



Committee of the Whole Report For the Meeting of January 12, 2017

To: Committee of the Whole **Date:** December 16, 2016

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Heritage Alteration Permit Application No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment and after the Public Hearing for Rezoning Application No. 00466, if it is approved, consider the following motion:

1. "That Council authorize the issuance of the Heritage Alteration Permit No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street in accordance with:
 - i. Plans date stamped November 8, 2016.
 - ii. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. increasing the building height from 16.5m to 20.6m
 - b. reducing the front yard setback from 10.6m to 8.8m
 - c. reducing the rear yard setback from 5.4m to 4.2m
 - d. reducing the west yard setback from 3.6m to 3.2m for the principal building and from 3.6m to 1.7m for the Cartreff Residence.
 - iii. Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff.
 - iv. The Heritage Alteration Permit is subject to the conditions for Mount St. Angela (917-923 Burdett Avenue), the Cartreff Residence (913 Burdett Avenue), and the Temple Residence (924 McClure Street), detailed in Appendix A, Appendix B, and Appendix C attached to this report.
 - v. Sustainability features and construction achieving the BUILT GREEN® Certification level.
 - vi. The Heritage Alteration Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

A heritage-designated property, pursuant to Section 611(3) of the *Local Government Act*, requires a Heritage Alteration Permit for the occurrence of an alteration, a structural change, a relocation, removal, or damage to an interior feature or fixture, or a landscape feature. In accordance with Section 617 and 618 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the

heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration of action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Heritage Alteration Permit Application for the properties located at 913-929 Burdett Avenue and 914-924 McClure Street. The Application is being considered concurrent with Rezoning Application No. 00466 to construct a 106-unit senior's residence (plus 26 assisted living units) to the rear and the side of the existing heritage-designated Mount St. Angela building. Existing heritage-designated houses at 913 Burdett Avenue (Cartreff Residence) and at 924 McClure Street (Temple Residence) are also proposed to be incorporated into the project.

A Heritage Revitalization Agreement was adopted by Council on February 14, 2008, in relation to a previous application when the property was rezoned to the current CD-10 (Mount St. Angela) District Zone in February 2008. A Development Permit and Heritage Alteration Permit were approved in March 2010 for the alternative design. These permits have since expired and are unrelated to the current application, and it is being recommended to Council in the concurrent rezoning report that all legal documents not attributable to the current proposal be discharged, which includes the Heritage Revitalization Agreement.

Staff is recommending for Council's consideration that utilizing a Heritage Alteration Permit process rather than a Heritage Revitalization Agreement to specify the conditions for the preservation, rehabilitation, and restoration of the three heritage properties provides a more direct, enforceable and elegant approach ensuring all measures are in place to respect heritage values and meet appropriate conservation standards.

The following points were considered in assessing this Application:

- The Application is consistent with the *Official Community Plan (OCP)*, 2012, that supports new additions that conserve and enhance heritage property.
- The Application is generally consistent with the *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development*.
- The Application is consistent with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

BACKGROUND

Description of Proposal

The proposal is to to construct a 106-unit senior's residence (plus 26 assisted living units) to the rear and the side of the existing heritage-designated Mount St. Angela building at 917-923 Burdett Avenue. The building is proposed at six storeys. Since the ground level along Burdett Avenue is defined as a basement under the *Zoning Regulation Bylaw*, it does not count as a storey. Existing heritage-designated houses at 913 Burdett Avenue (Cartreff Residence) and at 924 McClure Street (Temple Residence) are also incorporated into the project. The proposal is to remove the existing 1912 addition at the rear of the 1866 Angela College building, the rear annex, the porte-cochere and the third-floor link. Portions of the existing north, west and east

brick walls of the 1912 addition are proposed for retention as features in the interior atrium/galleria containing the main dining area for the residents. The exterior of Angela College would be restored in accordance with the September 2010 Mount St. Angela Conservation Plan.

The Cartreff Residence at 913 Burdett Avenue will be incorporated as part of the complex through a rear addition linking it to the main building. The residence will retain its current duplex configuration and will be moved forward 1.8m, raised by 0.53m, and placed on a new foundation which will return it to its proximate original relationship to the street and sidewalk. The brick chimneys will be measured during deconstruction to form an accurate record, which will then be used as a guide when they are rebuilt using the existing brick.

The Temple Residence at 924 McClure Street is proposed for relocation to the southeast end of the site to allow for a parking garage entrance. The interior will be reconfigured to contain seven suites, but will retain the designated interior features. The exterior finishes will be restored, and a small sympathetic one-storey addition will be located on the northeast corner. New exterior window openings and one door opening are proposed on the garden level to accommodate the new interior layout. Two windows in the northeast corner of the main level will be reused for the small northeast addition, and positioned to match the existing configuration. One window on the second level will be removed to accommodate the new interior layout. A new metal fire escape is proposed for the west elevation. The existing brick chimneys will be reconstructed using the existing brick.

The Mount St. Angela Conservation Plan for the site was prepared by a heritage consultant in March 2007 as part of a previous rezoning application. The Conservation Plan was updated in September 2010 and issued again as a separate document. The same consultant reviewed the previous plan alongside the 2010 Conservation Plan and provided an updated review of the plan in the context of the current proposed development (see attached letter, dated stamped March 18, 2016).

Sustainability Features

As noted in the Applicant's letter, date stamped November 8, 2016, the following sustainability features are proposed as part of this Application:

- building orientation to take advantage of solar gain
- high performance wood frame system
- retention of three existing buildings
- recycling of building materials from the structures to be removed from the property
- solar collectors for hot water pre-heating
- rainwater harvesting for irrigation
- permeable paving to reduce storm water runoff
- heat recovery ventilation systems
- geothermal heating/cooling
- construction to BUILT GREEN® "Gold" standard.

Active Transportation Impacts

The Application proposes the following features which support active transportation:

- 108 secure bicycle racks located in the underground parkade
- 6 publicly accessible bicycle racks located outside the main entrance on Burdett Avenue
- showers and changing facilities for staff located on level one.

Advisory Design Panel Referral

This Application was referred to the Advisory Design Panel (ADP) on July 27, 2016. The Panel were asked to comment on the following aspects of the proposal:

- massing, height and transition in relation to the context
- interface on the west elevation
- loss of the mid-block walkway
- proposed finishes and materials.

The minutes from the meeting are attached for reference and the following motion was carried (unanimous):

That the Advisory Design Panel recommend to Council that Rezoning Application # 00466 and Heritage Application # 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved with recommendations as follows:

- *to reconsider the 6-storey massing at the southwest corner*
- *to reconsider the 3-storey massing on the McClure elevation*
- *to reconsider the variety of window sizes and types*
- *resolution of structure, window glazing and materials of the window wall in the atrium to reflect the consideration that has gone into the rest of the project.*

The architect's detailed response to the Panel's recommendations (date stamped November 8, 2016) is attached to this report. The Applicant has responded to ADP's recommendations as follows:

- the proposed density decreased from 1.98:1 to 1.96:1 floor space ratio (FSR)
- the massing on the south west corner has been reduced by increasing the setback from McClure Street at the fifth storey by 1m and removing a unit on the sixth storey. This density was relocated to the south portion of the east wing on the third storey.
- the units along McClure Street have been revised to provide a unified expression for the first three storeys with modulations in the south elevation and the creation of bay windows
- additional windows have been included on the east elevation
- overall the number of window types has been reduced from 22 to 10
- additional detail for the glass atrium has been provided including structural glass fins
- the application of exterior finishes and materials has been refined.

The changes to the massing and proportion of the building in the south west corner are an improvement, and the refinement of the McClure Street frontage provides a sensitive response to the immediate context. The supporting perspective views demonstrate an articulation of the south elevation that respond well to the street with additional entrances to the ground floor units, and modulation in the façade that suggests a townhouse built form, despite the upper units being configured internally as apartments. The floor plans are not consistent with the perspective views and do not represent the same articulation of the façade, and staff therefore recommend for Council's consideration, revisions to the plans to be consistent with the architectural intent along this frontage. Appropriate wording has been included in the concurrent rezoning report to capture this requirement as a condition of setting the Public Hearing.

Heritage Advisory Panel Referral

The Heritage Advisory Panel met on July 12, 2016, (minutes attached) to review the Application. The following motion was carried (unanimously):

That the Panel recommend to Council that Heritage Alteration Permit Application No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be declined.

In summary, the Heritage Advisory Panel felt the proposed development's use is inappropriate in terms of scale and its attention to the natural landscape, existing outbuildings, adjacent heritage properties and view corridors. However, staff respectfully disagrees with this assessment as the Application does meet the *Official Community Plan* (OCP) policy in terms of supporting new additions that conserve and enhance heritage property, as well as general standards of the *Standards and Guidelines for the Conservation of Historic Places in Canada* - in particular, the relocation of an historic place within its current context maintains its heritage value, and the development is physically and visually compatible with, subordinate to, and distinguishable from the historic place. The 'Analysis' section of this report provides further information on the evaluation of the Application's consistency with City policy.

ANALYSIS

Official Community Plan

The Application is supported by *Official Community Plan* policies which state:

- 8.49 Continue to support new additions that conserve and enhance heritage property, as consistent with the *National Standards and Guidelines for the Conservation of Historic Places in Canada*.

The subject property is within Development Permit Area (DPA) 16 of the *Official Community Plan* which seeks to integrate commercial, industrial and multi-unit residential buildings in a manner that is complementary to the established place character in the neighbourhood, including heritage character. Enhancing the character of the streetscape through high quality architecture, landscape and urban design, as well as creating human-scaled design, quality of open spaces, and safety and accessibility are also key objectives of this DPA.

Multi-Unit Residential, Commercial and Industrial Guidelines

The *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development* are applicable and the proposal generally complies with the Guidelines as follows:

Height of Building in Relation to Context

The height of the rooftop of the proposed main east and west wings is 20.53m as measured from the site's average grade. This is approximately 1m higher than the adjacent multi-unit residential project to the east on Burdett Avenue known as the Chelsea so this is considered a reasonable fit with the context. The lower height of the Cartreff Residence provides a transition in scale to the four-storey apartment building to the west along Burdett Avenue with an approximate difference in height of 2.6m.



SW view along Burdett Avenue



SE view along Burdett Avenue

On McClure Street, there is a single-family dwelling located at 910 McClure Street (used as a legal duplex) immediately to the west, followed by a three and a half storey heritage-registered building known as Abigail's Hotel at 906 McClure Street. The bulk of the west wing of the proposed development does impact the adjacent house in terms of its height. Staff previously expressed concern with the south west portion of the building and the Applicant responded to comments from staff and ADP by increasing the setback at the fifth storey and removing a unit on the sixth storey as described earlier in this report. The supporting 3D views from street level along McClure Street demonstrate (provided on page 7 of this report) the effect on the overall massing, which now reads as a six storey building, consistent with the policy contained within the OCP.



NE view along McClure Street



NW view along McClure Street

Transition

The guidelines encourage new development to be compatible through sensitive design. The proposed development utilizes a transparent glass connection which provides a transitional backdrop that pronounces Mount St. Angela and the Cartreff Residence along Burdett Avenue. The darker brick veneer on the lower levels of the east and west elevations lessen the overall scale of the development by grounding the structure and creating a more solid transition to each of the three designated structures. At the same time, additional lighter-finished upper levels tend to be emphasized less with the selection of lighter material colours and glass. The proposal has created a more sensitive transition to the adjacent lot by aligning the parkade structure with the building above. This area is proposed to be landscaped with patio seating, paving, plants and shrubs as noted on the landscape plan.

Relationship to the Street

The proposed development respects the dense vegetation and tree canopy of Burdett Avenue by setting back the new portions of the building, and maintaining the existing spatial relationships of the heritage buildings with the street. The landscape treatment of the Burdett Avenue frontage and retention of the stone wall further reinforces this relationship.

On McClure Street, the project proposes a lower scale rhythm of façade elements reminiscent of the exterior colour pattern of the 1912 addition, and is set apart from, and not exceeding the height of, the relocated Temple Residence. The stone wall abutting the south property line will be retained with modifications for vehicle and pedestrian entrances as well as ground-oriented units on the south wing and the relocated Temple Residence.

Human Scale, Massing, Height and Architectural Features

The Guidelines encourage human scale in the design of buildings and public space that enhances local area distinctiveness with features that contribute to a sense of place. The building massing is visually broken down by utilizing varying heights, different materials (stone, brick and glazed curtain wall), horizontal overhangs, and stepping back of upper floors.

Although the building may be perceived as seven storeys from some perspectives along McClure Street, the structure is a six-storey building as the lowest storey meets the definition of basement under the *Zoning Regulation Bylaw* and is excluded from the storey calculations. The mechanical penthouse is also excluded from the storey calculation as it does not contain a roof. The proposed two-storey portion on the south wing contains ground-oriented units that are visually broken into human-scaled proportions through form, surface treatment and colour. It relates well to the relocated Temple Residence, and provides a good transition to the adjacent Chelsea building. Private alcove recesses along McClure Street make a transition from the private realm of the residences to the public realm of the street.

The stepping back of upper floors, mentioned previously, helps to mitigate the perception of the height from McClure Street.

Exterior Finishes

The primary exterior building materials are a combination of buff stone and brown and white brick veneers, glass curtain walls with structural glass fins, glass canopy, and decorative metal railings. Exterior finishes of Mount St. Angela, the Cartreff Residence and the Temple Residence will be fully restored.

Open Spaces and Landscaping

The open spaces of the project are enhanced through the landscape treatment, including ornamental ponds, glazed pergolas, a community herb garden and landscaped courtyards. The roofscape is enhanced by the proposed green roofs on the south wing on McClure Street and a portion of the east wing. Although staff have raised concerns regarding the impact of the west elevation with the adjacent building at 910 McClure Street, this portion of the proposal would be extensively landscaped with trees, shrubs and seating areas, which will assist in softening the building edge on this elevation. The proposal also benefits from some reductions in massing and increasing the stepping back portion of the upper levels on this side.

2010 Conservation Plan

The September 2010 Conservation Plan (updated from the previous March 2007 Conservation Plan) prepared by Donald Luxton and Associates provides a comprehensive plan for the conservation and rehabilitation of the heritage buildings on the site. This latest proposal plan has been reviewed by this consultant and found to be in conformance with the 2010 Conservation Plan (see attached letter, date stamped March 18, 2016).

Heritage Context

The proposal includes the demolition of the rear 1912 addition to Angela College to permit the new development on the site. This rear wing was previously approved for removal as part of the rezoning for the site approved by Council on February 14, 2008. Portions of the west and east brick exterior walls will be retained as features in the interior atrium/galleria containing the main dining area for the senior's residence.

The most significant aspect of the Application is the design of the new building and its relationship to the existing heritage buildings on the site. The concept is for a three-storey glazed curtain wall which will link the south wall of the 1866 Angela College building to the south end of a new addition to the Cartreff Residence at 913 Burdett Avenue. It will also link to a six-storey wing on the east end of the complex that steps down to four storeys adjacent to the Temple Residence, thereby providing a transparent, neutral backdrop to the prominent heritage buildings. The siting will also retain the existing spatial relationship between Angela College and the Cartreff Residence in a landscaped setting respecting the character of the 900 block of Burdett Avenue which has large trees on the boulevard and adjacent properties. The front elevation of the east wing is designed with a combination of a brick base, sandstone veneer on the upper floors, and glazed window walls to relate to the materials of Angela College. The massing of the project is concentrated in the centre of the block to allow for lower portions adjacent to the two or three-storey heritage buildings.

Standards and Guidelines for the Conservation of Historic Places in Canada

Relevant guidelines from the *Standards and Guidelines for the Conservation of Historic Places in Canada* include the following:

4.3.1 - Exterior Form

Recommended:

- 6 Retaining the exterior form by maintaining proportions, colour, and massing and the spatial relationships with adjacent buildings.
- 10 Reinstating the exterior form by recreating missing, or revealing obscured parts to re-establish character-defining proportions and massing.
- 13 Selecting the location of a new addition that ensures that the heritage value of the place is maintained.
- 14 Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- 15 Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

With respect to the preservation and restoration approach to Angela College:

- 24 Reinstating the building's exterior form from the restoration period, based on documentary and physical evidence.
- 25 Removing a non character-defining feature of the building's exterior form, such as an addition built after the restoration period.
- 26 Recreating missing features of the exterior form that existed during the restoration period, based on physical or documentary evidence.

4.5.1 - All Materials

Recommended:

- 14 Repairing or replacing materials to match the original as closely as possible, both visually and physically.

4.5.2 - Wood and Wood Products

Recommended:

- 14 Retaining all sound and repairable wood that contributes to the heritage value of the historic place.
- 17 Replacing in kind extensively deteriorated or missing parts of wood elements, based on documentary and physical evidence.
- 20 Replacing in-kind an irreparable wood element, based on documentary and physical evidence.

The concept respects the above recommendations contained in the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The proposed new building complex links to the two heritage-designated buildings on Burdett Avenue through the rear elevation in both cases, thus minimizing the loss of historic features. The design of the new building repeats some of the primary materials of the original Angela College such as brick and Tyndall limestone, while still designed with a contemporary expression, thus providing a compatible but differentiated addition that preserves the historic character of the original.

The Temple Residence has several additional window and door openings on the lower level which are not original to the structure. The Applicant proposes to retain, repair and reuse existing wood frame windows, and new window openings and new window types will be reflective of the era and style of the house.

The changes proposed for the heritage-designated stone wall at the front of the property along Burdett Avenue are required as detailed on the new landscape plan, and will conserve and integrate the original materials and gateposts.

Regulatory Requirements

Zoning Regulation Bylaw

In accordance with Rezoning Application No. 00466, staff recommend that Council consider a site specific zone to accommodate the proposed development. The Applicant proposes a building height of 20.53m. Given the prominence of this site to the Mount St. Angela building, staff are recommending that Council consider a lower height limit of 16.5m to be included in the new zone, which is the height of the Mount St. Angela building (measured to half the height of the steeple). This approach is recommended to ensure that the higher height does not become an entitlement entrenched in the zone, allowing future proposals to come forward and achieve a height of 20.53m as a right, rather than benefiting from a Council review process.

In addition, this Application is proposing reduced setbacks when compared to the current zone:

- from 10.6m to 8.8m for the front yard
- from 5.4m to 4.2m for the rear yard
- from 3.6m to 3.2m for the west yard for the new building and 1.7m for the Cartreff Residence.

Staff similarly recommend that Council consider issuing variances for the proposed setbacks to ensure a re-evaluation, if this project is for some reason never built. Appropriate wording has been included in the recommendation for Council's consideration.

Tree Preservation Bylaw

The proposal would result in the loss of three trees along McClure Street and the relocation of one along Burdett Avenue. The proposal is to replace these with three street trees consistent with City standards along Burdett Avenue. An arborist report will be required at the same time as a building permit application, which will outline the construction impact mitigation measures to successfully retain the existing trees along the Burdett Avenue street frontage. One Garry Oak tree would be removed as part of the proposed development, since it is located within the proposed building envelope. This is the only bylaw protected tree within the subject site and would be replaced at a ratio of 2:1 as per the requirements of the *Tree Preservation Bylaw*.

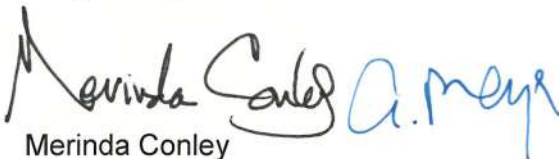
CONCLUSION

Staff recommend that the overall concept of the Application, including the relocation of the heritage houses to allow a more efficient use of the site, has merit and that the concept of linking heritage structures by glazed additions has been successfully used in other jurisdictions. Careful attention to detail will be critical to success. Given the scope and complexity of the project, staff also recommend that a "Certified Professional" architectural heritage consultant be commissioned by the Applicant to oversee all heritage conservation work to ensure consistency with the Heritage Revitalization Agreement and *Standards and Guidelines for the Conservation of Historic Places in Canada*.

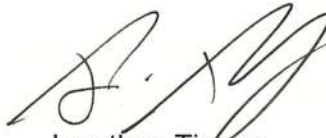
ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street.

Respectfully submitted,



Merinda Conley
Senior Heritage Planner
Development Services Division



Jonathan Tinney
Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: December 30, 2016

Appendices

Conditions of Heritage Alteration Permit No. 00214

- Appendix A, Mount St. Angela, 917-923 Burdett Avenue
- Appendix B, Cartreff Residence, 913 Burdett Avenue
- Appendix C, Temple Residence, 924 McClure Avenue

List of Attachments

- Aerial Map
- Zoning Map
- Letter from John Keay, Keay Cecco Architecture Ltd., date stamped December 15, 2016
- Letter from Larry Cecco, Keay Cecco Architecture Ltd., date stamped November 8, 2016
- Background documentation, dated November 15, 2016
- Letter from Safe Design Council, received February 12, 2016
- Design Rationale, dated November 8, 2016
- Mount St. Angela Conservation Plan, Donald Luxton and Associates, September 2010
- Letter from Donald Luxton, date stamped March 18, 2016
- Plans, dated November 8, 2016
- Land lift analysis, dated October 27, 2016
- Staff report to Heritage Advisory Panel, dated July 5, 2016
- Minutes of July 12, 2016, Heritage Advisory Panel meeting
- Staff report to Advisory Design Panel, dated July 27, 2016
- Minutes of July 27, 2016, Advisory Design Panel meeting.

APPENDIX A

Conditions of Heritage Alteration Permit No. 00214

Mount St. Angela 917-923 Burdett Avenue

The Heritage Alteration Permit No. 00214 subject to the following conditions specific to Mount St. Angela (917-923 Burdett Avenue):

1. The Applicant agrees to preserve, rehabilitate, and restore the 1866 appearance of Mount St. Angela College (917-923 Burdett Avenue) in accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada*, and as outlined in Section 4.0 of the Mount St. Angela Conservation Plan dated September 2010 by Don Luxton and Associates, and will not undertake any work that is contrary to the Conservation Plan.
2. The Applicant agrees to respect the hierarchy of heritage values in the preservation, rehabilitation, and restoration of Mount St. Angela as described in Section 3 of the Mount St. Angela Conservation Plan.
3. The Applicant agrees that all work required for the preservation, rehabilitation, restoration of Mount St. Angela will be in accordance with good engineering and heritage conservation practices.
4. The Applicant agrees that all work will be in accordance with the review of proposed interventions to Angela College as detailed in the Donald Luxton and Associates Heritage Review date stamped March 18, 2016, and in the plans, date stamped November 8, 2016.
5. The Applicant agrees to the **preservation and restoration of the exterior** of Angela College as detailed in Section 4.0 of the 2010 Conservation Plan, including:
 - i. maintain the building in its current location
 - ii. remove later intrusive alterations, including the Annex, porte-cochere, and rear additions to the structure that linked it to the Annex
 - iii. restore missing elements from the original construction period, such as replaced wooden-sash windows and the front oriel window, based on archival documentation and surviving building elements
 - iv. retain existing front entry door, as there is no clear evidence of the appearance of the original, and the door dates to an earlier intervention but is appropriate and matches interior detailing
 - v. preserve surviving original elements, including protection and stabilization
 - vi. repair exterior brickwork, rubble-stone foundation, fascia and woodwork
 - vii. repair and repaint existing wooden window sashes
 - viii. undertake seismic upgrade to current standards.
6. The Applicant agrees to the **preservation and rehabilitation of the interior** of Angela College as detailed in Section 4.0 of the 2010 Conservation Plan, that will make possible the building's new use for senior living, which provides interventions that:
 - i. preserve specific original features and features from later periods considered of heritage value
 - ii. rehabilitate interior spaces and services suitable for new use.
7. The Applicant agrees to undertake necessary seismic upgrading of the existing structure where necessary to ensure adequate and safe lateral support in the likelihood of a seismic event.

8. The Applicant agrees to engage a third-party "**Certified Professional**" architectural heritage consultant to oversee the work of contractors and tradespersons to ensure all preservation, rehabilitation, and restoration work is carried out in accordance with the 2010 Heritage Conservation Plan.
9. The Applicant will notify the City as soon as possible if the Certified Professional's engagement with the applicant is terminated for any reason.
10. The Applicant agrees, upon substantial completion of the work and prior to applying for an occupancy permit for Mount St. Angela, to provide written confirmation from the "Certified Professional" confirming that (1) all work identified in the Heritage Conservation Plan has been completed; and (2) the architectural, engineering and technical details and components of the work comply in all material respects with the requirements of the 2010 Mount St. Angela Conservation Plan.

APPENDIX B

Conditions of Heritage Alteration Permit No. 00214

Cartreff Residence

913 Burdett Avenue

The Heritage Alteration Permit No. 00214 subject to the following conditions specific to the Cartreff Residence (913 Burdett Avenue):

1. The Applicant agrees that they will preserve, rehabilitate, and restore the 1904-05 exterior appearance of the Cartreff Residence in accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada* and will not undertake any work that is contrary to the intentions of the September 2010 Mount St. Angela Conservation Plan by Don Luxton and Associates.
2. The Applicant agrees to respect the hierarchy of heritage values in the preservation, rehabilitation, and restoration of the Cartreff Residence as described in Section 3 of the Mount St. Angela Conservation Plan.
3. The Applicant agrees that all work required for the relocation, preservation, rehabilitation, and restoration of the Cartreff Residence will be in accordance with good engineering and heritage conservation practices.
4. The Applicant agrees to the **preservation, rehabilitation, and restoration of the exterior** of the Cartreff Residence meeting the intentions of the 2010 Conservation Plan, and that all work will be in accordance with the review of proposed interventions to Cartreff Residence as detailed in the Donald Luxton and Associates Heritage Review date stamped March 18, 2016, and in the plans, date stamped November 8, 2016, which will:
 - i. raise the historic structure 0.53m and relocate the structure 1.8 metres forward onto a new foundation within the existing property while retaining its same relative orientation to Burdett Avenue
 - ii. raise grade and landscaping to maintain its existing relationship to the historic structure and to the street
 - iii. preserve and restore the exterior facades, including repair and repaint of wood-frame windows,
 - iv. repair, replace and repaint cedar wall shingles
 - v. repair, replace, and paint wood trim
 - vi. reconstruct chimneys with existing brick after relocation
 - vii. install new aluminum gutters
 - viii. refinish exterior stucco pebble dash finish with colour consistent with recommended 2010 Conservation Plan colour historical palette, or evidence from on-site paint discoveries through paint layer scraping
 - ix. construct an addition that does not impair, and is sensitive to the function and context of, the original structure.
5. The Applicant agrees to engage a third-party "**Certified Professional**" architectural heritage consultant to oversee the work of contractors and tradespersons to ensure all preservation, rehabilitation, and restoration work is carried out in accordance with the 2010 Heritage Conservation Plan.
6. The Applicant will notify the City as soon as possible if the Certified Professional's engagement with the applicant is terminated for any reason.

7. The Applicant agrees, upon substantial completion of the work and prior to applying for an occupancy permit for the Cartreff Residence, to provide written confirmation from the "Certified Professional" confirming that (1) all work identified in the Heritage Conservation Plan has been completed; and (2) the architectural, engineering and technical details and components of the work comply in all material respects with the requirements of the 2010 Mount St. Angela Conservation Plan.

APPENDIX C

Conditions of Heritage Alteration Permit No. 00214

Temple Residence

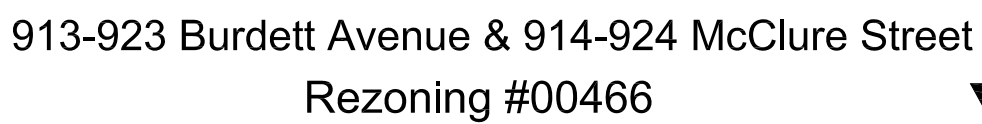
924 McClure Avenue

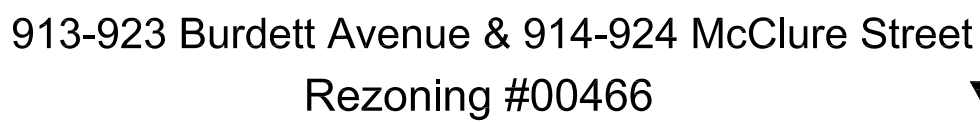
The Heritage Alteration Permit No. 00214 subject to the following conditions specific to the Temple Residence (924 McClure Avenue):

1. The Applicant agrees to relocate, preserve, rehabilitate, and restore the 1906 appearance of Temple Residence in accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada* and as outlined in Section 6.0 of the Mount St. Angela Conservation Plan dated September 2010 by Don Luxton and Associates, and will not undertake any work that is contrary to the Conservation Plan.
2. The Applicant agrees to respect the hierarchy of heritage values in the preservation, rehabilitation, and restoration of the Temple Residence as described in Section 3 of the Mount St. Angela Conservation Plan.
3. The Applicant agrees that all work required for the relocation, preservation, rehabilitation, and restoration of the Temple Residence will be in accordance with good engineering and heritage conservation practices.
4. The Applicant agrees that all work will be in accordance with the review of proposed interventions to the Temple Residence as detailed in the Donald Luxton and Associates Heritage Review date stamped March 18, 2016, and in the plans, date stamped November 8, 2016.
5. The Applicant agrees to the **preservation, rehabilitation, and restoration of the exterior** of the Temple Residence as detailed in Section 6.0 of the 2010 Conservation Plan, including:
 - i. provide guidelines to relocate the historic structure onto a new foundation approximately 23m east within the existing property while retaining its same relative orientation to McClure Street
 - ii. recreate the front stone wall and stairs
 - iii. preserve and restore the exterior facades, including square but shingle wall finishes from grade level to soffit, eyebrow flares, board-and-batten finish in front gables
 - iv. retain and preserve original windows with stained glass and fixed lattice, wood trim and sills
 - v. replace aluminum sash window units with historically appropriate wood-sash windows
 - vi. retain and preserve verandah elements including square columns, capitals, wooden solid balustrade, and tongue-and-groove ceiling
 - vii. retain and preserve sleeping porch with tongue-and-groove ceiling and walls
 - viii. retain and preserve original bargeboards with decorative ends, finials, and brackets
 - ix. reconstruct the chimneys with existing brick after relocation
 - x. reinstate original exterior colour scheme
 - xi. and rehabilitate the interior
 - xii. construct an addition that does not impair the original structure.
6. The Applicant agrees to engage a third-party "**Certified Professional**" architectural heritage consultant to oversee the work of contractors and tradespersons to ensure all preservation,

rehabilitation, and restoration work is carried out in accordance with the 2010 Heritage Conservation Plan.

7. The Applicant will notify the City as soon as possible if the Certified Professional's engagement with the applicant is terminated for any reason.
8. The Applicant agrees, upon substantial completion of the work and prior to applying for an occupancy permit for the Temple Residence, to provide written confirmation from the "Certified Professional" confirming that (1) all work identified in the Heritage Conservation Plan has been completed; and (2) the architectural, engineering and technical details and components of the work comply in all material respects with the requirements of the 2010 Mount St. Angela Conservation Plan.



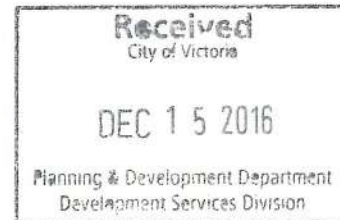


KEAY + CECCO architecture ltd.

JOHN KEAY, ARCHITECT, AIBC
LARRY CECCO, IA, AIBC, MRAIC
1124 FORT STREET,
VICTORIA, V8V 3K8

February 9, 2016, revised December 15, 2016

Mayor and Council,
City of Victoria
1, Centennial Square
Victoria, B.C.



Your Worship and Council,
Re: Heritage Alteration Permit, Mount St Angela

We are pleased to submit an application for Heritage Alteration Permits for 911 Burdett, "Cartreff," 923 Burdett, "Angela College," and 924 McClure, the Temple residence. These three significant heritage buildings are an integral part of the Mount St. Angela project which has been submitted for rezoning.

All buildings are well described in "This Old House" and have been thoroughly evaluated in a Heritage Conservation Study prepared by Donald Luxton & Associates. Both reports provide a comprehensive history of the buildings, and the Conservation Report describes the then current (2007) condition of the buildings, their significance, and an approach to restoration. Reference has been made to the "Standards and Guidelines for the Preservation of Historic Places in Canada" and the principles have been employed as an integral part of our approach to the buildings and site.

Angela College originally constructed in 1866, of masonry it was intended to be the first phase of a larger structure which was to extend along Burdett St (see drawing). Due to financial constraints, the College was eventually sold and converted to a hotel. In 1912, a major addition was constructed to the rear, along with a porte cochere added and interior alterations. On the original College building, the third floor and roof dormers were finished, and the south wing had the pitched roof removed and a third connecting floor added. The building received a structural review and some seismic upgrading in 1991.

Tel: 250 382 3823
Email: john@kcarchitecture.ca

Heritage Alteration Permit, Mount St Angela

It is proposed to remove the 1912 additions, including the porte cochere, the rear annex and the connecting third floor link.. The former is in conflict with the original intent of the building, which was to present a strong and coherent façade to the street. The scale and detailing conflicts with this approach.(ref SGCHP) The rear addition conflicts completely with functional requirements of the project, and is not adaptable to any form of contemporary use, bisecting the site and precluding any changes to land use. This addition is a much more straightforward construction than the original building, reflecting the changes in the financial support for the College. The third floor on the south wing would be removed, and the remaining exterior walls restored within the atrium. The intent of this approach is to bring an image/reflection of the exterior into the new structure

Where the original College building is concerned the intent is to stabilize the interior and exterior, including a seismic upgrade to current standards, while incorporating an accurate exterior restoration. The exterior is relatively unaltered with the exceptions of the additions as noted above. The interior is a mix of original and altered finishes and components, the intent here is to retain and restore original elements where possible and otherwise to respect the changes which have been made over time.

The original College is a strong and coherent architectural statement, and its siting across from Christchurch Cathedral confirms its place in the community. In developing the program for congregate care housing it was important that this position be retained and augmented. This has been achieved by providing a simple glazed backdrop, and by opening up the space between the College and the new construction to the north, allowing the College to continue to make a simple, powerful statement. On the west elevation, the original exterior walls which extend to the south are restored to their original height and configuration, based on archival evidence and the archival photographs. The spatial relationship between the College and the adjacent MacLure residence is retained, and this area becomes the focal point and entry to the development.

Moving to the interior, an integral part of the design is the expression of the college past the glazed wall. It is important that the rear of the college be incorporated into the new building in a meaningful way, that functional issues be addressed, and that the removed 1912 annex be "suggested." These have been achieved through the restoration of the south walls which define the extent of the original building. This transition between the intact original building and the altered extension to the south sets the location of the

curtain wall. At the end of this south wall the atrium, or galleria, incorporates brick elements which continue the materials, scale, and visual extension of the original Heritage Alteration Permit, Mount St Angela

college. Functional requirements, primarily exiting, are addressed with suspended catwalks. The intent of the galleria is to provide a strong cross link between the new and existing building elements, while clearly defining the existing college, and reinforcing its place as a "stand alone" building. This is achieved by the atrium transversing across the back of the College, while incorporating its rear wall, and providing an image of it extending through to the south.

911 Burdett, known as Cartreff, is a well maintained MacLure residence. Alterations were done ca 1927 as part of conversion to a duplex, including a rear addition, small entry porches on the east and west sides, and the closing on of a ground level porch on the north west corner. The house continues as a residence with life tenancy by the Sisters. This use will continue with minimal interior alterations.

It is proposed to raise the house approximately 18" and move it forward 5'0" toward Burdett Street. Raising of the building will return it to its original relationship to the street and sidewalk, both of which have been raised. The grade and landscaping around the building will also be raised to maintain its existing relationship. Moving the house forward allows an enclosed connection to the main building without altering the house in any way. As well, moving the building onto a new foundation will allow concurrent seismic upgrading.

It is proposed to add suites by means of an addition to the rear of the building, separated by a connecting link. This link by its design clearly defines the existing building, while incorporating an existing stair tower on the west side, but does require the removal of a later rear addition. The new addition is reduced in scale from the house, and uses a similar roof profile and detailing

924 McClure Street, the Temple residence, is also designated. Located above a stone wall, the design is quite site specific, gaining a storey as the land slopes toward the street. The exterior has few alterations and is finished with shingles, in poor to fair condition, with decorative wood columns along a front and side porch leading to the entry located toward the rear. The location of the entry allowed the front rooms to take advantage of the height from the street for sunlight and view. A sleeping porch is located on the upper floor. The interior has a fine staircase with built in furniture and period light fixtures, all of which would be retained.

It is intended that the building be moved from its current location approximately 21.6M to the east and 3.4 M to the south. This allows entry to the new parking garage, and

permits the site to be opened up to the Chelsea. The relationship of the house to the street, and the prominent stone wall and stairs, would be retained.

Heritage Alteration Permit, Mount St Angela

Exterior details which are shown in the photographs, are largely intact and would be restored. The dormers, which may be later additions would be retained. Substantial areas of the wall shingles are in poor condition and would be replaced with like materials. The porches would be reconstructed as required.

All three buildings have deferred maintenance to some degree. The preservation and upgrading of missing or deteriorated building elements, interior and exterior restoration, and the stabilization of the structure, along with current electrical and mechanical systems are considered to be a major amenity of the project.

Upon completion, each of the buildings will continue to make a major contribution to the streetscapes in the neighbourhood. The design of the new construction is intended to provide a "visual framework" for each building, to allow them to retain their current relationship to the street.

Yours truly

A handwritten signature in black ink, appearing to be 'J. Keay', with a stylized flourish extending from the end.

John Keay, Architect

cc: Dennis Rogers, Deb Baker, Norm Isherwood



KEAY + CECCO architecture ltd.

JOHN KEAY, ARCHITECT, AIBC
LARRY CECCO, IA, AIBC, MRAIC
1124 FORT STREET,
VICTORIA, V8V 3K8

Nov 07, 2016

Mayor and Council City of Victoria
#1 Centennial Square
Victoria, BC V8W 1P6

Mayor and Members of Council:

**RE: 913-929 Burdett Avenue and 914-924 McClure Street – Mount St. Angela
Rezoning and Heritage Alteration Permit Application**

Enclosed you will find a re- issued rezoning application and background documentation for the above project. A graphic design rationale, along with images and drawings that address revisions made following ADP accompanies this application.

We have made a number of further substantial changes to our building design to reflect comments from the Advisory Design Panel, Heritage Advisory and planning staff. The majority of these changes have been further refinement and sculpting of the building form to enhance its relationship to McClure St. on the southwest corner.



View looking west on McClure Street

Advisory Design Panel Recommendations

At the July 27th Advisory Design Panel (ADP) meeting, the panel unanimously recommended approval of the building design with 4 areas for further consideration:

1. Reconsider the 6 storey massing at the southwest corner

Given the discussion about the visual perception of the overall height and massing of the building form on the southwest corner we have refined the the relationship of the building to McClure street and to the adjacent property and the overall perception of the scale of the building have been improved.

This has been achieved by further sculpting of the 4th and 5th floors and by substantially reducing the scale of the 6th floor and stepping it back on two sides.

The number of residential units have been reduced on the west wing as follows:

4th level	number of residential units reduced from 10 to 8 units
5th level	number of residential units reduced from 9 to 7 units
6th level	number of residential units reduced from 8 to 4 units

Floor setbacks on the west wing have been increased as follows:

4th level	step back from adjacent neighbour property line 3.2 m to 4.2m step back from adjacent neighbour property line 3.2 m to 5.6m
5th level	step back from adjacent neighbour property line 3.2 m to 4.2m step back from adjacent neighbour property line 3.2 m to 5.6m step back from McClure St. property line 8.5 m to 9.2m
6th level	step back from adjacent neighbour property line 3.2 m to 4.2m step back from adjacent neighbour property line 3.2 m to 5.6m step back from McClure St. property line 8.5m to 22.0 m

2. Reconsider the 3 storey massing on the McClure St. elevation

The simple approach taken on the Burdett elevation which was well received by the ADP panel was carried over to the McClure St. Elevation .

The simple structured rhythm through vertical design and finishing elements has been extended to complete the street frontage as a 3 storey element. Strengthening this 3 storey element allows the upper levels of the west wing to fade back.

3.Reconsider the variety of window sizes and materials.

In response we have refined and reduced the number of window types from 22 window types to 10 window types. In some areas we have replaced the window wall glazing system with a combination of a simple window type and wall element.

The number of building materials has been simplified and the composition of material palette refined which greatly simplifies and defines the façade elements.

4. Resolution of structure, window glazing, and materials of the window wall in the atrium to reflect the consideration that has gone into the rest of the project.

The atrium glazed wall has been designed as a structural glass wall with glass fin supports. This allows for the deletion of horizontal and vertical metal support mullions. The overall glazed unit would read as a very light and transparent clear glass wall. A large scale drawing with precedent images of a glass structural system used in a similar application at the Canadian Conservatory of Music in Toronto was presented to the Heritage and area Planner.

Conclusion

Mount St Angela Inspired Seniors Living is an important and exciting opportunity for Victoria and particularly for the Fairfield community. The project introduces concepts of social interaction, environmental design, and neighbourhood which should prove to be a model.

The project has been introduced to the neighbourhood through the Fairfield Community Association, and we look forward to meeting with Council and explaining the project further.

Yours truly,

A handwritten signature in black ink, appearing to read 'LC', with a stylized flourish extending to the right.

Larry Cecco , MRAIC principal

Background Documentation



MOUNT ST. ANGELA - SENIOR LIVING. REDEFINED

The greater part of the site is zoned CD-10, which allows the proposed use, the remainder is R- K. The inclusion of this small parcel in the rezoning provides for a much more cohesive development than would otherwise be possible. The floor space ratio for the project is 1.96 The site encompasses three significant heritage buildings, Mount St Angela, Cartreff (Roberts residence) and the Temple residence. The site slopes to the south, with significant rock outcroppings, and is bordered by apartment buildings and condominiums on each side. The main entrance to the complex is on Burdett Street a street with a heavily treed boulevard, and across from Christ Church Cathedral, a major Victoria landmark. As mentioned most of the property is already zoned for the use proposed, the inclusion of the small parcel in the rezoning provides for a much more cohesive development than would otherwise be possible.

Project

The project is located on the edge of the downtown core, although technically in Fairfield. The Official Community Plan defines the site as within "Fairfield" and the project reinforces the goals for this precinct:

- i. densification of the urban core
- ii. conservation of three significant heritage buildings
- iii. the conservation of a significant green space
- iv. an ideal location for this type of project. The site is close to downtown, with excellent access to public transport, shopping, and cultural amenities.

- v. height, density, relationship to the streetscapes, and the proposed use conform to the goals for the OCP and neighbourhood goals.

The submission also shows deletion of the mid block access across the site which is currently part of the current CD10 zoning . It was clear from the neighbourhood meeting that surrounding neighbours do not considered this a desirable, or necessary, amenity, and that it should be removed form the proposed project. We have included in our submission an assessment and analysis of a midblock access with respect to multi-scale social context risk of crime and safety conducted by an independent consultant "Safe Design Council".

Project Description

The project comprises 132 rental units for seniors, ranging in size from 255 sq.ft (assisted living units) to 1030 sq.ft.. Most these units are designed for a high level of independent living, with 26 of the units providing for a greater level of assistance. The project includes a variety of unit sizes and design, and the blended density of the total project is in line with other multi family projects in the area. This allows for a range of affordability, and also allows residents to move within the project as their needs change. Further flexibility is provided by the inclusion of adaptable and accessible units.

