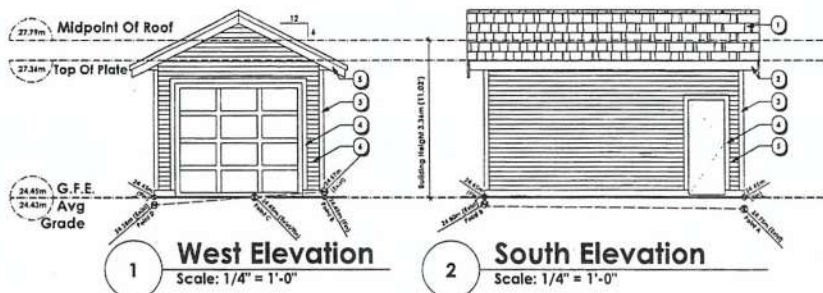
DOOR SCHEDULE

A	8'0" X 4'0" (2432 X 2032)	F	2'10" X 4'0" (664 X 2032)
B	4'0" X 4'0" (1629 X 2032)	G	2'0" X 4'0" (513 X 2032)
C	6'0" X 4'0" (1829 X 2032)	H	2'4" X 4'0" (762 X 2032)
D	4'0" X 4'0" (1219 X 2032)	I	2'4" X 4'0" (711 X 2032)
E	3'0" X 4'0" (914 X 2032)	J	2'0" X 4'0" (610 X 2032)
		K	1'6" X 4'0" (508 X 2032)

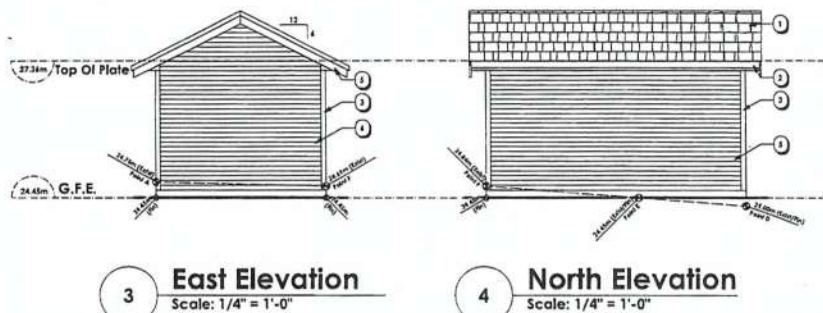


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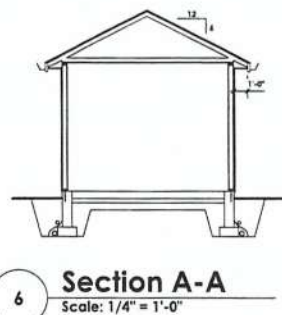
- Exterior Finish Schedule**
1. LAMINATED ASPHALT SHINGLES
 2. PRE-FIN. ALUMIN. GUTTER
 3. 1" x 6" CORNER TRIM
 4. 1" x 6" DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 5. 1" x 6" TRIM ON
 6. 2" x 10" BARGE BOARD
 7. HORIZONTAL LAP SIDING (4" REVEAL)



DOOR SCHEDULE

A	8'0" X 4'8" (2438 X 2032)	F	2'10" X 4'8" (644 X 2032)
B	6'0" X 4'8" (1829 X 2032)	G	2'0" X 4'8" (515 X 2032)
C	3'0" X 4'8" (1524 X 2032)	H	2'4" X 4'8" (711 X 2032)
D	4'0" X 4'8" (1219 X 2032)	I	2'0" X 4'8" (510 X 2032)
E	3'0" X 4'8" (714 X 2032)	J	1'4" X 4'8" (368 X 2032)

MANDEEP BAINS
Lot 6
Accessory Structure



- Colour Legend**
- HardieShingle Siding Shalght Edge Panel
 - Benjamin Moore: Storm Cloud Gray (BM 2140-40)
 - Doors and Barge Boards
 - Benjamin Moore: Horizon Gray (BM 2141-50)
 - TRIM
 - Benjamin Moore: Old Profile (BM 2143-50)
 - Laminated Asphalt Roofing Shingle
 - Oxford Gray

development
permit
Fifth and Tolmie

drawing #
7733
scale
1/4" = 1'-0"
drawn by
MDK

**VICTORIA
DESIGN
GROUP**

Date: 4/5/17

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MANDEEP BAINS
Lot 7

development
permit
Fifth and Tolmie

drawing #
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scale
3/16" = 1'-0"
drawn by
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VICTORIA
DESIGN
GROUP

