

MOUNT ST. ANGELA

Senior Living Redefined

RECEIVED
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

REAY COOCC ARCHITECTURE LTD.
ARCHITECTURE LTD.

ARCHITECTURAL:
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LANDSCAPE:
SMALL & ROSSELL LANDSCAPE ARCHITECTS INC.
3012 MANZER ROAD
SOOKE, BC, V9Z 0C9
Phone: (250) 642-6967
Email: design@smallandrossell.com

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A.1.0 PROJECT DATA / CONTEXT PLAN
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A.1.0b SITE PLAN
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C.A.3.1 CARTREFF - DEMO PLANS - SECOND LEVEL
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COMMENTS			
NO.	DESCRIPTION	DATE	BY
1	MAP / RECORDING TO SUBMISSION	Sept 2016	
2	REV. MAP / RECORDING TO SUBMISSION	Sept 2016	
3	REV. AVERAGE GRADE CALC.	Sept 2016	
4	REV. GATE AND GARAGE DOOR	July 2017	
5	REV. AS PER ADP COMMENTS	July 2017	
6	REV. AS PER TRAC / ADP / ADP COMMENTS	Sept 2017	
7	REV. AS PER TRAC COMMENTS	Sept 2017	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

DRAWING LEGEND

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED May 02, 2017	
DRAWN BY	A0.0

Project Address - 013-929 Burdett Ave & 914 McClure St
Legal Description - Lot 1, Christ Church Trust Estate
Victoria Co. Plan V1045376

Zone - CD-10, R-K
Victoria City, Trust VPC 00000
Lot 2, Christ Church Trust Estate
Victoria City, VPC85236
Lot 22, Block 6, Plain 35, Section CCT, Victoria

Zone - CU-10, R-T

Built Form - Multi-unit residential
- Buildings up to six storeys

- Diversity of mixed housing types
- meets community services

FSR - Allowed 2.1
Proposed 1.96

Site Area - 5429 m2 (58,437 sq. ft.)

- proposed 2687 m2 (26,922 sq. ft.) - 49.4%
- allowed 43%

Open Space- 38% 2048 m² (22,052 sq. ft.)

Level 2 - 2553 m ² (28,552 sq. ft.)
Level 3 - 1752 m ² (18,864 sq. ft.)
Level 4 - 1559 m ² (17,853 sq. ft.)
Level 5 - 1119 m ² (12,041 sq. ft.)
Level 6 - 865 m ² (9,320 sq. ft.)

Total Floor Area - Proposed 10,638 m2 (114,504sq. ft.)

Proposed -1 @ 6 Story
Existing - Unchanged

Proposed Set Backs -

Front (Public): 0.75 m
Rear (McClure): 4.7 m building & 3.3 m stairs
Side Yard (East): 3.6 m
Side Yard (West): 1.7 m Cartrell stair
3.05 m Cartrell
3.02 m building
Interior Yard (South): 3.1 m

Residential Units

Maximum Unit Floor Area - 84 m²

Unit Count - Parking/ McClure Street Level - 4 units
Level 1 - 26 units

Level 4 - 15 units + 13 assisted

Level 6 - 9 Unit

Total Number of Units - 132

Parking - as per schedule c - refer to parking plan and calculate stalls required - 43 stalls -- proposed 43 stalls

service vehicle proposed - 1 stalls

Bicycle - as per schedule c - refer to parking plan
Class 1

proposed 108 states

proposed - 1 rack for 8



CONTEXT PLAN

Scale: NTS

Scale:NTS



Scale: 1:500

BC Land Surveyors Set Plan of

larger, with an average thickness of about 1.5 mm or less, if we put it

PARKING CALCULATIONS	106
NUMBER OF STANDARD UNITS	
ASSISTED CARE UNITS	26

TRAINING REQUIRED:	37.1
standard units .35 X 106	
assisted care 26/5	5.2
TOTAL REQUIRED	43