Unit breakdown by type is as follows

- i. studio:1
- ii. one bedroom: 38 units,
- iii. one bedroom + den: 54 units
- iv. two bedroom: 13 units
- v. assisted care: 26 units

Project massing/form

The structure (building) is made up of interconnected and related structures on the site as follows:

Building Complex

- i. the existing Mount St. Angela college: amenity building,
- ii. the existing Cartreff residence, by Maclure on Burdett:
- iii. addition to the rear of the Cartreff residence building (residential suites)
- iv. new construction to the westerly portion of the site, including the main entry, residential suites, amenities, and linkage to the Mount St. Angela College building.
- v. new construction to the east, including kitchen, dining areas, assisted living areas, storage and service spaces, axial link to the Mount St. Angela College building
- vi. new construction along McClure Street, courtyard residential suites, with residential street access off McClure Street
- vii. the existing Temple residence by Maclure on McClure

1. Design features and amenities

Building design: The intent of the design brief is to realize a project of the highest quality which provides a stimulating environment for senior residents, including a complete array of services. As well, it responds appropriately to the heritage buildings which are on site and to the surrounding neighbourhood. The buildings employ to advantage the southern exposure through opening up of the site plan, the location of public facilities and the design of a large intensively landscaped courtyard and garden which reflects that of the adjacent Chelsea site.

The new construction has been sited to allow the existing heritage buildings to dominate the streetscape on both streets. The scale and height of the new buildings have also been carefully modulated to not overpower the site, and use the cross slope to reduce the mass, and guide the site planning.

Circulation within the project is defined by a clearly articulated axial plan, which incorporates extensive glazing and central atrium gallery as transitional elements. Public spaces orient strongly to the exterior to provide access and expansive views to the south and also back to the Cathedral. The intent is to connect the residents visually to the surrounding community.

Vehicle access is shared by both streets. On Burdett the existing drive-through to Mt St Angela is retained, Access to service the building is to the east, with an enclosed loading area for deliveries. To the south, access to the underground parking structure is off McClure, on the low side of the property. Parking includes space for residents and staff, a dedicated passenger van, and secure covered bicycle parking, all to City requirements and standards.

To increase the sense of space large windows and doors have been included, and 9 foot ceilings are standard. Exterior materials are a combination of brick, metal, limestone providing natural palette for gracefully aging buildings . A glass curtain wall atrium gallery defines the main circulation and active space and adds a visual backdrop to the Mt St Angela college .

The Mount St. Angela brings new concepts to inner city seniors housing, based on:

- i. variety of shared dining and recreational areas
- ii. high standard of environmental design

- iii. sustainable landscaping, and water management
- iv. solar water heating
- v. a range of housing types and care levels to suit resident needs
- vi. provision of accessible units
- vii. innovative design and construction
- viii. Geo thermal heating and cooling

As part of this, many of the design elements of the project contribute to the provision of a stimulating facility offering opportunity for social contact and interaction:

- i. access to suites and public spaces through open stairs and expansive corridors
- ii. a variety of shared dining and meeting facilities, centrally located on site, and with outdoor terraces
- iii. particular amenities to encourage social contact, including a theatre, fitness/health spa, and guest suites
- iv. the orientation of the project toward the central courtyard, which provides a combination of active and passive landscaped nodes, including a garden/food production area
- v. shared facilities located in the historic Mount St Angela college

A range of amenities and outdoor spaces addresses resident requirements including

- i. formal and informal dining areas, including a bistro and outdoor terraces
- ii. a variety of meeting spaces
- iii. theatre/lecture hall
- iv. guest suites
- v. spa/exercise facility
- vi. reading room/library
- vii. raised beds for vegetable gardening

viii. outdoor activity areas

2. Project Benefits

Mount St Angela provides several benefits to the City. Certainly densification close to the core improves accessibility, and has major environmental benefits in terms of noise, energy consumption, and pollution. Because of the location, senior residents, and staff, will be able to play an active part in the community, contributing to a more active downtown core.

A major benefit to the City is the upgrading and restoration of the three heritage buildings, as described in section 9 –Heritage, and separate Heritage Alteration Permit letter dated Jan 09,2016

3. Need and Demand

Given the general and regional demographics around aging, and further statistics around life expectancy, the need for seniors accommodation will surely continue to increase. At the same time, there is a limited number of projects of this type in this location, close to the downtown core, Beacon Hall Park, and civic amenities. The construction of the St Angela will permit residents who have traditionally lived in adjacent neighbourhoods to continue to reside in the area as they age. Comments confirming this were received at the neighbourhood presentation.

4. Neighbourhood,

Aside from the project serving as an example of responsible environmental design and community living, the use is compatible with the existing buildings. It also fits well with the neighbourhood which is a mix of several types of housing which vary in scale, market, age, and demographic. The neighbourhood is typical of Victoria in its healthy mix of uses: single and multi family, seniors, extended care, and so on. The Project is entirely compatible with this mix.

5. Impacts

The impacts on the neighbourhood are minor. The project has been designed to minimize the impact on sunlight and views from adjacent buildings. Post construction noise and activity levels would be compatible with the adjacent residential properties. Construction noise, primarily from blasting, would be reduced from previous submissions due to the reduced parking requirements.

The use and occupancy of the building by both residents and staff, would appear to be entirely compatible with the neighbourhood context. Because of the location of the site, neighbourhood impacts are minimized. Access to the site during construction and on completion is straightforward and has been designed to minimally affect adjacent properties. The annex to Mt St Angela college currently houses a number of "hard to house" individuals. Alternative accommodation, of equivalent or better quality will be found prior to commencing construction. As well, two Sisters of St Ann currently living in 911-916 Burdett have a life tenancy, as part of the purchase agreement.

6. Design and Development Permit Guidelines

The project aligns with the goals for design and place as found in the Community Plan. In its massing, scale, and articulation of design elements it contributes to the sense of neighbourhood for this area, and does not overwhelm or conflict with the surrounding buildings. The project responds as well to the urban context in its use of architectural elements which are formal and which are employed within the adjacent downtown core. In particular the new construction responds to the heritage buildings which are on site, providing them with "breathing room" and a sense of space. These are in turn adapted with functions that are compatible with their design and construction, and they serve to provide continuity to the site from its previous use.

Landscape design responds to the functional requirements of the project, and also to the existing conditions. Walls, existing landscaping, and driveway entries on Burdett will be retained, and the significant wall on McClure will be retained and stabilized. Across the site the natural rock outcrops will be retained, with most of the current landscape, which is in poor condition, replaced according to the landscape plans.

The large open courtyard is intended to "borrow" vistas from the Chelsea, and vice versa, and provides a variety of active and contemplative areas for residents.

Landscaping features include:

- i. native, drought resistant plants
- ii. food production, through a combination of raised beds, perennial vines, and fruit trees
- iii. drip irrigation systems
- iv. large water feature, contributing to stormwater management
- v. the opportunity for active gardening by the residents

7. Safety and security

By its very nature the project is intended to provide a high degree of security both internally to the courtyard and externally to the surrounding streets. The cohesive nature ensures that security within the project is a given, and this sense of community extends to the surrounding neighbourhood. Specifically, landscaping and fencing, with the existing high wall which is to be retained, is designed to clearly define public and private space on MacLure, while a softer interface has been designed for Burdett Street.

Lighting and landscaping would conform to CPTED standards, and of course the project is fully staffed on a continuing basis.

The mid block access is a City requirement, although the neighbourhood did not appear to see it as a desirable amenity. The conclusion of the independent mid-block assessment is that construction of a walkway stands to increase the risk of crime in the surrounding community and provides an unsafe area if a person fell into distress.

8. Transportation

A major element of the design concept has been the approach to anticipated parking demand. While the level of car ownership in facilities of this type is traditionally low,

parking has been provided to conform to City requirements. This is primarily to accommodate the needs of visitors and staff, an issue that was raised at the

Community meeting. Bicycle parking is provided to the required standard, with an additional exterior bike rack. All parking would include areas of permeable pavement where exposed to weather. A storage area for the van, which is available to residents on a full time basis, as well as handicapped parking, are located adjacent to the main entry off Burdett.

Service vehicle loading is off Burdett, by means of an enclosed space. Delivery trucks would not be parked outside. Recycling and garbage from the residential units would be taken from the parking garage level, thus avoiding conflicts with the servicing access.

9. Heritage (refer to separate Heritage Alteration Permit letter)

A core design element in the project is the opportunity provided by the heritage buildings.

Statements of Heritage significance are provided for Mt St Angela, Cartreff, the Maclure house located on Burdett, and the Temple

residence on McLure. all are designated by the City. The 1912 addition including the porte cochere, the rear annex and the connecting third floor link.. to Mount St Angela will be partially removed, which will allow the original west wall and the south wall fireplace to be restored. Mount St Angela, will be reviewed from the point of view of seismic performance to confirm whether additional work beyond that done in 1991 will be required. It will incorporate guest rooms and public facilities including meeting rooms and some offices. Cartreff, the house on Burdett, will retain its current duplex configuration, with an addition at the rear separated by a connecting link, which will include an elevator. The Temple house on McClure will be moved to the east, but will retain its relationship to the street, including the wall and stairs. This house will be modified to contain 7 suites. The exteriors of all buildings will be fully restored.

10. Green building features

The project has been designed with a combination of active and passive energy principles:

- i. the buildings have been oriented to take advantage of the south facing site,
- ii. constructed using a high performance wood frame system
- iii. retention of three significant existing buildings, recycling of all components of the structures which are to be removed
- iv. solar collectors for hot water pre heating
- v. rainwater recapture for irrigation
- vi. storm water mitigation
- vii. permeable paving
- viii. heat recovery ventilation systems
- ix. geothermal heating/cooling
- x. designed to the new 2014 energy code
- xi. constructed to Built Green Gold standards

11. Infrastructure

The site is ideally located for access to community services, and of course residents will have access to the van which will be stationed on site. The Y fitness centre, RBCM, and downtown shopping are within three blocks; Beacon Hill Park and Pioneer Park are a short distance away. The accessibility of these amenities will enable the residents to more readily participate in the community. It is not anticipated that site servicing will result in any difficulties.

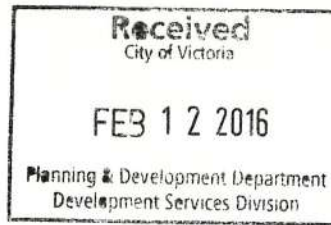
Facilities for staff, including changing and showering areas, are included in the service core of the project



Dr. Kelly W. Sundberg
President

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June 11, 2015

Deb Baker
M.I. Ventures
Mount St. Angela
923 Burdett Ave
Victoria, BC, V8V 3G6

RE: Crime Reduction Assessment and Analysis of Proposed Public Walkway

Dear Ms. Baker:

I write on behalf of the SAFE Design Council – a non-profit organizations committed to assisting building developers affectively apply crime reduction through design scholarship and strategies in the development of built environments. Our Council is also responsible for overseeing, administering, and managing the SAFE Design Standard® – a scholarly-based crime reduction through design methodology aimed at reducing crime through functional planning, landscape architecture, architecture, engineering, interior design, and space programming (for more information please visit our website at www.safedesigncouncil.org).

On Friday, June 26 and Monday, June 29, 2015, Dr. Tanya Trussler and I carefully examined the proposed plans to develop a pedestrian walkway between Burdett Avenue and McClure Street. To gain a better appreciation for this proposed project, we also completed a site visited and conducted a multi-scale social context risk analysis of the surrounding community. The aim of our efforts was to formulate informed design recommendations that could assist you in designing this walkway in a manner that mitigated both the risk and fear of crime.

To ensure our assessment and analysis were as informed as possible, we reflected on established crime reduction through design scholarship (in particular Dr. C. Ray Jeffery's Crime Prevention Through Environmental Design – CPTED), and also applied the SAFE Design Standard®. As with traditional approaches to crime reduction through design, the SAFE Design Standard® includes the assessment of site access points, wayfinding and signage, pathways and roadways, barriers and fencing, visibility and illumination, mechanical and electronic security, and other design elements intended for controlling access and movement within a building or site. Expanding on traditional approaches, the SAFE Design Standard® includes a rigorous, systematic, and standardized evaluation of perimeters and gateways, as well as hard and soft landscapes, using evidence-based quantitative measures. Likewise, the SAFE Design Standard® includes analyses of the unique social context and site type risks – ensuring these risks are considered during the assessment process.

Dr. Tanya Trussler and I are co-developers of the SAFE Design Standard®, are tenured Associate Professors at Mount Royal University, and have extensive experience applying crime reduction through design scholarship in the assessment and analysis of built environments and urban centres. In short, you can be confident that the following findings are evidence-based and informed by our scholarship, experience, and education.



While it is understood you seek detailed recommendations on how your proposed walkway could be designed to mitigate both the risk and fear of crime, after careful review and analysis we unfortunately are unable to provide such recommendations. After much consideration we have determined that due to the significant elevation/grade change between Burdett Avenue and McClure Street, in conjunction with the massing of the surrounding structures, there are no effective design considerations that would meaningfully mitigate the risk or fear of crime. Likewise, we believe the construction of this walkway stands to increase the risk of crime in the surrounding community. Our assessment is based on the following observations:

- Considering the average person requires a clear line of sight of ≈ 16 meters to identify and subsequently retreat from a perceived threat, and identifying that the elevation/grade transition between Burdett Avenue and McClure Street would likely inhibit a person from being able to effectively identify a threat beyond a 16 meter distance, it is implausible to formulate design recommendations that could mitigate the risk of crime concern.



- Again resulting from the elevation/grade transition from Burdett Avenue to McClure Street, coupled with the massing of the surrounding buildings, it is unlikely that a person who fell into distress within the proposed walkway would be seen or heard by others in the surrounding area. Likewise, because this proposed walkway will be isolated from surrounding circulation, it is possible that the walkway would become a space where criminal and aberrant behaviour become evident. For both these reasons, we again are unable to formulate design recommendations that could overcome these concerns.
- Finally, despite the risk of crime for the community being low, there is a high likelihood that this proposed pathway would cause many to perceive a risk of crime, in turn causing some to unnecessarily *feel* anxious or fearful. Considering the older demographic who live in the area, and identifying that the existing sidewalks along Burdett Avenue, Vancouver Street, and McClure Street already provide a highly effective pedestrian circulation route between the two blocks, it is our assertion that the utility of a creating a new 'cut-through' does not justify the potential increase in the public's fear of crime.

Please know that despite our concerns specific to the proposed walkway, we nonetheless see great merit in your overall development project. We are sorry we are unable to assist you with the development of this walkway, however would be more than happy to conduct a SAFE Design Standard® assessment of your overall project.

Should you wish to discuss our assessment further, please feel free to contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Kelly W. Sandberg", written over a horizontal line.

Dr. Kelly W. Sandberg
President
SAFE Design Council

Mount St. Angela

Senior Living. Redefined.

Design Rationale



CLIENT BORN ON THE CURRENT SITE
1942



TEMPLE RESIDENCE

Lineage



1942



1942-1959



1959-2006



2006-PRESENT



Lineage



1942



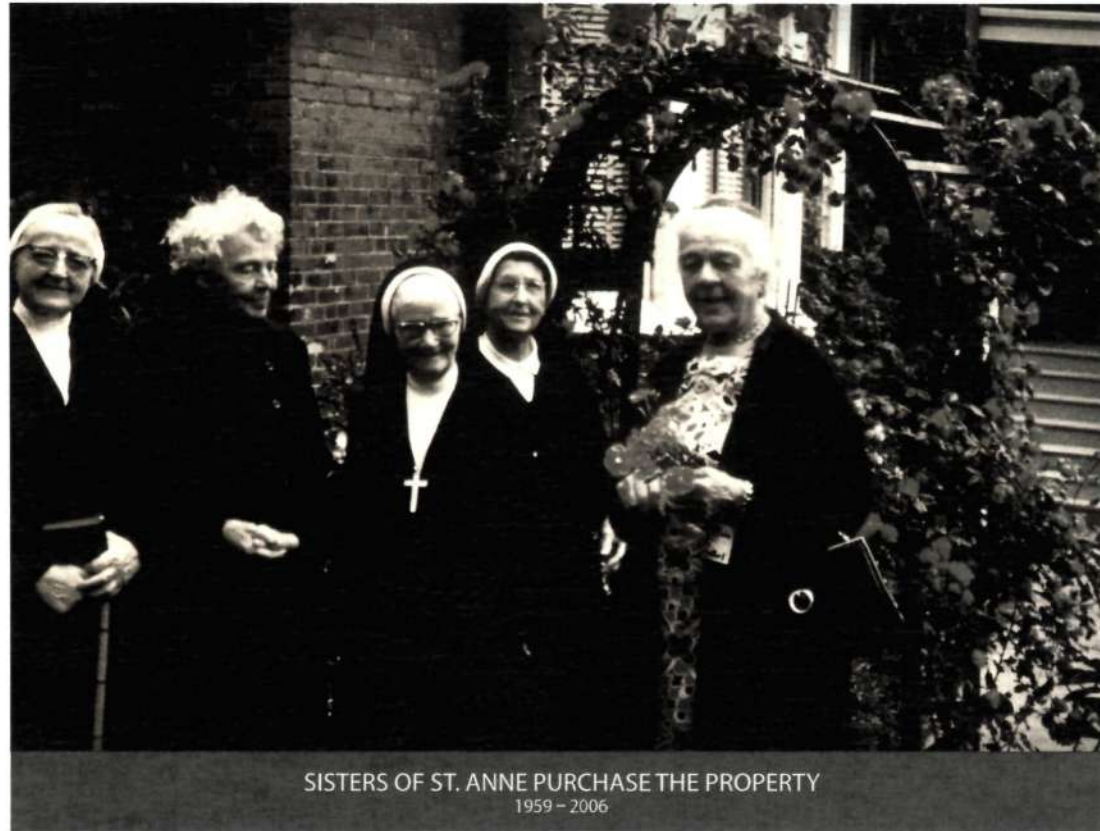
1942-1959



1959-2006



2006-PRESENT



SISTERS OF ST. ANNE PURCHASE THE PROPERTY
1959 - 2006

Lineage



1942



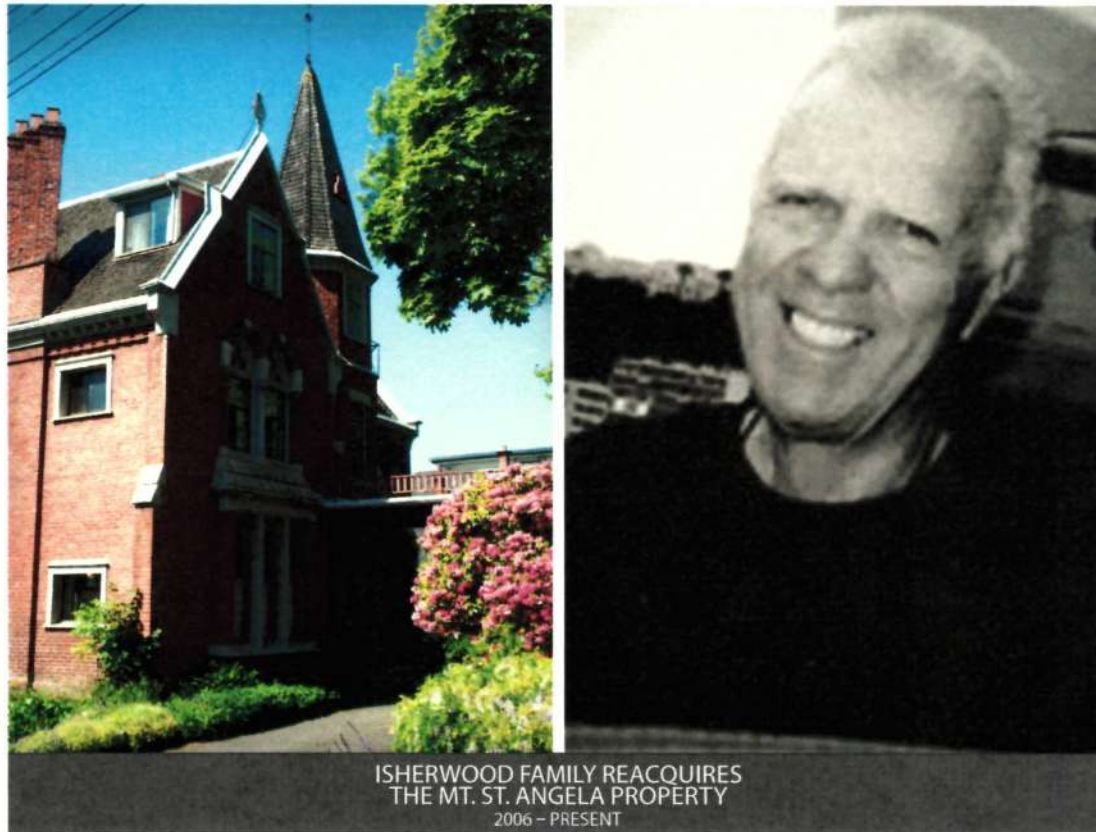
1942-1959



1959-2006



2006-PRESENT



ISHERWOOD FAMILY REACQUIRES
THE MT. ST. ANGELA PROPERTY
2006 - PRESENT

Lineage



1942



1942-1959



1959-2006

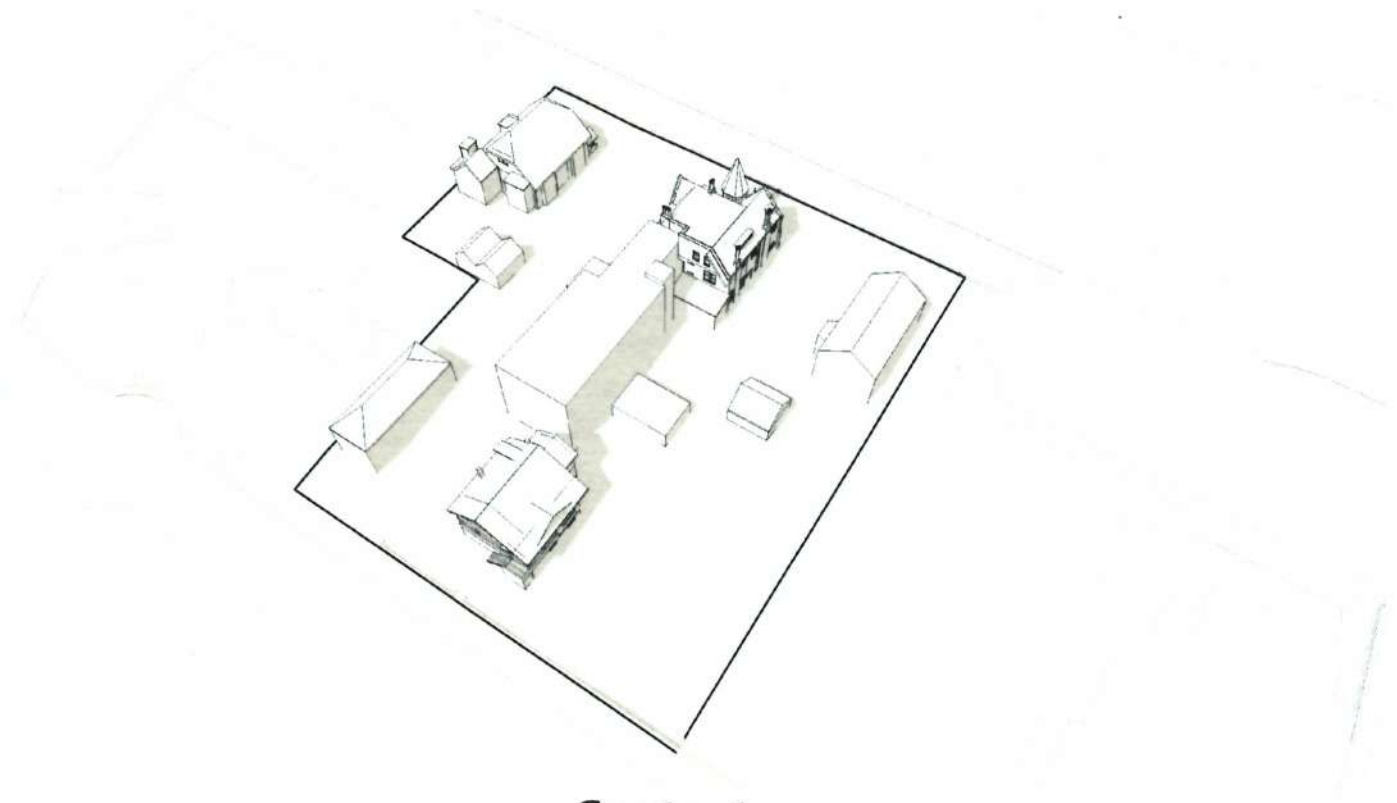


2006-PRESENT



Legacy

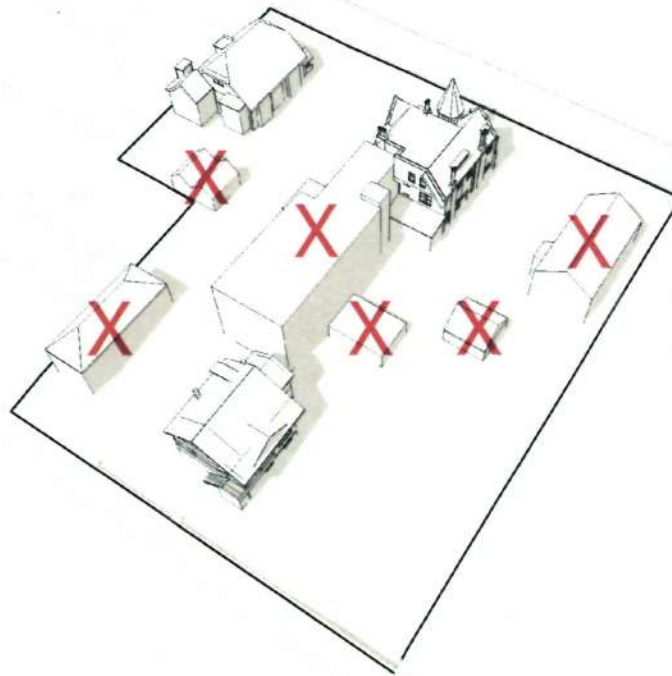
Design Rationale



Context

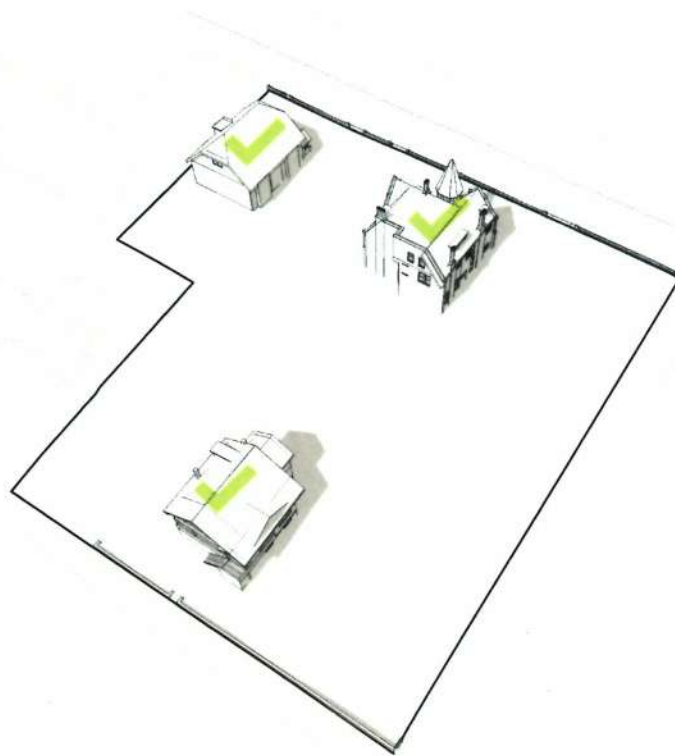
The site is bound by Burdett Ave. and McClure St. surrounded by multi-residential buildings.





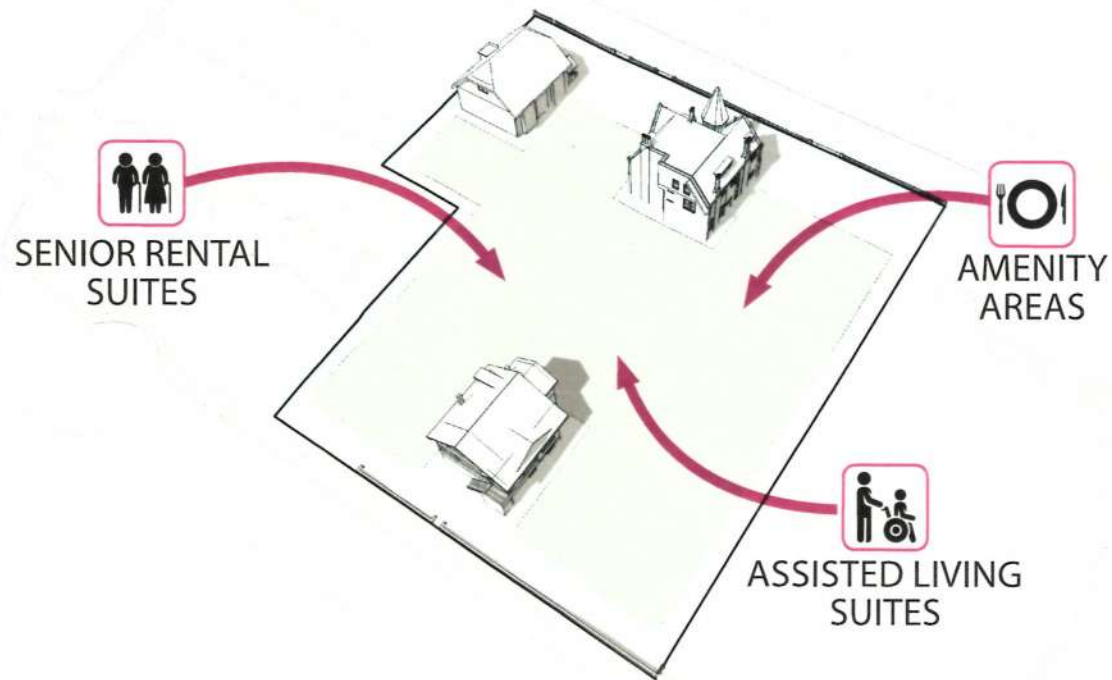
Removal of Structures

The removal of the 1912 addition, 2 houses, and various shed structures allow for the successful implementation of the project.



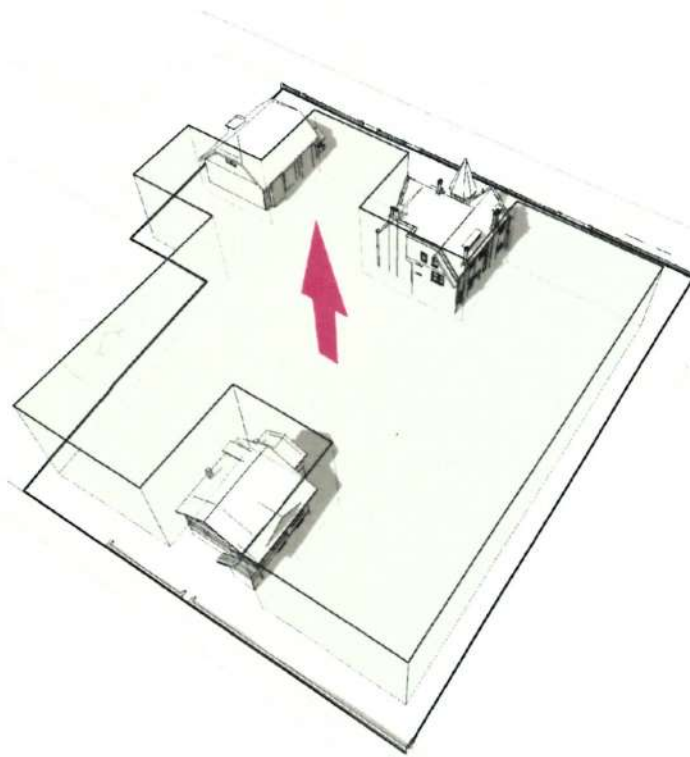
Remaining Structures

The project will undertake an extensive restoration and readaptation encompassing the 3 heritage structures: Mount St. Angela, the Cartreff Residence, & the Temple Residence.



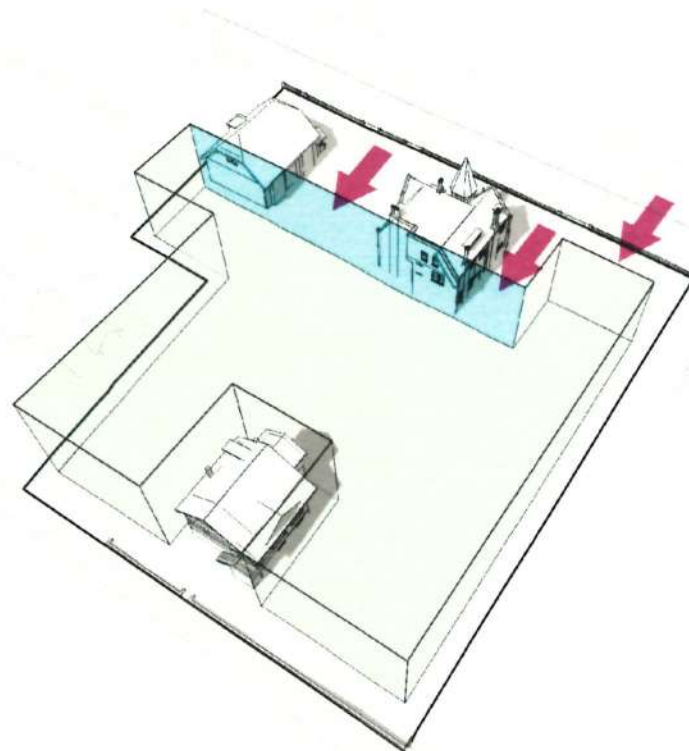
Possible Building Footprint

The maximum building footprint is established, capable of accommodating the programmatic elements: Senior Rental Suites, Assisted Living Suites, and various Amenities such as dining and activity zones.



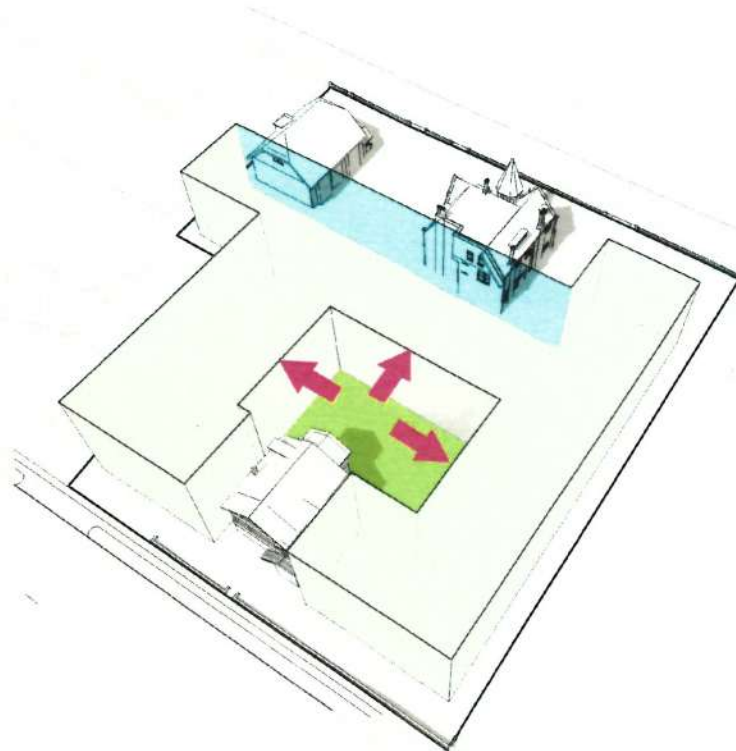
Extrusion

The maximum building envelope dwarfs the heritage structures, reduces breathing space, and eliminates open green space on the site.



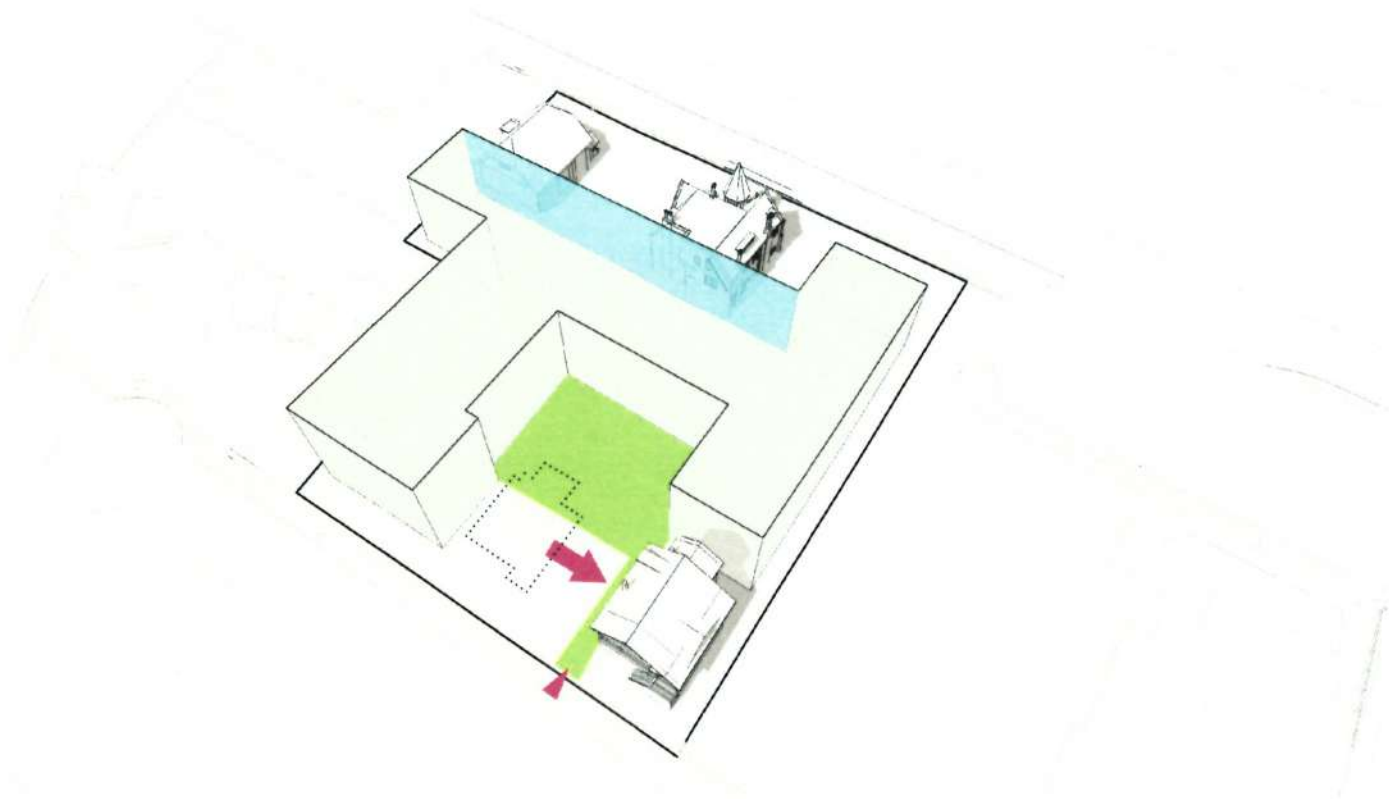
Adjustment

Shifting the street plane on Burdett Ave. allows Mount St. Angela and the Cartreff residence prominent street presence. This creates an axis delineating the intersection between the heritage buildings and the new structure.



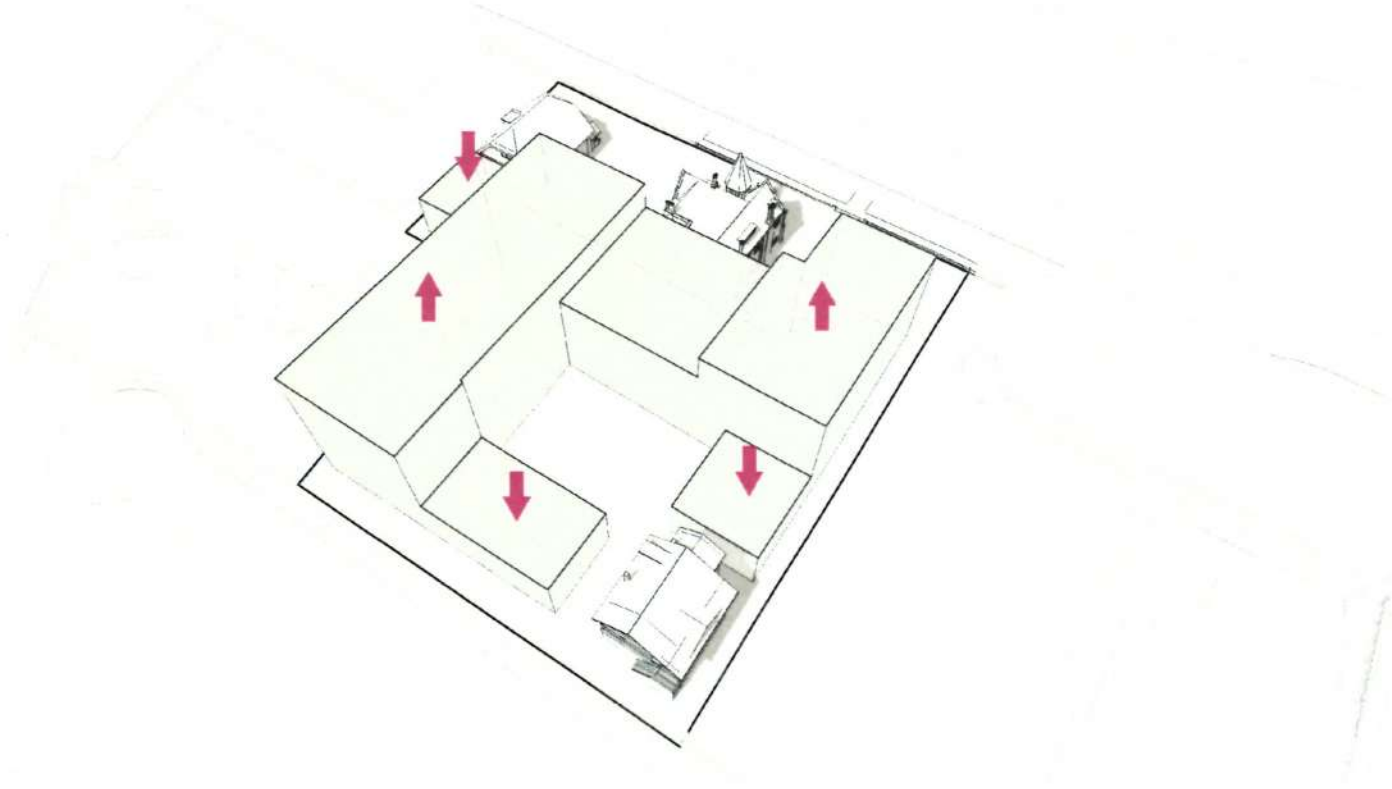
Reclaim Orchard

The centre of the building volume is subtracted, reclaiming the former Angela orchard as a new courtyard garden.



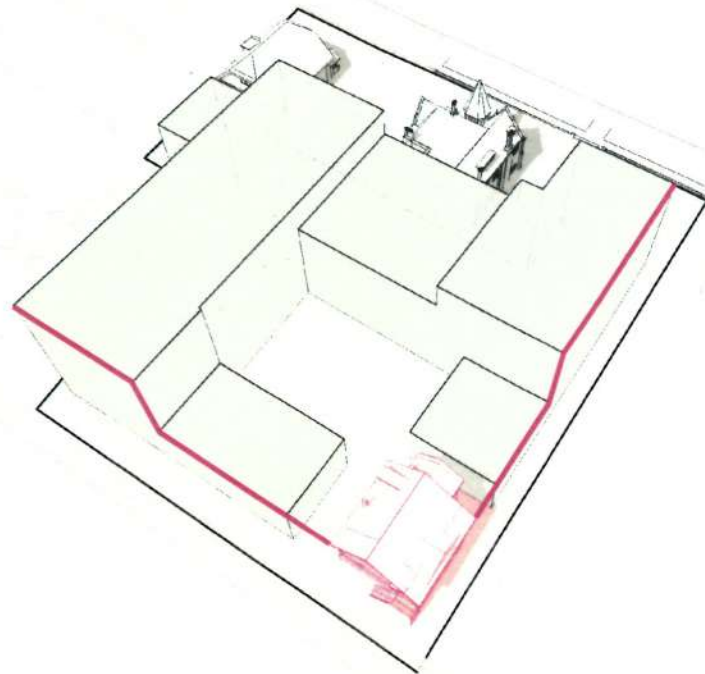
Relocation

The Temple Residence is moved to the east portion of the site forming an anchor which serves as a transition between building heights and defines an entrance gateway into the courtyard.