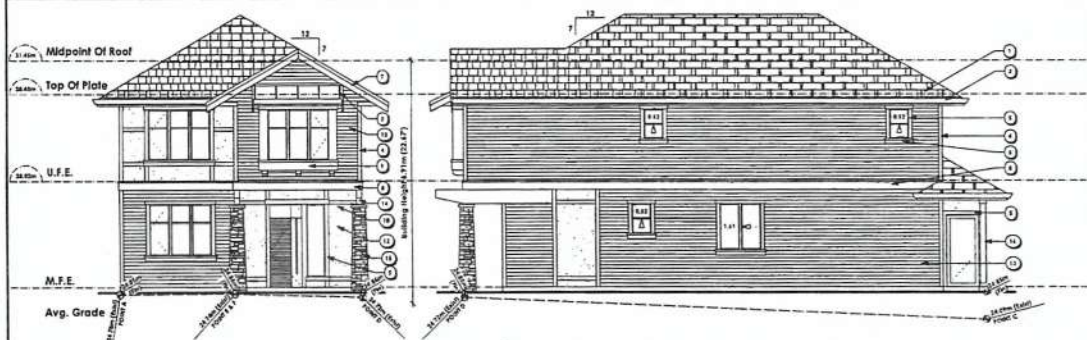
Date: 4/5/17

Exterior Finish Schedule

- | | | | |
|---|--|----|--|
| 1 | LAMINATED ASPHALT SHINGLES | 10 | 1x4 TRIM |
| 2 | PBS-FINISHED METAL ROOFING | 11 | HARDBOARD SIDING |
| 3 | PBS-FIN. ALUMIN. GUTTER | 12 | HARDBOARD LAP SIDING (4" REVEAL) |
| 4 | 1x4 CORNER TRIM | 13 | EXPOSED ENGINEERED BEAM |
| 5 | 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED) | 14 | 12"-12" TAPERED PRE-MANUF. STONE VENEER COLUMN |
| 6 | 2x3 SILL ON 2x4 TRIM | 15 | CLADDING ON 4x4 WOOD POST |
| 7 | 1x4 TRIM ON 2x10 BALANCE BOARD | | |
| 8 | METAL FLASHING ON 2x10 FASCIA TRIM | | |
| 9 | 2x3 SILL ON 2x12 FASCIA TRIM | | |

DOOR SCHEDULE

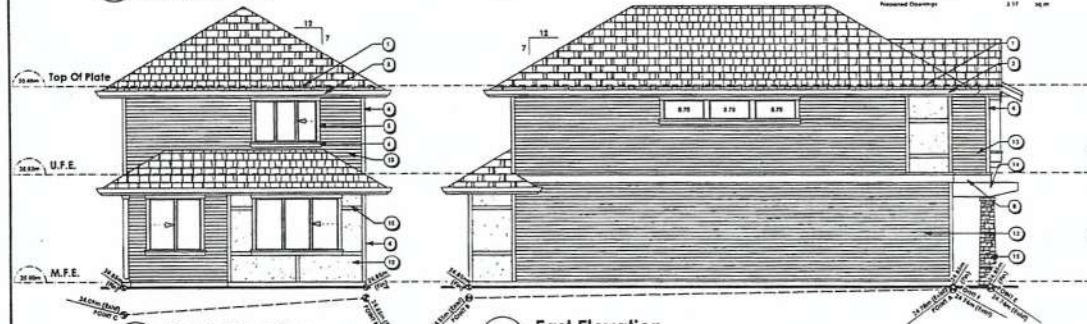
- | | | | |
|---|-------------------------|---|-------------------------|
| A | 8/0 X 4/8 (2438 X 2232) | F | 2/10 X 4/8 (844 X 2032) |
| B | 6/0 X 4/8 (1829 X 2032) | G | 2/8 X 4/8 (813 X 2032) |
| C | 5/0 X 4/8 (1524 X 2032) | H | 2/6 X 4/8 (742 X 2032) |
| D | 4/0 X 4/8 (1219 X 2032) | I | 2/4 X 4/8 (711 X 2032) |
| E | 3/0 X 4/8 (914 X 2032) | J | 2/0 X 4/8 (510 X 2032) |