NOTE: parking not calculated for bistrot/cafe as it is part of seniors complex and not a public amenity

underground -regular	42
underground -HC	1
underground visitor	1
surface- visitor	2
surface- visitor HC	1
service vehicle	1
PARKING PROVIDED	48

BICYCLE PARKING	
class 1	106
standard units 1 x 106	2
associated car 26/15	7
class 2	2
TOTAL REQUIRED	115
PARKING PROVIDED	
class 1 - secure underground	16
class 2 - 1 space rack at entrance	1
TOTAL PROVIDED	17

DATA
 013-929 Burdett Ave & 914 McClure ST
 - Lot 1, Christ Church Trust Estate
 Victoria City, Plan VIP85236

Lot 2, Christ Church Trust Estate
Victoria City, VPM55236
Lot 22, Block 6, Plan 35, Section CCT, Victoria
R-K

- existing 1354 m² (14,574 sq ft) - 26 %
 - proposed 2687 m² (28,922 sq ft) - 49.4 %
 - allowed 43%
 38% 2046 m² (22,052 sq ft)
 Level 1 - 2224 m² (23,920 sq ft)
 Level 2 - 356 m² (3,844 sq ft)

Level 2 - 2653 m² (28,552 sq. ft.)
Level 3 - 1752 m² (18,864 sq. ft.)
Level 4 - 1659 m² (17,853 sq. ft.)
Level 5 - 1119 m² (12,041 sq. ft.)
Level 6 - 865 m² (9,320 sq. ft.)

Area - Proposed 10,638 m2 (114,504sq. ft.)
of Stories
d - 1 @ 6 Story
- Unchanged

Backs -
 Front (Burdet): 8.75m
 Rear (McClure): 4.7 m building & 3.3 m stairs
 Side Yard (East): 3.6m
 Side Yard (West): 1.7m Carveff slant
 3.05 m Carveff
 3.02 m building
 Interior Yard (South): 3.1m

Units
 1st Floor Area - 23 m² (assisted living unit)
 2nd Floor Area - 84 m²

Parking/McClure Street Level - 4 units
 Level 1 - 26 units
 Level 2 - 19 units
 Level 3 - 19 units + 13 assisted
 Level 4 - 15 units + 13 assisted
 Level 5 - 12 units
 Level 6 - 09 units

per schedule c - refer to parking plan and calc
 required - 43 stalls -- proposed -43 stalls
 (per required) 4 stalls --proposed- 4 stalls
 service vehicle proposed: 1 stalls
 per schedule c - refer to parking plan
 1 stalls
 required - 107 stalls
 proposed- 108 stalls
 555.2
 required - 7
 proposed- 1 and for 8

[illegible]

MAY 03 2017

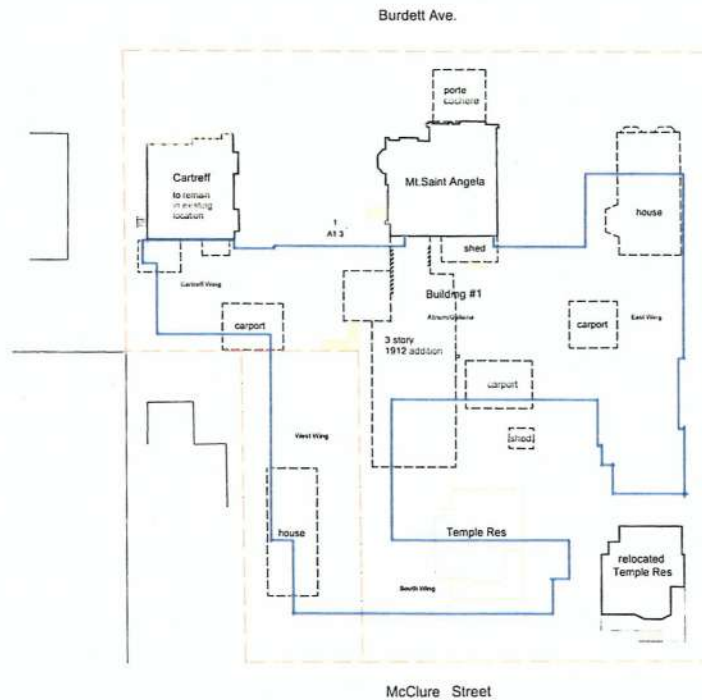
Planning & Development Department
Development Services Division

KLAY LEECH
ARCHITECTURE LTD.