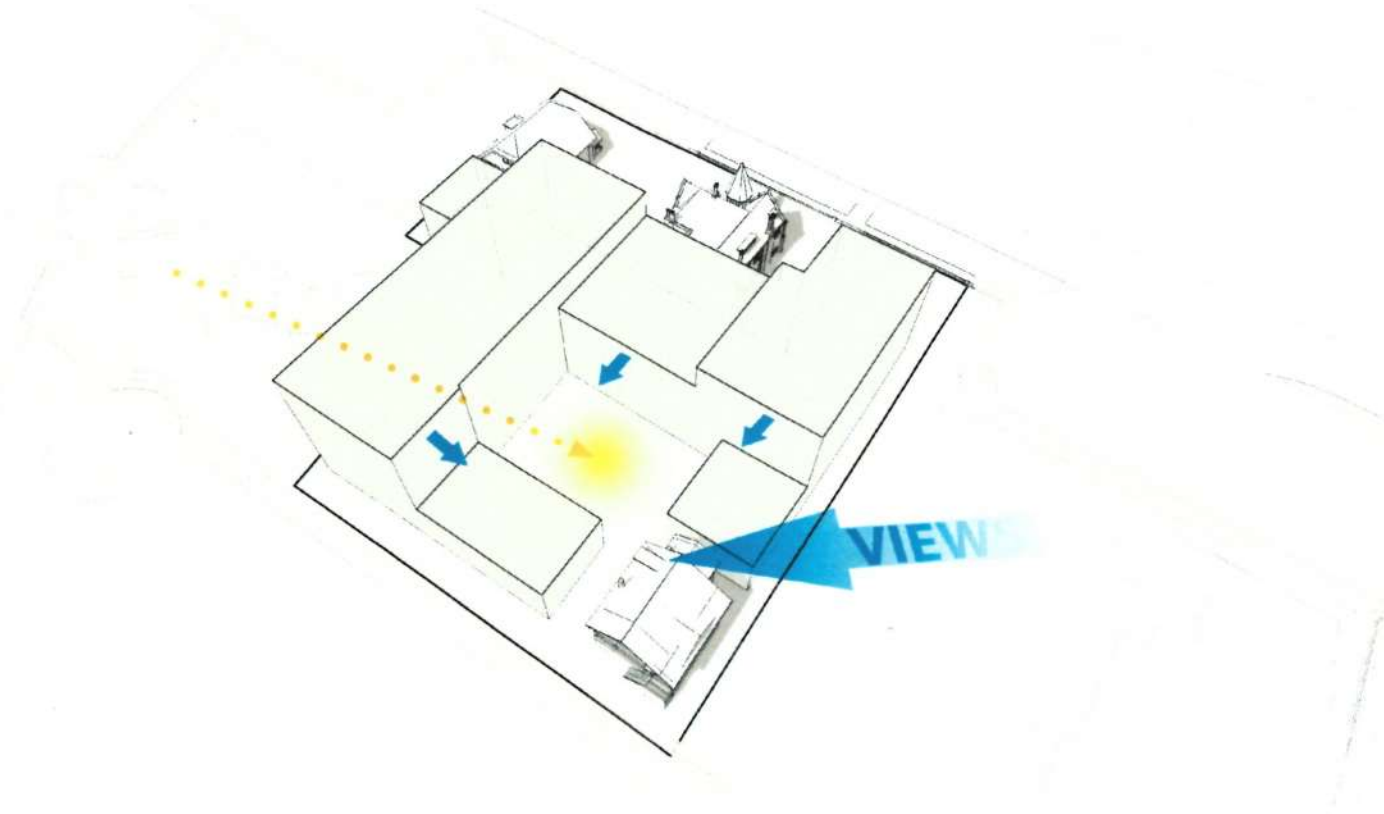
Volume Reconfiguration

The overall volume is reconfigured to compensate for the creation of voids and form height.



Transition

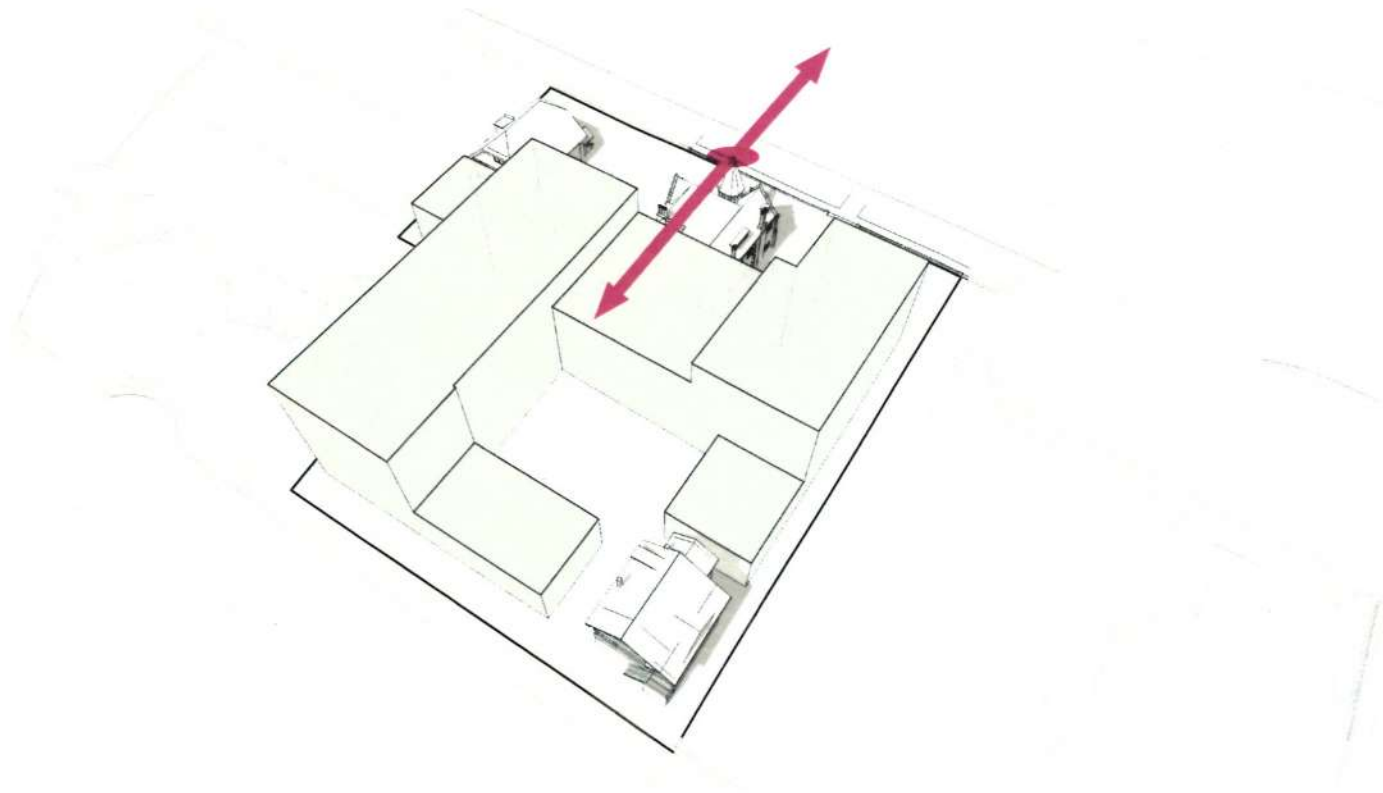
The stepping of building height provides a sensitive transition to adjacent buildings and street scape.



Views

The reduced height on the south east corner allows for unobstructed views and penetration of sunlight.

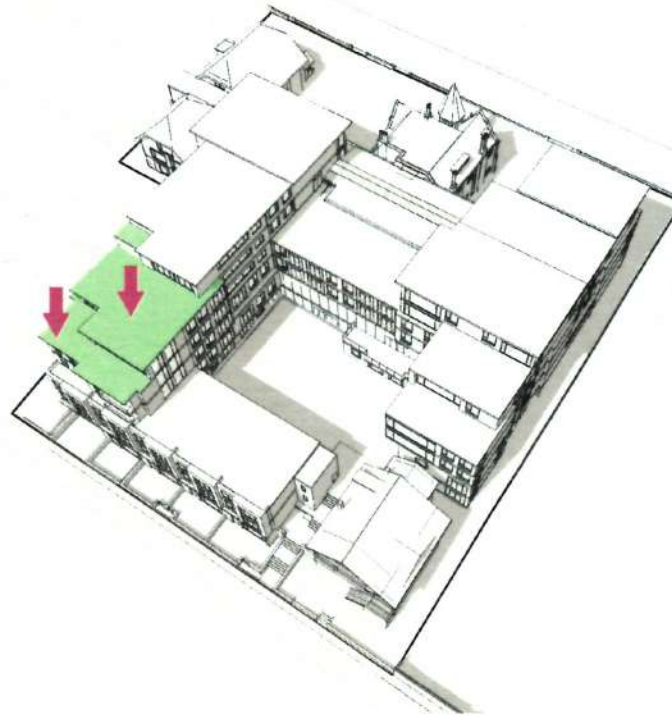




Framing

The east and west volumes frame the Angela and creates a breathing space for the spire.





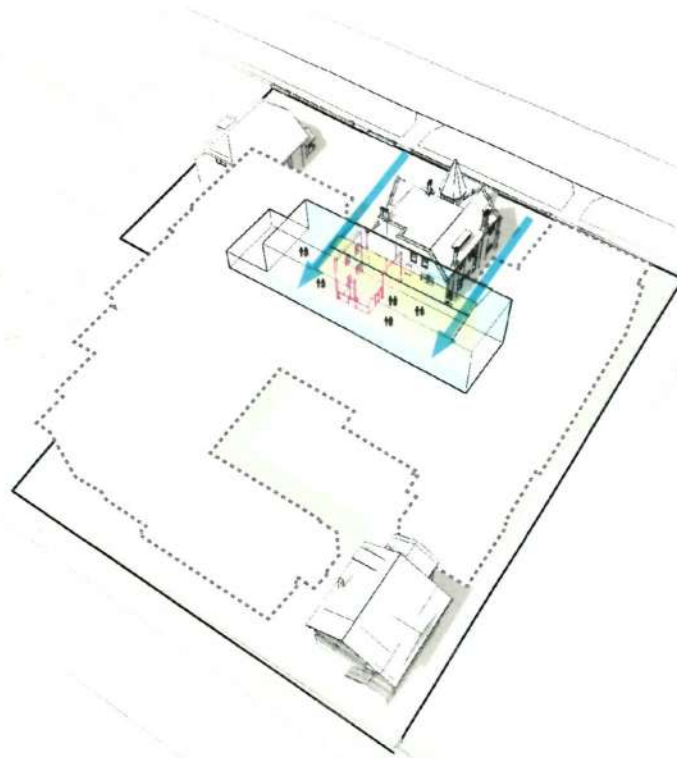
Form Fragmentation

The elevations and roof lines are articulated creating varying degrees of relief and transparency. The building volume on the south west corner is further fragmented to respect and address the corner transition.



Greening

Cascading roof scapes create a layered courtyard allowing for views through and across the site.



Atrium

The atrium forms an articulated axial plan incorporating transparency—a volume of light within the central gallery. Remnants of the original 1865 brick facade penetrates into the atrium becoming a double height artifact in the space, celebrating and preserving the architecture of the past.

















MOUNT ST. ANGELA CONSERVATION PLAN

3.0 HERITAGE VALUES

3.1 HIERARCHY OF HERITAGE VALUE

The following is an assessment of significance of the buildings on the site.

PRIMARY HERITAGE VALUES

Angela College, 923 Burdett Avenue

The 1866 building is one of the key architectural milestones in the development of Victoria during its establishment. As an institutional structure it is an important as Temple Emanu-El, the Church of Our Lord and St. Ann's Academy in understanding the early development of the city and its social context.

- **Socio-Cultural Values:** One of the only surviving 1860s institutional buildings in the province. Representation of early educational values; social position of women; role of Anglican Church in Frontier society. Ties to England – symbolic and actual.
- **Historical Associations:** Establishment of Anglican Diocese in Victoria; sponsorship by Burdett-Coutts; direct association with Burdett-Coutts (including street names); conflict between Bishop Hills and Deacon Cridge.
- **Architectural Values:** Intact interior and exterior elements of Wright & Sanders design. One of their most mature works and one of their key surviving projects. Superb example of the Gothic Revival style, demonstrating an understanding of the most current architectural trends. Workmanship / craftsmanship.

SECONDARY HERITAGE VALUES

Temple Residence, 924 McClure Street

- **Architectural Values:** Early and very good example of Arts and Crafts influence; sophisticated detailing.
- **Historical Associations:** Direct association with Thomas Dufferin "Duff" Pattullo, later Premier.

Cartreff (Roberts Residence), 913-917 Burdett Avenue

Built in 1904-05, this is an excellent example of the Arts and Crafts style.

- **Architectural Values:** Excellent example of the pervasive influence of the Arts and Crafts movement.

MOUNT ST. ANGELA CONSERVATION PLAN

- **Historical Associations:** Additionally significant for direct associations with the Roberts family.

TERTIARY HERITAGE VALUES

(Note: Compromised Integrity)

Angela Hotel (1912 Addition)

- **Site Evolution:** Marks change of use to residential hotel; growth of City during Edwardian era / Great Western boom.

Stevenson Residence, 929 Burdett Avenue

- **Historical Associations:** Indirect association with W.J. Hanna.



Angela College, view of north and west elevations

MOUNT ST. ANGELA CONSERVATION PLAN



View of east elevation

MOUNT ST. ANGELA CONSERVATION PLAN

3.2 ANGELA COLLEGE STATEMENT OF SIGNIFICANCE

Historic Name

- Angela College

Other names:

- Girl's Collegiate School
- Angela Hotel
- Mount St. Angela

Associated People:

Architect: Wright & Sanders, Architects, 1865-66; George C. Mesher, 1911-12

Contractor: J.J. McCready, 1865-66; George C. Mesher, 1911-12

Description of Historic Place

Angela College is a two and one-half storey former school, situated in a residential suburb on the edge of Downtown Victoria. It is distinguished by its Victorian Gothic architecture, built in red brick with sandstone trim, and picturesque silhouette. A rectangular plan, three-storey utilitarian lodging annex with projecting semi-octagonal bays was added to the south in 1911-12.

Heritage Value

Angela College represents one of the key institutional and architectural milestones in the earliest development of the City of Victoria. It is valued as a manifestation of early English colonization and for its significance in the local establishment of the Anglican Church. As an institutional structure it is as important as Temple Emanu-El, the Church of Our Lord and St. Ann's Academy in understanding the early development of the City of Victoria and its social context.

Angela College was conceived as an Anglican school that would deliver 'religious, moral and secular' education to young ladies of the early colony. Opened in 1866, it reinforced ties to Britain and loyalty to the Crown. It is indicative of colonization and orderly development that sought to replicate the English social model by reserving land for government, church, park and military use. Angela College also represents the establishment of the Anglican See in Victoria, and reflects the generous philanthropy of Baroness Angela Burdett-Coutts, the wealthiest woman of the Victorian era. Burdett-Coutts donated more than three million pounds to the Anglican Church for churches and schools in the colonies, and was a notable benefactor of the Anglican Bishopric of British Columbia in 1859. The Anglican Church maintained close ties with the College even when it was privately-run, indicating the importance placed on the education of women and on values of civility, gentility and refinement even in a frontier environment. Despite the ultimate failure of the College, it played a key role in local society by providing opportunities for education of the daughters of the newly-wealthy classes. The subsequent uses and adaptations of the site, both as a residential hotel and more recently as a residence for the Sisters of St. Ann, reflect the changing context and economic patterns as Victoria shifted from a colonial centre to a popular holiday destination and a desirable place of retirement.

MOUNT ST. ANGELA CONSERVATION PLAN

Angela College is also valued as one of Victoria's most distinguished early brick structures. Designed by prominent local partnership of architects John Wright and George Hipsley Sanders, this is one of the most significant surviving institutional buildings in the province from the 1860s. Despite the original design being only partly realized, this is one of their most mature works, and was their last local work before they shifted their base of operations to San Francisco. It is a superb example of the English Victorian Gothic Revival style, a synthesis of church and secular architecture that demonstrated a keen understanding of the most current architectural trends. One of the oldest surviving architecturally-designed structures in Victoria, it retains many intact interior and exterior elements that date to 1866.

Heritage Character-Defining Elements

Key elements that define the heritage character of Angela College include its:

- location within the former Anglican Church reserve
- elements of Victorian Gothic Revival architecture, such as: the overall asymmetrical composition; picturesque roofline with octagonal spire; moulded gable copings surmounted with ornamented crosses; ornate tall chimneys; pointed-arch and foliated window openings; projecting bays; and pointed-arch entry
- interior elements that relate to the original Wright & Sanders design, such as: the original room layout on the ground floor; intact elements in individual rooms including original door and window casings, baseboards and picture rails; lath-and-plaster walls; cast plaster rosettes; and original doors and hardware
- masonry construction, including rubble-stone foundations, structural red-brick walls, rubbed brick detailing, and sandstone trim and mullions
- fenestration, including: a variety of window openings; some original double-hung wooden-sash windows on the ground and second floor; and a front door assembly with Gothic tracery

MOUNT ST. ANGELA CONSERVATION PLAN



View of north elevation

3.3 PROPOSED CONSERVATION APPROACH

Given the inability to retain every aspect of the site during the redevelopment process, the following conservation approach is proposed that balances conservation of the most significant heritage values while allowing for new development to occur.

Primary Heritage Values

Angela College, 923 Burdett Avenue

- Exterior: Restoration (currently designated)
- Interior: Preservation with selective Rehabilitation (designation extended to interior features)

It is proposed that the designation be extended to include legal protection of those features that can be clearly identified as original to the 1866 construction of the building, including wooden door and window casings, wooden trim, lath and plaster walls and hardware in the two front ground floor rooms and central hallway.

Secondary Heritage Values

Temple Residence, 924 McClure Street (Proposed for relocation within existing lot)

- Exterior: Preservation (to be designated)
- Interior: Rehabilitation

MOUNT ST. ANGELA CONSERVATION PLAN

Cartreff (Roberts Residence), 913-917 Burdett Avenue

Now subdivided on separate legal lot

- Exterior: Preservation (currently designated)
- Interior: Preservation

Tertiary Heritage Values

Angela Hotel, 1912 Annex, 923 Burdett Avenue

- Exterior: Restoration (currently designated)
- Interior: Rehabilitation

Stevenson Residence, 929 Burdett Avenue

Proposed for removal from the site

MOUNT ST. ANGELA CONSERVATION PLAN

4.0 ANGELA COLLEGE CONSERVATION PLAN

This section examines the individual material components of the exterior and interior of Angela College by describing the material, condition and recommended conservation strategy. The original portion of the building, constructed in 1866, is two and one-half storeys high, with a partial basement and a crawlspace under the remainder. It is a masonry mass wall structure with sandstone detailing. Parts of the 1876 addition remain at the rear of the original building, incorporated into the 1912 Annex. The Annex is three stories high with a full-height basement at grade, faced with brick and stuccoed on the projecting bays.

4.1 CONSERVATION STRATEGY

The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2004) is the source utilized to determine the intervention approach for this project. Considering these standards and guidelines, the interventions proposed for this project include aspects of *preservation, rehabilitation and restoration*, defined below:

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of an historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

The intent of the exterior work, as outlined in the *Standards & Guidelines for the Conservation of Historic Places in Canada* would be preservation and restoration of the 1866 appearance of Angela College. This would include:

- Preserving surviving original elements, including protection and stabilization
- Repairs to exterior brickwork, rubble-stone foundation, fascias and woodwork
- Repair and repainting of existing wooden window sashes
- Restoration of missing elements from the original construction period, based on archival documentation and surviving building elements

The intent of the interior work, as outlined in the *Standards & Guidelines for the Conservation of Historic Places in Canada* would be preservation of original and heritage items, and rehabilitation that would make possible the building's new use of senior sheltered housing. This will involve:

- Preserve specific original features and features from later periods considered of heritage value
- Rehabilitate interior spaces and services suitable for new use

MOUNT ST. ANGELA CONSERVATION PLAN

The description, condition and conservation procedures outlined below will guide the interventions to the building.

4.2 RECENT CONSERVATION INTERVENTIONS

In 1991-92, architect Nick Bawlf, of Bawlf Cooper Associates, with Andrew Rushforth, P.Eng., structural engineer of Graeme & Murray Consultants Ltd., undertook a thorough analysis of the structure, including a seismic overview. A programme of restoration and stabilization work was proposed that involved work on the exterior of the building. The structural condition of the 1866 building was considered to be excellent, the exterior brick and stone judged to be in good condition, although it was noted that some re-pointing was required. A new cedar shingle roof was installed in October 1991. In 1992, the roof structure of the porte-cochere was dismantled and reconstructed. Other general roofing and repair work, and the upgrading of perimeter drains were undertaken. Cracked stucco on the bays of the Annex was repaired and replaced. The 1866 chimneys were considered a seismic hazard. A crane was used to drop 20 foot steel girders into the chimney flues, and the chimneys were reconstructed using the original bricks; concrete was then poured into the holes around the girders. Exterior elements were repainted (colour scheme by Stuart Stark). The decorative vent on the steeple was repaired, painted and re-installed, although it is no longer functional. The entire project cost close to \$120,000 at the time.

The seismic overview confirmed that the existing masonry walls in the 1866 building, including interior brick shear walls that define the hallway, provide adequate lateral support. For a seismic upgrade of the unreinforced masonry, work would primarily involve the installation of wall anchors to join the masonry to the floor and roof diaphragms. The existing porte-cochere was judged poorly supported to resist lateral loads; the stability in a major seismic event would be in doubt and bracing options would need to be studied if it was retained. The Annex was not checked for seismic performance, but was expected to survive a major earthquake except there would be structural damage and the brick veneer would likely fall away. Additional shear walls and anchoring was recommended but not studied in detail.

The building, including the Annex, was designated to ensure eligibility for restoration grants. The British Columbia Heritage Trust provided grants for the feasibility study and for restoration, and the Victoria Heritage Foundation provided further funding for the restoration of the chimneys.

MOUNT ST. ANGELA CONSERVATION PLAN

4.3 STRUCTURAL SYSTEMS

4.3.1 Foundations

The foundation walls are formed of mass wall construction built of granite rubble. These walls are visible externally on the east and west sides and throughout the basement. There is a change in construction-type between the main building and the 1876 addition. There will be a requirement for additional lateral seismic resistance.

Condition: Good condition

Proposed Intervention: Preservation



Painted granite foundation walls. Note different construction-type between 1866 (r) and 1876 (l) addition

4.3.2 Superstructure

The exterior walls are formed of mass wall construction built of red bricks with sandstone detailing. Based on initial investigation it is assumed that the interior walls on each side of the central corridor are mass-wall masonry up to the second floor. The remaining interior walls of the 1866 structure are likely to be frame construction with brick infill. It was noted in the 1991-1992 survey that a fire had damaged the original ground floor joists in the basement, but that these had been strengthened with a new set of joists.

Condition: Good condition

Proposed Intervention: Preservation

4.4 EXTERIOR

Situated mid-block, the building is built set back from the front property line. It is two and one-half storeys in height with a partial basement and features an asymmetrical composition with a picturesque roofline with an octagonal spire. The north and west elevations are built as originally designed. The east elevation was originally planned to be part of a larger scheme planned by Wright & Sanders and as a result has a more modest finish. The south elevation has a two-storey projection, part of the 1876 addition. This was substantially extended in 1911-12.

MOUNT ST. ANGELA CONSERVATION PLAN

4.4.1 Roof

The roof is a high-pitched, Gothic style, cross-gabled design with an octagonal spire, ornate tall chimneys, and shed-roof dormers on the north, east and west pitches. The gables are finished with moulded copings and ornamented crosses at the apexes. Two bay windows are roofed in metal and steeply pitched, extending from the sill of the second floor to the lintel of the bay window. The roof of the bay window on the west façade acts as a balcony; this is covered with an asphalt membrane. There is a shed-roofed, one and one-half storey addition on the south elevation.

Elements of the roof have been altered since its construction. The original dormers were significantly smaller barrel-roofed ventilation turrets serving the school-room and dormitories. These were altered, possibly as early as 1897, to make the attic space usable. In addition, the detailing at the eaves has been altered from the original construction.

Condition: Good condition

The cedar shingle roof was replaced in 1991. The roof covering on the main roof and spire appear to be in good condition, although there is algae growth on the western pitch. It is assumed that the metal flashings and valleys were replaced at the same time. There is metal staining on the moulded coping beneath the flashings on both the gables. The crosses are secured by metal rod tied into the roof.

Proposed Intervention: Preservation

- Confirm condition of flashings from closer location
- Confirm condition of cross securing mechanisms
- Repair roof ridge
- Repair metal roofs over bay windows
- Replace asphalt covering over western bay window

4.4.2 Rainwater Disposal

Six narrow (approx. 3" diameter) galvanized metal downspouts remove water from the roof. These downspouts pierce the wood cornice and are bracketted to the wall. Each shed-roof dormer has its own downspouts discharging onto the roof. The perimeter drains were upgraded in 1992.

Condition: Poor condition

Rainwater, leaking from faulty downspouts has caused, and continues to cause, damage to external and internal elements. These specific effects include staining, brick and mortar decay and internal plaster damage. There are a number of reasons for this. Firstly, the overall rainwater disposal design is insufficient to remove a large quantity of water effectively from a large roof. From the archival photo of c. 1876 the downspouts appear larger than those currently in place. In some places, second downspouts are close to the original ones, indicative of the faulty design. Secondly, specific details in the design have failed, and from the appearance of the adjacent substrate have been doing so for many years. This may have resulted in the alteration in design at the eave line. Closer inspection is required, but from initial investigations the prime weakness is the junction between the eavetroughs with the cornice and downspouts. These are disconnected in at least three locations. The other area of

MOUNT ST. ANGELA CONSERVATION PLAN

concern is at the porte-cochere, where a downspout was previously blocked and caused damage to the interior lime plaster in the vestibule.



Downspout disconnected from eavetrough, allowing moisture saturation.
Brick cornice previously repaired but downspout not repaired.
Note wood cornice with brackets split at dowels from moisture

Proposed Intervention: Rehabilitation

- Immediate repair to junction between the eavetroughs and downspouts
- Further study to redesign rainwater disposal system and full replacement of eavetroughs and downspouts

4.4.3 Masonry

There are three types of masonry on the exterior of the building: brick, sandstone and granite. The façades are constructed red brick with painted sandstone used for a variety of detailing. Granite has been used at foundation level.

Brick

One of the dominant features of the structure is its brick construction. The brickwork is approximately 13" thick (three wythes assumed) with standard header courses at regular intervals. The brickwork, mortar and paint sections of this report should be read in tandem, as these three elements are inter-related.

There are some decorative bricks found on the building i.e. corbelling at eaves level consisting of alternative raised and bullnose bricks, cant bricks that line the top of the plinth, and raised bricks that form patterned window surrounds. The colour of the plinth cant brick is notable and appears to be a grey/blue engineering-type brick. There is an unusual area where a modification of the original façade has occurred. This is on the east elevation at first floor level. A small window is in a recessed section and above, the brick appears to be infilled. The original configuration is unknown. In

MOUNT ST. ANGELA CONSERVATION PLAN

addition, both gable windows have been altered, possibly in 1897 to make the attic space usable. The original window surround was circular brick with stone tracery. Given the date of alteration, it is possible that the later window surrounds are parged over brick, but this was unconfirmed.

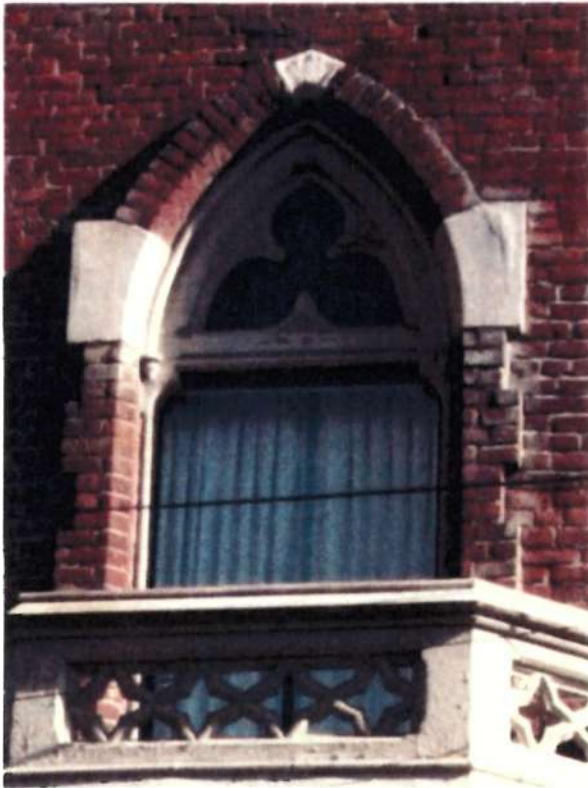


Photo above: Cant brick at plinth level.

Photo left: Raised brick window surround with original wood trefoil and window frame. West elevation.

The brickwork is pointed in a lime-based mortar with flush joints, painted a red-oxide colour and the mortar joints subsequently "lined" by hand with a lime mortar putty to simulate the brick joints. This process is called *tuck-pointing* and is a typical English style. It will be discussed in greater detail in Section 4.4.4.

There are four groups of tall brick chimneys – two on the east elevation at cornice level and two at ridge level. The design is ornate, and is a character-defining element of Victorian Gothic Revival architecture. They are placed in groups of two or three at a 90° angle giving them a diamond pattern. The chimneys of the 1866 building were dismantled in 1991-92 for seismic reasons, and rebuilt with hollow steel sections in the flue spaces; the chimneys are now non-functional.

Condition: Good condition

The overall brickwork is in good condition, with little evidence of movement or cracks. However, there are a number of areas where water saturation has caused damage to the brickwork and mortar. These are evident by dark staining where the brickwork is still wet, and areas with a white powdery deposit on the bricks. This is called efflorescence and is indicative of a wetting and drying cycle, where the deposits form as the bricks dry out. Examples of this can be seen

MOUNT ST. ANGELA CONSERVATION PLAN

where a defect has been repaired, such as a repaired downspout leak and at areas where a detail is not working properly, such as the moulded gable corbels. There were also recorded incidences on the chimneys. There is biological growth (algae, moss etc.) on lower areas, particularly at the front where the ground level has been raised over the years or where foundation plantings are present.

Proposed Intervention: Preservation

- Repair defective rainwater disposal system to allow all masonry to dry
- Brush off white powdery efflorescence
- Do not seal brick with silicones or consolidants as these prevent the brick from breathing and may cause deterioration to the brick
- The brickwork should not be cleaned using any abrasive, water or chemical method. In areas where brick requires cleaning, allow to dry and use a soft natural bristle brush. This conservation technique will preserve the historic tuck-pointing.

Example of efflorescence on brick from many wetting-and-drying cycles due to a faulty downspout. North elevation



Sandstone

Smoothly finished sandstone elements are prominent decorative features of the building. Sandstone is used to form the moulded gable copings, stepped buttress caps, window and door surrounds, carved mullions, and elements of the projecting bays and the balcony. There are also carved corbels at the ends of the drip mould over the front entrance.

All sandstone is now painted. It is likely that it was originally unpainted, but has now all received a number of coats of paint.

Condition: Good condition

There is minor stone deterioration in isolated areas in the form of stone dissolution and surface spalling. In the case of the dissolution, it is possible that this is a result of the paint trapping moisture, but generally the paintwork has protected the sandstone and it would be more detrimental to remove the paint.

MOUNT ST. ANGELA CONSERVATION PLAN



Photo above: Condition of sandstone. Minor deterioration under paint layers causes cracking of paint and therefore moisture ingress

Photo left: Painted sandstone detailing: sill, mullions, lintel and window surround.

Proposed Intervention: Preservation & Restoration

- The paint finish should be retained as a protective finish
- Delaminated and deteriorated stone may be restored. This is done by scaling back the sandstone to solid substrate, and patching using an appropriate breathable repair mortar (e.g. Jahn Restoration Mortar). Match the repair to the original stone in texture and tooled finish. Repaint following repair.

Granite

The foundation walls of the 1866 building are of random rubble granite. These are visible above grade on the east and west elevations. According to the previous structural study, they bear on native rock, which is close to the surface throughout the site. On the interior, the foundation walls are painted. There are no obvious signs of moisture damage.

Condition: Good condition

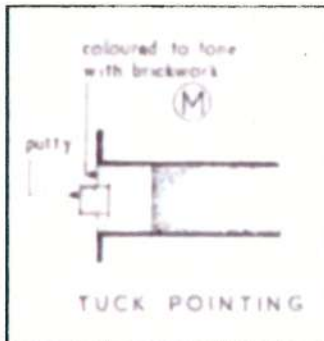
Proposed Intervention: Preservation

- Seismic upgrading as required
- Repoint as necessary

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4.4.4 Mortar & Stucco

The mortar is a lime-based mix with no cement content. The mortar was originally tuck-pointed. This type of pointing is an English style and denotes a high-quality, prestigious building of that era. The usual method for this type of tuck-pointing is for the brickwork to be pointed in a lime mortar and finished with flush joints, then the joints and edges of bricks are coated in a wash to match the brickwork so the brick and mortar appear as one. Finally, perfectly straight lines are scored in the soft mortar and a thin line of lime putty mortar inserted and finished with a square profile (the "nib"). The reason for tuck-pointing was to give the appearance of a wall with very fine brick joints.



Typical tuck pointing construction
[Building Construction & Drawing,
Mitchell, 1953]



Example of typical completed tuck-pointing on another building.



Photo above: Detail of remaining tuck-pointing in sheltered area of Angela College.

Photo right: Example of weathered pointing. Tuck-pointing detailing has been lost, but mortar still functioning properly.



There is modern stucco covering in the gable of the south elevation. This does not continue lower than the second floor level. The original surface treatment is unknown.

Condition: Reasonable condition

The mortar is in quite good condition but in a very delicate state. There is still good evidence of tuck-pointing, but as is expected, the lime "nib" has been lost in many areas and the red-

MOUNT ST. ANGELA CONSERVATION PLAN

oxide wash worn away. However, the joints and mortar are still functioning in most areas. There are some places where water damage has washed out the mortar in the joints.

The north-west corner is covered with ivy. This plant damages mortar joints by attaching to them and leeching-out the nutrients, making the mortar friable and fail. At the front of the building, the ground has built-up at the front bays, particularly at the north-west bay, thus trapping moisture and causing biological growth.

Proposed Intervention: Preservation

- Repointing is not recommended, unless absolutely necessary. The balance on this building between brick, mortar and paint covering is very delicate. Repairs will be obvious, no matter how careful the craftsmanship
- Spot repointing of defects should be undertaken using a lime-based, breathable mortar to match adjacent. Each section to be colour-matched individually
- Remove vegetation, lower the ground level and cut back plants to allow more air circulation at the back of the foundation planting beds



Example of inappropriate repointing using cement-based mortar, exaggerating the joints

4.4.5 Exterior Woodwork

The projecting cornice with brackets at the junction between roof and wall is made of wood milled and painted to give the appearance of stone. Later flashing at the eavetrough has hidden some of the detailing from view.

The shed dormers have wood siding and trim. On the attic floor on the south side the window surrounds are made of wood.

Condition: Fair condition

Paint not only protects, but also can conceal the extent of damage to wood beneath. From the ground, the cornice looks in fair condition but with the problems associated with the rainwater disposal system, it is probable that certain areas of the cornice has been saturated for a number of years. For example, some brackets near downspouts have split at the dowel.

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Proposed Intervention: Preservation

- Correct any source of degradation (e.g. faulty downspouts) and ensure structural stability prior to making cosmetic repairs
- Repair decayed wood instead of full replacement, where possible
- Replace decayed exterior woodwork with a sound substitute only when the wood has lost its material integrity and its ability to hold its surface coating
- Use only gentle means to clean or strip wood of finishes before repairing and refinishing. It is not necessary to remove sound, well-bonded paint from woodwork
- Ensure all woodwork is properly finished
- Keep all exterior woodwork well maintained and painted

4.4.6 Metalwork



Typically of a mass-wall masonry building, there is no structural metal present. Sheet metal flashing covers the projecting bays and balcony. These are in good condition and should remain in situ and be thoroughly primed prior to repainting.

It was noted in 1991 that the two steeple vents had been removed during the re-roofing of the 1866 building. Only one was restored and re-installed at the time. There is also a functional fire escape on north elevation. If the fire escape is being removed as part of this conservation project, the fixing holes should be repaired using an appropriate breathable repair mortar.

Sheet metal flashing on balcony. Substrate unknown. West elevation

4.4.7 Fenestration

The windows are an important character-defining element. The Gothic style of architecture is evident in the trefoil tracery in the pointed-arch windows, protruding bays and carved stone mullions and dressings. Although some windows were replaced with metal sash in the 1970s, there is still a good representation of the original sash on the north and west elevations and all original window frames on the first and second floors are present. The top floor windows on the north and west elevations have been altered. Originally, there was a small circular opening with stone and brick surround in which a vent was located. The east elevation has an unusual fenestration pattern – window heights are small and the opening at the centre of the first floor has been altered. The plan for the original building was for an extended building to the east, but this was not realised, so the window location may be more indicative of proposed door locations for the extended building.

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The following original windows are still in situ:

Floor	First Floor	Second Floor	Dormer/Gable
North (front)	3 one-over-one sash windows in east bay One-over-one sash window Entrance Porch 2 one-over-one sash windows in west bay	Trefoil tracery in couple-arched window Pointed arch Staircase window North & west face spire windows	West face spire window
East			
South		Two-over-two sash	
West	3 two-over-two sash windows in bay.	Trefoil tracery in pointed arch window	

Condition: Good condition

The windows are in good condition, considering their age. There are many layers of paint, which have protected them, but have also made the working of them more difficult. Some windows have been painted shut.

Proposed Intervention: Preservation & Restoration

- Protect all historic glass either in situ or removing entire sash from site during works
- Protect interior historic wood window surrounds during preservation works
- Each wooden sash window is to be preserved by repairing and consolidating existing elements where possible, making a replica replacement of those elements decayed beyond repair or missing, and overhauling to ensure each window is in working order by removing enough paint to make them run freely and by rebalancing the sash weights
- Overhaul ironmongery and replace if missing or un-repairable
- Carefully remove modern aluminium windows, minimising damage to historic wooden window frames
- Replace modern windows with double-hung wooden sash windows to match original

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Photo above: Sandstone door surround with partially-covered hood mould. Note carved entrance door assembly.

Photo left: Original windows on the first floor and replacement on the second floor, under original trefoil tracery upper lights

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4.4.8 Front Door

The original front door surround is still in situ and intact. However, it is obscured by the later porte-cochere. The front door itself is a replacement.

Condition: Good condition

Proposed Intervention: Preserve

- Protect glass in surrounding lights and door during works
- Preserve surrounding lights by repairing and consolidating existing elements where possible, making a replica replacement of the front door and those elements decayed beyond repair or missing, and finally overhauling the assembly is in working order
- Overhaul ironmongery and replace if missing or un-repairable
- For localized areas of rot, dry the rotted-out portions of wood and carefully apply a fungicide such as pentachlorophenol to all decayed areas. After this dries, apply 2 to 3 coats of boiled linseed oil, leaving 24 hours between applications. Afterwards, apply putty to cracks and rotted out areas and caulk joints between wood members. Prime and paint.

4.4.9 Historic Colours

The brick walls were painted with a red-oxide wash as part of the tuck-pointing operation. This should remain in situ in all areas, except where necessary to repair. A historic paint analysis was carried out on the remaining external elements of the College on the 1866 and 1876 sections and the results are presented below. The original colours were determined based on onsite and microscopic matching of paint samples. The paints were matched to the Benjamin Moore Historical Vancouver True Colours palette.

Location	Historic Paint Colour	Code
<i>Brick Walls</i>	<i>Do not repaint</i>	
<i>Stone Details and Brick Moulds</i>	<i>Dunbar Grey</i>	<i>VC-14</i>
<i>Wooden Window Sash</i>	<i>Gloss Black</i>	<i>VC-35</i>

4.5 INTERIOR

In addition to the exterior of the property, there are significant interior features that should be conserved and protected. A thorough survey was carried out of interior features and original character-defining elements have been identified below. It is a rare privilege to find such items in their original location, unaltered and in good condition.

The recommendation is to preserve these items in situ, intact and protected, at this time. This will allow future conservation as desired. These interior elements of the 1866 building are a very important part of the heritage value of this structure, and should be preserved as possible.

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4.5.1 Main Floor Front Vestibule

All elements including:

- Wall surfaces; central plaster rose; arched recess with beaded edges and Gothic-arched top (1866)
- Front entrance with elaborate surround; narrow side panels with glazed upper panels (some coloured glass) (1866)
- Window casings and trim (1866)
- Internal door assembly with three-part transom, chamfered edges on inside face (1876 assumed)
- Baseboards (1866)
- Wood floor, if original (currently covered) (1866)

4.5.2 Main Floor Central Hall

- Wall surfaces. The walls on each side of the central corridor are constructed of brick (1866)
- Elaborate door trim and casings (1866)
- Doors and hardware of Room #2 and Room #4 (1866)
- Wooden baseboards, chair rails and picture rails (1866)
- Staircase with Gothic-pointed, simple newel unpainted newel post; turned balusters (painted); elaborated oak banister with wide, trimmed base (dark-stained) (1866)
- Wood floor, if original (currently covered) (1866)

4.5.3 Main Floor Northeast Room (Room #1)

- Window casings and trim north bay (1866)
- Wood floor, if original (currently covered) (1866)
- Ceiling rose, if present above suspended ceiling (1866)
- Original lath-and-plaster walls (painted over wallpaper) (1866)
- Some original doors and hardware have been relocated (1866)
- Room has been demised and the ceiling lowered; some trim removed and doors moved

4.5.4 Main Floor Office off Room #1

- Window casings and trim (1866)
- Door to Room #1 (1866)
- Wood floor, if original (currently covered) (1866)

4.5.5 Main Floor Northwest Room (Room #2)

- Deep window reveals with wooden panelling at sides and top (1866)
- Door casings and trims (1866)
- Original lath-and-plaster walls (painted over wallpaper) (1866)
- Elaborate central plaster ceiling rose (1866)
- Wide baseboards; narrow picture rail; elaborate wide door casings (1866)
- Wood floor, if original (currently covered) (1866)

4.5.6 Main Floor Southeast Room (Room #4)

- Window casings and trim (1866)

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- Door casings and trim (1866)
- Original lath-and-plaster walls (painted over wallpaper) (1866)
- Wood floor, if original (currently covered) (1866)

4.5.7 Main Floor Rear Sitting Room (Room #7)

1876 door assembly (1876 assumed), connects to 1912 Addition; retains part of 1866 construction

- Variety of wall surfaces including plaster, wainscoting and panelling; ceiling has been lowered
- Three original multi-paned double-hung windows (six-over-six) facing verandah; likely date to 1876
- Wood floor, if original (currently covered)

4.5.8 Second Floor Staircase Hallway

- Staircase with Gothic-pointed, simple newel unpainted newel post; turned balusters (painted); elaborated oak banister with wide, trimmed base (dark-stained) (1866)
- Window casings and trim on staircase (1866)
- All door casings and trim

4.5.9 Second Floor (Room #5, Room #6, Room #9, Room #10)

- Window casings and trim
- Door casings and trim

4.5.10 Second Floor (Room #6, Room #7, Room #8)

- Window casing and trim
- Door casings and trim
- Window casings and trim

4.5.11 Third Floor North Bathroom

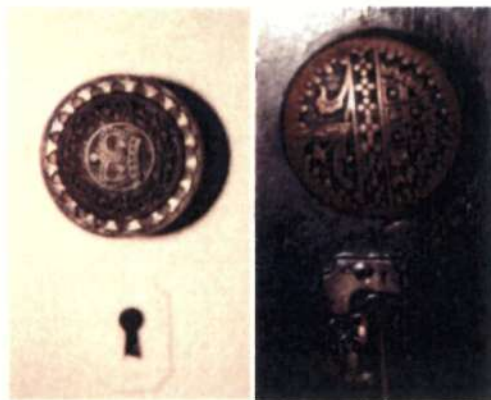
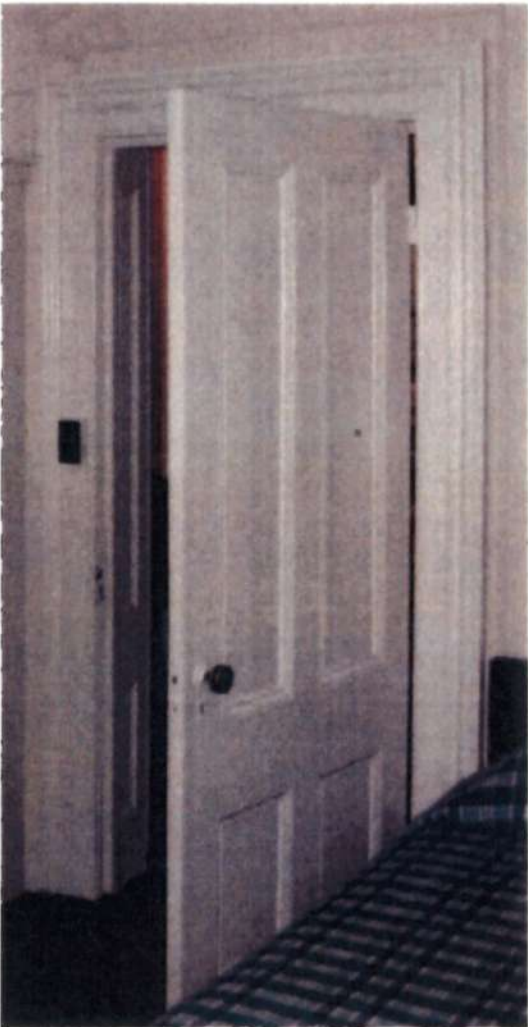
- Window casings and trim
- Door casings and trim

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Interior details. Clockwise from top left: front entrance; staircase; panelling in third floor room; example of panelled window reveals

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Details of interior. Clockwise from top left: decorative ceiling rose front vestibule; decorative ceiling rose Room #1; door knobs; example of original door with its matching door surround (note lower and upper panels correspond).