1 North (Tolmie) Elevation
Scale: 3/16" = 1'-0"

2 West Elevation
Scale: 3/16" = 1'-0"

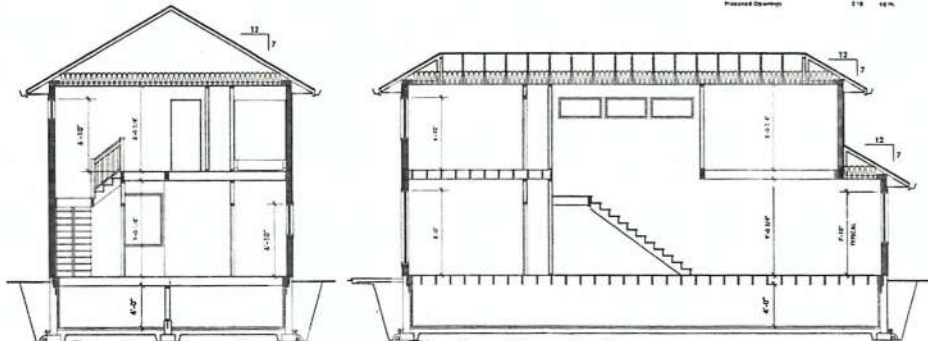
Roofing Distance	1.00	sq.
Exposed Siding Area	73.87	sq. ft.
Aluminum Siding Area	8.00	sq. ft.
Aluminum Cladding Area	8.50	sq. ft.
Finished Chimney	3.17	sq. ft.



3 South Elevation
Scale: 3/16" = 1'-0"

4 East Elevation
Scale: 3/16" = 1'-0"

Roofing Distance	1.00	sq.
Exposed Siding Area	73.87	sq. ft.
Aluminum Siding Area	8.00	sq. ft.
Aluminum Cladding Area	8.50	sq. ft.
Finished Chimney	3.17	sq. ft.

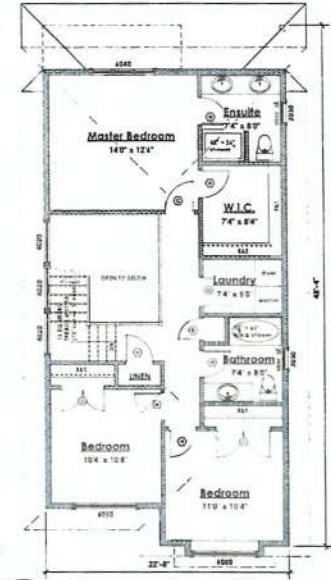


5 Section A-A
Scale: 3/16" = 1'-0"

6 Section B-B
Scale: 3/16" = 1'-0"



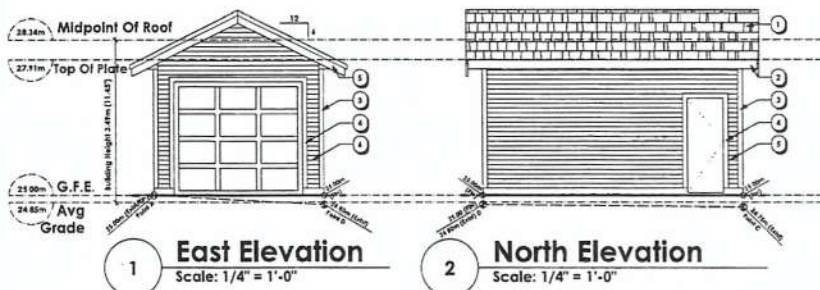
7 Main Floor Plan
Scale: 3/16" = 1'-0"
857.40 sq.ft. (79.66 sq.m.)