PROJECT NO. 1513

COMMENTS

NO.	DESCRIPTION	DATE	BY
1	HAP PRELIMINARY SUBMISSION	SEP 2015	
2	REV HAP PRELIMINARY SUBMISSION	SEP 2015	
3	REV AVENUE GRADE CALC	SEP 2015	
4	REV GATE AND GARAGE DOOR	OCT 2015	
5	REV AS PER ADP COMMENTS	NOV 2015	
6	REV AS PER TRAC ADP AND COMMENTS	FEB 2017	
7	REV AS PER ADP COMMENTS	APR 2017	



LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE REMOVED
- EXISTING STRUCTURE RELOCATED ON SITE
- EXISTING HERITAGE WALLS TO REMAIN
- OUTLINE OF PROPOSED NEW CONSTRUCTION

Key Plan
Scale: 1:300

MOUNT ST. ANGELA Senior Living. Redefined.

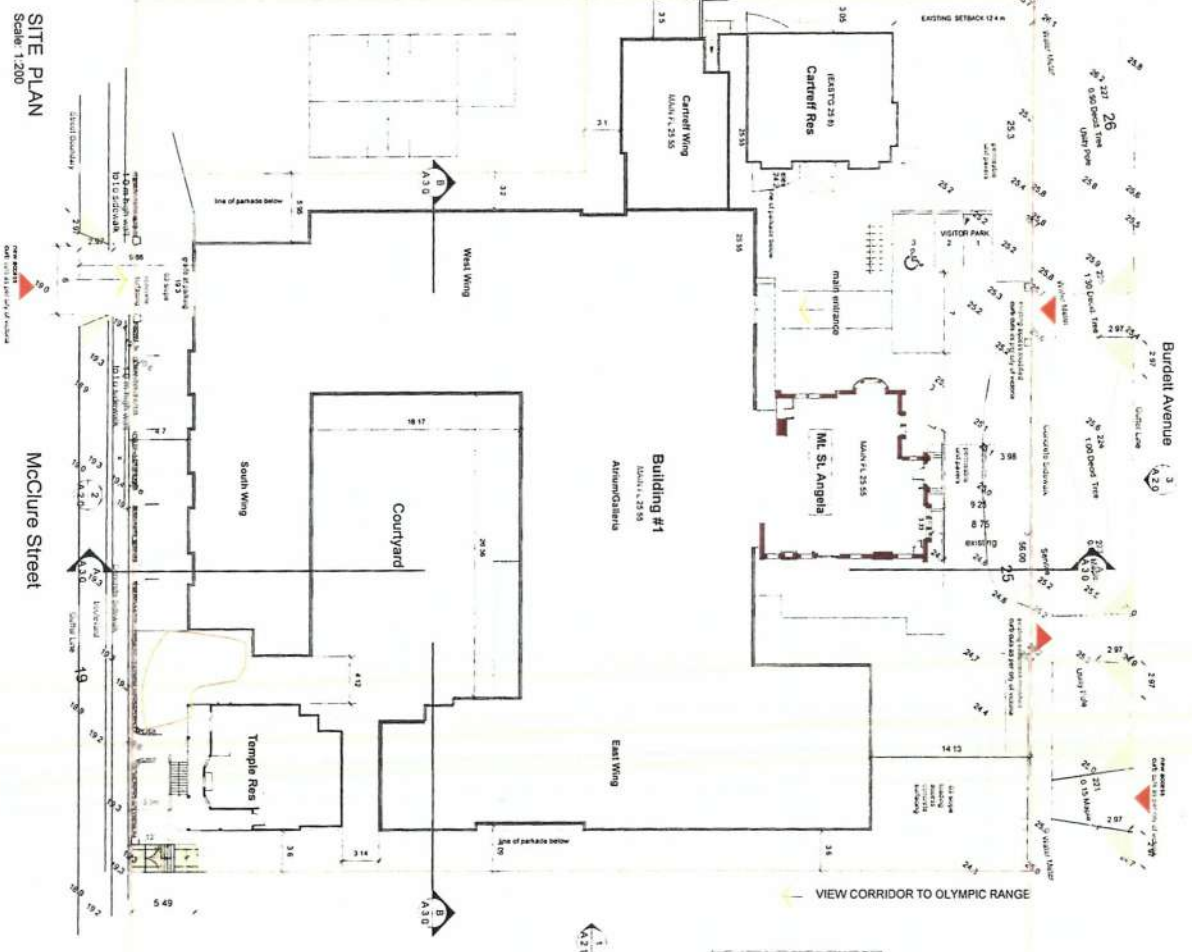
KEY PLAN

SCALE	AS NOTED	JOB NO.	1124 - 1410
DATE PLOTTED	May 02, 2017		
DESIGNED BY			A1.0a

COMMENTS		DATE
1	NOV 20/1985	
2	NAME RECORDED IN BIRTH REG.	
3	REV NOV 1 RECORDED IN BIRTH REG.	
4	REV AUGUST 1986 IN BIRTH REG.	
5	REV DATE AND COUNTRY OF BIRTH	
6	REV 21 SEP 1987 IN BIRTH REG.	
7	REV 21 SEP 1987 IN BIRTH REG.	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE	
SITE PLAN	
SCALE	AS SHOWN
DATE PLOTTED	MAY 02, 2017
CHECKED BY	
DATE	
PROJECT NO.	A1.0b



SITE PLAN
Scale: 1:200

Received
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

KLAY FIELD
ARCHITECTURE LTD.

PROJECT NO. 101

COMMENTS

No.	Description	Date	By
1	HAP / REVISION SUBMISSION	2017-05-03	KLAY
2	REV HAP / REQUIRED SUBMISSION	2017-05-03	KLAY
3	REV AVERAGE GRADE CALC	2017-05-03	KLAY
4	REV GATE AND GARAGE DOOR	2017-05-03	KLAY
5	REV AS per AUP COMMENTS	2017-05-03	KLAY
6	REV AS per HAP / MDP PART COMMENTS	2017-05-03	KLAY
7	REV AS per MDP COMMENTS	2017-05-03	KLAY

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE

AVERAGE GRADE CALC.

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED May 02, 2017	
UPLOADED BY	A1.0c