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6.0 TEMPLE RESIDENCE CONSERVATION PLAN

6.1 PROPERTY SUMMARY

Name: Temple Residence

Address: 924 McClure Street, Victoria, B.C.

Date of Construction: 1906

Architect: no documentary information available, possibly George C. Mesher

Original Owner: Ernest Temple

Heritage Status: to be designated

Built in 1906, the Temple Residence is a one and one-half-storey plus basement wood frame Arts and Crafts-style house. The historic structure is situated to the south of Mount Saint Angela on an elevated lot and its south front façade, set back from the road, faces McClure Street.

6.2 EXTERIOR

The 1906 Temple Residence was originally a detached house before a connection was built to link the historic structure to the Annex of Mount Saint Angela. The house itself conforms to an asymmetrical plan and is built on concrete foundations. The foundations are not visible on the exterior as the house is completely finished with wood shingles and on the interior with wood panels.



The Temple Residence in 1982 [Hallmark Society Collection]

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The roof is a medium pitched front-gabled roof with projecting eaves. There is a sleeping porch on the upper floor at the front. The main front gable and a smaller gable at the south-east side are decorated with large wood finials.

An inset open verandah at the front and east side is supported with chamfered square wooden columns. The east elevation contains a gabled dormer with shingle siding and the west elevation a small shed dormer, the latter an addition to the building. The roof is currently composed of modern red asphalt shingles, which have presumably replaced original cedar shingles. Both front gables are finished with board and batten wood siding. Bargeboards with decorative scroll-cut ends, heavy decorative column capitals and large finials add to the Arts and Crafts charm of the house.



Temple Residence from south-east. 2010.

The house is entirely clad in square butt cedar shingles, except for the front gables. An interesting detail is the use of projecting shingles window hoods on the first and second floors, a typical architectural feature of the Arts and Crafts style.

The house has a variety of window types and arrangements, most of them with their original wide wood trim and sill. The basement level displays two original multi-paned casement windows on the east elevation. Windows on the south and west elevation are new aluminium sliding and casement units. Original windows on the first and second floor include a box bay window with four casement windows with leaded glass on the east elevation and a floor to ceiling bay window with three leaded glass transom windows above modern aluminium frame units on the south facade.

On the same elevation, the original sash of both a transom window above a fixed pane window was replaced with modern units. The west elevation has only one original window, a horizontal transom

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with leaded glass on the top floor. Two sash windows on the ground floor were replaced with aluminium units. The north elevation has one original fixed lattice window on the top floor while other sash windows were replaced. Overall, apart from potential issues with operability, the original windows in the house appear to be in good condition.

At the front of the house a flight of stairs leads up to a large verandah on the south side, which returns to the east, leading to the set-back entrance door. The existing wood entrance door with glass panels, a wooden bottom rail and old hardware is historic, but not original, because it is narrower than the door opening and the gap was closed with a plain vertical wood panel. The verandah contains closed balustrade with rising chamfered wood columns with heavy capitals supporting a large architrave. The tongue-and-groove soffits of the verandah are original while the floor has been covered with plywood.

The northern portion of the house is set back on either side and a flight of wooden steps on the west elevation leads to a small, secondary verandah with a wood trellis, the latter being a new addition. Originally the main floor accommodated the kitchen and a bathroom was located on the upper floor.

The house has three internal brick chimneys; two mono-pitch chimneys on the west and east side of the house, and a smaller mono-pitch chimney on north portion. All chimneys have corbelled brick detail and are in good condition except for the top portion of the western chimney, which is in need of mortar and cap repair.

6.3 INTERIOR

The house has two floors with a full height basement. The main storey contains the entrance hall with a straight-run, open wooden staircase and a wooden bench at the bottom of the stair. The square profile wooden balusters and wooden handrail extend along the open hallway on the upper floor. Original wood doors with surrounding trim are notable, many with brass door handles and original hardware. Several original fireplaces remain intact, and mechanical services have been upgraded. In general, the interior configuration of the Temple Residence and several architectural elements such as staircase, doors and hardware are intact.



Original wood stairs with in-built bench, decorative glass window in the rear.

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6.4 STATEMENT OF SIGNIFICANCE

Description of the Historic Place

Located to the south side of the Mount Saint Angela property, the Temple Residence is a one and a one-half storey plus basement wood-frame Arts and Crafts bungalow. Distinguished by its Arts and Crafts design and detailing, it is sited on an elevated lot and its front façade, set back from the road, faces McClure Street.

Heritage Value of the Historic Place

The Temple Residence is valued as a superior example of the Arts and Crafts style. Typical features include the overall use of cedar shingles as wall cladding, and would have originally been used for the roof covering as well. Sophisticated details include fine carpenter details, elegant windows and original interior woodwork, all finished to a high degree of craftsmanship.

This Edwardian-era house illustrates the growth of Victoria at the time, and is also valued for its associated residents. It was built for Ernest Temple (1868-1933) in 1906; he lived here until 1911. Temple was an accountant and later manager of the Hickman-Tye Hardware Company. Born in London, England, Temple came to Victoria in 1891. Thomas Dufferin "Duff" Pattullo (1873-1956), who was BC's premier in 1933-41 and a member of the B.C. Legislature for 29 years, lived in this house in 1911-12, when he was manager of the real estate division of R.V. Winch & Co. Pattullo was born in Woodstock, Ontario, where he began his career in the newspaper industry. During the gold rush of 1898 he went to Dawson City as secretary to the gold commissioner, later moving to Prince Rupert where he entered the fields of finance and politics. He was alderman and mayor of Prince Rupert, then elected MLA for that city in 1916. During his provincial political career, Pattullo was a stalwart Liberal who supported the idea of a welfare state through pressuring the federal government to finance unemployment during the Depression, and through the introduction of the Health Insurance Act in 1936. He resigned in 1941 because he did not want to form a coalition government with the Conservatives, and sat as an independent until 1945.

Character-Defining Elements

Key elements that define the heritage character of the Temple Residence include its:

- location facing McClure Street within a residential context as part of the Mount Saint Angela complex
- continuous residential use
- irregular residential form, horizontal proportions, with a one-and-one-half storey height, full basement, inset wraparound verandah with closed balustrades, second floor sleeping porch front gable roof with gabled dormer to the east, and asymmetrical massing
- wood-frame construction, including original wide wood trim surrounding windows
- elements of the Arts and Crafts style, such as the shingle cladding, curved window hoods, front gable projections with overhanging eaves, open soffits, square verandah columns with carved capitals, bargeboards with scroll-cut ends and details, finials and gable ends with board-and-batten siding
- original windows such as main floor transoms, diamond-mullioned windows, and stained glass panels in casement and transom windows

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- three brick chimneys
- original interior features such as the two-storey open stairhall, built-in bench in entrance hall, original fireplaces, and wooden floors and trim

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6.5 CONSERVATION STRATEGY

The same conservation principles of *Preservation, Rehabilitation and Restoration* used for Angela College apply also for the Temple Residence at 924 McClure Street. The proposed heritage conservation work will be based on Parks Canada *Standards and Guidelines of the Conservation of Historic Places in Canada (2004)*.

The proposed interventions include the relocation of the historic structure within the existing property, the preservation and restoration of the exterior facades, and the rehabilitation of the interior.

The Temple Residence is an early and very good example of Arts and Crafts influence with sophisticated detailing. Photographs of architectural elements and condition described are contained within the report and the following recommendations will assist in the conservation of the historic structure.

6.6 RELOCATION GUIDELINES

Generally it is appropriate to consider relocation of a historic building if it is the only alternative to demolition. Any relocated structure shall be compatible with the surroundings of the new site including and the historic structure should be situated on the lot in a manner that is similar to the surrounding buildings.

Relocation Guidelines:

The current design scheme for the overall Mount Saint Angela complex proposes the relocation of the Temple Residence on the existing lot, which is the least intrusive relocation approach with regards to loss of historic context and invasive work to the structure. The following recommendations should be considered for the relocation of the Temple Residence:

- a. A relocation plan should be prepared prior to relocation that ensures that the least destructive method of relocation will be used.
- b. Alterations to the historic structure proposed to further the relocation process should be evaluated in accordance with the Conservation Plan and reviewed by the Heritage Consultant.
- c. Only an experienced and qualified contractor shall undertake the physical relocation of the historic structure.
- d. Preserve historic fabric of the exterior elevations as much as possible. This includes the exterior wood shingles below the first floor joists and the entrance stair on the south side if possible.
- e. Appropriate foundation materials shall be used at the new site, which can include reinforced concrete basement walls and slab. The height of the new foundation for the relocated structure should match those original to the structure as closely as possible, taking into account applicable codes.

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- f. The three historic chimneys should be preserved if possible. If not, the bricks should be salvaged and used for reconstruction to match the original appearance.**
- g. Provide utility installations for electricity, communication and other service connections underground if possible. All installations located above ground should be incorporated harmoniously into the design concept for the relocated structure.**

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6.7 ARCHITECTURAL ELEMENTS, CONDITION & CONSERVATION PROCEDURES

The following section describes the main architectural elements of the 1906 Temple Residence, with an overview of their current condition and recommended conservation approach.

6.7.1 Form, Scale & Massing

In typical Arts and Crafts style, the 1906 Temple Residence has an asymmetrical plan with irregular fenestration. A number of elements give the elevations a multi-dimensional appearance such as the verandah, sleeping porch, gable dormers and bay windows. The roof is a medium pitched centre-gabled roof with three brick chimneys. The historically detached house is now connected at its north side with the Annex of Mount Saint Angela. It is proposed to preserve the character-defining elements of the original form, scale and massing.

6.7.2 Foundations

The original foundations were composed of shuttered concrete. These will be replaced with new foundations if the historic structure will be relocated. This is an acceptable intervention.



6.7.3 Walls

The wood-framed walls are clad in square butt shingles throughout on all elevations from grade to the underside of the soffit. An important architectural detail are projecting shingles at the hood of each window on the first and second levels. The condition of the painted cedar shingles is good, having been well protected from water by the large roof overhang and good maintenance of gutters. Very few shingles on the basement level are missing or damaged, and these can be carefully replaced without damaging surrounding shingles. Due to water splashing and close vegetation, wood shingles located close to grade are further deteriorated than the average and may need to be replaced.

Proposed Intervention: Preservation

- Preserve the existing square butt shingles including basement level during and after relocation of the structure.
- Preserve projecting shingles at window head.
- Replace damaged or missing wood shingles.

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Typical square butt wood shingles.



Original window hood.

6.7.4 Exterior Woodwork

The Temple Residence has important wood milled details, which are part of the character-defining elements. They include wood finials at the top of both south gables, bargeboards and carved bargeboard ends, heavy brackets, wood columns with capitals. All woodwork is painted.

Condition: Good to fair condition

Paint not only protects, but also can conceal the extent of damage to wood beneath. From the ground, the woodworks looks in good to fair condition. The paint is peeling, particular at higher locations (such as the finials).

Proposed Intervention: Preservation

- Correct any source of degradation and ensure structural stability prior to making cosmetic repairs.
- Repair decayed wood instead of replacement, where possible.
- Replace decayed exterior woodwork with a sound substitute only when the wood has lost its material integrity and its ability to hold its surface coating.
- Use only gentle means to clean or strip wood of finishes before repairing and refinishing. It is not necessary to remove sound, well-bonded paint from woodwork.
- Ensure all woodwork is properly finished.
- Keep all exterior woodwork well maintained and painted.

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Woodwork details: (top): Decorative woodwork at south gable; (from left to right): milled bargeboard ends; finials; brackets and capitals.

6.7.5 Fenestration

A variety of window styles are present in the Temple Residence including original a stained glass bay window and a quadruple casement assembly on the east elevation, hinged transoms of a triple assembly bay window on the south façade, and a stained glass transom window on the west elevation. A small fixed lattice window on the north elevation provides daylight for the interior staircase and a multi-paned casement window on the basement level on the east side is also original. All other windows are aluminium replacement units, however all window trim and sill have been retained.

The front door is accessed by a flight of steps up the verandah. The door itself is presumably not original due to its size that is narrower than the door opening, but this is perhaps an early intervention because an old brass handle is notable. The basement level on the west side has a secondary door with six recessed horizontal wood panels and a simple doorknob. This door design can also be found on some interior doors and it can be concluded that the door is original.

All original windows are in remarkably good condition, a testament to the good quality material used. There are some issues with operability due to over-painting of wood and hardware and

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sections of minor decay. All original windows and the basement door should be preserved in their original state.

Window trim and sills

All windows and doors on the first and second floors have simple wide wood trims and sills. Exceptions are box bay windows on the east and west elevations, both supported with decorative brackets on either side. The trim and sills on the basement level are slightly smaller.

Proposed Intervention: Preservation and Restoration

- Retain original windows in original location.
- Examine original windows and formulate a repair schedule on a window-by-window basis.
- Each original window is to be preserved by repairing in-kind, making a replica replacement of those elements decayed beyond repair or missing
- Overhaul sash cords and weights to ensure each window is in working order.
- Overhaul ironmongery and replace if missing or irreparable.
- Replace aluminium units with replicated wood windows.
- Retain front door and repair if possible



Bay window with a quadruple casement assembly and stained glass, east elevation.



Fixed lattice window with typical window hood on the north elevation.

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The original window trim, sill and sash of the former double-hung window and the hinged transom with stained glass are retained. A historically inappropriate aluminum unit was installed.



Existing glass entrance door with historic brass handle.
Note the infill panel to the right.

6.7.6 Verandah and Sleeping Porch

The verandah and sleeping porch, both with solid balustrades, are significant visual features of the front, south façade and incorporate the width of the gable. The verandah is supported by square wood columns, which rest on the enclosed balustrades. A flight of stairs leads up to the extended verandah on the east side and a set-back front door. Preserved original features of the verandah include the tongue-and-groove soffits and square wooden columns with large shaped capitals and bases. The sleeping porch on the second floor is a typical element of a historic building of that era. It has a tongue-and-groove finish on the ceiling and sidewalls. The condition of the material is very good.

Proposed Intervention: Preservation

- Protect all original elements during rehabilitation works, particular of the verandah if used for access into the building.
- Upgrade steps and railings to comply with building code if necessary. Any increase to the original railings and balustrade height should be non-invasive and reversible, e.g. the use of secondary glazed metal railings.
- Preserve original elements by repairing where possible and matching with new where necessary.

MOUNT ST. ANGELA CONSERVATION PLAN



Clockwise: (top) South elevation with open verandah and sleeping porch; sleeping porch; verandah with wood columns and tongue & groove soffits.

6.7.7 Roof

The roof is a medium pitched centre-gabled roof with wide broad projecting eaves. The front elevation contains the sleeping porch beneath the main gable and a smaller side gable above the entrance to the verandah. The east elevations has a gabled dormer. The roof and dormers are composed of modern red asphalt shingles. Aluminum gutters and downspouts dispose of water from the roof. The projecting eaves of the main roof protect the sidewalls from weathering. Bargeboards with scroll-cut decorative ends, heavy brackets and large finials at the front façade are typical elements of the Arts and Crafts style. The existing roof covering is in reasonable condition and areas that would require immediate attention were not noted from the ground. However, the modern roofing material is not compatible with the historic appearance, which would originally have been a cladding of cedar shingles. The rainwater disposal system is functioning and areas of leakage or blockage were not evident at the time of the site review in the summer.

Proposed Intervention: Rehabilitation

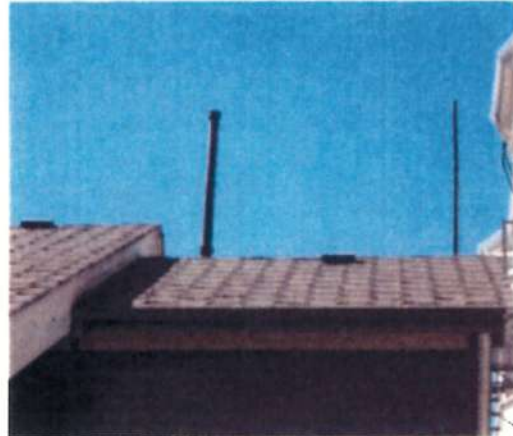
- Remove existing asphalt shingles. Preserve adjacent historic fabric including bargeboards and finials during the removal work.
- Re-roof in sympathetic new material, e.g. cedar shingles.

MOUNT ST. ANGELA CONSERVATION PLAN

- Repair existing rainwater disposal system and ensure regular maintenance.



East elevation with sloping roof and dormer.



Detail of northern roof portion with asphalt shingles.

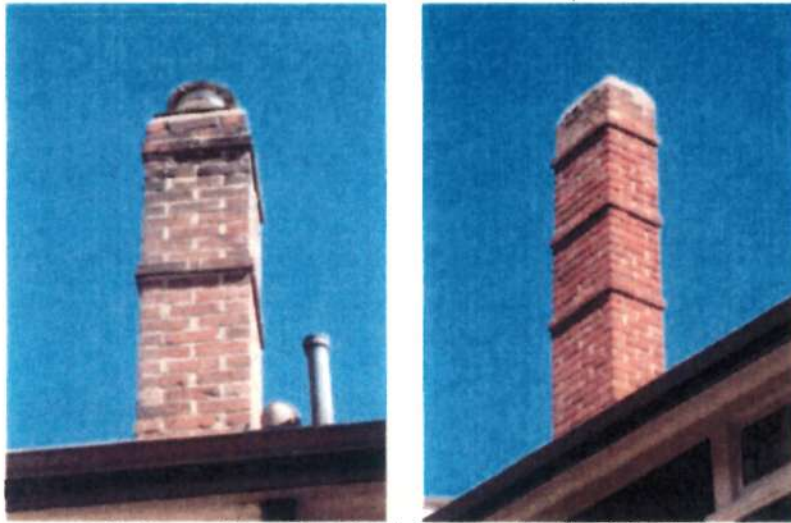
6.7.8 Chimneys

The house has three chimneys and all are mono-pitched, internal brick chimneys with brick corbel details. One chimney is located on the east side of the house, and two stacks are on the west side. The chimneys are in good condition with the bricks themselves withstanding well to weathering. There are areas where the mortar and one cap on a western stack have decayed. However, neither of these should be major concerns, and the chimneys are repairable.

Proposed Intervention: Preservation

- Record and stabilise the external chimney stacks in their existing location prior to relocating the building.
- Further examine condition of chimney and repoint with appropriate high-lime mortar and repair as necessary. The mortar colour and finish should match the original. Do not use high-strength mortar composed primarily of Portland cement, as it is harder than the bricks and can cause damage over time. Mortar should be softer than the bricks so that it acts as a sacrificial material over time.
- If the chimneys cannot be preserved during the relocation process, salvage the bricks, clean them from mortar and dirt, and use them for reconstructing the chimneys in their original location if possible. Incorporate the original brick corbel details in the reconstruction.

MOUNT ST. ANGELA CONSERVATION PLAN



Brick chimneys (left: north portion; right: west roof), with corbelled details.

6.7.9 Colour Scheme

An important part of the restoration process is to finish the building in historically accurate paint colours. On-site testing and was carried out and based on the analysis an appropriate colour scheme is proposed to restore the house to its original 1906 appearance.

Proposed Intervention: Restoration

- Restore the original finish, hue and placement of applied colour.
- Complete all basic repairs and replacements and remove surface dust and grime before preparing, priming and painting. Be sure that all surfaces to be painted are dry.
- Scrape and sand painted surfaces only as deep as necessary to reach a sound base. Do not strip all previous paint except to repair base-material decay.
- Paint all areas of exposed wood with paint primer. Select an appropriate primer for materials being painted. (i.e. if latex paint is used over original oil paint, select an oil-based primer).

The recommended colour palette is matched to the Benjamin Moore Historical Vancouver True Colours palette. The original colours were determined based on onsite and microscopic matching of paint samples. Refer to architectural drawings for location of applied colours, placement and finish.

Location	Historic Paint Colour	Code	Finish
Wood Shingles	Strathcona Mahogany	VC-34	Flat
Window Sash	Gloss Black	VC-35	Gloss
Window & Door Trim	Edwardian Buff	VC-6	Semi-Gloss
Woodwork: Verandah Columns & Entablature, Gables, Bargeboard, Finials, Soffit	Edwardian Buff	VC-6	Semi-Gloss
Sleeping Porch: Ceiling & Walls	Edwardian Buff	VC-6	Semi-Gloss
Gutters & Downspouts	Gloss Black	VC-35	Gloss

MOUNT ST. ANGELA CONSERVATION PLAN

6.7.10 Regulatory Considerations

Homeowner Protection Act

The 1906 Temple Residence is a valuable heritage resource in Victoria and the listing on the Victoria Heritage Register is pending. The Homeowner Protection Act (HPA) was amended in 2010 and exempts recognized or listed heritage properties. The Act has also been clarified with regard to "substantial reconstruction" of a home: unless 75 per cent or more of a residence is reconstructed, it is not considered a new home and the HPA therefore does not apply.

Energy Efficiency Act

Similarly, listing on the Heritage Register will allow exemptions from compliance with the Energy Efficiency Act Regulations.

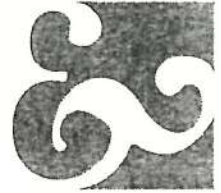
6.8 CONSERVATION SUMMARY

Heritage Elements to be Retained and Preserved

- Original form, scale and massing of the house
- Square butt shingle wall finishes from grade level to soffit, eyebrow flares, board-and-batten finish in front gables
- Original windows with stained glass and fixed lattice, wood trim and sills
- Verandah elements including square columns, capitals, wooden solid balustrade, tongue-and-groove ceiling
- Sleeping porch with tongue-and-groove ceiling and walls
- Original bargeboards with decorative ends, finials, brackets
- Original brick chimneys

Heritage Elements to be Restored / Replicated / Rehabilitated

- Location on existing lot
- Foundations
- Roof covering
- Replacement of aluminum sash window units with historically appropriate wood-sash windows, rehabilitation of front door
- Reinstatement of original colour scheme



Tuesday, March 15, 2016

John Keay, Architect
c/o Keay Cecco Architecture Ltd.
1124 Fort Street
Victoria, BC V8V 3K8

Dear Mr. Keay;

Heritage Review: Angela College (923 Burdett Avenue); *Cartreff* (921 Burdett Avenue);
Temple Residence (924 McClure Street)

Thank you for the opportunity to review the proposed interventions to this historic site, which comprises three separate structures. In September 2010, our firm prepared the "Mount St. Angela Conservation Plan" that outlined the existing condition of the structures and assessed interventions proposed to the site at that time. The intent of the current application is to undertake conservation of the three structures while integrating them into a congregate care housing facility. This work will be undertaken under Heritage Alteration Permits that will be issued by the City of Victoria.

The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* is used to assess the appropriate level of conservation and intervention to historic places. The proposed interventions have been assessed against the Conservation Standards, and their potential impact on the historic place has been assessed as follows.

ANGELA COLLEGE, 923 BURDETT AVENUE	
CONSERVATION STANDARD	PROPOSED INTERVENTION
GENERAL STANDARDS FOR ALL PROJECTS	ANGELA COLLEGE, 923 BURDETT AVENUE
1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.	The proposed work conforms and is acceptable. Heritage character-defining Elements (CDEs) have been determined in the Statement of Significance, and their heritage value is maintained by the proposed interventions.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.	The proposed work conforms and is acceptable. Some later interventions are considered to have minimal value, or detract from heritage value (Annex, porte-cochère and rear additions), and can be removed.
3. Conserve heritage value by adopting an approach calling for minimal intervention.	The proposed work conforms and is acceptable. Minimum exterior and interior interventions are proposed that will accomplish the required functional, code and life safety upgrades for the proposed re-use.

DONALD LUXTON AND ASSOCIATES INC.
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ADDITIONAL STANDARDS RELATING TO RESTORATION	ANGELA COLLEGE, 923 BURDETT AVENUE
13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.	The proposed work conforms and is acceptable.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.	The proposed work conforms and is acceptable.

DISCUSSION: ANGELA COLLEGE

- The building is maintained in its current location.
- Later intrusive alterations to be removed, including the Annex, porte-cochère, and rear additions to the structure that linked it to the Annex.
- Missing details such as replaced wooden-sash windows and the front oriel window will be restored.
- The existing front entry door will be retained, as there is no clear evidence of the appearance of the original. The door dates to an earlier intervention, but is appropriate and matches interior detailing.

CARTREFF, 921 BURDETT AVENUE	
CONSERVATION STANDARD	PROPOSED INTERVENTION
GENERAL STANDARDS FOR ALL PROJECTS	CARTREFF, 921 BURDETT AVENUE
1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.	The proposed work conforms and is acceptable. Heritage value is maintained by the proposed interventions.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.	The proposed work conforms and is acceptable.
3. Conserve heritage value by adopting an approach calling for minimal intervention.	The proposed work conforms and is acceptable. Minimum interior and exterior interventions are proposed that will accomplish the required functional, code and life safety upgrades for the proposed re-use, while respecting the appearance of the building to the street.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.	The proposed work conforms and is acceptable. The new interventions are contemporary in expression and located at the rear of the existing building.
5. Find a use for a historic place that requires minimal or no change to its character-defining elements.	The proposed interventions support the continued historic residential use.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.	The proposed work conforms and is acceptable. There are no known archaeological resources.

DISCUSSION: CARTREFF

- The building will be raised approximately 18" and relocated forward 5 feet, but retain its same relative orientation to Burdett Avenue. Grade and landscaping will be raised to maintain its existing relationship.
- Chimneys to be reconstructed after relocation.

TEMPLE RESIDENCE, 924 McCLURE STREET	
CONSERVATION STANDARD	PROPOSED INTERVENTION
GENERAL STANDARDS FOR ALL PROJECTS	TEMPLE RESIDENCE, 924 McCLURE STREET
1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.	The proposed work conforms and is acceptable. Heritage character-defining Elements (CDEs) have been determined in the Statement of Significance, and their heritage value is maintained by the proposed interventions.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.	The proposed work conforms and is acceptable
3. Conserve heritage value by adopting an approach calling for minimal intervention.	The proposed work conforms and is acceptable. Minimum interventions are proposed that will accomplish the required functional, code and life safety upgrades for the proposed re-use, while respecting the appearance of the building to the street.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.	The proposed work conforms and is acceptable.
5. Find a use for a historic place that requires minimal or no change to its character-defining elements.	The proposed interventions support the continued historic residential use.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.	The proposed work conforms and is acceptable. There are no known archaeological resources.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.	The proposed work conforms and is acceptable.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.	The proposed work conforms and is acceptable.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.	The proposed work, and level of documentation, conform and are acceptable.

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Based on this assessment, the proposed conservation interventions to these three historic places have been determined to be in general conformance with the *Conservation Standards and Guidelines*.

Please note that this review does not include review of any specifications for conservation interventions, including mortar repair or colour specifications, which can be reviewed at a later stage in the application process.

Please let me know if you have any questions about this assessment, or wish to discuss. Many thanks in advance.

Sincerely,

A handwritten signature in black ink, appearing to read 'don luxton', followed by a long, sweeping horizontal flourish.

Donald Luxton, FRAIC
Principal, Donald Luxton & Associates Inc.

Senior Living. Redefined.

A.0.0 DRAWING LEGEND
A.1.0 PROJECT DATA / CONTEXT PLAN
A.1.0a KEY PLAN
A.1.0b SITE PLAN
A.1.0c AVERAGE GRADE CALCULATIONS
A.1.1 PARKING LEVEL PLAN
A.1.2 LEVEL 1 PLAN
A.1.3 LEVEL 2 PLAN
A.1.4 LEVEL 3 PLAN
A.1.5 LEVEL 4 PLAN
A.1.6 LEVEL 5 PLAN
A.1.7 LEVEL 6 PLAN
A.1.8 ROOF PLAN
A.2.0 ELEVATIONS
A.2.1 ELEVATIONS
A.2.2 ELEVATIONS
A.3.0 SECTIONS

A1.0	SITE / KEY PLAN
MA2.0	MSA COLLEGE - PHOTOGRAPHS
MA2.1	MSA COLLEGE - PHOTOGRAPHS
MA2.2	MSA COLLEGE - PHOTOGRAPHS
MA3.0	MSA COLLEGE - DEMO PLANS
MA4.0	MSA COLLEGE - RENO PLANS - GROUND FLOOR
MA4.1	MSA COLLEGE - RENO PLANS - SECOND FLOOR
MA4.2	MSA COLLEGE - RENO PLANS - THIRD FLOOR
MA5.0	MSA COLLEGE - ELEVATIONS
MA6.0	MSA COLLEGE - SECTIONS / DETAILS

T.A2.0 TEMPLE - PHOTOGRAPHS
T.A3.0 TEMPLE - DEMO PLANS - GARDEN & MAIN LEVEL
T.A3.1 TEMPLE - DEMO PLANS - SECOND LEVEL
T.A4.0 TEMPLE - RENO PLANS - PARKING & GARDEN LEVEL
T.A4.1 TEMPLE - RENO PLANS - MAIN & SECOND LEVEL
T.A5.0 TEMPLE - ELEVATIONS
T.A5.1 TEMPLE - ELEVATIONS
T.A6.0 TEMPLE - SECTIONS

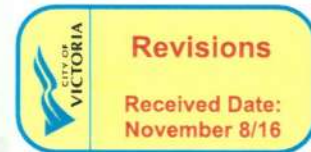
A7.0	SHADOW STUDY	A7.7	RENDERINGS
A7.1	PERSPECTIVES	A7.8	RENDERINGS
A7.2	PERSPECTIVES	A7.9	RENDERINGS
A7.3	PERSPECTIVES	A7.10	RENDERINGS
A7.4	PERSPECTIVES	A7.11	RENDERINGS
A7.5	RENDERINGS	A7.12	RENDERINGS
A7.6	RENDERINGS	A7.13	RENDERINGS

L1 LANDSCAPE PLAN - OVERALL
L2 LANDSCAPE PLAN - MAIN FLOOR LEVEL
L3 LANDSCAPE PLAN - LOWER FLOOR LEVELS
L4 ACTIVITY ROOF GARDEN & GREEN ROOFS
L5 PROPOSALS TO ALTER HERITAGE GARDEN
WALL ON BURDETT FRONTAGE
L6 TREE RETENTION / REMOVAL PLAN

office 2 62 382-3823
email: hsy@phs.cdc.gov

MOUNT ST. ANGELA
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A0.0



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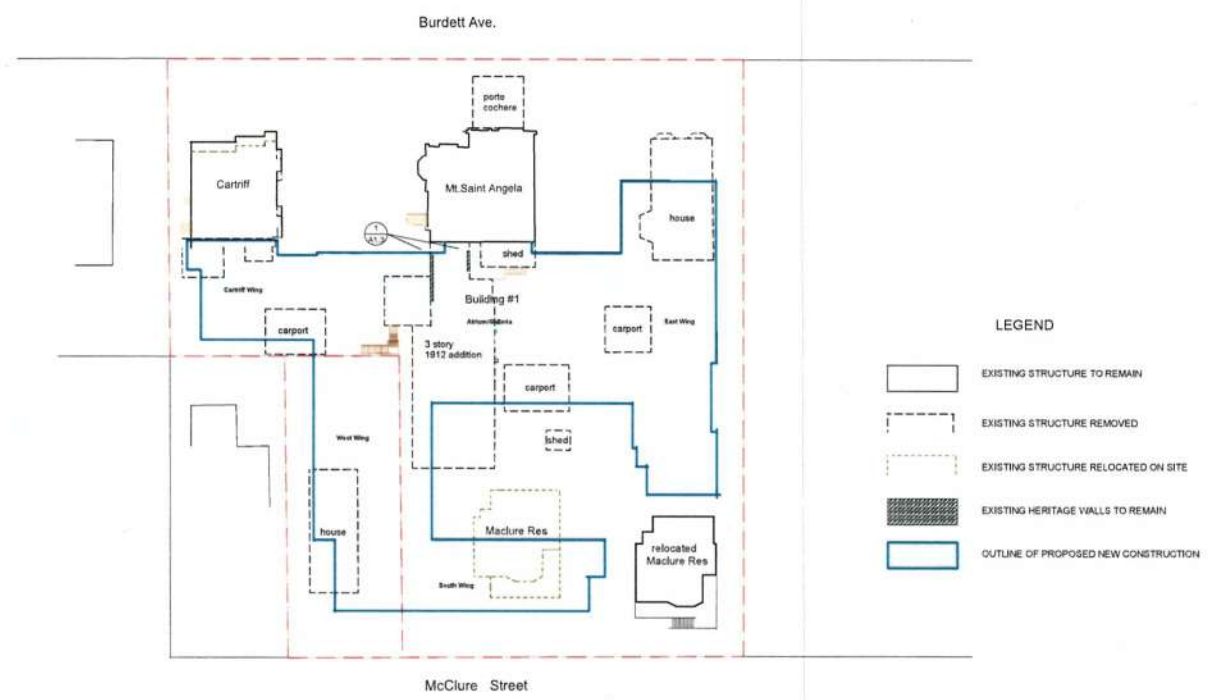
1124 East Street Victoria, BC Canada V8V 3K9
phone 250 382-5853
email tony@keyarchitecture.ca

COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP / REDONING SUBMISSION	NOV 07/16
2.	REV. HAP / REDONING SUBMISSION	NOV 07/16
3.	REV. AVERAGE GRADE CALC	NOV 14/16
4.	REV. GATE AND GARAGE DOOR	NOV 14/16
5.	REV. as per ADP comments	NOV 15/16

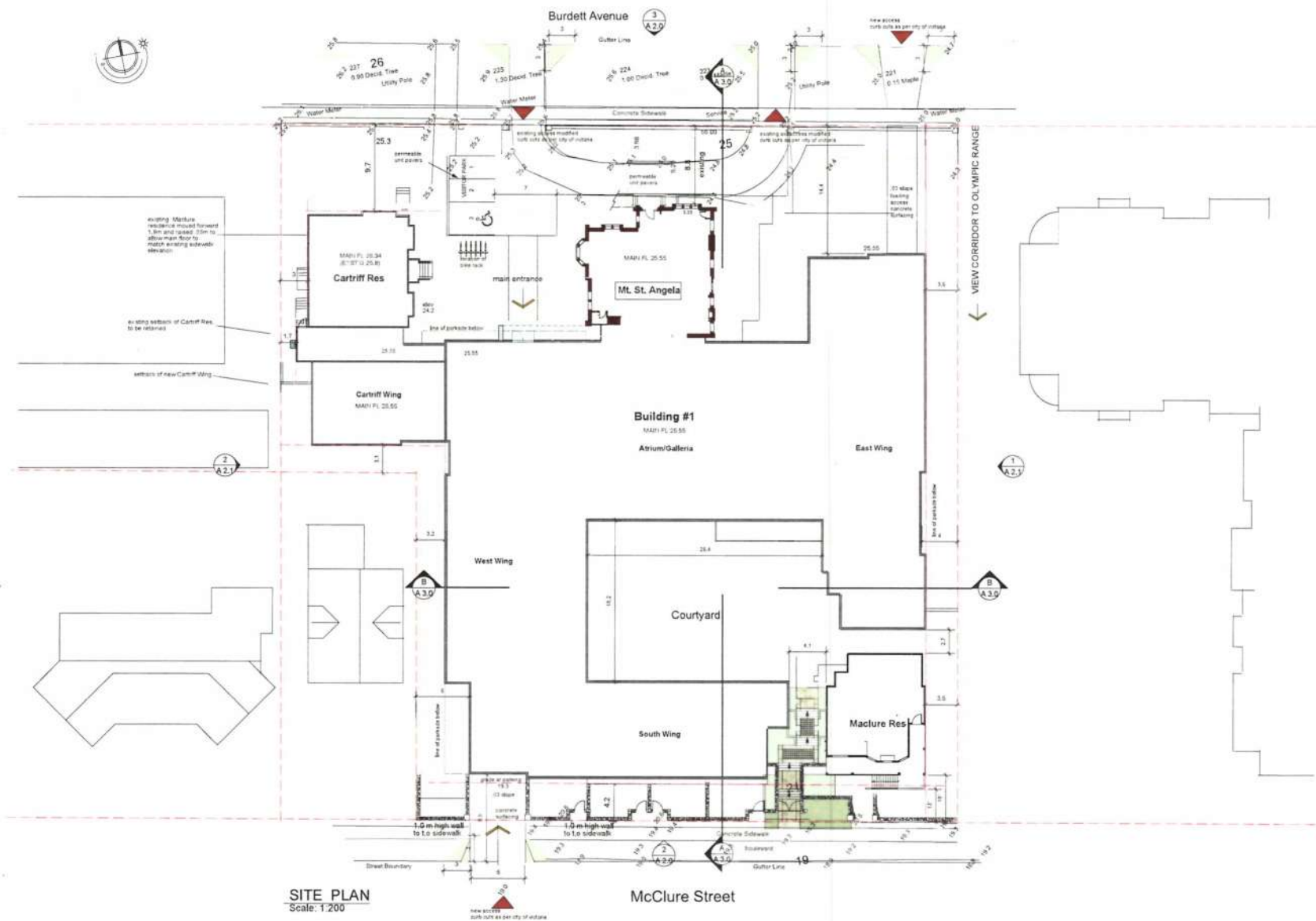
MOUNT ST. ANGELA

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SHEET TITLE	
KEY PLAN	
SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED Nov 07, 2016	A1.0a
DRAWN BY	



Key Plan
Scale: 1:300



SITE PLAN
Scale: 1:200

KEAY CECOCO
ARCHITECTURE LTD.

1100 EAST 10TH AVENUE, SUITE 200, VANCOUVER, BC V6L 2G6
OFFICE 604 681-1000
EMAIL: keaycecoco@keaycecoco.ca

COMMENTS

NO.	DATE	DESCRIPTION
1.	2014.07.14	MAP / REDLINE SUBMISSION
2.	2014.07.14	REV. MAP / REDLINE SUBMISSION
3.	2014.07.14	REV. AVERAGE GRADE CALC.
4.	2014.07.14	REV. GATE AND GARAGE DOOR
5.	2014.07.14	REV. 40 per ASP comments

MOUNT ST. ANGELA
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SHEET TITLE
SITE PLAN

SCALE
AS NOTED

JOB NO.
1124 - 1410

DATE PLOTTED
Nov. 07, 2014

DRAWN BY

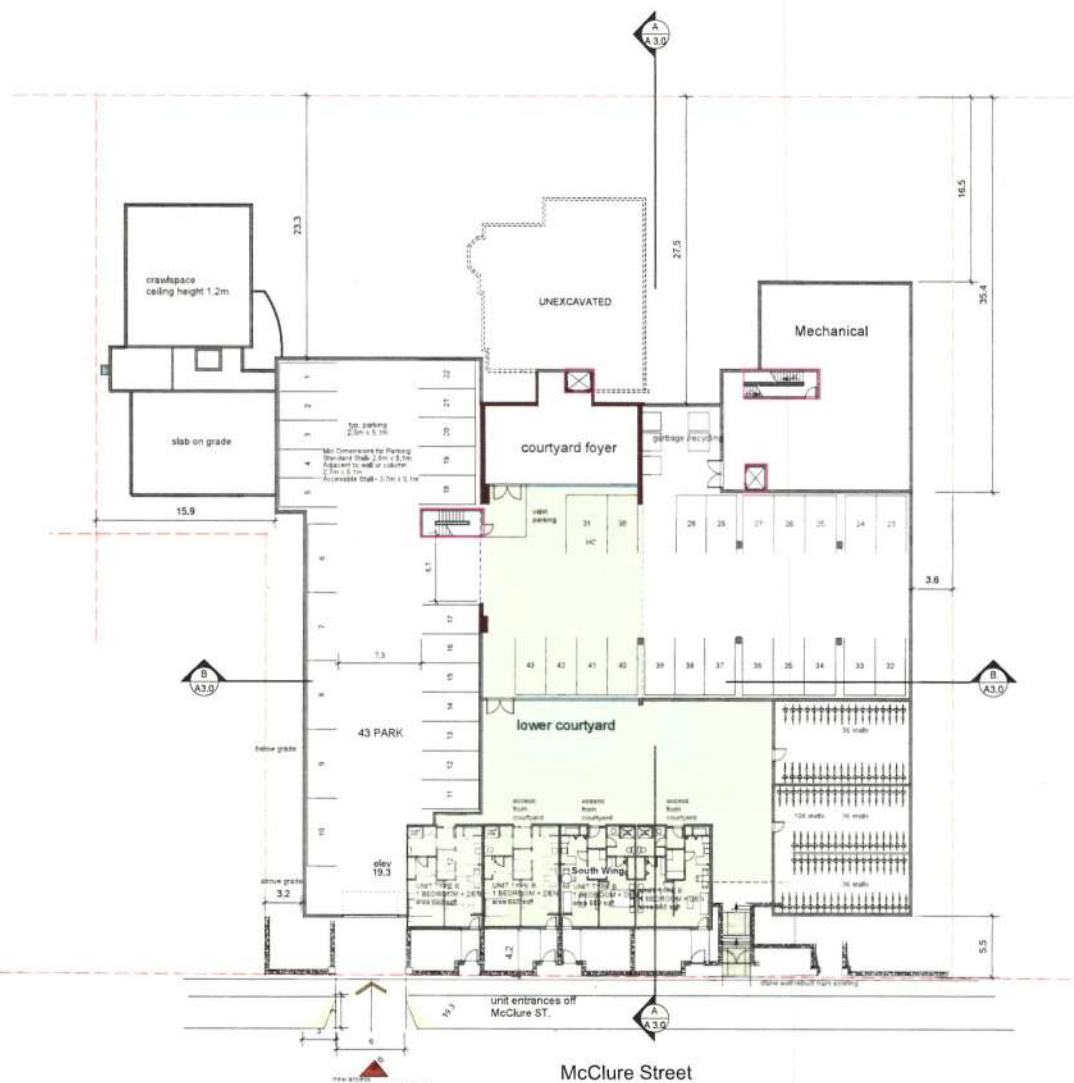
A1.0b

SHEET TITLE

AVERAGE GRADE CALC.