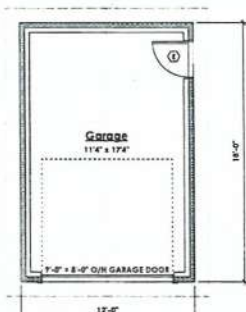
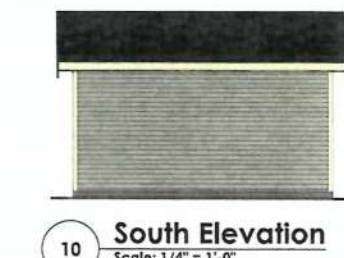
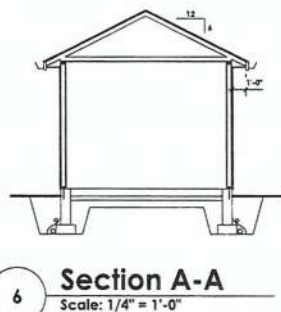
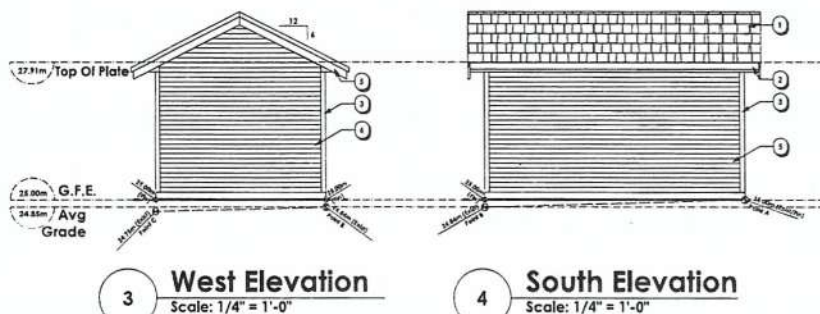
8 Upper Floor Plan
Scale: 3/16" = 1'-0"
799.88 sq.ft. (74.31 sq.m.)

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Fifth and Tolmie
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- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 FES-FIN ALUMINUM GUTTER
 - 3 1-4 CORNER TRIM
 - 4 1-4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 1-4 TRIM ON 2-10 BARGE BOARD
 - 6 HARDYPLANK LAP SIDING (1" REVEAL)



Garage 196.44 sq.ft. (18.25 sq.m.)

DOOR SCHEDULE

A	8'0" X 4'8" (2438 X 2032)	F	2'10" X 4'8" (644 X 2032)
B	4'0" X 4'8" (1627 X 2032)	G	2'0" X 4'8" (512 X 2032)
C	5'0" X 4'8" (1524 X 2032)	H	2'4" X 4'8" (742 X 2032)
D	4'0" X 4'8" (1511 X 2032)	I	2'4" X 4'8" (711 X 2032)
E	3'0" X 4'8" (114 X 2032)	J	2'0" X 4'8" (610 X 2032)
		K	1'6" X 4'8" (508 X 2032)

MANDEEP BAINS
Lot 7
Accessory Structure

Colour Legend

- HardyPlank Lap Siding Smooth
- Benjamin Moore: Museum Felce (BM CSP-40)
- Doors and Barge Boards
- Benjamin Moore: Cathedral Gray (BM CSP-205)
- TRIM
- Benjamin Moore: Froppa (BM AF-65)
- Laminated Asphalt Roofing Shingle
- Oxford Grey

development
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drawing #
7733

scale
1/4" = 1'-0"