Building No. 1 Average Grade Calculation

Pour		
A & A1 (24.9 x 24.9) @ 1.00m	48.55	
A1 & A2 (24.9 x 24.9) @ 1.11m	42.58	
A2 & A3 (24.9 x 24.9) @ 1.22m	129.48	
A3 & A4 (24.9 x 24.9) @ 1.33m	37.42	
A4 & A5 (24.9 x 24.9) @ 1.44m	22.80	
A5 & A6 (24.9 x 24.9) @ 1.55m	41.50	
A6 & A7 (24.9 x 24.9) @ 1.66m	23.10	
A7 & A8 (24.9 x 24.9) @ 1.77m	42.28	
A8 & A9 (24.9 x 24.9) @ 1.88m	143.00	
A9 & A10 (24.9 x 24.9) @ 1.99m	251.87	
A10 & A11 (24.9 x 24.9) @ 2.10m	227.13	
A11 & A12 (24.9 x 24.9) @ 2.21m	251.87	
A12 & A13 (24.9 x 24.9) @ 2.32m	22.90	
A13 & A14 (24.9 x 24.9) @ 2.43m	216.76	
A14 & A15 (24.9 x 24.9) @ 2.54m	229.90	
A15 & A16 (24.9 x 24.9) @ 2.65m	109.72	
A16 & A17 (24.9 x 24.9) @ 2.76m	8.70	
A17 & A18 (24.9 x 24.9) @ 2.87m	158.01	
A18 & A19 (24.9 x 24.9) @ 2.98m	170.98	
A19 & A20 (24.9 x 24.9) @ 3.09m	12.10	
A20 & A21 (24.9 x 24.9) @ 3.20m	207.46	
A21 & A22 (24.9 x 24.9) @ 3.31m	11.82	
A22 & A23 (24.9 x 24.9) @ 3.42m	136.77	
A23 & A24 (24.9 x 24.9) @ 3.53m	165.3	
A24 & A25 (24.9 x 24.9) @ 3.64m	69.0	
A25 & A26 (24.9 x 24.9) @ 3.75m	78.26	
A26 & A27 (24.9 x 24.9) @ 3.86m	8.30	
A27 & A28 (24.9 x 24.9) @ 3.97m	241.86	
A28 & A29 (24.9 x 24.9) @ 4.08m	120.46	
A29 & A30 (24.9 x 24.9) @ 4.19m	32.34	
A30 & A31 (24.9 x 24.9) @ 4.30m	91.55	
A31 & A32 (24.9 x 24.9) @ 4.41m	217.75	
A32 & A33 (24.9 x 24.9) @ 4.52m	20.25	
A33 & A34 (24.9 x 24.9) @ 4.63m	34.60	
A34 & A35 (24.9 x 24.9) @ 4.74m	30.70	
A35 & A36 (24.9 x 24.9) @ 4.85m	46.1	
A36 & A37 (24.9 x 24.9) @ 4.96m	62.74	
A37 & A38 (24.9 x 24.9) @ 5.07m	86.78	
A38 & A39 (24.9 x 24.9) @ 5.18m	31.37	
A39 & A40 (24.9 x 24.9) @ 5.29m	34.50	
A40 & A41 (24.9 x 24.9) @ 5.40m	14.24	
A41 & A42 (24.9 x 24.9) @ 5.51m	120.50	
A42 & A43 (24.9 x 24.9) @ 5.62m	193.10	
A43 & A44 (24.9 x 24.9) @ 5.73m	400.50	
A44 & A45 (24.9 x 24.9) @ 5.84m	507.3	
A45 & A46 (24.9 x 24.9) @ 5.95m	517.56	
A46 & A47 (24.9 x 24.9) @ 6.06m	50.28	
A47 & A48 (24.9 x 24.9) @ 6.17m	100.83	
A48 & A49 (24.9 x 24.9) @ 6.28m	53.22	
A49 & A50 (24.9 x 24.9) @ 6.39m	8.8	
A50 & A51 (24.9 x 24.9) @ 6.50m	106.1	
A51 & A52 (24.9 x 24.9) @ 6.61m	4.7	
A52 & A53 (24.9 x 24.9) @ 6.72m	213.73	
A53 & A54 (24.9 x 24.9) @ 6.83m	61.19	
A54 & A55 (24.9 x 24.9) @ 6.94m	103.83	
A55 & A56 (24.9 x 24.9) @ 7.05m	8.9	
A56 & A57 (24.9 x 24.9) @ 7.16m	79.8	
A57 & A58 (24.9 x 24.9) @ 7.27m	117.5	
A58 & A59 (24.9 x 24.9) @ 7.38m	1.9	