SCALE	JOB NO.
AS NOTED	1124 - 1410
DATE PLOTTED	A1.0c
Nov 07, 2016	
DRAWN BY	





PARKING LEVEL PLAN/McCLURE ST. UNITS
Scale: 1:200

Total McClure Street Level Units - 4 units

KEAY CECOCO
ARCHITECTURE LTD.

1124 Park Street Victoria, BC Canada V8W 2P7
phone 250 382-0022
email klay@keayceco.ca

COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / REDONPH SUBMISSION	10/1/16	
2.	REV. HAP / REDONPH SUBMISSION	10/1/16	
3.	REV. HAP / REDONPH SUBMISSION	10/1/16	
4.	REV. HAP / REDONPH SUBMISSION	10/1/16	
5.	REV. HAP / REDONPH SUBMISSION	10/1/16	

MOUNT ST. ANGELA
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SHEET TITLE
PARKING LEVEL PLAN
McCLURE ST. UNITS

SCALE
AS NOTED
DATE PLOTTED
NOV 07, 2016
DESIGNED BY

A1.1



LEVEL 1 PLAN
Scale: 1/200

Cartriff Res. - 2 units
Mt. St. Angela - 0 units
Building #1 - 3 units
Cartriff Wing - 5 units
West Wing - 5 units
South Wing - 8 units
East Wing - 3 units
Maclure Res. - 3 units

Total Level 1 - 26 units

KEAY CECCO
ARCHITECTURE LTD.

1122 EAST STREET SUITE 101, S.S. JAMES, ONTARIO
M9A 2E8 TEL: 360-2600
email: keaycecco@keaycecco.ca

COMMENTS

NO.	DATE	BY	REVISION
1.			MAP / REVISION SUBMISSION
2.			REV. MAP / REVISION SUBMISSION
3.			REV. AVERAGE GRADE CALC.
4.			REV. GATE AND GARAGE DOOR
5.			REV. AS PER ADP COMMENTS

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE
LEVEL 1 PLAN

SCALE: AS NOTED
DATE PLOTTED: Nov 07, 2016
DRAWN BY:

A1.2





LEVEL 3 PLAN
Scale: 1/200

Cartriff Res - 1 units
Mt. St. Angela - 4 units
Building 1
Atrium/Galleria - 4 units
Cartriff Wing - 1 units
West Wing - 9 units
South Wing - 0 units
East Wing - 13 units
Maclure Res. - 2 units
Total Level 3 Units - 34 units

KEAY CECCO
ARCHITECTURE LTD.

1122 HART STREET SUITE 100, SCARLETON, ONTARIO
OFFICE 905-362-1822
EMAIL: keaycecco@keaycecco.com

COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP/RECONING SUBMISSION	12.16.16
2.	REV. HAP - RECONING SUBMISSION	1.11.17
3.	REV. AVERAGE GRADE CALC.	11.11.16
4.	REV. GATE AND GARAGE DOOR	11.11.16
5.	REV. as per ADP comments	12.11.16

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE
LEVEL 3 PLAN

SCALE: AS NOTED
DATE PLOTTED: Nov. 07, 2016
DRAWN BY: **A1.4**



LEVEL 4 PLAN
Scale: 1/200

Mt. St. Angela - 3 units
Building #1
Atrium/Galleria - 4 units
West Wing - 8 units
East Wing - 13 units
Total Level 4 Units - 28 units

KEY & CECCE
ARCHITECTURE LTD.

1701 EAST STREET SUITE 100, VANCOUVER, BC
V6L 2G8
PHONE: 604.681.3888
EMAIL: info@keycecco.com

COMMENTS

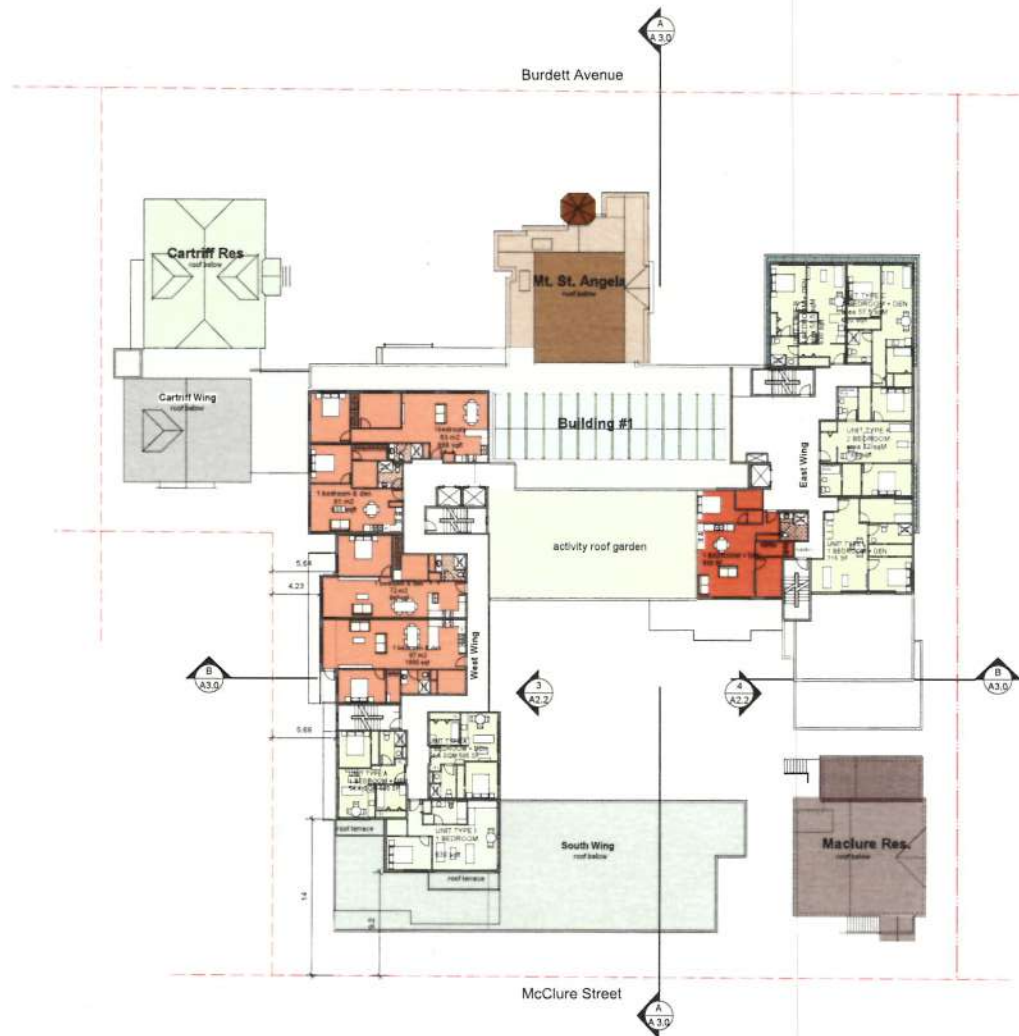
NO.	DESCRIPTION	DATE	BY
1.	HAP / REVISION SUBMISSION	2016.07.15	AC
2.	REV. HAP / REVISION SUBMISSION	2016.07.15	AC
3.	REV. ALUMINUM GRADE CALL	2016.07.15	AC
4.	REV. GATE AND GARAGE DOOR	2016.07.15	AC
5.	REV. as per ACP comments	2016.07.15	AC

MOUNT ST. ANGELA
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EXHIBIT TITLE
LEVEL 4 PLAN

SCALE	AS NOTED
DATE PLOTTED	Nov 07, 2016
DESIGNED BY	AC
DRAWN BY	AC
CHECKED BY	AC
APPROVED BY	AC

A1.5



Building 1
West Wing - 7 units
East Wing - 5 units
Total Level 5 Units - 12 units

office 260 362-3823
email jerry@connective.org

[illegible]

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

LEVEL 5 PLAN

SCALE	FOR Hrs.
AS NOTED	1124 - 1410
DATE PLOTTED	A1.6
Nov 07, 2016	
DRAWN BY:	



Burdett Avenue



Building #1

3

A2.2

South Wing

McClure Street



LEVEL 6 PLAN
Scale: 1:200

Building 1
West Wing - 4 units
East Wing - 5 units
Total Level Units - 9 units

KEAY CECCO
ARCHITECTURE LTD.

11111 East 8th Street, Vancouver, BC, Canada V6M 2G9
phone 250 383-0829
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COMMENTS

NO.	DATE	BY	CHKD.	APP.
1.	07/10/16			
1.	HAP / REDONED SUBMISSION	07/10/16		
2.	REV. HAP / REDONED SUBMISSION	07/10/16		
3.	REV. ALTRASE GRADE CALC	07/10/16		
4.	REV. DRIVE AND GARAGE DOOR	07/10/16		
5.	REV. as per ADP comment	07/10/16		

MOUNT ST. ANGELA
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SHEET TITLE

LEVEL 6 PLAN

SCALE
AS NOTED

DATE PLOTTED
Nov 07, 2016

DRAWN BY

A1.7



Burdett Avenue



ROOF PLAN
Scale: 1:200

KEY: CEDCO
ARCHITECTURE LTD.

1124 - 100 STREET STREET, BURDETT AVENUE
416-949-3883
email: jerry@cedcoarchitecture.com

COMMENTS		
NO.	DATE	BY
1.	MAP / ZONING SUBMISSION	2016-06-01
2.	REV. MAP / ZONING SUBMISSION	2016-07-01
3.	REV. AVERAGE GRADE CALC.	2016-07-01
4.	REV. GATE AND GARAGE DOOR	2016-07-01
5.	REV. as per ADP signatory	2016-11-01

MOUNT ST. ANGELA

Senior Living. Redefined.

DWG# 1124

ROOF PLAN

SCALE	JOB#114
AS NOTED	1124 - 100 STREET
DATE PLOTTED	A1.8
Nov 07, 2016	
Drawn by	





1 East Elevation
Scale: 1:200



2 West Elevation
Scale: 1:200

FINISH SCHEDULE

- ① FINE WHITE SANDSTONE QUARRY CLAY BRICK (INTERIOR)
- ② FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ③ DARK GREY SANDSTONE CLAY BRICK (INTERIOR)
- ④ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑤ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑥ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑦ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑧ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑨ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑩ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑪ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑫ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑬ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑭ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)
- ⑮ FINE WHITE SANDSTONE QUARRY CLAY BRICK (EXTERIOR)

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COMMENTS		
No.	DESCRIPTION	DATE
1.	MAP / REVISION SUBMISSION	Nov 04/16
2.	REV. MAP / REVISION SUBMISSION	Nov 04/16
3.	REV. ALUMINUM GRATE CALL	Nov 04/16
4.	REV. GATE AND GARAGE DOOR	Nov 04/16
5.	REV. as per ACP comments	Nov 04/16

MOUNT ST. ANGELA
Senior Living, Redefined.

SHEET TITLE
ELEVATIONS

SCALE
AS NOTED

JOB No.
1104 - 1410

DATE PLOTTED
Nov 07 2016

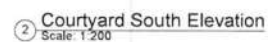
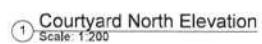
DRAWN BY

A2.1

[illegible]

SHEET TITLE
ELEVATIONS

SCALE	1/32"=1'
A5 NOTED	1/2"=1'-10"
DATE PLOTTED	A2.2
Nov 07, 2016	
DRAWN BY	



COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	REVISION		
2.	REVISION		
3.	REVISION		
4.	REVISION		
5.	REVISION		
6.	REVISION		
7.	REVISION		
8.	REVISION		
9.	REVISION		
10.	REVISION		



SECTION A-A
Scale: 1:200



SECTION B-B
Scale: 1:200

SECTIONS

SCALE	AS NOTED
DATE PLOTTED	Nov 07, 2016
DESIGN BY	

A3.0

SITE PLAN
Scale: 1:200



1. Angela College, view from north (Dexter Street)



2. View from northeast



3. View from east



4. The gate column, circa 1912. This would be removed as part of the restoration



5. Front porch door. The porch column will remain with the frame



6. North elevation. The upper floor was modified. Many of the 1912 windows. Windows were altered to suit the restoration. The frame according to the owner appears to date from this time



7. The first window would be restored



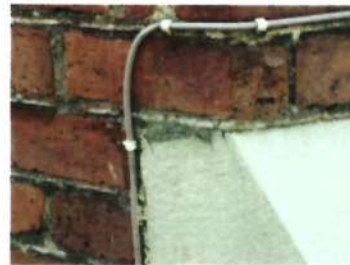
8. The dormer would be restored and related with the roof. The roof would be replaced with the original gabled roof



9. Detail of window and porch railing, north elevation



10. Detail of water drainage system, north elevation. These have been moved with the restoration, taking into the use of the water as water drainage system



11. Detail of water drainage system



12. Detail of window, north elevation



13. Detail of roof and dormer window

KEYE CECOCO
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COMMENTS		
NO.	DESCRIPTION	DATE
1.	REVISIONS SUBMITTED	2011-04-15
2.	REV. MAP/REVISIONS SUBMITTED	2011-05-10
3.	REV. ALTERNATE GRADE CALC.	2011-05-10
4.	REV. GATE AND GATE DOOR	2011-05-10
5.	REV. AS PER ADP COMMENTS	2011-05-10

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE
ST. ANGELA COLLEGE
RESTORATION
PHOTOGRAPHS

SCALE AS NOTED	JOB NO. 1124 - 1410
GATE PLOTTED NOV 07, 2016	M.A2.0
DRAWN BY	



14. view to west, showing the contribution to the street. The third floor dormer would be restored.



15. view to west. The two windows in the street facade are the original building.



16. view of street.



17. view of street.



18. detail of west wall. Separation of the masonry ribs and window frames is evident. As is water damage below the gable. The original building stepped back at this point.



19. detail of bay window. Missing metal reveals severely deteriorated. The casting on the window sill is missing.



20. detail of gable and corner. The battens are in fair condition.



21. detail of connection between the original College and the 1912 addition.



22. corner of two windows. The small central gable metal plate across the top of the original wall. Below it is a 1912 addition the daughter of an original window.



23. detail of masonry. Water absorption. Water seeps in the absorption causing a loss of the masonry in the corner.



24. window ribs and frames are in poor condition in some areas. Severe water damage and missing ribs are also visible. Severe water damage is also visible.



25. detail of bay window.



26. west wall, detail showing water damage. Chimney would be rebuilt.



27. detail of water damage. West side. Two sets of iron water fixtures show an attempt to make the problem in this area.



28. water damage to masonry. The gable battens above would be replaced as part of the restoration.

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COMMENTS		
No.	DESCRIPTION	DATE
1.	MAP - RESTORATION SUBMISSION	2011-04-01
2.	REV. MAP - RESTORATION SUBMISSION	2011-04-01
3.	REV. AVERAGE GRADE CALC.	2011-04-01
4.	REV. DATE AND GAGE DOOR	2011-04-01
5.	REV. AS PER ASP COMMENTS	2011-04-01

MOUNT ST. ANGELA Senior Living. Redefined.

PROJECT TITLE
ST. ANGELA COLLEGE
RESTORATION
PHOTOGRAPHS

SCALE
AS NOTED
DATE PLOTTED
NOV 07, 2016
DRAWN BY

M.A2.1



23. College, general view to east. As this side the part of the building which was intended to house an addition, the location of windows and other elements is somewhat random. There is too often obstruction, as shown by the adjacent building.



25. Connection to annex. The small addition in the foreground would be removed.



27. Annex, east elevation.



29. The College, northeast corner. The dormer would be removed.



22. East wall of the College. Its construction has not been conditioned, however it is to be changed, enclosed and. The original two stories, exterior shows with the small central entrance, shown in the second photo.



24. West of rear elevation. The would be incorporated into the design.



26. Rear elevation, north showing access to the.



28. Rear elevation, west.



37. Connection to annex. The existing structure is on the left.



29. College, east elevation, showing alterations to introduce.



36. Connection to annex, detail. It is proposed this wall is to be retained and restored.



38. Northwest corner, detail showing the tower to be removed. Chimneys would be retained and restored.

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COMMENTS			
No.	DESCRIPTION	DATE	BY
1.	1.001 / REVISIONS TO DRAWINGS	2016-07-15	
2.	REV. HAV / REVISIONS TO DRAWINGS	2016-07-15	
3.	REV. ALVARADO GRACE CALC	2016-07-15	
4.	REV. GATE AND GARDEN DOOR	2016-07-15	
5.	REV. AS PER ADP COMMENTS	2016-07-15	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE:
ST. ANGELA COLLEGE
RESTORATION
PHOTOGRAPHS

SCALE AS NOTED	FIG. NO. 1124 - 1410
DATE PLOTTED NOV 07, 2016	M.A2.2
DRAWN BY	

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COMMENTS

No.	DESCRIPTION	DATE	BY
1.	HAP / REZONING SUBMISSION	NOV 30/16	
2.	REV. HAP / REZONING SUBMISSION	APR 12/17	
3.	REV. AVERAGE GRADE CALL	MAY 12/17	
4.	REV. GATE AND GARAGE DOOR	JUN 14/17	
5.	REV. AS PER ADP COMMENTS	NOV 7/17	

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE **COLLEGE RESTORATION RENO PLANS**

SCALE
AS NOTED
DATE PLOTTED:
NOV 07, 2016
DRAWN BY
JOB No.
1124 - 1410
M.A4.1

1 SECOND FLOOR FLOOR
SCALE: 1/32

RENOVATION LEGEND & GENERAL NOTES

- EXISTING WALLS
- EXISTING WALLS - STRIPPED FILLER WITH INSULATION
- EXISTING WALLS - STRIPPED 3/4 STRAPPING FULL BATT INSULATION TO FSI
- EXISTING WALLS - FULL WITH 5/8" FIBRE GLASS INSULATION TO FSI
- NEW CONCRETE FOUNDATION WALLS
- NEW RATED WALL - EXISTING STUDS
- NEW RATED WALL - NEW FRAMED WALL
- NEW INTERIOR WALL

EXHAUST FAN

WALL CAP FOR VENTING

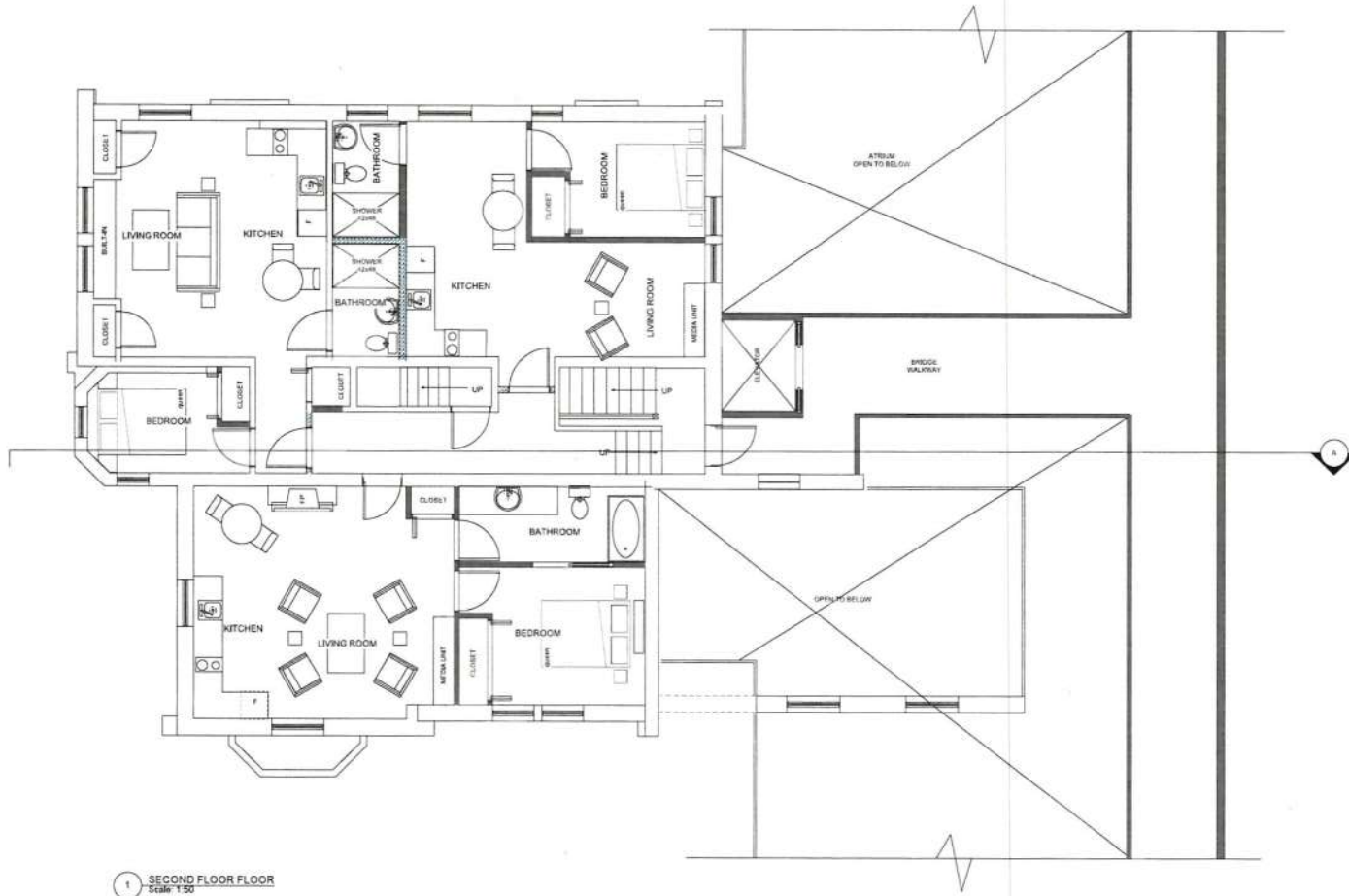
DROPPED CEILING FOR SERVICES

BULKHEAD

GENERAL NOTES

1. WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION

2. WINDOW RE-INSTALLED. REMOVE WINDOW AND FRAME. INSTALL INSULATION TO WALL THICKNESS AROUND WINDOWS AND IN 2X4 WALLS WHERE ARE REMAINING.



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COMMENTS

NO.	REVISION	DATE	BY
1.	HWP REZONING SUBMISSION	2016-06-10	
2.	REV HWP REZONING SUBMISSION	2016-10-10	
3.	REV AVERAGE GRADE CALC.	2016-10-10	
4.	REV GATE AND GARAGE DOOR	2016-10-10	
5.	REV AS PER ADP COMMENTS	2017-01-10	

MOUNT ST. ANGELA
Senior Living, Redefined.

SHEET TITLE
COLLEGE RESTORATION
RENO PLANS

SCALE
AS NOTED
(DATE PLOTTED)
NOV 07, 2016
DRAWN BY
M.A4.2

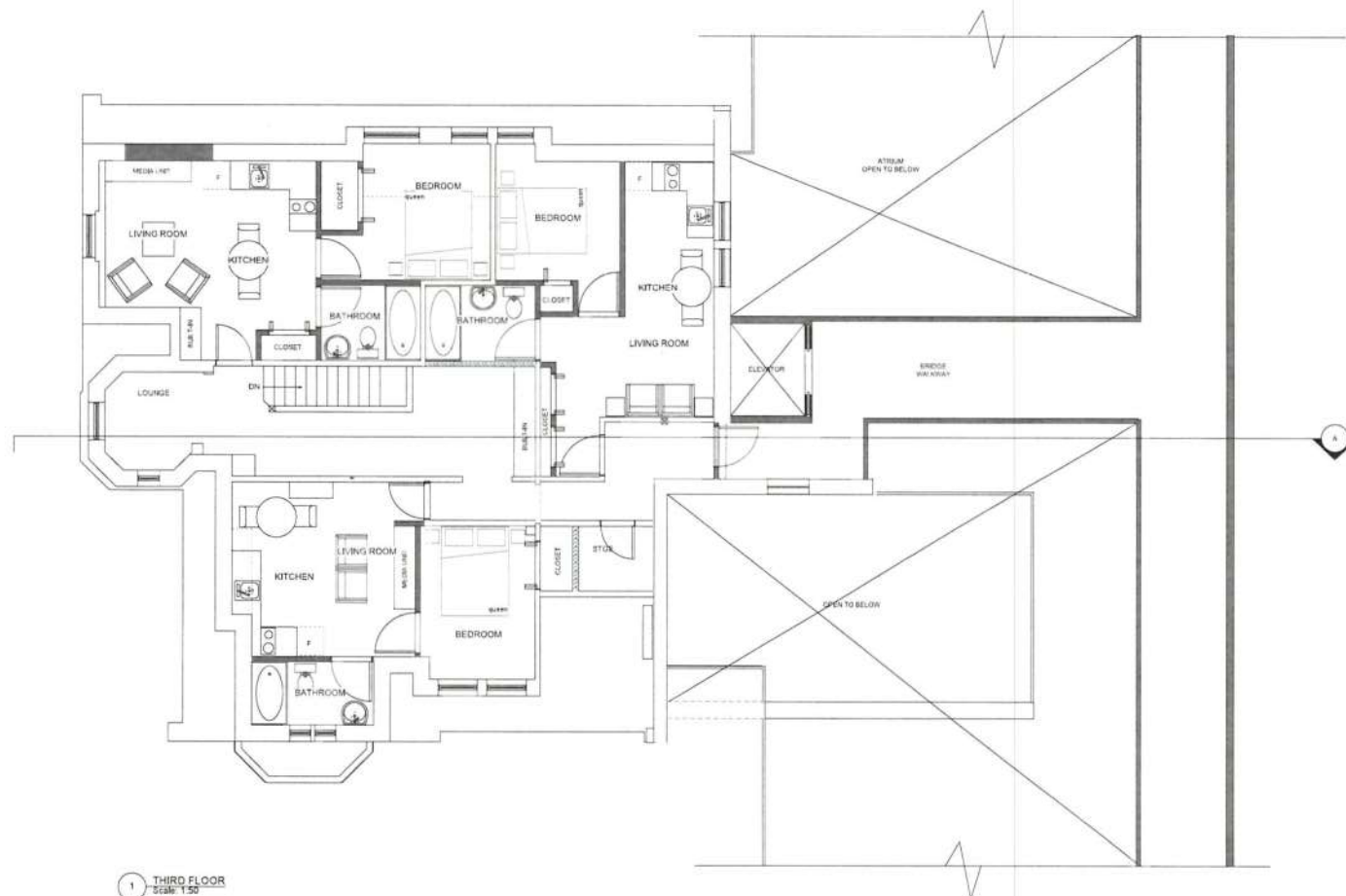
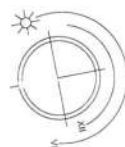
1 THIRD FLOOR
Scale: 1/50

RENOVATION LEGEND & GENERAL NOTES

	EXISTING WALLS		EXHAUST FAN
	EXISTING WALLS - STAMPED FILLED WITH INSULATION		WALL CAP FOR VENTING
	EXISTING WALLS - STAMPED BY STAMPING FILLED WITH INSULATION TO R2		DROPPED CEILING FOR SERVICES
	EXISTING WALLS - FILL WITH BRICK FRAME GLASS INSULATION TO R14		BULKHEAD
	NEW CONCRETE FOUNDATION WALLS		
	NEW BAYED WALL - EXISTING STUDS		
	NEW BAYED WALL - NEW FRAMED WALL		
	NEW INTERIOR WALL		

GENERAL NOTES:

- WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION
- WINDOW RE-INSTALLED: RE-USE (1 WINDOW MOVED FRAME, RE-INSTALL INSULATOR TO WALL, THE WEDGE AROUND WINDOW AND IN 2x4 WALLS WHICH ARE REMAINING)



COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAF + RECONSTRUCT 1912 BRICK	2016-01-15	
2.	REV. HAF + RECONSTRUCT 1912 BRICK	2016-01-15	
3.	REV. AVERAGE GRADE GALL	2016-01-15	
4.	REV. GATE AND GARDEN DOOR	2016-01-15	
5.	REV. AS PER ADP COMMENTS	2016-01-15	



PART OF BRICK WALL TO BE REMOVED AND REPLACED WITH GLAZING
UPPER PORTION OF 1912 BRICK WALL TO REMAIN
LOWER PORTION OF ORIGINAL BRICK WALL TO REMAIN

1 WEST ELEVATION
Scale 1:100



2 NORTH ELEVATION
Scale 1:100

ANGELA COLLEGE

SCOPE OF EXTERIOR RESTORATION WORK

1. DECONSTRUCT PORTE COCHERE. MAKE BRICK EXTERIOR WALL GOOD
2. REMOVE DORMER ON NORTH ELEVATION. RECONSTRUCT GIBEL WINDOW
3. NEW PT CEDAR SHINGLE ROOF
4. RE AND RE SHEET METAL FINIALS AS REQUIRED
5. REPAIR MORTAR AS REQUIRED. TO MORTAR SPECIFICATIONS
6. REBUILD GUTTER AND RYL AS REQUIRED. TO MATCH ORIGINAL
7. RE AND RE SHEET METAL DECORATIVE ELEMENTS
8. REPAIR MORTAR BELLS AND WINDOW SURROUNDS. CONFIRM MORTAR AND PROCEDURES
9. ELASTOMERIC COATINGS ON CORBELS AND OTHER ELEMENTS MADE GOOD. FLASH JOINT AT BRICKWORK. FLASHING COLOR TO MATCH COATING. DO NOT REMOVE COATINGS
10. DORMER REMOVED. ROOF MADE GOOD
11. DORMER AND WINDOWS REBUILT TO DETAIL
12. CHIMNEYS STABILIZED PER STRUCTURAL
13. RE AND RE SHINGLE ROOF ON TOWER
14. NEW 4" ROUND RYL THROUGHOUT
15. REMOVE METAL FIRE ESCAPE
16. DECONSTRUCT REAR ADDITION AND REAR STAIR
17. REBUILD WINDOWS AS REQUIRED. REPAIR
18. THIS SECTION OF ORIGINAL CONSTRUCTION TO REMAIN
19. THIS SECTION OF ORIGINAL CONSTRUCTION ALTERED AS SHOWN
20. NEW CAST CONC STAIRS
21. NEW STAINLESS STEEL HANDRAILS

SHEET TITLE

COLLEGE
RESTORATION
ELEVATIONS

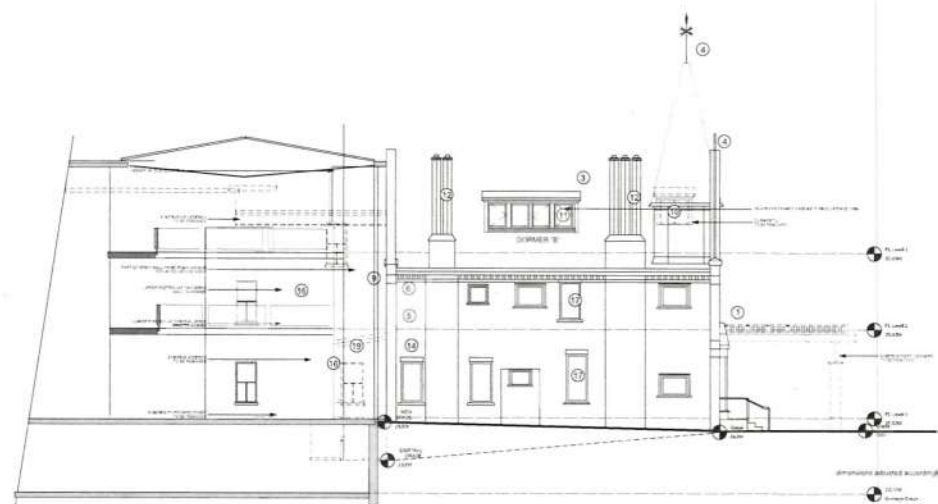
SCALE
AS NOTED
DATE PLOTTED
NOV 07, 2016
DRAWN BY

JOB No.
1124 - 1410

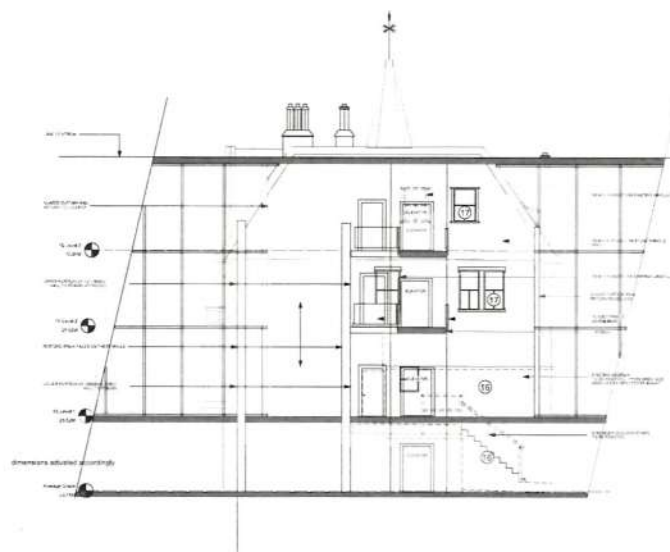
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COMMENTS

REV	DESCRIPTION	DATE	BY
1	HAF. RESTORING SUBMISSION	SEP. 2016	
2	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
3	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
4	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
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12	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
13	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
14	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
15	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
16	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
17	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
18	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
19	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
20	REV. HAF. RESTORING SUBMISSION	SEP. 2016	
21	REV. HAF. RESTORING SUBMISSION	SEP. 2016	



1 EAST ELEVATION
Scale 1:100



2 SOUTH ELEVATION
Scale 1:100

ANGELA COLLEGE

SCOPE OF EXTERIOR RESTORATION WORK

1. DECONSTRUCT PORTS COCHERE, MAKE BRICK EXTERIOR WALL GOOD
2. REMOVE DORMER ON NORTH ELEVATION, RECONSTRUCT ORIEL WINDOW
3. NEW PT CEDAR SHINGLE ROOF
4. RE AND RE SHEET METAL FINALS AS REQUIRED
5. REPAIR MORTAR AS REQUIRED TO MORTAR SPECIFICATIONS
6. REBUILD GUTTER AND RVL AS REQUIRED, TO MATCH ORIGINAL
7. RE AND RE SHEET METAL DECORATIVE ELEMENTS
8. REPAIR MORTAR BELLS AND WINDOW SURROUNDINGS, CONFIRM MORTAR AND PROCEDURES
9. ELASTOMERIC COATINGS ON CORBELS AND OTHER ELEMENTS MADE GOOD, FLASH JOINT AT BRICKWORK, FLASHING COLOR TO MATCH COATING, DO NOT REMOVE COATING
10. DORMER REMOVED, ROOF MADE GOOD
11. DORMER AND WINDOWS REBUILT TO DETAIL
12. CHIMNEYS STABILIZED PER STRUCTURAL
13. RE AND RE SHINGLE ROOF ON TOWER
14. NEW 4" ROUND RVL THROUGHOUT
15. REMOVE METAL FIRE ESCAPE
16. DECONSTRUCT REAR ADDITION AND REAR STAIR
17. REBUILD WINDOWS AS REQUIRED, REPAIR
18. THIS SECTION OF ORIGINAL CONSTRUCTION TO REMAIN
19. THIS SECTION OF ORIGINAL CONSTRUCTION ALTERED AS SHOWN
20. NEW CAST CONC STAIRS
21. NEW STAINLESS STEEL HANDRAILS

SHEET TITLE

COLLEGE
RESTORATION
ELEVATIONS

SCALE	AS NOTED	JOB NO.	1125 - 1410
DATE PLOTTED:	NOV 07, 2016	DESIGNED BY:	
DRAWN BY:		CHECKED BY:	
		APPROVED BY:	
			M.A5.1

KEY + CECO
ARCHITECTURE LTD.

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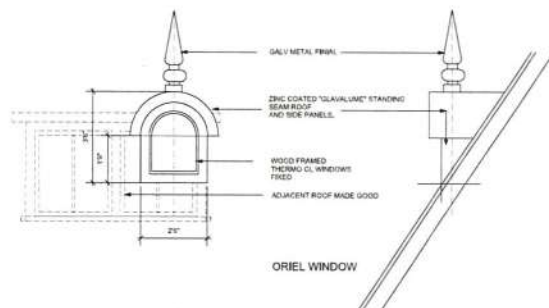
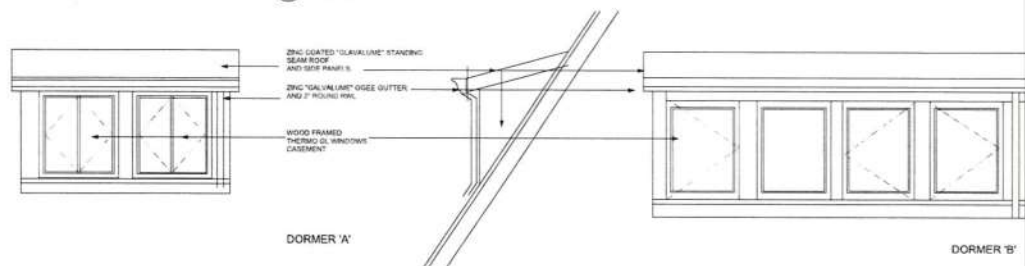
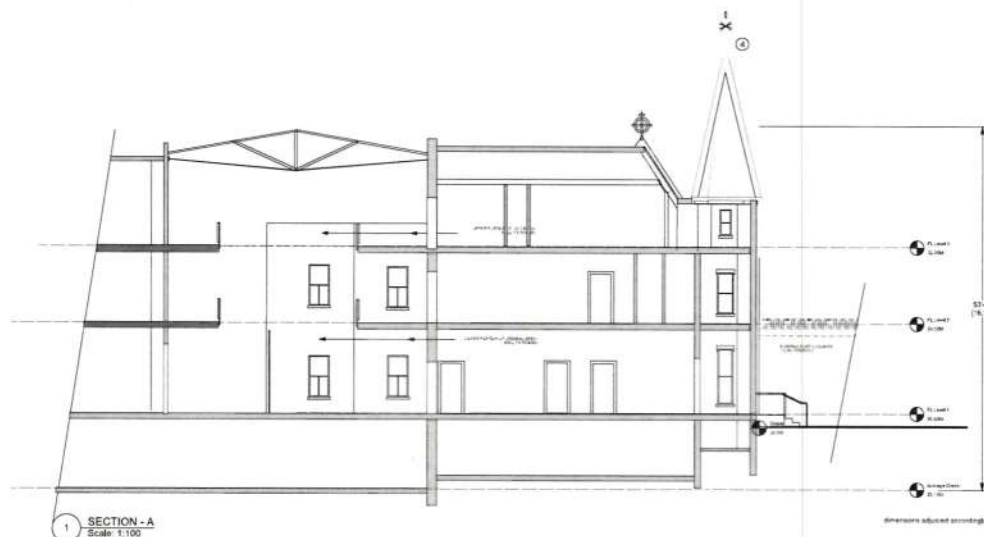
COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAF. REZONING SUBMISSION	2016-01-15	
2.	REV. HAF. REZONING SUBMISSION	2016-02-01	
3.	REV. AVERAGE GRADE CALC.	2016-12-15	
4.	REV. GATE AND GARAGE DOOR	2017-07-16	
5.	REV. AS PER ADR COMMENTS	2017-11-16	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
**COLLEGE
RESTORATION**
SECTIONS & DETAILS

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED NOV 07, 2016	
DRAWN BY	M.A6.0



DETAIL OF ORIEL WINDOW AND FINIAL,
FROM 1876 PHOTOGRAPH

KEY + CECO ARCHITECTURE LTD.

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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / RECONING SUBMISSION	2016.04.15	
2.	REV. HAP / RECONING SUBMISSION	2016.04.15	
3.	REV. AVERAGE GRADE CALC	2016.11.15	
4.	REV. GATE AND GARGE DOOR	2016.11.15	
5.	REV. AS PER ADP COMMENTS	2016.11.15	

MOUNT ST. ANGELA

Senior Living. Redefined.

SHEET TITLE
CARTREFF RESIDENCE
RESTORATION

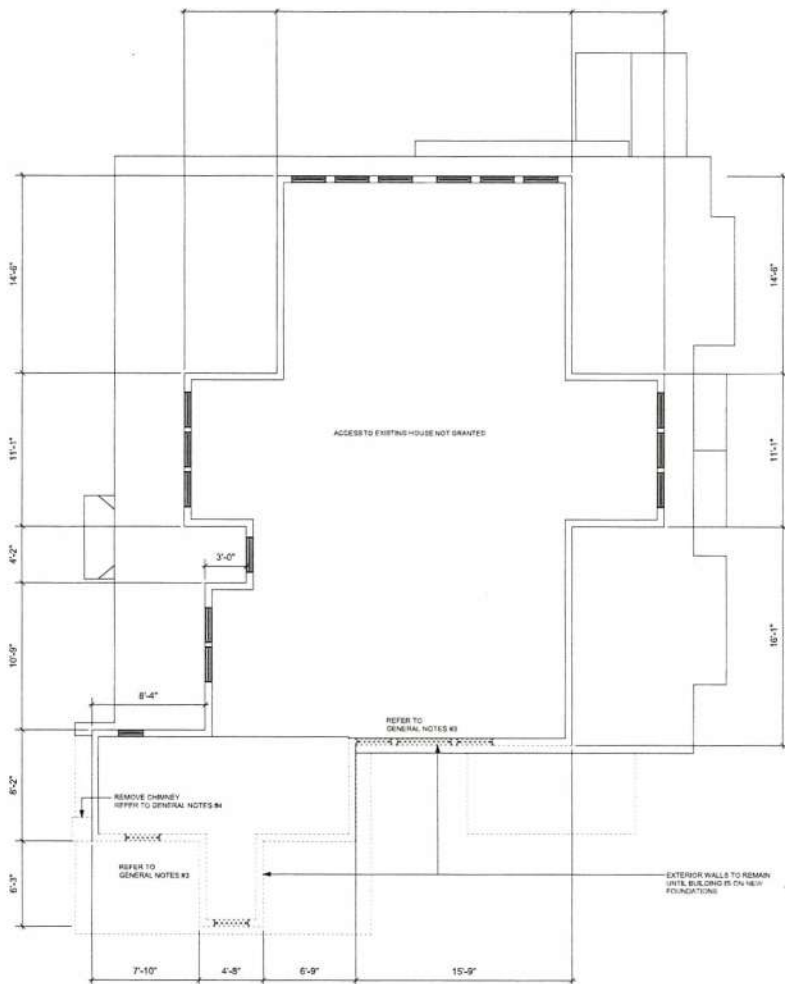
DEMO PLANS

SCALE
AS NOTED

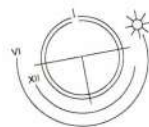
DATE PLOTTED
NOV 07, 2016

DRAWN BY

C.A3.1



1 SECOND LEVEL
SCALE 1/32"



DEMOLITION LEGEND & GENERAL NOTES

- EXISTING WALLS - DRYWALL/PLASTER TO REMAIN
- EXISTING WALLS - TO BE STRIPPED OF DRYWALL/PLASTER
- WALLS TO BE REMOVED
- REFER TO DOOR SCHEDULE

GENERAL NOTES

- ALL WOOD PANEL DOORS, FRAMES AND ALL MOLDINGS ETC. ARE TO BE REMOVED WITH CARE, CATALOGUED, CLEANED AND REPAIRED FOR POTENTIAL REUSE AS PER ARCHITECT'S INSTRUCTIONS AND THE DOOR AND WINDOW SCHEDULE.
- CONDUCT A SURVEY OF ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS. CONSULTANT AND REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- WINDOWS AND TYPICAL EXISTING FOUNDATION WALLS TO BE REMOVED WITH CARE AND STORED FOR REUSE IN NEW FOUNDATIONS.
- DEMANT'S CHIMNEY: CLEAN AND RETAIN BRICKS FOR REUSE. PRIOR TO DEMANTING, CONFIRM WITH ARCHITECT INSTALLATION OF SCRAPFOLD TO THAT EXISTING CHIMNEY CAN BE MEASURED AND RECORDED. DO NOT DEMANT PRIOR TO COMPLETION OF RECORDING.
- REMOVE ALL EXISTING FURNITURE AND FIXTURES TO BE REPLACED WITH NEW.
- REMOVE ALL CARPET, VINYL, TILE, RUBBER BASE TRIM AND UNDER COVERINGS.
- REMOVE ALL EXISTING EQUIPMENT, APPLIANCES, AND FIXTURES AS DIRECTED BY THE ARCHITECT.
- REFER TO THE SPECIFICATIONS TO BE USED IN CONSULTATION WITH THESE DRAWINGS.
- PROTECT ALL OPENINGS CREATED BY THIS CONTRACT DURING STRIP-OUT AND MOVING.
- PROVIDE SECURITY TO OWNER'S SPECIFICATION.