drawn by
MDK

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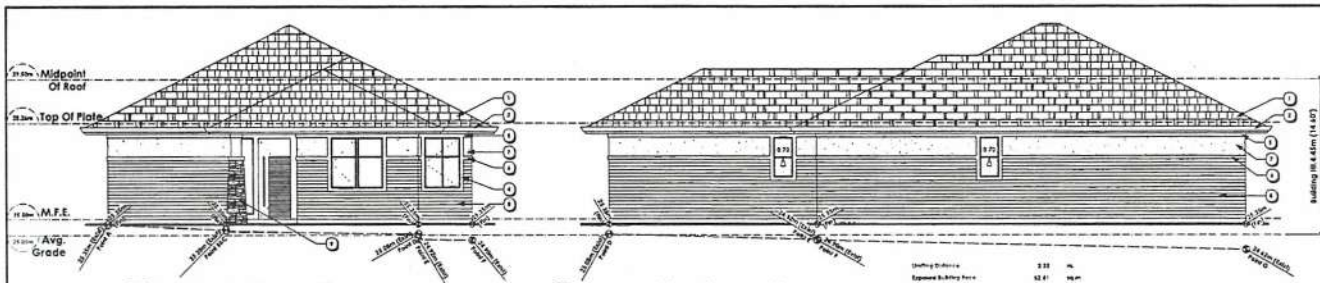
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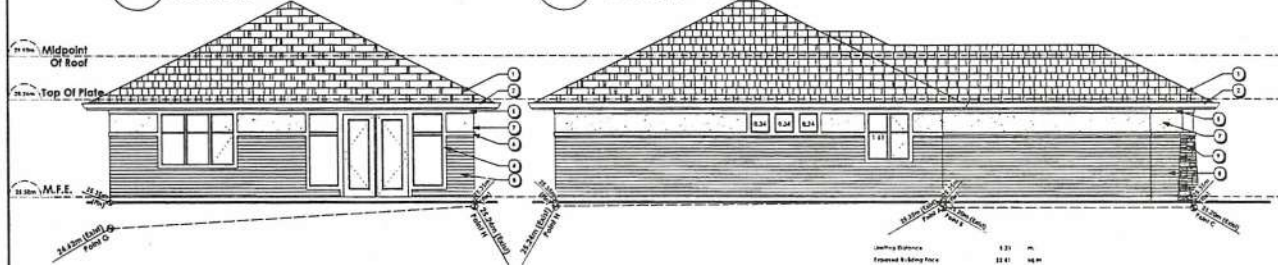
Fifth and Tolmie
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1 **East Elevation**
Scale: 3/16" = 1'-0"

2 **North Elevation**
Scale: 3/16" = 1'-0"



3 **West Elevation**
Scale: 3/16" = 1'-0"

4 **South Elevation**
Scale: 3/16" = 1'-0"



5 **Section A-A**
Scale: 3/16" = 1'-0"

Exterior Finish Schedule

LAMINATED ASPHALT SHINGLES

PRE-FIN ALUMINUM GUTTER

1-1/4" CORNER TRIM

1-1/4" DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)

1-1/4" SOFFIT TRIM

METAL FLASHING ON 1-1/4" SOFFIT TRIM

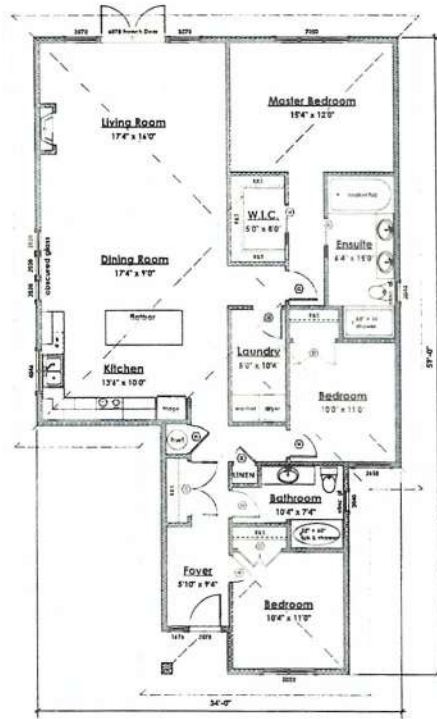
HARDIPANEL SIDING (BUTT JOINT)

HARDIPANEL LAP SIDING (4" REVEAL)

12"-12" (FN) COLUMN WITH 4" WOOD CAP ON 4" WOOD CAP C/W METAL FLASHING ON 12"-12" TAPERED PRE-MANUF. STONE VENER COLUMN BASE

DOOR SCHEDULE

A	6'-0" X 4'-8" (2438 X 2032)	F	2'-10" X 4'-8" (844 X 2032)
B	4'-0" X 4'-8" (1829 X 2032)	G	2'-8" X 4'-8" (813 X 2032)
C	5'-0" X 4'-8" (1824 X 2032)	H	2'-4" X 4'-8" (742 X 2032)
D	4'-0" X 4'-8" (1819 X 2032)	I	2'-4" X 4'-8" (711 X 2032)
E	3'-0" X 4'-8" (914 X 2032)	J	2'-0" X 4'-8" (610 X 2032)
		K	1'-4" X 4'-8" (508 X 2032)



6 **Main Floor Plan**
Scale: 3/16" = 1'-0"
1526.25 sq. ft. (141.79 sq. m.)

MANDEEP BAINS
Lot 8

development
permit
Fifth and Tolmie

drawing #
7733
scale
3/16" = 1'-0"
drawn by
MDK

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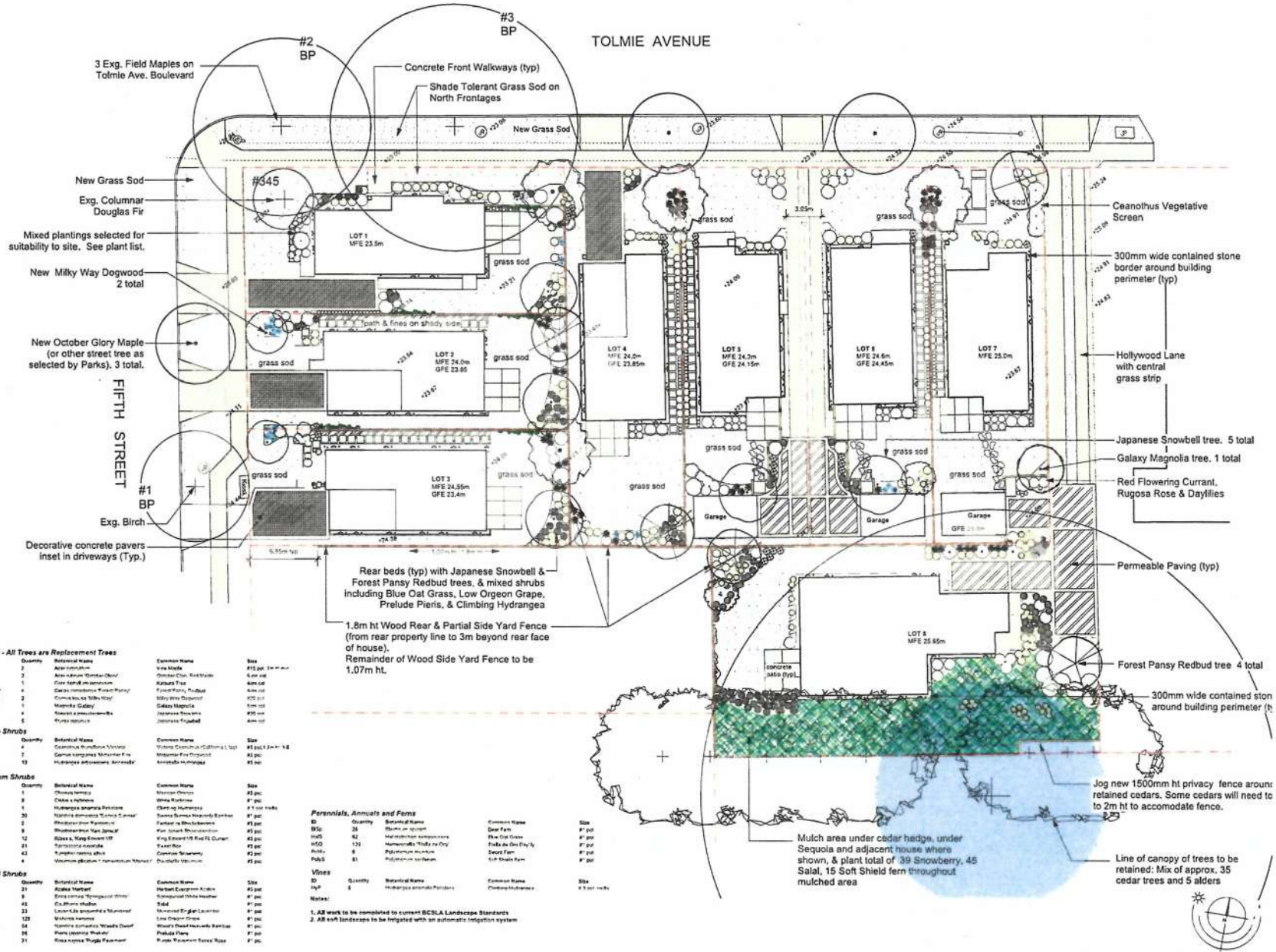
Date: 4/5/17

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PROJECT

Fifth and Tolmie
Development
Victoria, BC

TITLE

Landscape Concept Plan
& Recommended
Nursery Stock

SCALE

1:150

DRAWN

CHECKED

PROJECT NO.