KEY + CECO ARCHITECTURE LTD.

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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAF - FOLLOWING SUBMISSION	2016.10.10	
2.	REV. HAF - FOLLOWING SUBMISSION	2016.10.10	
3.	REV. HAF - GRADE CALC.	2017.11.14	
4.	REV. GATE AND SANDY FLOOR	2017.11.14	
5.	REV. AS PER ACP COMMENTS	2018.01.10	

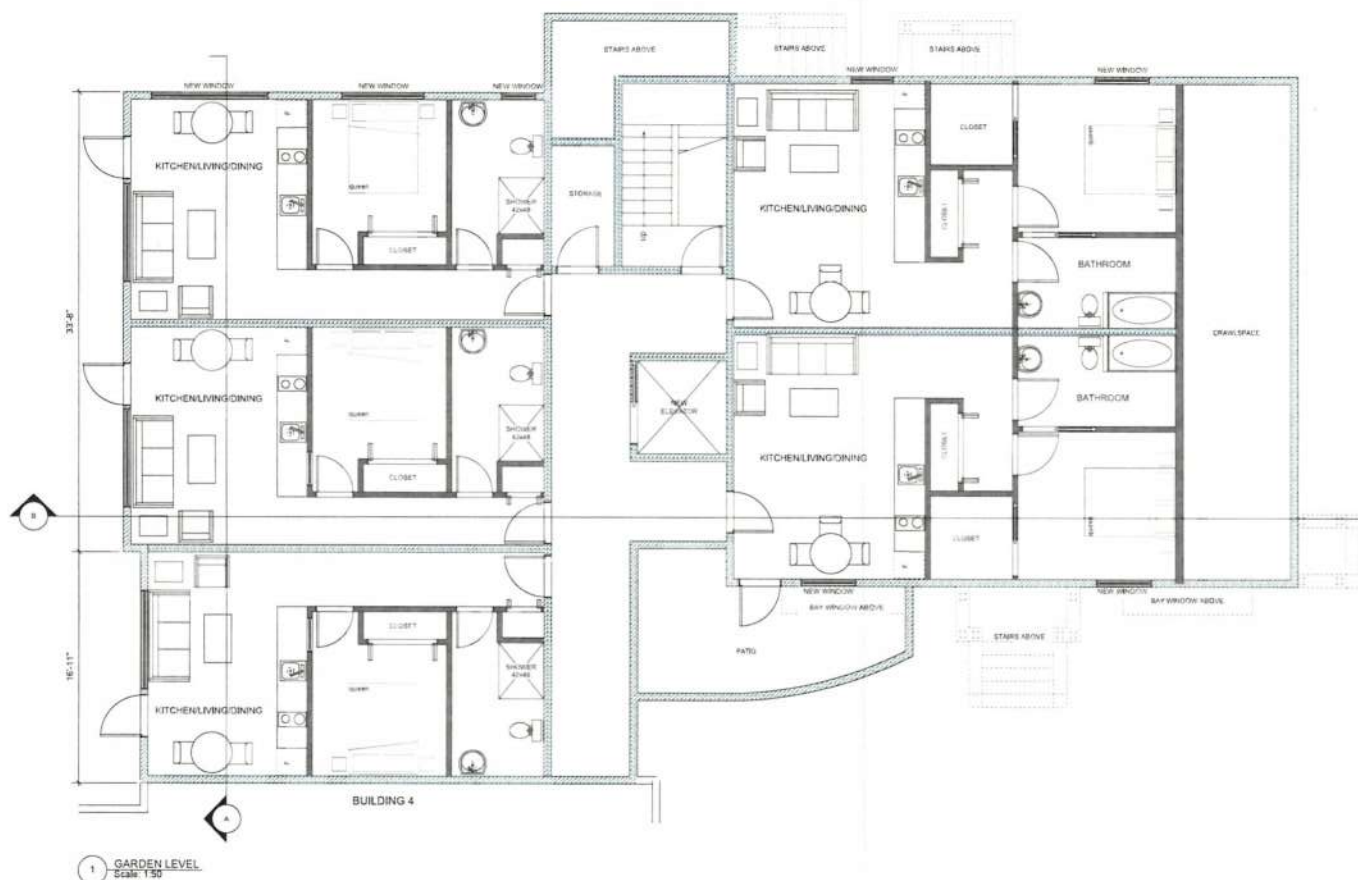
MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE CARTREFF RESIDENCE RESTORATION

LOWER FLOOR PLAN

SCALE
AS SHOWN
DATE PLOTTED
NOV 07, 2016
DRAWN BY

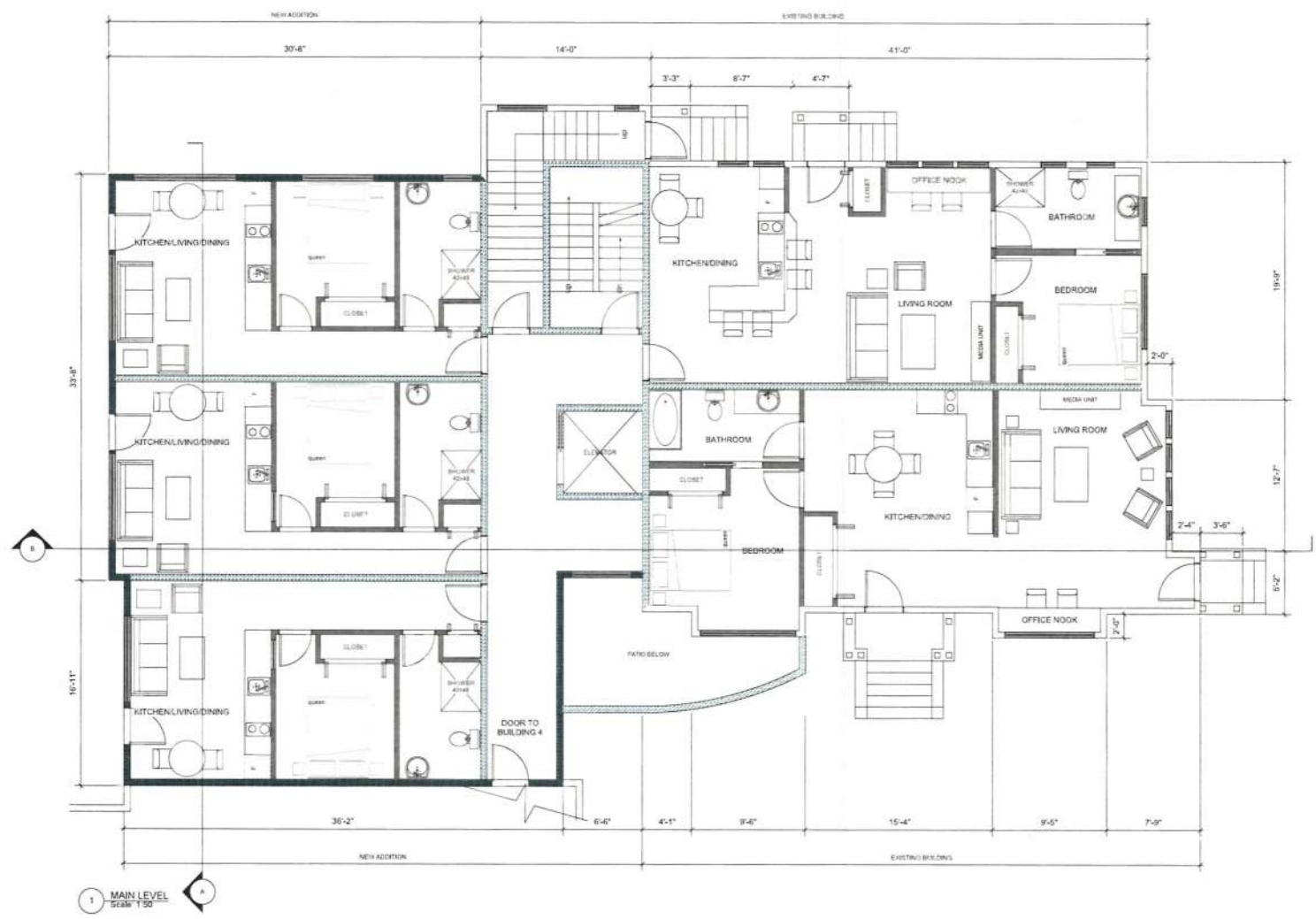
C.A4.0



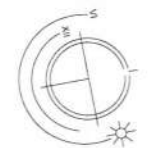
RENOVATION LEGEND & GENERAL NOTES

	EXISTING WALLS		EXHAUST FAN
	EXISTING WALLS - STRIPPED FILLED WITH INSULATION		WALL CAP FOR VENTING
	EXISTING WALLS - STRIPPED & TRAPPING FILLED WITH INSULATION TO R2		DROPPED CEILING FOR SERVICES
	EXISTING WALLS - STRIPPED & TRAPPING FILLED WITH STRIP FRAME GLASS INSULATION TO R4		BULKHEAD
	NEW CONCRETE FOUNDATION WALLS		
	NEW RATED WALL - EXISTING STUDS		
	NEW RATED WALL - NEW FRAMED WALL		
	NEW INTERIOR WALL		

GENERAL NOTES:
1. WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION.
2. WINDOW RE-INSTALLED: REBUILD FRAME AND FRAME.
3. INSTALL INSULATION TO WALL THICKNESS AROUND WINDOWS AND IN EX WALLS WHERE APPROPRIATE.



1 MAIN LEVEL
SCALE: 1/32"



RENOVATION LEGEND & GENERAL NOTES	
	EXISTING WALLS
	EXISTING WALLS - STRIPPED FLEES WITH INSULATION
	EXISTING WALLS - STRIPPED GAS STRAPPING FLEES WITH INSULATION TO ROOF
	EXISTING WALLS - FILL WITH SPRAY FOAM GLASS INSULATION TO ROOF
	NEW CONCRETE FOUNDATION WALLS
	NEW RATED WALL - EXISTING STUDS
	NEW RATED WALL - NEW FRAMED WALL
	NEW INTERIOR WALL
	EXHAUST FAN
	WALL CAP FOR VENTING
	DROPPED CEILING FOR SERVICES
	BULKHEAD
GENERAL NOTES	
1. WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION	
2. WINDOW RE-INSTALL (ED) REELS, LATCHES AND FRAME	
3. INSTALL INSULATION TO WALL THICKNESS AROUND WINDOWS AND IN EX WALLS WHERE APPROPRIATE	

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COMMENTS	
No.	DESCRIPTION
1.	REV. FLOORING SUBMISSION
2.	REV. FLOORING SUBMISSION
3.	REV. AVERAGE GRADE CALC.
4.	REV. DATE AND GARAGE DOOR
5.	REV. AS PER ARCH COMMENTS

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE
**CARTREFF RESIDENCE
RESTORATION**
MAIN FLOOR PLAN

SCALE AS NOTED	JOB No. 1124 - 1410
DATE PLOTTED NOV 07, 2016	DESIGNED BY C.A.4.1

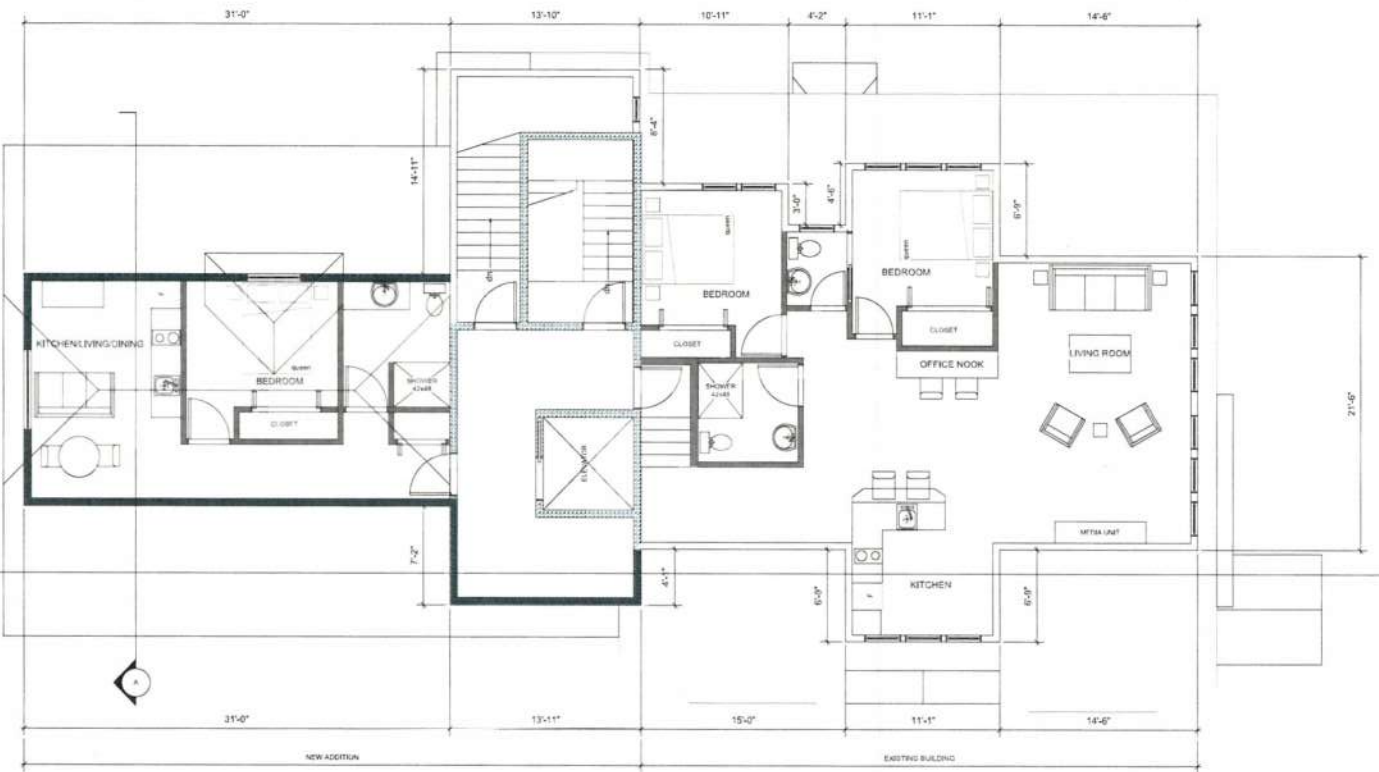
KEAY + CECOCO ARCHITECTURE LTD.

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 Phone: 250-382-0882 Fax: 250-382-0843
 email: info@keaycecoco.com

COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / RESPONSE SUBMISSION	SEP 16/16	
2.	REV HAP / RESPONSE SUBMISSION	SEP 26/16	
3.	REV. AVERAGE GRADE CALC	SEP 11/17	
4.	REV. GATE AND GARDEN DOOR	JUN 14/18	
5.	REV. AS PER ARCH COMMENTS	NOV 07/18	

MOUNT ST. ANGELA Senior Living. Redefined.



1 SECOND LEVEL
 SCALE: 1/32"

RENOVATION LEGEND & GENERAL NOTES

	EXISTING WALLS		EXHAUST FAN
	EXISTING WALLS - STRIPPED FILLED WITH INSULATION		WALL CAP FOR VENTING
	EXISTING WALLS - STRIPPED with STRAPPING		DROPPED CEILING FOR SERVICES
	EXISTING WALLS - FULL WITH SPRAY FIBRE GLASS INSULATION TO RIM		BULKHEAD
	NEW CONCRETE FOUNDATION WALLS		
	NEW WATER WALLS - EXISTING STUDS		
	NEW WATER WALLS - NEW FRAMED WALL		
	NEW INTERIOR WALL		

GENERAL NOTES:
 1. WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION
 2. WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION
 3. INSTALL FULLY ATTACHED WALL THICKNESS AROUND WINDOWS AND IN EX WALLS WHERE APPROPRIATE

SHEET TITLE
 CARTREFF RESIDENCE
 RESTORATION

UPPER FLOOR PLAN

SCALE
 AS NOTED

DATE PLOTTED
 NOV 07, 2016

DRAWN BY
 C.A4.2

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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	PREP. REDDING SUBMISSION	SEP. 16/15	
2.	REV. HAD / REDDING SUBMISSION	SEP. 20/15	
3.	REV. AVERAGE GRADE CALC	SEP. 20/15	
4.	REV. GATE AND GARGE DOOR	SEP. 20/15	
5.	REV. AS PER ADP COMMENTS	SEP. 20/15	

MOUNT ST. ANGELA Senior Living. Redefined.

- FINISH SCHEDULE**
SCOPE OF EXTERIOR RESTORATION WORK
1. FIBERGLASS SHINGLE ROOF
 2. RE AND RE CEDAR WALL SHINGLES PAINTED
 3. RE AND RE WOOD TRIM PAINTED
 4. REPAIR WOOD FRAME WINDOWS AS REQUIRED, REPAIR
 5. CHIMNEYS RECONSTRUCTED
 6. NEW TYPICAL ON MEMBRANE ROOF
 7. NEW ALU GUTTERS CW ROUND RAIL
 8. EXTEND EXISTING TOWER AS SHOWN TO ACCOMMODATE EXIT STAIR. SHINGLE FINISH TO MATCH
 9. STUCCO PEBBLE DASH FINISH, COLOR TO SPEC
 10. WOOD FRAME THERMO CL WINDOWS PAINTED
 11. ALUMINUM FRAMED THERMO CL WINDOWS PAINTED
 12. ALUMINUM PICKETS AND RAIL FOR JULIETTE BALCONY
 13. BRICK WALL CW ALUMINUM GATE, PAINTED
 14. TYPICAL LIMESTONE PANELS
 15. METAL FLASHING BAKED ENAMEL FINISH
 16. ALUMINUM RAILING SYSTEM W/ GLAZED PANELS

CARTREFF RESIDENCE RESTORATION ELEVATIONS

SCALE AS NOTED	JOB NO. 1121 - 1410
DATE PLOTTED NOV 07, 2015	
DRAWN BY	C.A5.0



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COMMENTS

No.	DESCRIPTION	DATE	BY
1.	HAP / REVISIONS SUBMISSION	2016.10.12	
2.	REV. HAP / REVISIONS SUBMISSION	2016.10.12	
3.	REV. AVERAGE GRADE CALC	2016.11.15	
4.	REV. GATE AND GARAGE DOOR	2017.01.10	
5.	REV. AS PER ADP COMMENTS	2017.01.10	

MOUNT ST. ANGELA Senior Living. Redefined.

FINISH SCHEDULE

SCOPE OF EXTERIOR RESTORATION WORK

1. FIBREGLASS SHINGLE ROOF
2. RE AND RE CEDAR WALL SHINGLES, PAINTED
3. RE AND RE WOOD TRIM, PAINTED
4. REPAIR WOOD FRAME WINDOWS AS REQUIRED, REPAIR
5. CHIMNEYS RECONSTRUCTED
6. NEW TORCH ON MEMBRANE ROOF
7. NEW KLI GUTTERS C/W ROULID RWL
8. EXTEND EXISTING TOWER AS SHOWN TO ACCOMMODATE EXIT STAIR, SHINGLE FINISH TO MATCH
9. STUCCO, PEBBLE DASH FINISH, COLOR TO SPEC
10. WOOD FRAME THERMO GL WINDOWS, PAINTED
11. ALUMINUM FRAMED THERMO GL WINDOWS, PAINTED
12. ALUMINUM PICKETS AND RAIL FOR JUJETTE BALCONY
13. BRICK WALL C/W ALUMINUM GATE, PAINTED
14. TYPICAL LIMESTONE PANELS
15. METAL FLASHING, BAKED ENAMEL FINISH
16. ALUMINUM RAILING SYSTEM W/ GLAZED PANELS

BUILDING 2 CONNECTS TO BUILDING 4

2 EAST ELEVATION
Scale: 1:50

1 NORTH ELEVATION
Scale: 1:50

SHEET TITLE
CARTREFF RESIDENCE
RESTORATION
ELEVATIONS

SCALE AS NOTED	JOB No. 1124 - 1410
DATE PLOTTED NOV 07, 2016	
DESIGNED BY	C.A5.1

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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / BUILDING SUBMISSION	SEP. 2016	
2.	REV. HAP / REZONING SUBMISSION	APR. 2016	
3.	REV. AVERAGE GRADE CALC.	MAY 17/16	
4.	REV. GATE AND GARAGE DOOR	JULY 14/16	
5.	REV. AS PER ADP COMMENTS	NOV. 2016	

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE CARTREFF RESIDENCE RESTORATION SECTIONS

SHEET NO. AS NOTED	JOB NO. 11224 - 1410
DATE PLOTTED NOV 07, 2016	
DRAWN BY	C.A6.0

1 SECTION - A
Scale: 1:50

2 SECTION - B
Scale: 1:50





1. View from southeast. The house takes advantage of its prominent siting, elevated from the street. The view is not as good as the view from the street. The view is not as good as the view from the street. The view is not as good as the view from the street.



2. Roofline, view of gable, and brick.



3. Front porch, view of entrance and surrounding landscape.



4. View from street.



5. Side view: the house is not as good as the view from the street. The view is not as good as the view from the street. The view is not as good as the view from the street.



6. View of front porch and entrance.



7. View from street of the house. The house is not as good as the view from the street. The view is not as good as the view from the street. The view is not as good as the view from the street.



8. View from street of the house. The house is not as good as the view from the street. The view is not as good as the view from the street. The view is not as good as the view from the street.

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COMMENTS		
No.	Date	Comments
1.	11/16/16	HAP / REZONING SUBMISSION
2.	11/16/16	REV HAP / REZONING SUBMISSION
3.	11/16/16	REV HAP / REZONING SUBMISSION
4.	11/16/16	REV HAP / REZONING SUBMISSION
5.	11/16/16	REV HAP / REZONING SUBMISSION
6.	11/16/16	REV HAP / REZONING SUBMISSION
7.	11/16/16	REV HAP / REZONING SUBMISSION
8.	11/16/16	REV HAP / REZONING SUBMISSION
9.	11/16/16	REV HAP / REZONING SUBMISSION
10.	11/16/16	REV HAP / REZONING SUBMISSION
11.	11/16/16	REV HAP / REZONING SUBMISSION
12.	11/16/16	REV HAP / REZONING SUBMISSION
13.	11/16/16	REV HAP / REZONING SUBMISSION
14.	11/16/16	REV HAP / REZONING SUBMISSION
15.	11/16/16	REV HAP / REZONING SUBMISSION
16.	11/16/16	REV HAP / REZONING SUBMISSION
17.	11/16/16	REV HAP / REZONING SUBMISSION
18.	11/16/16	REV HAP / REZONING SUBMISSION
19.	11/16/16	REV HAP / REZONING SUBMISSION
20.	11/16/16	REV HAP / REZONING SUBMISSION

MOUNT ST. ANGELA
Senior Living. Redefined.

SHORT TITLE
TEMPLE RESIDENCE
RESTORATION
PHOTOGRAPHS

DATE
AS NOTED
DATE PHOTOGRAPHED
NOV 07, 2016
DRAWN BY

T.A.2.0

COMMENTS

No.	DESCRIPTION	DATE	BY
1.	HAP - RESTORING SUBMISSION	2016.07.07	KE
2.	REV. HAP - RESTORING SUBMISSION	2016.07.07	KE
3.	REV. AVERAGE GRADE CALC.	2016.07.07	KE
4.	REV. GATE AND DRIVE DOOR	2016.07.07	KE
5.	REV. AS PER ADP COMMENTS	2016.07.07	KE

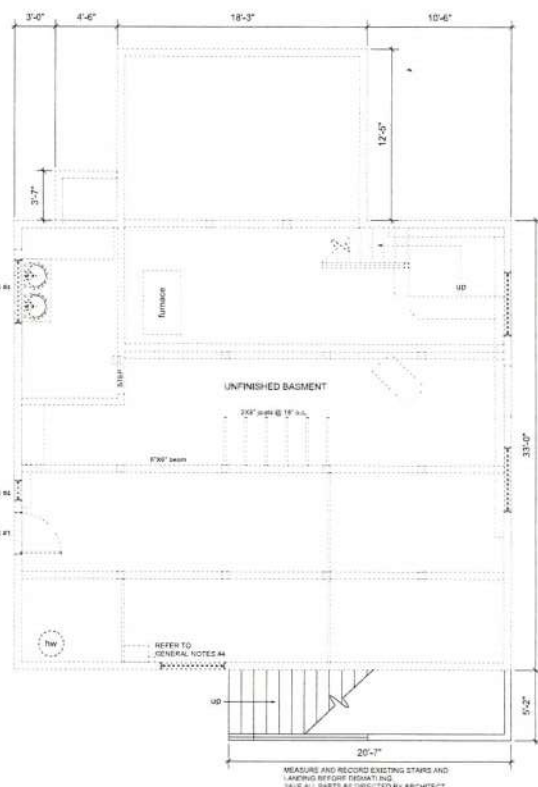
MOUNT ST. ANGELA

Senior Living. Redefined.

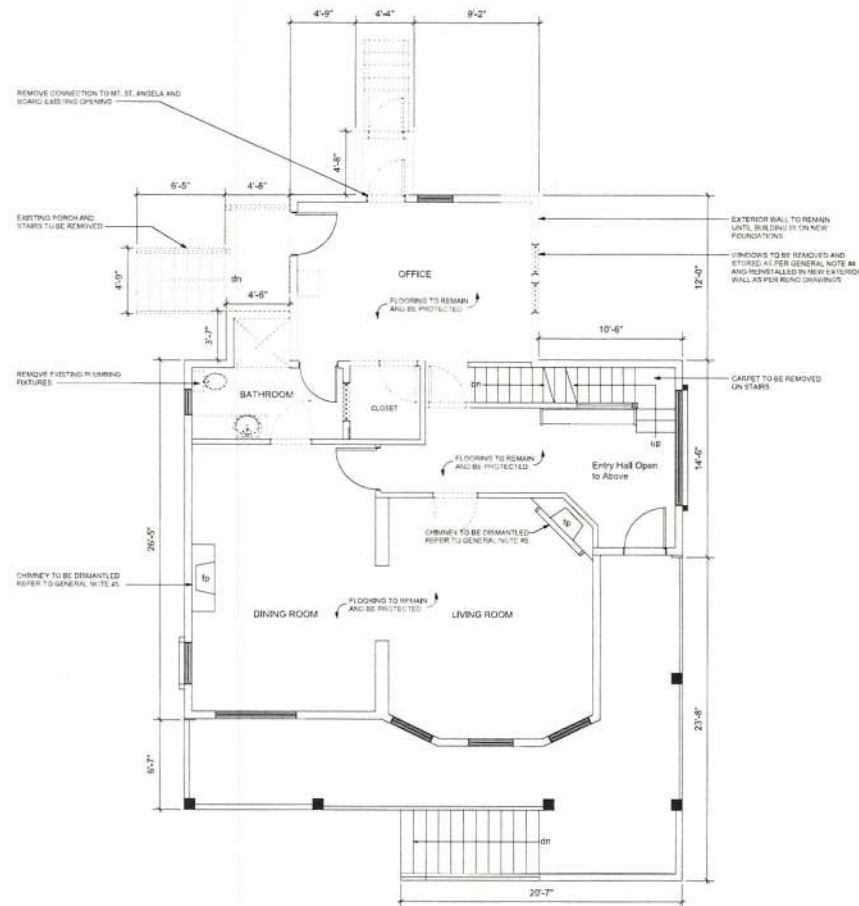
PROJECT TITLE
TEMPLE RESIDENCE RESTORATION
DEMO PLANS

SCALE	JOB No.
AS NOTED	1124 - 1410
DATE PLOTTED	
NOV 07, 2016	
DRAWN BY	

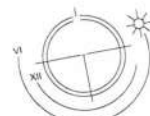
T.A3.0



1 GARDEN LEVEL
Scale: 1/32



2 MAIN LEVEL
Scale: 1/32

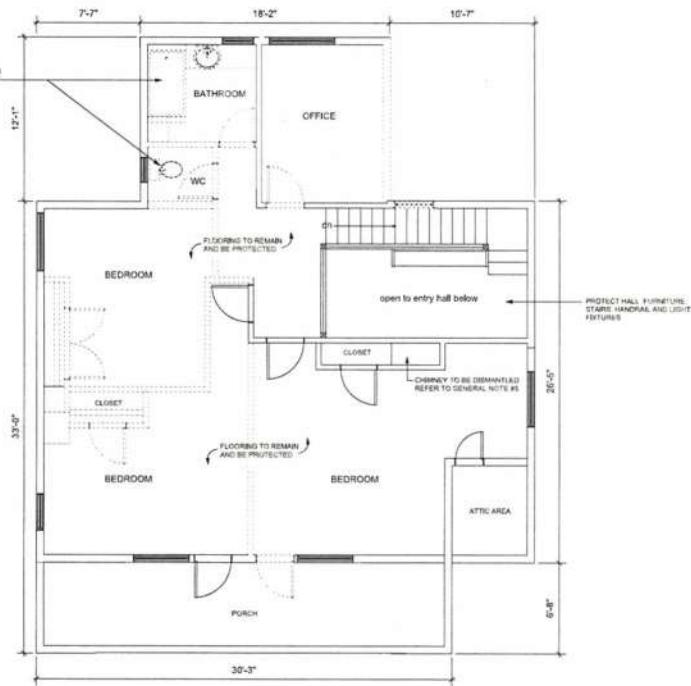


DEMOLITION LEGEND & GENERAL NOTES	
EXISTING WALLS - DEMOLITION TO REMAIN	GENERAL NOTES
EXISTING WALLS - TO BE STRIPPED OR DEMOLISHED	1. ALL WOOD PANEL DOORS, FRAMES AND ALL MOLDS ETC. ARE TO BE REMOVED.
WALLS TO BE REMOVED	2. ALL CARPET, CATALAN, CLEANED AND RETAINED FOR POTENTIAL REUSE AS PER ARCHITECT'S INSTRUCTIONS. THE CARPET AND MOLDS ARE TO BE REMOVED AS PER ELECTRICAL DRAWINGS.
REFER TO DOOR SCHEDULE	3. REMOVE ALL CEMENT, PLASTER AND ALL OTHER MATERIALS TO BE REMOVED AS PER ELECTRICAL DRAWINGS.
	4. CONFIRM LOCATION OF ELECTRICAL MARCH PIPING WITH THE ELECTRICAL CONSULTANT AND REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS.
	5. REMOVE AND TRIM EXISTING FOUNDATION WALL TO BE REMOVED WITH CARE AND STORED FOR REUSE IN NEW FOUNDATIONS.
	6. DEMOLISH CHIMNEY PRIOR TO DEMOLITION CONFIRM WITH ARCHITECT INSTALLATION OF SCAFFOLD SO THAT EXISTING CHIMNEY CAN BE MEASURED AND RECORDED.
	7. REMOVE EXISTING CHIMNEY PRIOR TO DEMOLITION OF ROOFING.
	8. REMOVE ALL EXISTING FLOORS AND FLOORING TO BE REPEATED WITH NEW.
	9. REMOVE ALL EXISTING ROOFING, TILE, RUBBER BASE TRIM AND WINDOW COVERINGS.
	10. REMOVE AND REPAIR AND EQUIP AS PER CONTRACT DOCUMENTS.
	11. REFER TO THE SPECIFICATIONS TO BE USED IN CONNECTION WITH THESE DEMOLITION.
	12. PROTECT ALL OPENINGS CREATED BY THIS CONTRACT DURING DEMOLITION AND MOVES.
	13. PROVIDE SECURITY TO OWNER'S SPECIFICATION.

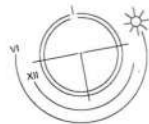
COMMENTS

NO.	REVISION	DATE	BY
1.	ADP / REVISIONS SUBMISSION	2016-07-07	
2.	REV. ADP / REVISIONS SUBMISSION	2016-08-16	
3.	REV. AVERAGE GRADE CALC	2017-10-02	
4.	REV. GATE AND GARAGE DOOR	2018-01-03	
5.	REV. AS PER ADP COMMENTS	2018-03-05	

MOUNT ST. ANGELA
Senior Living. Redefined.



1 SECOND LEVEL
Scale: 1/50



DEMOLITION LEGEND & GENERAL NOTES

- EXISTING WALLS - DEMOLITION TO REMAIN
EXISTING WALLS - TO BE STRIPPED OF DRYWALL/PLASTER
WALLS TO BE REMOVED
DN REFER TO DOOR SCHEDULE

GENERAL NOTES

1. ALL WOOD PANEL, DOORS, FRAMES AND ALL MOLDINGS ETC. ARE TO BE REMOVED WITH CARE, CATALOGUED, CLEANED AND REPAIRED FOR POTENTIAL REUSE AS PER ARCHITECT'S INSTRUCTIONS AND THE DOOR AND WINDOW SCHEDULES.
2. REMOVE AND DISPOSE OF ALL EXISTING ELECTRICAL PANELS AND EQUIPMENT AS PER ELECTRICAL CHANGES.
3. CONFIRM LOCATION OF ELECTRICAL BRANCH WIRING, REVIEW WITH THE ELECTRICAL CONSULTANT AND REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS.
4. REMOVAL AND TRIM IN EXISTING FOUNDATION WALL TO BE REMOVED WITH CARE AND STORED FOR REUSE IN NEW FOUNDATIONS.
5. DEMANTILE CHIMNEY'S PRIOR TO DEMANTILING. CONFIRM WITH ARCHITECT INSTALLATION OF SCAFFOLD SO THAT EXISTING CHIMNEY CAN BE MEASURED AND RECORDED.
6. NOT DEMANTILE PRIOR TO COMPLETION OF RECORDING.
7. REMOVE ALL EXISTING FIXTURES AND PLUMBING TO BE REPLACED WITH NEW.
8. REMOVE ALL CABINET UNITS, TIES, KITCHEN BACKSPLASH AND REPAIR COVERINGS.
9. REMOVE AND STORE ANY EQUIPMENT ARTIFACTS AS DIRECTED BY THE ARCHITECT.
10. REFER TO THE SPECIFICATIONS TO BE USED IN CONNECTION WITH THESE CHANGES.
11. PROVIDE SECURITY TO OWNER'S SPECIFICATION.

SHEET TITLE
**TEMPLE RESIDENCE
RESTORATION
DEMO PLANS**

SCALE	276 No.
AS NOTED	1124 - 1410
DATE PLOTTED	
NOV 07, 2016	
DRAWN BY	T.A3.1

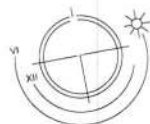
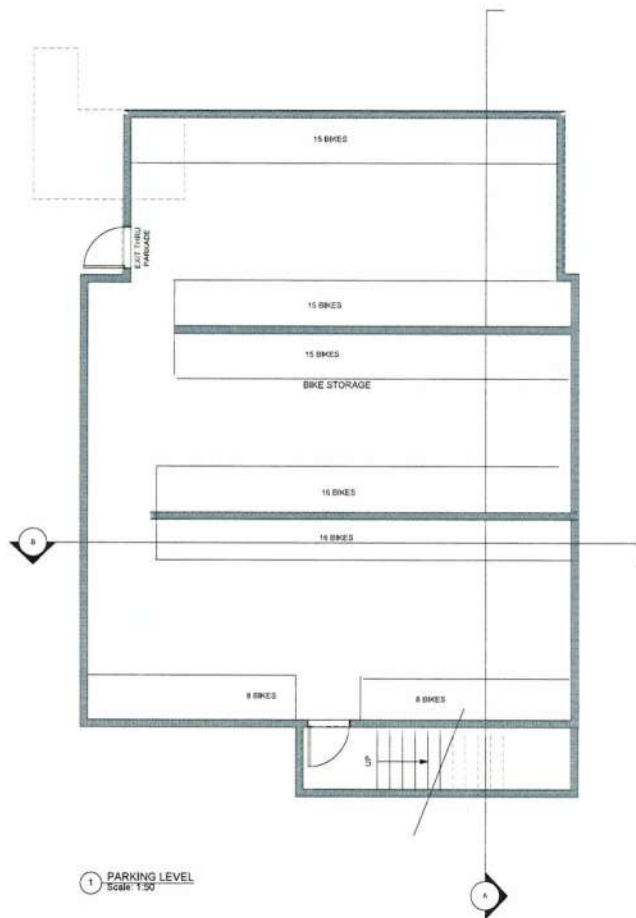
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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAF / RESIZING SUBMISSION	2016-01-12	
2.	REV. HAF / RESIZING SUBMISSION	2016-01-12	
3.	REV. HAF / RESIZING SUBMISSION	2016-01-12	
4.	REV. AVERAGE GRADE CALC	2017-10-10	
5.	REV. GATE AND GRADE DOOR	2017-10-10	
6.	REV. AS PER ADP COMMENTS	2017-10-10	

MOUNT ST. ANGELA Senior Living. Redefined.



RENOVATION LEGEND & GENERAL NOTES

	EXISTING WALLS
	EXISTING WALLS - STRIPPED FILLED WITH INSULATION
	EXISTING WALLS - STRIPPED GUS STRAPPING FILLED WITH INSULATION TO RISE
	EXISTING WALLS - FILL WITH SPRAY FIBRE GLASS INSULATION TO RISE
	NEW CONCRETE FOUNDATION WALLS
	NEW RATED WALL - EXISTING STUD
	NEW RATED WALL - NEW FRAMED WALL
	NEW INTERIOR WALL

	EXHAUST FAN
	WALL CAP FOR VENTING
	DROPPED CEILING FOR SERVICES
	BULKHEAD

GENERAL NOTES:

1. WOOD PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION
2. WINDOW RE-INSTALL FOR REPAIRS TO SILL AND FRAME.
3. INSTALL INSULATION TO WALL THICKNESS AROUND WINDOWS AND IN DKA WALLS WHERE APPROPRIATE.

SHEET TITLE
TEMPLE RESIDENCE RESTORATION
RENO PLANS

SCALE AS NOTED
DATE PLOTTED NOV 07, 2016
DRAWN BY

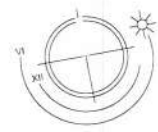
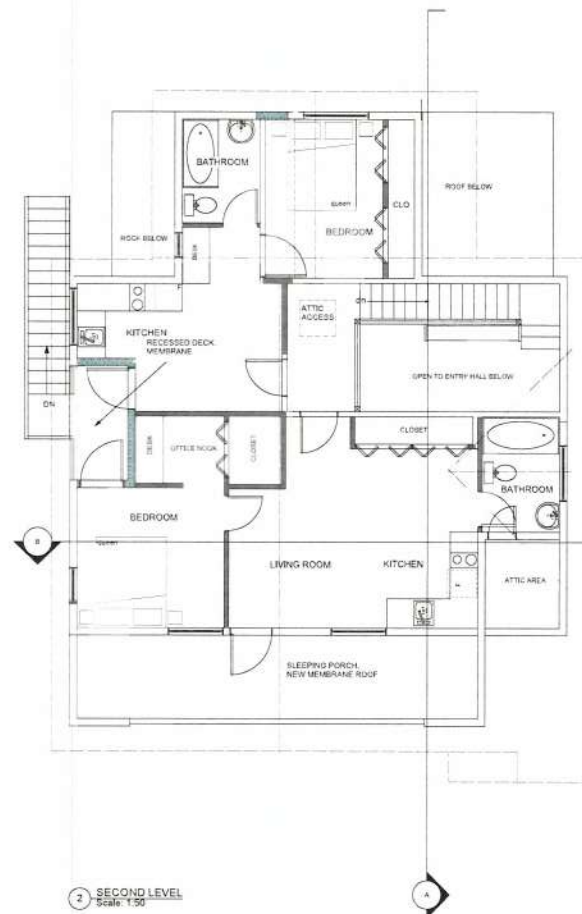
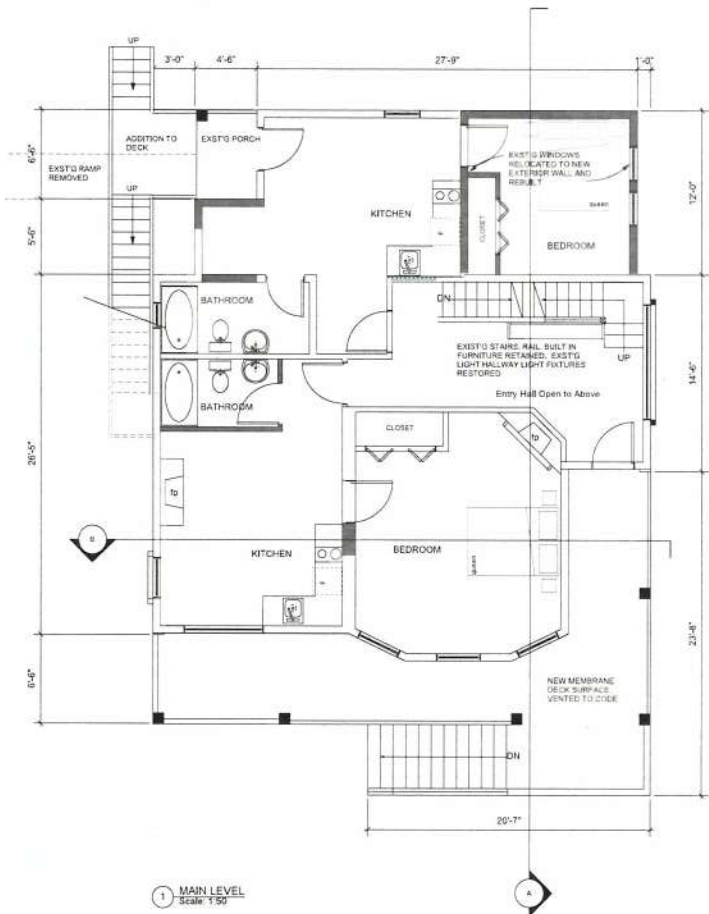
T.A4.0

COMMENTS	
1. MAP / REVISION SUBMISSION	DATE: 01/10
2. REV. MAP / REVISION SUBMISSION	DATE: 01/10
3. REV. AVERAGE GRADE CALC	DATE: 01/10
4. REV. GATE AND GARAGE DOOR	DATE: 01/10
5. REV. AS PER ADP COMMENTS	DATE: 01/10

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE
**TEMPLE RESIDENCE
RESTORATION**
RENO PLANS

TITLE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED NOV 07, 2016	
DRAWN BY	T.A.4.1



RENOVATION LEGEND & GENERAL NOTES	
	EXISTING WALLS
	EXISTING WALLS - STRIPPED PLASTER WITH INSULATION
	EXISTING WALLS - STRIPPED PLASTER WITH FRAMING
	EXISTING WALLS - PLASTER WITH FIBRE GLASS INSULATION TO R/S
	NEW CONCRETE FOUNDATION WALLS
	NEW RATED WALL - EXISTING STUDS
	NEW RATED WALL - NEW FRAMED WALL
	NEW INTERIOR WALL
	EXHAUST FAN
	WALL CAP / VENTING
	DROPPED CEILING FOR SERVICES
	BULKHEAD

GENERAL NOTES

1. WOOD PANEL DOORS TO BE REINSTALLED AS PER ARCHITECT'S INSTRUCTION.
2. WINDOW REPAIRS: SEE REPAIRS TO WINDOW AND FRAME. INSTALL INSULATION TO WALL THICKNESS AROUND WINDOWS AND IN STAIR WALLS WHERE APPROPRIATE.

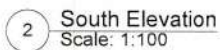
office 250 382-3023 fax 250 382-0412
email: info@knightsoftware.ca

MOUNT ST. ANGELA
Senior Living. Redefined.

SCALE	JOB No.
AS NOTED	1124 - 1410
DATE PLOTTED	
NOV 07, 2016	
DRAWN BY	T.A5.0



3. FIBERGLASS SHINGLE ROOF
2. RE AND RE-EXISTING CEDAR WALL SHINGLES PAINTED
3. RE AND RE-EXISTING TRIM PAINTED
4. REPAIR EXISTING WOOD FRAME WINDOWS AS REQUIRED REPAINT
5. CHIMNEYS RECONSTRUCTED
6. NEW ALU GUTTERS C/W ROUND PWS
7. NEW CEDAR SHINGLES PAINTED TO MATCH EXISTING RESIDENCE
8. NEW WOOD FRAME THERMO GL WINDOWS PAINTED
9. METAL FLASHING BAKED ENAMEL FINISH
10. ALUMINUM RAINING SYSTEM WALL GLAZED PANELS
11. STEEL FIRE ESCAPE WITH METAL MESH GUARD
12. NEW STEEL RAIL TO MEET HEIGHT OF 42"



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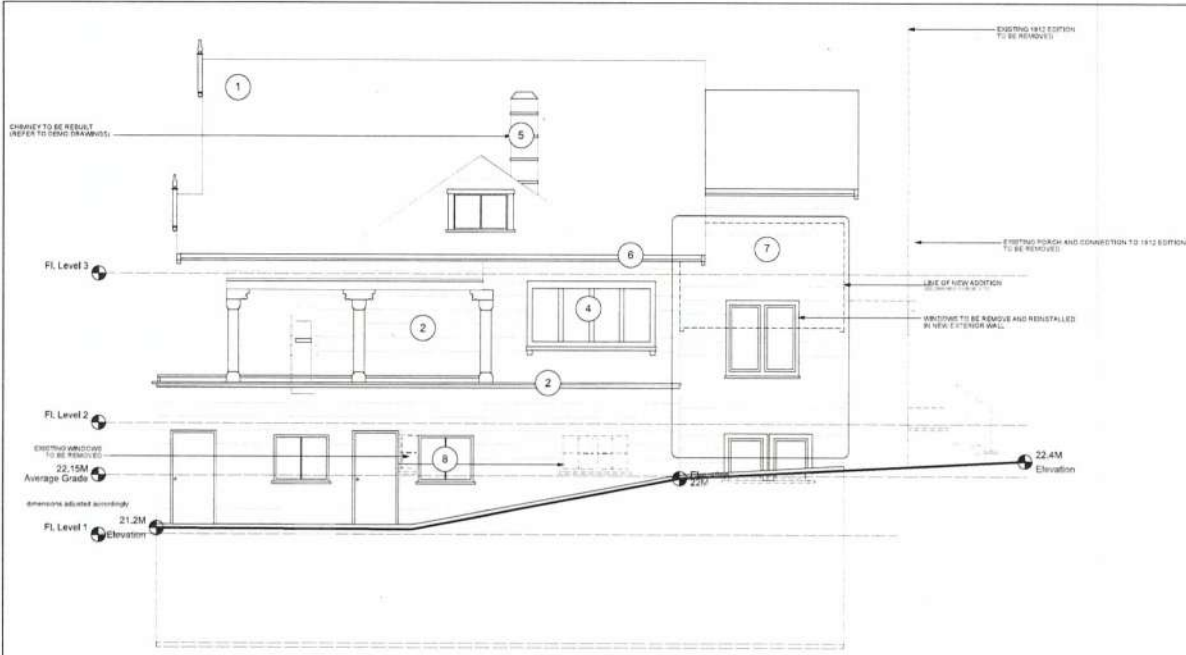
COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP REZONING SUBMISSION	2016.04.10	
2.	REV. HAP REZONING SUBMISSION	2016.04.10	
3.	REV. AVENUE GRADE CALL	2016.04.10	
4.	REV. GATE AND GARAGE DOOR	2016.04.10	
5.	REV. AS PER ADP COMMENTS	2016.04.10	

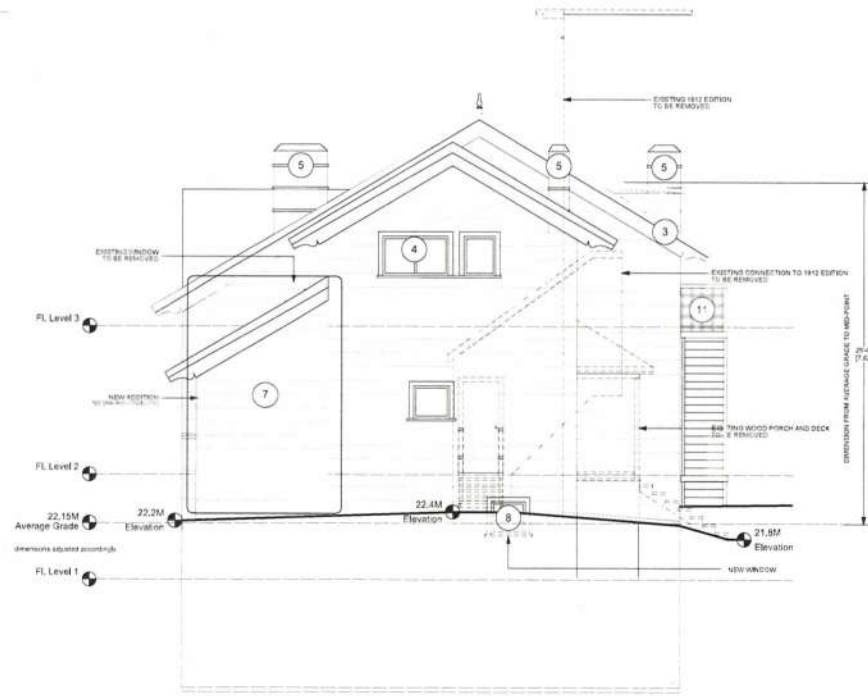
MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE **TEMPLE RESIDENCE RESTORATION ELEVATIONS**

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED NOV 07, 2016	
DRAWN BY	T.A5.1



1 East Elevation
Scale: 1:100



2 North Elevation
Scale: 1:100

FINISH SCHEDULE

SCOPE OF EXTERIOR RESTORATION WORK

1. FIBREGLASS SHINGLE ROOF
2. RE AND RE-EXISTING CEDAR WALL SHINGLES PAINTED
3. RE AND RE-WOOD TRIM PAINTED
4. REPAIR EXISTING WOOD FRAME WINDOWS AS REQUIRED REPAINT
5. CHIMNEYS RECONSTRUCTED
6. NEW ALU GUTTERS C/W ROUNDED RM.
7. NEW CEDAR SHINGLES PAINTED TO MATCH EXISTING RESIDENCE
8. NEW WOOD FRAME THERMO GL WINDOWS PAINTED
9. METAL FLASHING, BAKED ENAMEL FINISH
10. ALUMINUM RAILING SYSTEM W/ GLAZED PANELS
11. STEEL FIRE ESCAPE WITH METAL MESH GUARD
12. NEW STEEL RAIL TO MEET HEIGHT OF 42"

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email: info@keycecco.com.ca

COMMENTS

No.	REVISION	DATE	BY
1.	ASP. REZONING SUBMISSION	2016.07.02	
2.	REV. HAP. REZONING SUBMISSION	2016.08.16	
3.	REV. AVERAGE GRADE CALC.	2016.10.04	
4.	REV. GATE AND GARAGE DOOR	2016.11.13	
5.	REV. AS PER ADP COMMENTS	2016.11.13	

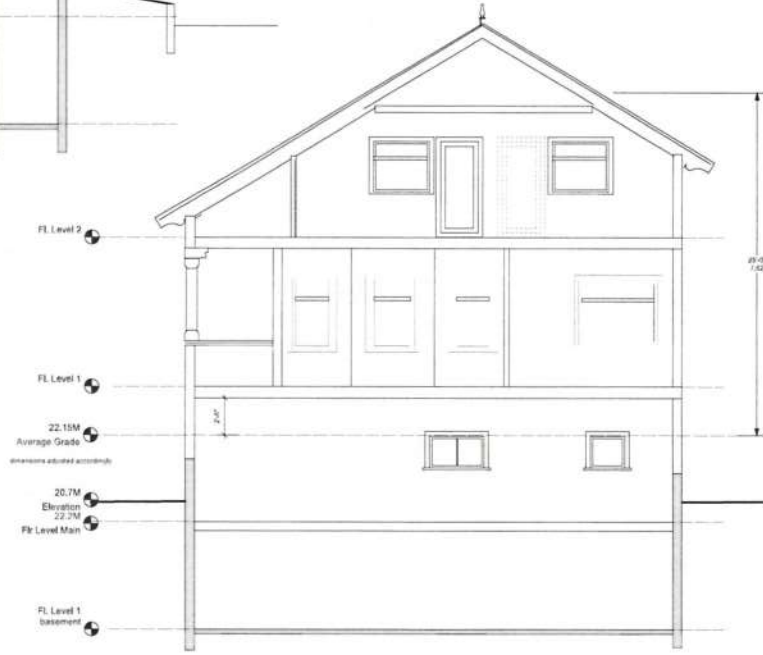
MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE TEMPLE RESIDENCE RESTORATION SECTIONS

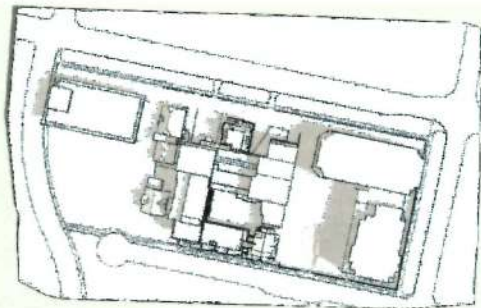
SCALE AS NOTED	JOB No. 1124 - 1410
DATE PLOTTED: NOV 07, 2016	T.A6.0
DRAWN BY:	



1 Section - A
Scale: 1/50

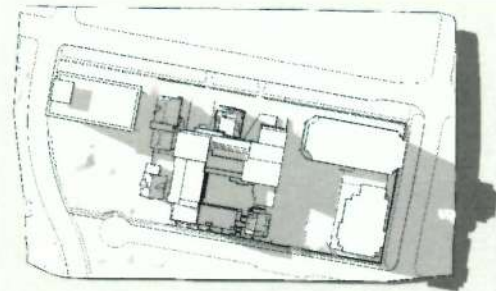


2 Section - B
Scale: 1/50



Morning
Summer Solstice

Noon



Evening

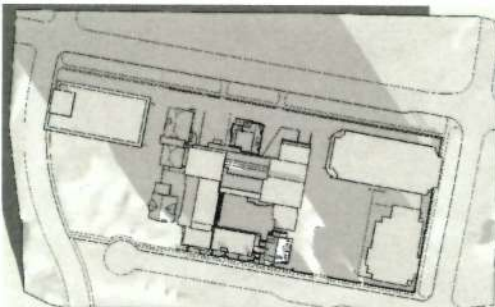


Morning
Equinox

Noon

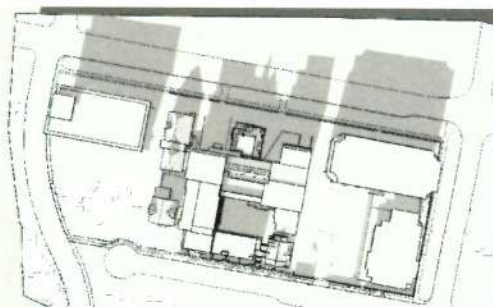


Evening

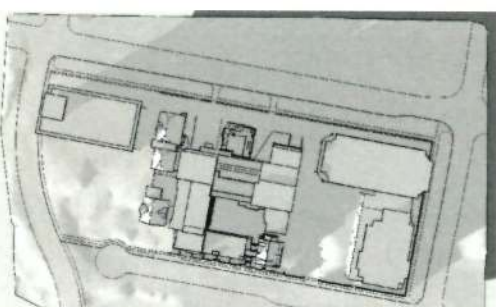


Morning
Winter Solstice

Noon



Evening



KEAY CECOCO
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COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP / RECORDING SUBMISSION	SEP 2016
2.	REV. HAP / RECORDING SUBMISSION	SEP 2016
3.	REV. AVERAGE GRADE CALC.	NOV 2016
4.	REV. GATE AND GARAGE DOOR	NOV 2016
5.	REV. AS PER ACP COMMENTS	NOV 2016

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE
SHADOW STUDY

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED NOV 07, 2016	A 7.0
DRAWN BY	



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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / REVISION SUBMISSION	2016-06-15	
2.	REV. HAP / REVISION SUBMISSION	2016-06-15	
3.	REV. HAP / REVISION SUBMISSION	2016-06-15	
4.	REV. GATE AND GARAGE DOOR	2016-06-15	
5.	REV. vs per ADP comments	2016-06-15	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

Perspectives

SCALE

AS NOTED

DATE PLOTTED

Nov 07, 2016

DESIGNED BY

JOB NO.

11111 - 1410

A 7.1



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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / REZONING SUBMITTAL	NOV 02 2016	
2.	REDU. HAP / REZONING SUBMITTAL	NOV 02 2016	
3.	NEW ALUMINUM GRABE CALC.	NOV 02 2016	
4.	REDU. GATE AND GARAGE DOOR	NOV 02 2016	
5.	REDU. 65 per ADP comments	NOV 02 2016	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

Perspectives

SCALE
AS NOTED
DATE PLOTTED
Nov 07, 2016
DRAWN BY

JOS. W.
1124 - 1410

A 7.2



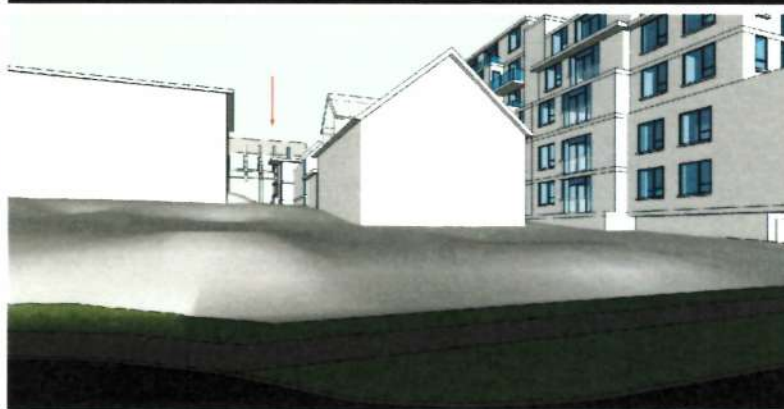
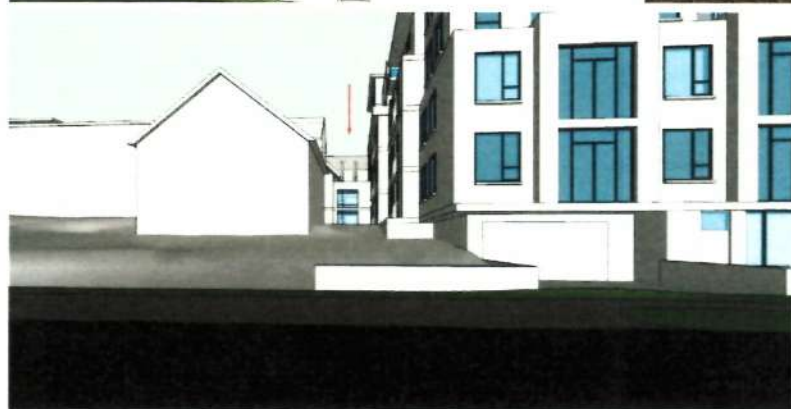
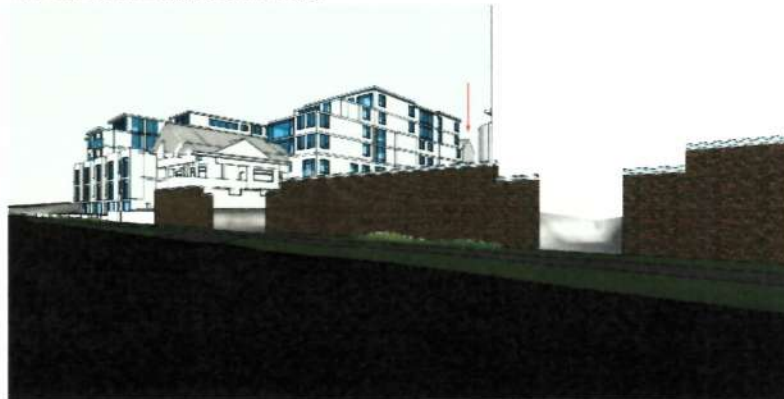
Limited view of cathedral tower behind existing residence

Limited view of cathedral tower through trees during fall season

Roof line of cathedral visible behind Chelsea building during fall season

Current Conditions: McClure St. views looking north toward Christ Church Cathedral.
(Photos taken from the south sidewalk on McClure St.)

Roof line of cathedral remains visible behind Chelsea building



Roof line of cathedral remains visible during fall season

Roof line of cathedral remains visible during fall season

New Conditions: Views of Christ Church Cathedral will be maintained

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COMMENTS

NO.	DATE	BY	REV.
1.	NOV 07 2016	KEAY	1.0
2.	NOV 07 2016	KEAY	2.0
3.	NOV 07 2016	KEAY	3.0
4.	NOV 07 2016	KEAY	4.0
5.	NOV 07 2016	KEAY	5.0

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
Perspectives-Public views
of Christ Church Cathedral
from McClure St.

SCALE
AS NOTED
DATE PLOTTED
Nov 07, 2016
DRAWN BY

A 7.3



View at the corner of Suttlej St. and Vancouver St. looking north toward Christ Church Cathedral during fall season. Proposed project does not impinge on current view.



View at the corner of Collinson St. and Vancouver St. looking north toward Christ Church Cathedral during fall season. Roof and tower are visible here. The roof line of the proposed project does not impinge on current view.



View at the corner of Humboldt St. and Vancouver St. looking north toward Christ Church Cathedral, no view from this location.



View at the corner of Quadra St. and Burdett Ave. looking south toward proposed project during fall season.



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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	MAP PRELIMINARY SUBMISSION	NOV 10/16	
2.	RED MAP PRELIMINARY SUBMISSION	NOV 10/16	
3.	RED ALTERNATE DRAFT PLAN	NOV 10/16	
4.	RED SITE AND GARAGE DOOR	NOV 10/16	
5.	RED as per RCF comments	NOV 10/16	

MOUNT ST. ANGELA

Senior Living. Redefined.

SHEET TITLE
Perspectives-Public views
of Christ Church Cathedral

SCALE	208 mm
AS NOTED	1:124 = 1:410
DATE PLOTTED	Nov 07 2016
DRAWN BY	A 7.4



View from Burdett Ave.

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COMMENTS		
NO.	DATE	BY
1.	HAP / REZONING SUBMISSION	11/14/16
2.	REV. HAP / REZONING SUBMISSION	11/14/16
3.	REV. ALTERNATE GRADE CALC	11/14/16
4.	REV. GATE AND GARAGE DOOR	11/14/16
5.	REV. AS PER ADP COMMENTS	11/14/16

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE	
Views	
SCALE	1/8" = 1'
AS NOTED	1/16" = 1/4"
DATE PLOTTED	Nov 07, 2016
DRAWN BY	A 7.5



View along Burdett Ave.

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COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP / REZONING SUBMISSION	2016-04-12
2.	REV. HAP / REZONING SUBMISSION	2016-05-12
3.	REV. ALERAGE GRACE CALL	2016-05-12
4.	REV. GATE AND GARAGE DOOR	2016-06-12
5.	REV. as per ACP comments	2016-07-12

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE	
Views	
SCALE	AS NOTED
DATE PLOTTED	Nov 07, 2016
DRAWN BY	A 7.6



View along McClure St.

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Comments		
No.	Description	Date
1.	NAP / RECORDING SUBMISSION	2016-04-15
2.	REV. NAP / RECORDING SUBMISSION	2016-05-12
3.	REV. ALTERNATE BRIDGE TALL	2016-05-12
4.	REV. GATE AND PARKING DOOR	2016-05-12
5.	REV. as per ACP comments	2016-05-12

MOUNT ST. ANGELA
Senior Living. Redefined.

Sheet Title	
Views	
SCALE	AS NOTED
DATE PLOTTED	Nov 07, 2016
DRAWN BY	A 7.7



View along McClure St.

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vRev 2.0.0 - 0000
email: key@keycecco.com

COMMENTS		
No.	Description	Date
1.	HAP / REZONING SUBMISSION	05/04/16
2.	REV. HAP / REZONING SUBMISSION	04/05/16
3.	REV. AVERAGE GRADE CALC.	04/05/16
4.	REV. GATE AND GARAGE DOOR	03/04/16
5.	REV. AS per ACP comments	02/01/16

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE	
Views	
SCALE: AS NOTED	JOB No. 1124 - 1410
DATE PLOTTED Nov. 07, 2016	A 7.8
DRAWN BY	



Courtyard entrance off Burdett Ave.

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COMMENTS

NO.	DESCRIPTION	DATE	BY
1.	HAP / REZONING SUBMISSION	2016-06-01	
2.	REV. HAP / REZONING SUBMISSION	2016-06-01	
3.	REV. AVENUE GRADE CALC.	2016-06-01	
4.	REV. GATE AND GARAGE DOOR	2016-06-01	
5.	REV. as per ADP comments	2016-06-01	

MOUNT ST. ANGELA

Senior Living, Redefined.

SHEET TITLE

Views

SCALE	JOB NO.
AS NOTED	1124 - 1410
DATE PLOTTED	A 7.9
Nov 07, 2016	
DRAWN BY	



Entrance View

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COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP / PRELIMINARY SUBMISSION	NOV 06/16
2.	REV. HAP / PRELIMINARY SUBMISSION	APR 20/17
3.	REV. ALTERNATE GRACE (A/C)	APR 18/17
4.	REV. GATE AND GARAGE DOOR	APR 18/17
5.	REV. as per ACP comments	NOV 17/16

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE	
Views	
SCALE	JOB NO.
AS NOTED	1104 - 1410
DATE PLOTTED	A 7.10
NOV 07, 2016	
DRAWN BY	



Entrance Lobby

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COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP / REVISION SUBMISSION	NOV 01/18
2.	REV. HAP / REVISION SUBMISSION	NOV 01/18
3.	REV. AVERAGE GRADE CALC	NOV 01/18
4.	REV. GATE AND GARAGE DOOR	NOV 01/18
5.	REV. AS PER ACP COMMENTS	NOV 01/18

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE	
Views	
SCALE: AS NOTED	1/8"=1'-0"
DATE PLOTTED: NOV 07, 2018	A 7.11
DRAWN BY:	

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1000 EAST BROAD STREET, 4TH FLOOR, NEW YORK, NY 10002
OFFICE 212 333-3820
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COMMENTS

NO.	DESCRIPTION	DATE	BY
1	HAP / RECORDING SUBMISSION	NOV 16/16	
2	REV. HAP / RECORDING SUBMISSION	NOV 21/16	
3	REV. AVIAGE GRADE CALC	NOV 16/16	
4	REV. GATE AND GARAGE DOOR	JULY 2/17	
5	REV. as per ACP comments	NOV 17/16	



Atrium View

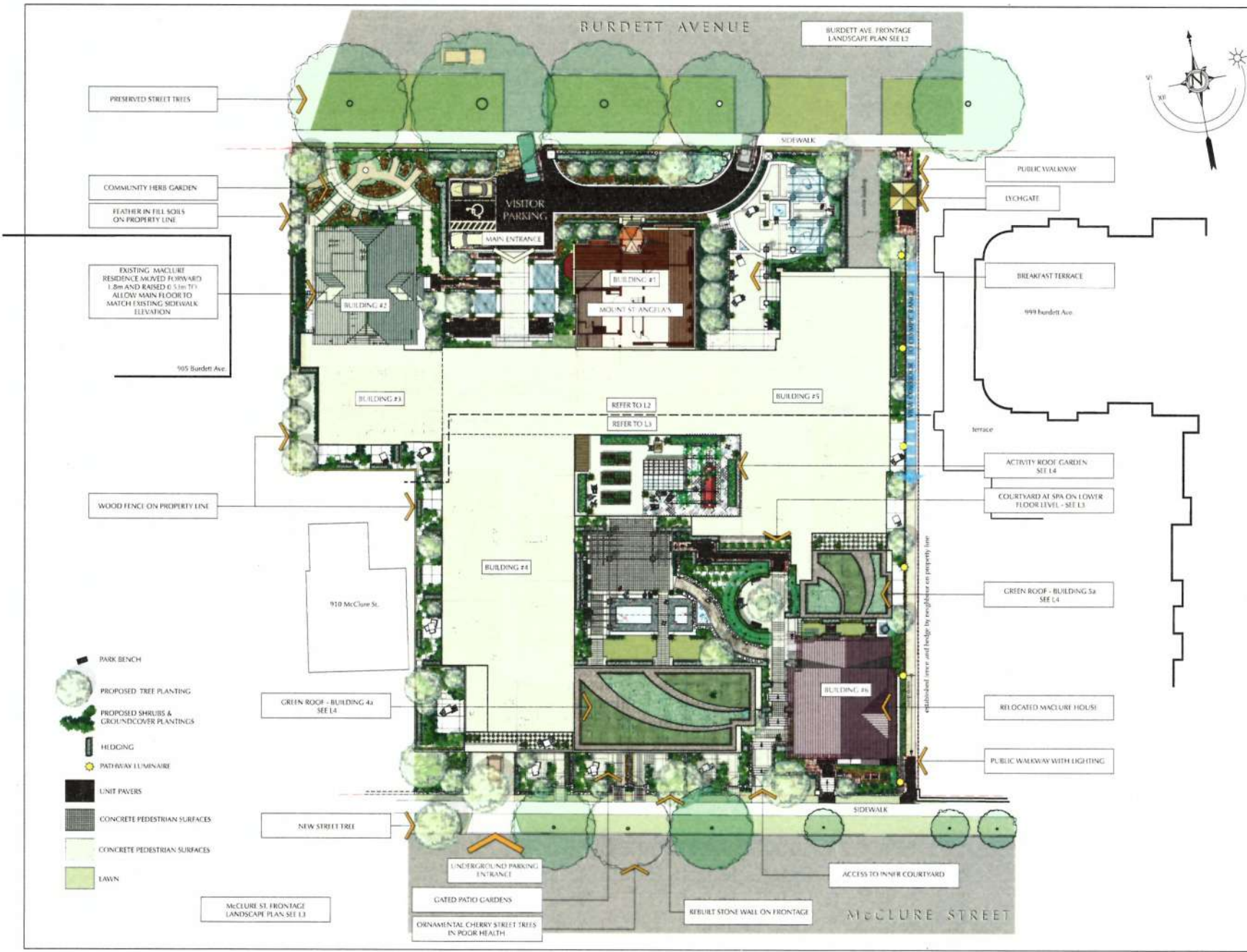
MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

Views

SCALE	AS NOTED
DATE PLOTTED	NOV 07, 2016
DESIGNED BY	

A 7.12



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design@smallandrossell.com
www.smallandrossell.com

MOUNT ST. ANGELA

Senior Living, Redefined.

SHEET TITLE
LANDSCAPE PLAN (OVERALL)

SCALE	1:200	DATE
DATE PLOTTED	Oct 31, 2016	
DESIGNED BY	2/5	
		L1



KEYE CECCO
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1124 Port Street Victoria, BC Canada V8W 2H8
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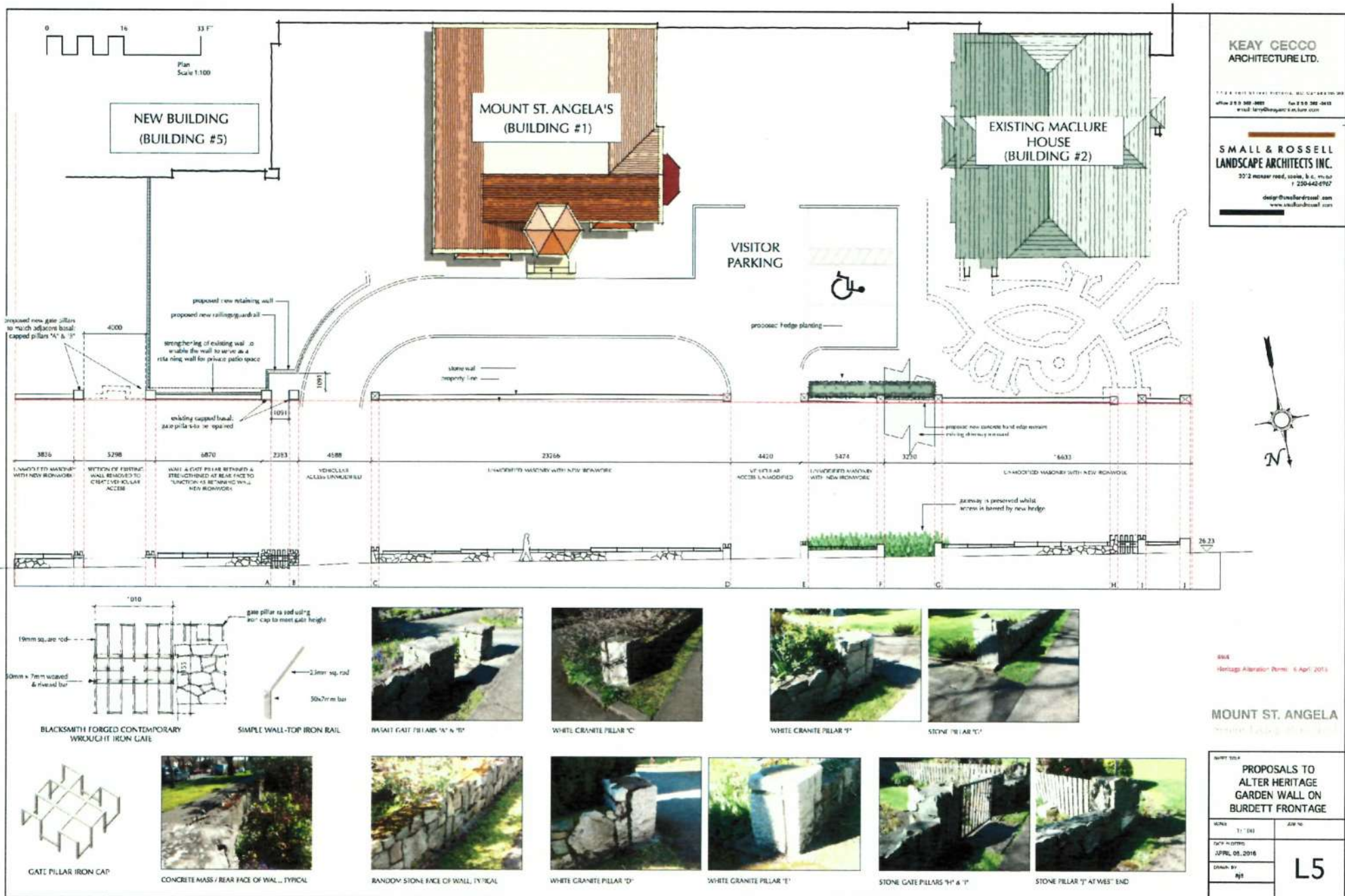
SMALL & ROSSELL
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MOUNT ST. ANGELA
Senior Living, Redefined.

SHEET TITLE
**LANDSCAPE
PLAN
LOWER FLOOR
LEVELS**

SCALE 1:100	DATE OCT 31, 2016
DESIGNED BY A/S	L3
DATE PLOTTED OCT 31, 2016	

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SMALL & ROSSELL
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8816
Heritage Alteration Permit: 6 April 2015

MOUNT ST. ANGELA
Heritage Alteration Permit

PROPOSALS TO ALTER HERITAGE GARDEN WALL ON BURDETT FRONTAGE	
SCALE: 1" = 10'	DATE: JULY 10
DATE: APPROVED APRIL 05, 2016	L5
DRAWN BY: RJS	

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Burdett Avenue

No 005
4 storey apartment building

No 011 & 013

No 023
Mt Saint Angela

No 029

No 010

No 034

No 014

McClure Street

MOUNT ST. ANGELA TREE RETENTION / REMOVAL SCHEDULE					
TREE ID	SPECIES	DBH IN METRES	CANOPY IN METRES	REMOVAL / RETAIN	REMARKS
TREE #1	DOUGLAS FIR	0.20	6.0	REMOVE	
TREE #2	TAXUS SPP. VARI	MULTI 0.4	5.0	REMOVE	ONE BURN
TREE #3	CHERRY	0.4	5.0	REMOVE	GOOD
TREE #4	MAPLE	0.1	5.0	REMOVE	ST. F. BEHOLD
TREE #5	HAWTHORNE	0.30	5.0	REMOVE	SHADE PLANT
TREE #6	PURPLE PLUM	0.30	5.0	REMOVE	
TREE #7	BIRCH	TWIN 0.18 & 0.1	4.0	REMOVE	
TREE #8	MAPLE	0.1	4.0	REMOVE	ST. F. BEHOLD
TREE #9	MAPLE	0.100	5.0	REMOVE	ST. F. BEHOLD
TREE #10	WALNUT	TWIN 0.1 X 0.1	6.0	REMOVE	ST. F. BEHOLD
TREE #11	PLUM	0.4	5.0	REMOVE	
TREE #12	PLUM	0.10	4.0	REMOVE	
TREE #13	PLUM	0.30	6.0	REMOVE	A. DECLINE
TREE #14	PLUM	0.10	5.0	REMOVE	
TREE #15	CHERRY	MULTI 0.5	4.0	REMOVE	REPLACEMENT
TREE #16	RHODODENDRON	MULTI 0. X 0.1	5.0	REMOVE	
TREE #17	PLUM	0.40	4.0	REMOVE	
TREE #18	CHERRY	MULTI 0.15 X 0.4	5.0	REMOVE	
TREE #19	PLUM	0.15	2.5	REMOVE	
TREE #20	PLUM	0.15	2.5	REMOVE	
TREE #21	CYPRESS	MULTI 0.1	3.0	REMOVE	
MOUNTAIN TREES					
TREE #22	CHERRY	0.4	6.0	REMOVE	POOR HEALTH, REPLACED TO MOUNTAIN SLOPES
TREE #23	STANLEY HOP WHITEWAX	0.10	5.0	REMOVE	
TREE #24	CHERRY	0.4	6.0	REMOVE	POOR HEALTH, REPLACED TO MOUNTAIN SLOPES
TREE #25	CHERRY	0.2	6.0	REMOVE	POOR HEALTH, REPLACED TO MOUNTAIN SLOPES
MOUNTAIN TREES					
TREE #26	MAPLE	0.8	7.0	REMOVE	
TREE #27	MAPLE	1.3	21.2	REMOVE	
TREE #28	MAPLE	0.20	21.2	REMOVE	
TREE #29	MAPLE	0.20	1.0	REMOVE	
TREE #30	MAPLE	0.10	2.5	REMOVE	
TREE #31	MAPLE	0.10	2.5	REMOVE	
TREE #32	MAPLE	0.10	2.5	REMOVE	

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MOUNT ST. ANGELA
Senior Living - Richmond

WEEK
Message Attention / Remo: 6 April 2016

SCALE 1:200
DATE PREPARED
ARCH 05, 2016
DRAWN BY
CBF

L6

October 27, 2016

Charlotte Wain
City of Victoria
1 Centennial Square
Victoria, BC, V8W 1P6

Re: Mount St Angela Seniors Development Land Lift and Amenity Contribution Analysis

G.P. Rollo & Associates (GPRA) has been retained by the City of Victoria to complete land lift and amenity contribution analysis for the proposed rezoning of 913-929 Burdett Avenue and 914-924 McClure Street Victoria (the Site) from CD-10 Zone, Mount St. Angela District to a new zone with an increase in density from 1.3:1 FSR multiple dwelling to a proposed density of 1.96:1 FSR seniors residential project on the Site. This lift is expected to finance the costs of rehabilitation, restoration and seismic upgrading of the heritage buildings on the Site.

The analysis consisted of preparation of residual land value analyses which determines the maximum value that a developer could afford to pay for the site if developed under current zoning at 1.3:1 FSR as well as the land value supported by the proposed change in density to the proposed 1.96:1 FSR. GPRA used standard developer proformas for each case to model the economics of a seniors development project assuming it already had the zoning for a density of 1.96:1 FSR. The 'Lift' is then calculated as the difference in residual land values under both current zoning and the proposed new zoning.

METHODOLOGY & ASSUMPTIONS

The Site is 5,429 square metres in area and can be developed under current zoning under the CD-10 zone at a density up to 1.3:1 FSR with 7,058 square metres in gross floor area of residential (net saleable/rentable area of 6,000 square metres). Parking at the base density would be in an underground parking structure. Under the proposed new zoning the additional 0.66 FSR would add approximately 3,583 square metres of gross area to the building, with a proposed mix of rental independent and assisted living units for seniors.

The analyses are created using a standard developer proforma wherein estimates of revenues and costs are inputs and the remaining variable is the desired output. In typical proformas this output is usually profit, following a revenues minus costs equals profit formula.

For a residual land valuation, however, an assumption on developer's return needs to be included in order to leave the land value as the variable to solve for. For the analyses GPRA has determined the residual value for the residential strata based on the developer achieving an acceptable profit of 15% on total strata project costs (calculated as a representative portion of overall project costs for the proposed development). The residual values are the maximum supported land value a developer could pay for the site (under the density and conditions tested) while achieving an acceptable return for their project.

It is often the case that a developer cannot achieve a profit on the sale of a rental or commercial project immediately after completion and instead takes a long term perspective looking at value as an ongoing income stream with a potential disposition at some point in the future. As such, for the residual value of the project utilized for seniors rental GPRA has instead looked at the developer achieving an acceptable return on their investment measured as an Internal Rate of Return (IRR) and the maximum supported land value that would allow a developer to achieve a target IRR.

The residual land values determined from this analysis of the property developed as proposed under the rezoned density of 1.96:1 FSR as seniors rental is then compared to the residual land value of the Site if developed under current zoning at 1.3:1 FSR as residential strata to establish a 'lift' in value that arises from the change in density. This lift in value is the total potential monies that are available for public amenities or other public works not considered as part of the analysis. GPRA have made allowances for streetscape and public realm improvements that would typically be incurred through development in both sets of analysis. Any additional improvements that would be required only from the proposed rezoning and not from development under current zoning would impact the lift and would need to be identified, priced, and included in a revised analysis.

Typically there is some sharing of the lift value between the Municipality/District and the developer, but the percentage shared varies by community and by project. It is GPRA's understanding that in compliance with current policy, the City has determined that they will seek 75% of the lift for amenities.


GPRA determined strata revenues used in the analyses from a review of recent sales and offerings for sale of recently developed apartments of wood frame and of concrete construction within roughly 10 km of the Site, with a focus on projects that were deemed comparable to that which would likely be developed on the Site under current planning. Seniors rental rates were derived from a review of seniors developments offering a similar scope of supportive services in the Victoria region. Project costs were derived from sources deemed reliable, including information readily available from quantity surveyors on average hard construction costs in the City. Development or soft costs have been drawn from industry standards, and from the City's sources. All other assumptions have been derived from a review of the market and from other sources deemed reliable by GPRA.

CONCLUSIONS & RECOMMENDATIONS

GPRA Estimates the lift from rezoning the Site from 1.3:1 FSR to 1.96:1 FSR with the uses discussed herein would be roughly \$3 million, with the City's 75% share totaling \$2.3 million.

However, as the purpose of this exercise is in part to determine whether the lift is sufficient to offset the cost of the heritage retention, it must be noted that the proponent has estimates for the refurbishment of the heritage building and seismic upgrades at a cost in excess of \$3 million, to as much as \$4.3 million. This would indicate that there is still a substantial shortfall between the increase in land value from the additional density and the cost of the heritage retention. As such, GPRA does not recommend the City seek any amenity contribution from the rezoning of the Site as proposed.

I trust that our work will be of use in the City's decision on the rezoning of 913-929 Burdett Avenue and 914-924 McClure Street Victoria. I am available to discuss this further at your convenience.



Gerry Mulholland | Vice President
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Heritage Advisory Panel Report

For the Meeting of July 12, 2016

To: Heritage Advisory Panel **Date:** July 5, 2016

From: Adrian Brett, Acting Senior Heritage Planner

Subject: Heritage Alteration Permit Application No.000214 for 913-929 Burdett Avenue and 914-924 McClure Street

RECOMMENDATION

That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved.

EXECUTIVE SUMMARY

The purpose of this report is to present the Heritage Advisory Panel with information, analysis and recommendations for a Heritage Alteration Permit Application for the property located at 913-929 Burdett Avenue and 914-924 McClure Street. The Application is being considered concurrent with Rezoning Application No. 00466 to construct a 134 unit senior's residence to the rear and the side of the existing heritage-designated Mount St. Angela building. Existing heritage-designated houses at 911-917 Burdett Avenue (Carteff residence) and at 924 McClure Street (Temple residence) are also proposed to be incorporated into the project.

The following points were considered in assessing this Application:

- The Application is consistent with the Urban Residential designation in the *Official Community Plan* (OCP) which envisions multi-unit residential buildings up to approximately six storeys.
- The Application is generally consistent with the *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development*.
- The Application is consistent with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

BACKGROUND

Description of Proposal

The proposal is to to construct a 134 unit senior's residence to the rear and the side of the existing heritage-designated Mount St. Angela building at 913 Burdett Avenue. Existing heritage-designated houses at 911-917 Burdett Avenue (Carteff Residence) and at 924 McClure Street (Temple residence) are to be incorporated into the project. It is proposed to remove the

existing 1912 addition at the rear of the 1866 Angela College building, the rear annex, the porte-cochere and the third floor link. Portions of the existing north brick wall of the 1912 addition are proposed for retention as features in the interior atrium/galleria containing the main dining area for the residents. The exterior of Angela College would be restored in accordance with the 2007 Conservation Plan.

The Cartreff residence at 911-917 Burdett Avenue will be incorporated as part of the complex through a rear addition linking it to the main building. The residence will be raised by 18 inches and placed on a new foundation which will return it to its original relationship to the street and sidewalk. The brick chimneys will be measured during deconstruction to form an accurate record, which will then be used as a guide when they are rebuilt using the existing brick.

The Temple residence at 924 McClure Street is proposed for relocation to the southeast end of the site to allow for a parking garage entrance. The interior will be reconfigured to contain seven suites, but will retain the designated interior features. The exterior finishes will be restored. New exterior window openings are proposed on all elevations to accommodate the new interior layout. A new metal fire escape is proposed for the west elevation. The existing brick chimneys will be reconstructed.

A Conservation Plan for the site was prepared by a heritage consultant in March 2007 as part of a previous Rezoning Application. The consultant has reviewed the previous plan and provided an updated review of the plan in the context of the current proposed development (see attached letter, dated March 18, 2016).