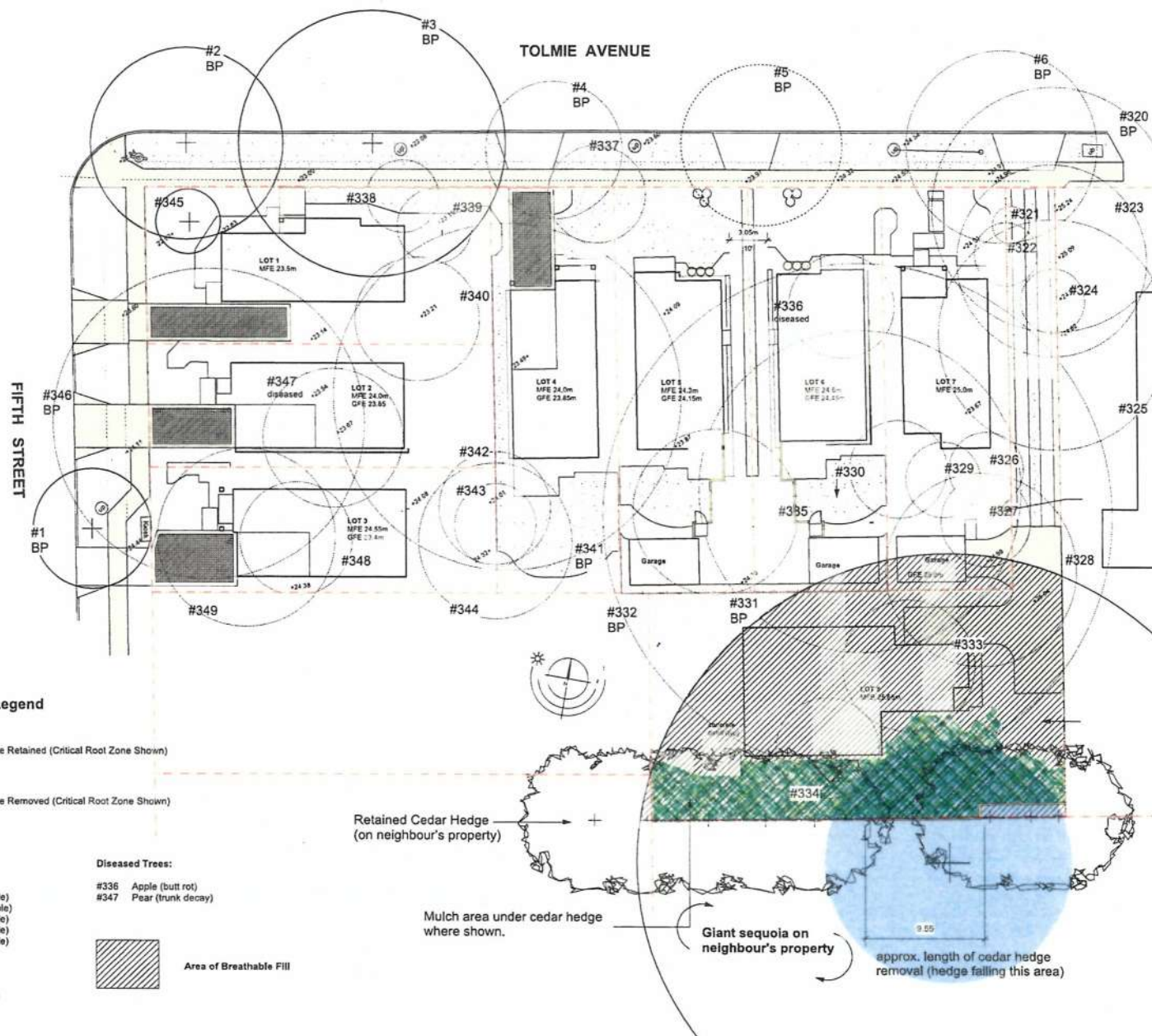
1623

DATE

June 6, 2016

L1 of 2

SHEET



PROJECT

Fifth and Tolmie
Development
Victoria, BC

TITLE

Tree Preservation Plan

SCALE

1:150

PROJECT No. 1623

DATE June 6, 2016

SHEET L2 of 2