ANALYSIS

Official Community Plan

The Application is supported by *Official Community Plan* policies which state:

- 8.49 Continue to support new additions that conserve and enhance heritage property, as consistent with the national *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Development Permit Area and Design Guidelines

Multi-Unit Residential, Commercial and Industrial Guidelines

The subject property is within Development Permit Area (DPA) 16 of the *Official Community Plan* which seeks to integrate commercial, industrial and multi-unit residential buildings in a manner that is complementary to the place character of the neighbourhood including heritage character. Enhancing the character of the streetscape through high quality architecture, landscape and urban design, as well as creating human-scaled design, are also key objectives of this DPA.

The *Design Guidelines for Multi-Unit Residential, Commercial and Industrial* are applicable and the proposal generally complies with the Guidelines as follows:

Height of Building in Relation to Context

The height of the rooftop of the proposed main building is 20.25m as measured from the site's average grade. This is approximately 1.5m higher than the adjacent condominium project to the

east on Burdett Avenue known as the Chelsea so this is considered a reasonable fit with that context. The lower height of the Cartreff residence provides a reasonable transition in scale to the four-storey apartment building to the west along Burdett Avenue.

On McClure Street, there is a single family dwelling (used as a legal duplex) immediately to the west at 910 McClure Street, followed by a three and a half storey heritage-registered building known as Abigail's Hotel at 906 McClure Street. The bulk of the west wing of the proposed development does impact this house in terms of its height. Although the existing three-storey 1912 rear wing of Mount St. Angela does currently affect the adjacent lot in this location, the proposed development will exacerbate the impact of massing by doubling the height in this location from three to six storeys. Staff have expressed concern with this elevation and the applicant has responded by providing a setback of approximately 2m on this corner of the building at levels five and six in recognition of this relationship.

Relationship to the Street

The proposed development respects the dense vegetation and tree canopy of Burdett Avenue by setting back the new portions of the building and maintaining the existing spatial relationships of the heritage buildings with the street. The landscape treatment of the Burdett Avenue frontage and retention of the stone wall further reinforces this relationship. On McClure Street, the project proposes the stone wall be retained with modifications for vehicle and pedestrian entrances as well as ground-oriented units on the south wing and the relocated Temple residence enhancing the relationship to the street.

Human Scale, Massing, Height and Architectural Features

The building massing is visually broken down by utilizing varying heights, different materials (stone, brick and glazed curtain wall), horizontal overhangs, and stepping back of upper floors.

The change in grade from Burdett Avenue results in the building being perceived as a seven-storey building when viewed from McClure Street. However, the building is technically a six-storey building (consistent with the OCP) since the lowest storey meets the definition of basement under the *Zoning Regulation Bylaw* and is excluded from the storey calculations. The mechanical penthouse is also excluded from the storey calculation as it does not contain a roof. The proposed three-storey portion on the south wing contains ground oriented units, relates well to the relocated Temple residence and provides a good transition to the adjacent Chelsea building.

The upper storey setbacks mentioned previously help to mitigate the perception of the height; however, as noted earlier, this portion of the building although technically six storeys, reads as seven storeys from McClure Street.

Transition

The plan encourages new development to be compatible through sensitive design. A portion of the underground parkade structure projects above grade on the west of the site, which faces the adjacent building at 910 McClure Street. However, through design revisions, the proposal has created a more sensitive transition to the adjacent lot by aligning the parkade structure with the building above. This area is proposed to be landscaped with seating, paving, plants and shrubs as noted on the landscape plan.

Open Spaces and Landscaping

The open spaces of the project are enhanced through the landscape treatment, including ornamental ponds, glazed pergolas, a community herb garden and landscaped courtyards. The roofscape is enhanced by the proposed green roofs on the south wing on McClure Street and a portion of the east wing. Although staff have raised concerns regarding the impact of the west elevation with the adjacent building at 910 McClure Street, this portion of the proposal would be extensively landscaped with trees, shrubs and seating areas, which will assist in softening the building edge on this elevation.

Heritage Policy

The 2007 Conservation Plan by Donald Luxton and Associates provides a comprehensive plan for the conservation and rehabilitation of the heritage buildings on the site. This latest development plan has been reviewed by the consultant and found to be in conformance with the original Conservation Plan (see attached letter, dated March 18, 2016).

The proposal includes the demolition of the rear 1912 addition to Angela College to permit the new development on the site. This rear wing was previously approved for removal as part of the rezoning for the site approved by Council on February 14, 2008. Portions of the west brick exterior wall would be retained as features in the interior atrium/galleria containing the main dining area for the senior's residence.

The most significant aspect of the Application is the design of the new building and its relationship to the existing heritage buildings on the site. The concept is for a three-storey glazed curtain wall which will link the south wall of the 1866 Angela College building to the south end of a new addition to the Cartreff residence at 923 Burdett Avenue. It will also link to a five-storey wing on the east end of the complex, thereby providing a transparent, neutral backdrop to the prominent heritage buildings. The siting will also retain the existing spatial relationship between Angela College and the Cartreff residence in a landscaped setting respecting the character of the 900 block of Burdett Avenue which has large trees on the boulevard and adjacent properties. The front elevation of the east wing is designed with a combination of a brick base, Tyndall stone on the upper floors, and glazed window walls to relate to the materials of Angela College. The massing of the project is concentrated in the centre of the block to allow lower portions adjacent to the two or three-storey heritage buildings.

Relevant guidelines from the *Standards and Guidelines for the Conservation of Historic Places in Canada* include the following:

4.3.1 - Exterior Form

Recommended:

- 6 Retaining the exterior form by maintaining proportions, colour, and massing and the spatial relationships with adjacent buildings.
- 10 Reinstating the exterior form by recreating missing, or revealing obscured parts to re-establish character-defining proportions and massing.
- 13 Selecting the location of a new addition that ensures that the heritage value of the place is maintained.
- 14 Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- 15 Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

With respect to the restoration approach to Angela College:

- 25 Removing a non character-defining feature of the building's exterior form, such as an addition built after the restoration period.

The concept respects the above recommendations. The proposed new building complex links to the two heritage-designated buildings on Burdett Avenue through the rear elevation in both cases, thus minimizing the loss of historic features. The design of the new building repeats some of the primary materials of the original Angela College such as brick and stone, while still designed with a contemporary expression, thus providing a compatible but differentiated addition, preserving the historic character of the original.

The Temple residence has a number of existing windows and window openings which are clearly not original. The Application also proposes new window openings and new windows. It is recommended that the size, proportions and type of new window openings be reconsidered to be more reflective of the era and style of the house.

The changes proposed for the heritage-designated stone wall at the front of the property along Burdett Avenue are required by the new landscape plan, but all efforts should be made to conserve original materials and gateposts as far as possible.

OPTIONS

1. That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved.
2. That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit Application No. 000214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved with further amendments.
3. That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit Application No. 000214 for 913-929 Burdett Avenue and 914-924 McClure Street be declined.

CONCLUSION

Staff recommend that the overall concept of the Application, including the relocation of the heritage houses to allow a more efficient use of the site, has merit and that the concept of linking heritage structures by glazed additions has been successfully used in other jurisdictions. Careful attention to detail will be critical to success.

Respectfully submitted,

Adrian Brett
Acting Senior Heritage Planner
Development Services Division

List of Attachments

- Aerial Map
- Zoning Map
- Letter from John Keay, Keay Cecco Architecture Ltd., date stamped January 21, 2016
- Letter from Larry Cecco, Keay Cecco Architecture Ltd., date stamped February 12, 2016
- Conservation Plan, Donald Luxton and Associates, date stamped January 21, 2016
- Letter from Donald Luxton, date stamped March 18, 2016
- Plans, dated April 27, 2016.

**CITY OF VICTORIA
HERITAGE ADVISORY PANEL
MEETING MINUTES
July 12, 2016**

Present:	Richard Linzey, Chair John Dam Kelly Black Keri Briggs	Rick Goodacre Ken Johnson Hal Kalman Stuart Stark
Absent:	Chloe Fox Miller	
Guest:	Councillor Pamela Madoff	
Staff:	Adrian Brett, Acting Senior Heritage Planner Charlotte Wain, Senior Planner - Urban Design Lauren Martin, Heritage Secretary	

The Chair called the meeting to order at noon.

1. Approval of the Agenda

Moved

Seconded

Carried

2. Declaration of Conflict or Bias

- Ken Johnson declared a conflict and will recuse himself for item #5, 1202 Blanshard Street, as he did work on the cathedral recently and his son is currently working there.
- Keri Briggs declared a conflict and will recuse herself for item #6, 913-929 Burdett Avenue/914-924 McClure Street, as she has been working with the applicant regarding windows for the project.

3. Announcements

- Copies of the summer 2016 edition of *Preserve* were distributed.
- The Victoria Heritage Foundation's Annual Report for 2015 was distributed.
- Adrian Brett is the Acting Senior Heritage Planner for July and August. Merinda Conley, the new Senior Heritage Planner, will begin on August 29.

4. Adoption of the Minutes of the June 14, 2016 Meeting

Page 3, Panel, 5th bullet - Change *all rehabilitation is restoration* to *all restoration is rehabilitation*

Page 3, Panel, 8th bullet - Add to the beginning of the statement that *Concern was expressed by one panel member that...*

Moved

Seconded

Carried

Ken Johnson left the meeting at 12:15 pm.

**5. 1202 Blanshard Street
Heritage Alteration Permit Application No. 00221**

Attendee: Karen Hillel of Hillel Architecture Inc.

Adrian Brett, Acting Senior Heritage Planner

- The proposal was revised since it was reviewed at the May 10th meeting.

Karen Hillel

- Thanked members for their comments and concerns raised at the May 10th meeting.
- The revised proposal honours the original proposed location for the columbarium for the following reasons:
 - clear sight lines and visibility
 - natural light
 - accessibility
 - mitigation of security concerns.
- It is impractical for the cathedral at this time to undertake a long-range comprehensive Master Plan for the site; thus the revised proposal includes portions of the original proposal.
- The overall architectural vocabulary has been simplified, maintaining the use of brick and granite while removing any additional ornamentation or height that was at the corner and entries to the columbarium.
- The niche walls have been set back in line with the existing concrete retaining wall for the ramp to maintain the landscape stripe along the front of the property and increase the separation from the wrought iron fence.
- The niche walls have been moved away from the cathedral façade which maintains the existing grade and landscaping area in front of the building.
- The niche walls have been lowered to maintain the grade up against the building which permits increased views and sightlines over and across the columbarium. The lowering of the niche walls caused concern for the cathedral due to the possibility of people sitting on the walls; however, signage will discourage this.
- Small and Rossell Landscape Architects developed a planning concept to redefine the landscaping along View Street to improve and complement the existing landscaping.
- The footprint of the columbarium was reduced, which increased the green space around it; its layout is more efficient and the number of niches has increased.
- Hillel Architecture went directly to the cathedral, not the columbarium company, with the revised plan.

Panel

- Does the plan meet the requirements of the Cemeteries Act? Karen Hillel: The regulator of the Cemeteries Act, Consumer Protection BC, was contacted. It is a relatively simple process to expand and revise the current license for the addition of the columbarium. The title may or may not require a modest adjustment. Panel: The

Act states that the Director of Consumer Protection BC may issue a Certificate of Public Interest only if the Director has received a document that is executed by the Municipal Council. Should this application first go to Council and then be referred back to the Panel? Adrian Brett: The license already exists. A recommendation to Council is sufficient at this time.

- This is one more incremental change to the site without a Master Plan. Do you foresee other incremental changes in the future? Karen Hillel: Current changes include the renovation of the parish centre and upgrades to the exterior masonry, bell tower and roof. These changes will be ongoing for some time. Panel: A member suggested that the following be included in the motion: The Panel regrets the absence of the intention to develop a Master Plan.
- A member acknowledges the improvement, but does not support the revised application due to the incremental changes to the cathedral over the years.
- Another member stated that the absence of a Master Plan makes it more difficult to "get to yes". It would be easier to adjudicate future applications for the site if there was a Master Plan in place.
- No detail has been presented about the bricks for the columbarium. Only a brick veneer (finish) is mentioned. Karen Hillel: The proposed finish is glued on faceplates, full-sized brick. Panel: Seeing the effort that was put into redesign, a member encourages a look at other options for the brick wall.

Moved

No Secunder

That the Panel regrets the absence of a Master Plan for alterations to the cathedral.

Motion Failed

Moved

Seconded

That the Panel recommend to Council the approval of Heritage Alteration Permit Application No. 00221.

Carried (5 in favour, 1 against)

Ken Johnson returned to the meeting at 12:35 pm.

Keri Briggs left the meeting at 12:35 pm.

6. **913-929 Burdett Avenue & 914-924 McClure Street**
Heritage Alteration Permit Application No. 00214

Attendees: John Keay, Larry Cecco and Nicole Parker, Keay Cecco Architecture Ltd.;
Dennis Rogers and Deb Baker, Norwood Group

John Keay

- Archival photo shows the original Mount St. Angela building with an addition to the rear (constructed in 1912); a proposed extension across Burdett Avenue was never constructed.
- The houses at 929 Burdett Avenue and 914 McClure Street will be demolished.

- There is a small house at 910 McClure Street; the Planning Department expressed concern about the new development's relationship to this building, i.e. the impact of the six storey tower.
- The proposal is for 132 senior care units with a high level of shared amenity; various building forms will break up the massing.
- The three heritage buildings (as described below) are very significant elements of the development and have been integrated into the new design.
- New construction will be set back from the street elevation.
- There are two landscape features that will be retained: a heritage-designated stonewall on Burdett Avenue and another stonewall on McClure Street which will be reconstructed.
- The cost of the restoration of Mount St. Angela and the Temple building is \$4 million, including seismic upgrading.
- The proposed development will pick up forms from the existing building; will use a different finish on the exterior (pebble dash stucco) which is sympathetic to, but differentiates from, the existing.
- The existing stair tower will be part of the connecting link.
- Examples of the proposed materials were provided.

Cartreff House (913 Burdett Avenue) - Heritage Designated

- The building is currently a duplex and has a tenancy agreement until 2018.
- The intention is to raise the house 2 ft and move it 5 ft towards Burdett Avenue. Its relationship to grade will remain the same.
- The proposed redevelopment will have five small suites with a connecting link between the addition on the rear and Mount St. Angela.
- The existing aluminium framed windows will be replaced by wood framed ones.

Temple Building (924 McClure Street) - Heritage Designated

- The building will remain on McClure Street, but will be moved to the right. Its relationship to the stonewall and the street will be maintained.
- It will be the only free standing element on the site.
- Seven units are proposed.
- The building will need extensive exterior upgrades.
- The changes to the windows as recommended by the Senior Heritage Planner will be considered.
- An exterior staircase will be added.

Mount St. Angela (917-923 Burdett Avenue) - Heritage Designated

- The original 1865-1866 construction is relatively intact.
- The 1912 addition and porte-cochere will be removed.
- Two dormers on the upper storey will be retained and reconstructed (part of two residential units); one dormer (facing Burdett Avenue) will be removed.
- Some elements on the Burdett Avenue façade will be restored, including the oriel window.
- There is water damage on the exterior brickwork and deterioration of the rendered cornices which may have been capped with a permeable product in the past.
- There is an interpenetration between the original back of Mount St. Angela and the 1912 addition walls which will be used as an element to define the atrium and new construction.

- The proposed atrium will back on to Mount St. Angela and connection across the atrium will be by catwalks at each level and an elevator will allow access to the residential units.
- The rear wall of Mount St. Angela will be restored and be visible from the atrium.
- The atrium glazing will provide a backdrop for Mount St. Angela and Cartreff House.

Panel

- Is the Temple building currently zoned for this application? Adrian Brett: Yes, it is part of the parcel that encompasses all of the buildings.
- Has the Fairfield Gonzales Community Association Land Use Committee (CALUC) reviewed this application as it did previous ones? Charlotte Wain: The plans are on the Development Tracker on the City's website and can be reviewed at any time. The CALUC process is changing. The application has not yet been reviewed by the Committee of the Whole. It was agreed that the June 2015 CALUC comments will be forwarded to the Panel for information only.
- When and why were the buildings designated? Adrian Brett: We have heritage designation bylaws for the three buildings. The three buildings have Statements of Significance. The heritage values are part of the Conservation Plan.
- Are any interior elements designated? Adrian Brett: For Mount St. Angela, both the building exterior, the stonewall bordering Burdett Avenue, and some interior elements are designated. The 1912 wing is part of the designation. No interior or landscaping features are included in the designations for the Cartreff or Temple buildings. John Keay: None of the heritage designation buildings or features will be demolished, but they will be altered.
- Is the Heritage Revitalization Agreement (HRA) from 2007 (part of a previous rezoning) still valid? Charlotte Wain: As per the HRA, the 1912 rear addition of Mount St. Angela is not part of the Conservation Plan. The agreement is superseded by the current plans.
- Since most of the 1912 rear addition is being removed, will it be de-designated? Another Panel Member: No, this will be dealt with by the Heritage Alteration Permit Application.
- What is the current zoning of the site? Charlotte Wain: The current zones are CD-10 and R-K. The development permit area is DPA 16. The proposed use is allowed under the current zones; however, a new zone is required due to the increase in density and height from 13.60m (four storeys) to 19.85m (six storeys). The new zone will cover the entire parcel.
- This is a distinctive setting and the proposed development lacks attention to the natural landscape (for example, the rock outcroppings on McClure Street). As well, all existing out buildings will be demolished. However, the member supports the proposed use as a senior's care facility. John Keay: The retention of the rock outcroppings is not feasible as the space is needed for amenities for the residents. The out buildings are not in good shape, of indeterminate age, and extraneous to any use.
- One member noted that the removal of two of the dormers strips the building of two 1865-1866 elements.
- Is there a setback on levels four and five on the east wing (Burdett Street frontage) of the new construction. Larry Cecco: Yes, the setback is approximately 18". Panel: A setback of greater than 18' would be preferable to articulate the building along such a prominent street façade. John Keay: The increased floor space is needed for the residential units.

- What is the setback for the Temple building? Larry Cecco/John Keay: The existing setback is 5.0m and the new setback will be 3.7m to retain the building's standalone nature.
- It has been proposed that some 1912 elements on Mount St. Angela be retained, but that others be eliminated. Why is the porte-cochere being removed? John Keay: It is not well constructed, needs rebuilding, takes away from the façade, and it will not be the entry to the building any longer (it was the entry during the building's hotel period).
- The Standards and Guidelines state that elements added to a building over the years, including landscaping, should be respected and retained. There is no indication that the 1900s (Edwardian) landscaping will be retained). As well, the porte-cochere has become a significant element of the building. The landscaping plan shows preservation of wisteria and rhododendron and the retention of the stonewalls, but most of the landscaping is new elements that include a forged iron gate, community gardens, ponds, new paving and a parking lot. There is no indication that an effort has been put towards historic landscaping appropriate to the 1905 Cartreff house or the 1860s Mount St. Angela will be retained. This may result in the appearance of two isolated heritage structures surrounded by modern landscaping. What sort of brief did you put to your landscapers regarding appropriate landscaping? John Keay: On the Burdett Street frontage, traditional landscaping will be respected. Amenity expectations for residents governs that the middle of the site will be an active social area, to provide a sense of community. The Edwardian landscaping remnants are threadbare on the site.
- General Discussion between the Panel and staff: The application has not yet been reviewed by the Committee of the Whole (COTW). The Advisory Design Panel will review the form and massing at its meeting on July 27. Then the application will proceed to COTW. Why was this application not sent to a Joint HAPL/ADP meeting? The direction came from the Director of Planning as it was thought that more constructive feedback would result from separate meetings. The application could be referred back to HAPL or Joint ADP/HAPL by the COTW. Anything about the proposed application can be discussed by the Panel at today's meeting.
- What changes were made to the application since January? Charlotte Wain/John Keay: The application has been revised as follows: increased height, increased stepping back of the storeys, increased amenities; reduction in the overall scale, increased site coverage, decrease in the height of the atrium, the new building has been reconfigured on the McClure Street frontage, changes have been made to the connection of the atrium behind Mount St. Angela. As a result of the CALUC meeting, the building is softer.
- The site is in the prominent building's radius of Christ Church Cathedral. How has this been addressed? Charlotte Wain: Still shots and 3D models were provided to show the impact on the cathedral sightlines.
- Will a view corridor to the Olympic range still exist? John Keay: An earlier proposed mid-block walkway, which was to provide a view corridor, has been deleted due to concerns from the Chelsea building and CPTED principles.
- A member likes the layout of the proposed development better than previous renditions, but the heritage details of Mount St. Angela seem to have fallen through the cracks. The building envelope retrofits for the heritage buildings have not been adequately identified on the plans. The building envelope upgrades on the heritage buildings may require review since changes such as the addition of insulation have significant impacts on historic assemblies. John Keay: The aluminum windows on the Cartreff house will be replaced by wood windows. It is anticipated that the heritage buildings will be reroofed.

- One member stated that it would have been beneficial for the staff report to include a summary of the buildings on the site, the surrounding buildings on the block, the landscaping and out buildings, and what was being removed and updated. The heritage-designated Mount St. Angela will be partly demolished and the remainder attached to a new building; the heritage-designated Cartreff house will be moved and attached; the heritage-designated Temple building will be moved and surrounded by new construction; the heritage-registered building at 906 McClure Street and other nearby character buildings will be negatively impacted. Since the development will be a significant change to the neighbourhood, a review by the Joint HAPL/ADP meeting would be appropriate. The applicant's presentation outlined convenience, amenity expectations of the new residents, and the nature of project which are items that are appropriate for a Development Permit Application, not a Heritage Alteration Permit Application. The proposed development is out of scale and does not meet the policy in the Official Community Plan (OCP) to support new additions that conserve and enhance heritage property. The OCP allows for up to approximately six storeys yet the new building would be perceived as seven storeys from the south and it would be 1.5m higher than The Chelsea next door. The proposal does not meet the national heritage Standards and Guidelines, Standard 1, due to the removal of heritage-designated elements/additions and the relocation of the Cartreff and Temple buildings. The proposal does not meet Standard 11 as the nature of the new construction is not physically and visually compatible with, subordinate to and distinguishable from, the historic place. The application does not meet the Guidelines as the Conservation Plan focusses on details and glosses over the Standards. The application should be declined as it fails to meet the Standards and Guidelines, neither of which were addressed by the applicant.
- The overall picture does not seem to have been taken into account. A more holistic look at the site is needed with more attention to details. The heritage buildings deserve more respect.
- A member stated that more appropriate uses could be found for the three heritage-designated buildings without them being damaged in any way. As a result of the proposed development, view corridors and landscaping will be lost and buildings will be raised or moved. There is not enough benefit to heritage to recommend the application.
- Another member agrees with the above statement. The porte-cochere and the 1912 addition could be saved. The Temple building should be kept in its current location. The development is proposed as six storeys, but appears as seven.
- The development site is private property and the owners must get a return on their investment. This proposal is similar to those in the past for St. Ann's Academy. The member understands and agrees with all that has been said; however, the Panel will see more proposals like this one that are driven by development principles, not heritage principles. The proposal will be revised while the heritage-designated buildings continue to deteriorate. It would be preferable if the parcel became public property like St. Ann's Academy. Regardless, this application should have been forwarded to a Joint HAPL/ADP meeting.
- There is a lack of clarity from City Hall to the applicants regarding Heritage Conservation Plans (HCPs). The guidelines for HCPs need to be reinforced. Heritage buildings should be preserved, not enable development.

Moved

Seconded

That the Panel recommend to Council that Heritage Alteration Permit Application No. 000214 for 913-929 Burdett Avenue and 914-924 McClure Street be declined.

Carried (unanimous)

7. **Business Arising from the Last Minutes - nil**
8. **New Business – nil**
9. **Adjournment - 1:59 pm**



Advisory Design Panel Report

For the Meeting of July 27, 2016

To: Advisory Design Panel **Date:** July 27, 2016
From: Charlotte Wain, Senior Planner – Urban Design
Subject: **Rezoning Application No. 00466 and Heritage Alteration Permit with Variance No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street**

RECOMMENDATION

Recommend to Council that Heritage Alteration Permit No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved with changes recommended by the Advisory Design Panel.

EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Heritage Alteration Permit with Variance for 913-929 Burdett Avenue and 914-924 McClure Street and provide advice to Council. A concurrent Rezoning Application (No. 00466) has been submitted to allow for a change of use and density.

The proposal is to construct a 134 unit senior's residence to the rear and side of the existing heritage-designated Mount St. Angela building at 913 Burdett Avenue. It is proposed to remove the existing 1912 addition at the rear of the 1866 Angela College building, the rear annex, the porte-cochere and the third floor link. The Cartreff residence at 911-917 Burdett Avenue will be incorporated as part of the complex through a rear addition linking it to the main building. The Temple residence at 924 McClure Street is proposed for relocation to the south-east end of the site to allow for a parking garage entrance.

The following policy documents were considered in assessing this Application:

- *Official Community Plan, 2012 (OCP)*
- *Multi-Unit Residential, Commercial and Industrial Guidelines (2012)*
- *Humboldt Valley Precinct Plan (2005)*
- *Guidelines for Fences, Gates and Shutters (2010)*
- *Advisory Design Guidelines for Buildings, Signs and Awnings (2006).*

COUNCIL DIRECTION

The Application has not yet been presented to the Committee of the Whole. The intent is to present the Application to both the ADP and Heritage Advisory Panel (HAPL) and report back to Committee with the benefit of advice from the two panels.

BACKGROUND

Project Details

Applicant: Mr. John Keay
Keay Cecco Architecture Ltd.

Architect: Mr. John Keay
Keay Cecco Architecture Ltd.

Development Permit Area: Development Permit Area 16, General Form and Character

Heritage Status: Designated

The following data table compares the proposal with the existing CD-10 Zone, Mount St. Angela District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria	Proposal	Zone Standard CD-10 (combined development areas)
Site area (m ²) - minimum	5429.00	3978.00
Density (Floor Space Ratio) - maximum	1.98:1 *	1.3:1
Height (m) - maximum	20.53*	13.60
Storeys - maximum	6*	4
Site coverage % - maximum	49.4*	37.91
Open site space % - minimum	38*	46.56
Setbacks (m) - minimum		
Front (Burdett Avenue)	8.80*	10.60
Rear (McClure Street)	4.23* (building) 3.70* (stairs)	5.40
Side (east)	3.60*	3.60
Side (west)	1.70* (Cartreff) 3.20* (building)	3.60

Zoning Criteria	Proposal	Zone Standard CD-10 (combined development areas)
Parking - minimum	46*	60
Visitor parking (minimum) included in the overall units	3*	4
Bicycle parking stalls (minimum)	108	108
Bicycle parking stalls (minimum)	6	6

Description of Proposal

The proposal is to to construct a 134 unit senior's residence to the rear and side of the existing heritage-designated Mount St. Angela building at 913 Burdett Avenue. It is proposed to remove the existing 1912 addition at the rear of the 1866 Angela College building, the rear annex, the porte-cochere and the third floor link. Portions of the existing north brick wall of the 1912 addition are proposed for retention of features in the interior atrium/galleria containing the main dining area for the residents. The exterior of Angela College would be restored in accordance with the 2007 Conservation Plan. The Cartreff residence at 911-917 Burdett Avenue will be incorporated as part of the complex through a rear addition linking it to the main building. The Temple residence at 924 McClure Street is proposed for relocation to the south-east end of the site to allow for a parking garage entrance.

Exterior materials of the 1866 Angela College include:

- original brickwork restored
- reconstruction of windows
- new treated cedar shingle roof
- restoration of metal finials
- stainless steel handrails.

Exterior materials of the Cartreff residence include:

- fibreglass shingle roof
- repair and replacement of cedar shingle siding
- pebble dash stucco
- a mixture of wood frame and aluminium thermo windows
- aluminium pickets for Juliet balconies
- limestone panels for portions of the new connecting Cartreff wing, dormer and elevator tower.

Exterior materials of the Temple residence include:

- fibreglass shingle roof
- repair and replacement of cedar shingle siding and new siding to match
- repair and replacement of existing wood framed windows
- new wood frame thermo windows

- steel fire escape with metal mesh guard.

Exterior materials of the proposed addition include:

- stone veneer in buff colour (honed and hammered finish)
- brick veneer
- glass curtain wall with glass canopy for the atrium
- powder coated aluminium soffits
- aluminium windows
- glazed panel door for the service access
- decorative metal railings for the landscape wall along Burdett Avenue and McClure Street
- pre-cast concrete for the ground floor (parkade level) and a portion of the three storey south wing along McClure Street.

Landscaping improvements include:

- glazed pergolas and garden terraces
- internal courtyard with fishpond and rose garden
- activity roof garden with greenhouse and raised beds
- green roof for the south and east wing
- native, drought resistant plants
- food production through raised beds, perennial vines and fruit trees
- community herb garden along Burdett Avenue
- drip irrigation systems
- water feature contributing to storm water management.

Sustainability Features

As indicated in the applicant's letter dated April 7, 2016 the sustainability features associated with this application include:

- adaptive reuse and retention of three heritage-designated buildings
- buildings being oriented to take advantage of the south facing site
- high performance wood frame system
- retention of three existing buildings and recycling of all components of the structures which are to be removed
- solar collectors for hot water pre heating
- rainwater recapture for irrigation
- permeable paving to assist in storm water mitigation
- geothermal heating/cooling
- construction to Built Green Gold standards.

Consistency with Design Guidelines

The *Official Community Plan, 2012* (OCP) Urban Place Designation for the subject property is Urban Residential, which supports low-rise and mid-rise multi-unit buildings up to

approximately six storeys. The OCP also identifies this property in Development Permit Area (DPA) 16 General Form and Character. The proposed development is generally consistent with the objectives of the DPA which seeks to integrate commercial, industrial and multi-unit residential buildings in a manner that is complementary to the place character of the neighbourhood including heritage character. Enhancing the character of the streetscape through high quality architecture, landscape and urban design as well as creating human-scaled design are also key objectives of this DPA. Design Guidelines that apply to DPA 16 are *Multi-Unit Residential, Commercial and Industrial Guidelines (2012)*, *Advisory Design Guidelines for Buildings, Signs and Awnings (2006)* and *Guidelines for Fences, Gates and Shutters (2010)*.

ISSUES

The issues associated with this project are:

- massing, height and transition in relation to the context
- interface on the west elevation
- loss of the mid-block walkway
- proposed finishes and materials.

ANALYSIS

Massing, Height and Transition to Context

The building massing is visually broken down by utilizing varying heights, different materials (stone, brick and glazed curtain wall), horizontal overhangs, and stepping back of upper floors.

The height of the rooftop of the proposed main building is 20.53 meters which is approximately 2.5 meters higher than the fifth storey of the adjacent condominium project to the east on Burdett Avenue known as The Chelsea. A small portion of the Chelsea building above the main entrance does project roughly 1.5m above the fifth storey parapet and this would be considered the highest point of the building under the definition of the *Zoning Regulation Bylaw*. The proposed building height is generally supportable, although opportunities exist to improve the relationship with adjacent buildings.

The lower height of the existing Cartreff residence provides a sensitive transition in scale to the four-storey apartment building to the west along Burdett Avenue.

On McClure Street there is a single family dwelling (used as a legal duplex) immediately to the west at 910 McClure Street, followed by a three and a half storey heritage-registered building known as Abigail's Hotel at 906 McClure Street. The bulk of the west wing of the proposed development does impact this house in terms of its height. Although the existing three-storey 1912 rear wing of Mount St. Angela does currently affect the adjacent lot in this location, the proposed development will exacerbate the impact of massing by doubling the height in this location from three to six storeys. Staff have expressed concern with this elevation and the applicant has responded by providing a setback of approximately 2m on this corner of the building at levels five and six in recognition of this relationship.

The change in grade from Burdett Avenue results in the building being perceived as a seven-storey building when viewed from McClure Street. However, the building is technically a six-storey building (consistent with the OCP) since the lowest storey meets the definition of a basement under the *Zoning Regulation Bylaw* and is excluded from the storey calculations. The proposed three-storey portion on the south wing contains ground oriented units, relates well to the relocated Temple residence and provides an appropriate transition to the adjacent Chelsea building along McClure Street. ADP is invited to consider the scale and massing of the proposed building and whether further stepping back or other measures can be introduced to better integrate the development into this block of McClure Street and to provide a more sensitive transition to the building at 910 McClure Street.

Interface on the West Elevation

The Guidelines encourage new development to be compatible through sensitive design. Through design revisions, the proposal has responded to the adjacent lot at 910 McClure Street by providing a setback of 3.2m from the west property line which does provide some breathing room for the adjacent lot, although staff have raised concerns with the massing in this location as mentioned previously. This area is proposed to be landscaped with garden terraces, paving, plants and shrubs as noted on the landscape plan. Although the landscaping does help to soften the impact of the large elevation, there may be potential privacy impacts on the adjacent duplex as a result of the large windows and seating areas on the west elevation. ADP is invited to comment on the potential privacy impacts on the adjacent building in this location and how the proposal could be improved to comply with the Guidelines.

Mid-Block Walkway

Previous versions of the proposal included a mid-block walkway connecting Burdett Avenue with McClure Street along the eastern property boundary, consistent with the Humboldt Valley Precinct Plan and current zoning. However, as noted in the applicant's letter, feedback from the community indicated this was not a desirable amenity. As a result the mid-block walkway is not included in the current proposal. The applicant has also included a letter from the Safe Design Council, which concludes that a mid-block walkway would result in an increased perception of crime. Staff concur with this opinion and welcome ADP to comment on this issue.

Proposed Finishes and Materials

The design of the new building repeats some of the primary materials of the original Angela College such as brick and stone, while still designed with a contemporary expression, thus providing a compatible but differentiated addition, preserving the historic character of the original building. The use of complimentary materials for the proposed senior's residence and the contrasting glass curtain wall helps to distinguish the new additions from the historic buildings on the property and staff are supportive of these materials. However, certain portions of exposed pre-cast concrete exist along the lower (parkade) level on McClure Street, as well as a portion of the three storey south wing. Given the importance of this frontage from the streetscape perspective, opportunities exist to provide higher quality building material in these locations. The ADP is invited to comment on the use of exterior materials.

OPTIONS

1. Recommend to Council that Heritage Alteration Permit with Variance Application No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved as presented.
2. Recommend to Council that Heritage Alteration Permit with Variance Application No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved with changes recommended by the Advisory Design Panel.
3. Recommend to Council that Heritage Alteration Permit with Variance Application No. 00214 for 913-929 Burdett Avenue and 914-924 McClure Street does not sufficiently meet the applicable design guidelines and polices and should be declined.

CONCLUSION

This Application is generally consistent with the applicable design guidelines prescribed within DPA 16. The proposed six storey building slightly exceeds the height of the adjacent Chelsea building although the massing is broken down into two "wings" that establishes form and massing relationships that are not uncharacteristic of the immediate area along Burdett Avenue. In addition, the lower height glass curtain wall provides breathing room for the heritage designated Mount St. Angela building and Cartreff residence.

The design of the proposed new building and glass atrium is distinguishable from the three heritage designated buildings, satisfying a conservation principle regarding new additions; however, the Application could benefit from further design development to improve consistency with the relevant guidelines, particularly an increased setback in the upper floors and a more sensitive transition to the immediate context along McClure Street.

ATTACHMENTS

- Aerial Map
- Zoning Map
- Letter from applicant dated April 7, 2016
- Letter from Safe Design Council, received February 12, 2016
- Plans for Heritage Alteration Permit Application with Variance No. 00214.

cc: Applicant

**MINUTES OF THE
ADVISORY DESIGN PANEL MEETING
HELD WEDNESDAY JULY 27, 2016 AT 12 P.M.**

1. THE CHAIR CALLED THE MEETING TO ORDER AT 12:05 P.M.

Panel Members Present: Christopher Rowe ; Cynthia Hildebrand; Renee Lussier;
Erica Sangster, Patricia Graham, Ann Katherine
Murphy

Absent: Mike Miller; Justin Gammon; Gerald Gongos

Staff Present: Andrea Hudson- Assistant Director, Community
Planning
Steve Barber – Senior Heritage Planner
Quinn Anglin - Secretary, Advisory Design Panel

2. MINUTES

2.1 Minutes from the Meeting held May 26, 2016.

Action:

It was moved by Christopher Rowe, seconded by Erica Sangster, that the Minutes of the Meeting of Advisory Design Panel held May 26, 2016 be approved.

CARRIED UNANIMOUSLY

3. APPLICATIONS

3.1 Development Permit No. 000461 for 2925 – 2929 Douglas Street

The proposal is to permit two new car dealerships including a showroom, service and repair shop on each lot.

Applicant Meeting attendees:

JAMES E. IRWIN
TOM BAXTOR
SCOTT MURDOCH
TERRANCE RADFORD

JAMES E IRWIN ARCHITECT INC.
JAMES E IRWIN ARCHITECT INC.
MURDOCH DE GREEF INC.
MURDOCH DE GREEF INC.

Ms. Hudson provided the Panel with a brief introduction of the Application and the areas that Council is seeking advice on, including the following:

- pedestrian-friendliness
- building design
- landscaping.

Ms. Hudson noted a minor amendment to the report submitted in the meeting agenda package as the Development Application number was stated as DP# 00459 and should be DP# 000461.

James E Irwin then provided the Panel with a detailed presentation of the site and context of the proposal.

Scott Murdoch then provided the Panel with a detailed presentation of the landscape plan proposal.

Questions of clarification were asked by the Panel on the following;

- the construction method of the structural panel – precast.
- the rationale for the location of the windows in the service area – to screen the functional areas.
- opportunities to consider storm water management in the parking infrastructures
- opportunities for vines adjacent to the parking areas.
- the interface between the site and the adjacent Super Eight Motel alcove allows for a small amount of separation to each building.
- opportunities for a green roof or similar on the rooftop. This has been noted as not being possible.

Panel Members discussed:

- The applicant has provided a good solution to the limited windows of the service area and articulation of facades on the internal street.
- The surface parking areas look a little harsh and could benefit from some additional consideration as it feels blank in comparison to the rest of the site.
- Applicant has done a good job with the landscaping and architecture of the building, but there seems to be some disconnect in the circulation and the public realm component especially through the “main street” between the two buildings. It could possibly be treated like a streetscape as it is referred that way for the site, or alternatively enhanced in some other way.
- The circulation space around Douglas Street is well done in its simplicity.
- The crosswalk could benefit from some direction as how to access it as it isn’t at the Summit Street entrance and could be defined clearer.
- The “main street” is more like an alley and it should be noted that it is not public space it is private. If the applicant were to landscape it as a streetscape it could be mistaken this way and cause confusion for people and cars to be drawn down it as these would act as visual cues for them to do so.

- The buildings being pulled right to the street line on the front facade is done well, but it would be nice to see more massing at the back of the site or an additional couple of storeys.
- Although there is an acknowledgement of the suggestion for additional landscaping at the front corner, the dealership also needs to maintain their branding and presence on this prominent corner without being overtaken or hidden by busy landscaping details.

Action:

MOVED / SECONDED

It was moved by Erica Sangster, seconded by Anne Katherine Murphy, that the Advisory Design Panel recommend to Council that Development Permit No. 000461 for 2925-2929 Douglas Street be approved with recommendations as proposed.

Carried

3.2 Rezoning No. 00466 and HAP# 00214 for 913-929 Burdett Avenue and 914 - 924 McClure Street

The proposal is to permit rezoning to construct a 134-unit seniors' residence.

Applicant Meeting attendees:

DENNIS ROGERS	THE NORWOOD GROUP
DEB BAKER	THE NORWOOD GROUP
NORM ISHERWOOD	THE NORWOOD GROUP
JOHN KEAY	KEAY CECCO ARCHITECTURE LTD.
LARRY CECCO	KEAY CECCO ARCHITECTURE LTD.
DANNY ZIEGER	KEAY CECCO ARCHITECTURE LTD.

Mr. Barber provided the Panel with a brief introduction of the Application and the areas that Council is seeking advice on, including the following:

- massing, height and transition in relation to the context
- interface on the west elevation
- loss of the mid-block walkway
- proposed finishes and materials.

*Mr. Barber noted a minor amendment to the report submitted in the meeting agenda package that was referenced incorrectly; the number of units should be referenced as 132, not 134 as noted on page one. Further, he clarified that the asterisk * in the data table on page two relates to variances of the existing zones. Variances are not within the remit of the panel to discuss, however it was deemed important to clarify as this may not have not been made explicitly clear in the staff report.*

John Keay provided the panel with a detailed presentation of the proposed guidelines.

Questions of clarification were asked by the Panel on the following;

- Confirmation that the Heritage Alteration Permit application stands in place of the Development Permit Application and takes in all the design considerations.
- Confirmation that the Heritage Advisory Panel have seen the application. Staff confirmed that had been recommended to be declined but the details of the meeting had not been available yet.
- Confirmation that the current zoning parameters were established about 7 or 8 years ago and it would be very difficult for the current proposal to conform within its siting parameters.
- Safety aspects of the walkways are a concern and the applicant has been asked to eliminate it. There are no additional issues or comments pertaining to the loss of this midblock walkway.
- The rationale for removing the 1912 addition to restore some of the other secondary additions on the site. The 1912 building was not constructed well so the decision was to remove it, but there were some of the original 1864 building pieces in the 1912 structure building. The idea was to have a strong separation of the two buildings but also a connection for it.
- The architectural expression and relationship between the heritage building and the new construction.
- The lack of access to the green roof for maintenance.
- The rationale for the location of the Temple building and if it could be on west side instead of the east side. Not possible due to the courtyard placement for the whole project.
- The likely removal of the house at 901 McClure Street.
- The feasibility of the window wall system.

Panel Members discussed;

- Struggling to understand how all the pieces come together in such a complicated form and what the expression is. The materials presented are understandable, but there is a lack of cohesion between the architectural expressions of the different pieces.
- The difference in heights, mass and different materials to connect this has made the relativity to each piece hard to understand.
- The south expression is less challenging as it retains the scale and provides for the new larger development behind.
- The main concern is on the southeast portion.
- On the west side of the project the windows that are facing west are going to limit what could happen with the property if the adjacent house was to be destroyed in a sense of privacy or overlook.
- Height at the southwest corner really pokes the mass out toward McClure Street and defeats the effort being made with the Angela College.
- The balance of 3 storeys up to the 6 storey tower doesn't relate very well, it would seem better to have the 3 storeys complete the street frontage and scale back the 6 storeys.
- Busy composition of windows and materials. Too many window styles and sizes
- The quality of the project looks very high and is certainly heading in the right direction.
- The overall architectural context of the project sits between the overtly heritage projects as of recent and the newer 1980's / 1990's / 2000's projects

- The brick facades feel as if they don't connect to the project
- The depths of the project are positive as they have a fairly modern medium but this should be carried throughout as opposed to introducing something new to better tie the project together
- The concerns about massing generally relate to the southwest corner of the project
- There is concern over the resolution of the elevations and materials as there are too many different treatments and the project could be strengthened by simplifying or reducing the approaches
- The big glass wall is not sufficiently resolved to truly understand its relationship to the heritage building
- There is lots of glass being applied to the project and there is concern or whether it will perform as it should with proper treatment and glazing
- Character is unique and very interesting
- The simple approach taken on the Burdett elevation is something that the Panel would love to see more of as it would allow for the building to fade back a little
- McClure Street is all stairs and no universal access. The only universal access is on Burdett Street
- It is a well thought out and high quality project that has had a lot of thought go into it
- Carrying the well thought out side of the northwest corner through to the southwest corner and the rest of the project may be the trick to connecting everything.

Action:

It was moved by Anne Katherine Murphy, seconded by Patricia Graham, that the Advisory Design Panel recommend to Council that Rezoning Application # 00466 and Heritage Application # 00214 for 913-929 Burdett Avenue and 914-924 McClure Street be approved with recommendations as follows;

- To reconsider the 6 storey massing at the southwest corner
- To reconsider the 3 storey massing on the McClure elevation
- To reconsider the variety of window sizes and types
- Resolution of structure, window glazing and materials of the window wall in the atrium to reflect the consideration that has gone into the rest of the project

Carried Unanimously

4. ADJOURNMENT

The Advisory Design Panel meeting of July 27, 2016 adjourned at 2:04 p.m.

Christopher Rowe, Chair