A59 & A60 (24.9 x 24.9) @ 7.49m	220.59	
A60 & A61 (24.9 x 24.9) @ 7.60m	169.65	
A61 & A62 (24.9 x 24.9) @ 7.71m	2.4	
A62 & A63 (24.9 x 24.9) @ 7.82m	52.14	
A63 & A64 (24.9 x 24.9) @ 7.93m	41.31	
A64 & A65 (24.9 x 24.9) @ 8.04m	87.94	
A65 & A66 (24.9 x 24.9) @ 8.15m	20.5	
A66 & A67 (24.9 x 24.9) @ 8.26m	20.64	
A67 & A68 (24.9 x 24.9) @ 8.37m	48.41	
A68 & A69 (24.9 x 24.9) @ 8.48m	100.66	
A69 & A70 (24.9 x 24.9) @ 8.59m	30.46	
A70 & A71 (24.9 x 24.9) @ 8.70m	67.25	
A71 & A72 (24.9 x 24.9) @ 8.81m	32.96	
A72 & A73 (24.9 x 24.9) @ 8.92m	148.80	
A73 & A74 (24.9 x 24.9) @ 9.03m	102.46	
A74 & A75 (24.9 x 24.9) @ 9.14m	110.0	
A75 & A76 (24.9 x 24.9) @ 9.25m	100.15	
A76 & A77 (24.9 x 24.9) @ 9.36m	49.80	
A77 & A78 (24.9 x 24.9) @ 9.47m	26.34	
A78 & A79 (24.9 x 24.9) @ 9.58m	64.00	
A79 & A80 (24.9 x 24.9) @ 9.69m	14.80	
A80 & A81 (24.9 x 24.9) @ 9.80m	71.21	
A81 & A82 (24.9 x 24.9) @ 9.91m	14.51	
A82 & A83 (24.9 x 24.9) @ 10.02m	23.60	
A83 & A84 (24.9 x 24.9) @ 10.13m	30.40	
A84 & A85 (24.9 x 24.9) @ 10.24m	34.44	
A85 & A86 (24.9 x 24.9) @ 10.35m	50.14	
A86 & A87 (24.9 x 24.9) @ 10.46m	34.44	
A87 & A88 (24.9 x 24.9) @ 10.57m	25.50	
A88 & A89 (24.9 x 24.9) @ 10.68m	23.34	
A89 & A90 (24.9 x 24.9) @ 10.79m	14.50	
A90 & A91 (24.9 x 24.9) @ 10.90m	70.21	
A91 & A92 (24.9 x 24.9) @ 11.01m	18.46	
A92 & A93 (24.9 x 24.9) @ 11.12m	28.63	
A93 & A94 (24.9 x 24.9) @ 11.23m	100.86	
A94 & A95 (24.9 x 24.9) @ 11.34m	51.5	
A95 & A96 (24.9 x 24.9) @ 11.45m	20.25	
A96 & A97 (24.9 x 24.9) @ 11.56m	18.54	
A97 & A98 (24.9 x 24.9) @ 11.67m	244.8	
A98 & A99 (24.9 x 24.9) @ 11.78m	72.56	
A99 & A100 (24.9 x 24.9) @ 11.89m	437.2	
A100 & A101 (24.9 x 24.9) @ 12.00m	100.00	
Average Grade 10,662.6 / 484.07 = 22.02		

AVERAGE GRADE CALCULATIONS
Scale: 1:200

McClure Street

Revised
City of Montreal

MAY 03 17

Planning & Development Department
Development Services Unit

KEAY GROUP
ARCHITECTURE LTD.

1114-1410

COMMENTS

NO.	REVISION	DATE	BY
1	MAP/FREEDOM SUBMISSION	2017-04-11	
2	REV MAP/FREEDOM SUBMISSION	2017-04-11	
3	REV AVERAGE GRADE CALC	2017-04-11	
4	REV GATE AND GARAGE DOOR	2017-04-11	
5	REV AS PER ADP COMMENTS	2017-04-11	
6	REV AS PER ADP COMMENTS	2017-04-11	
7	REV AS PER ADP COMMENTS	2017-04-11	

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE

PARKING LEVEL PLAN
McCLURE ST. UNITS

SCALE
AS NOTED

JOB NO.
1124 - 1410

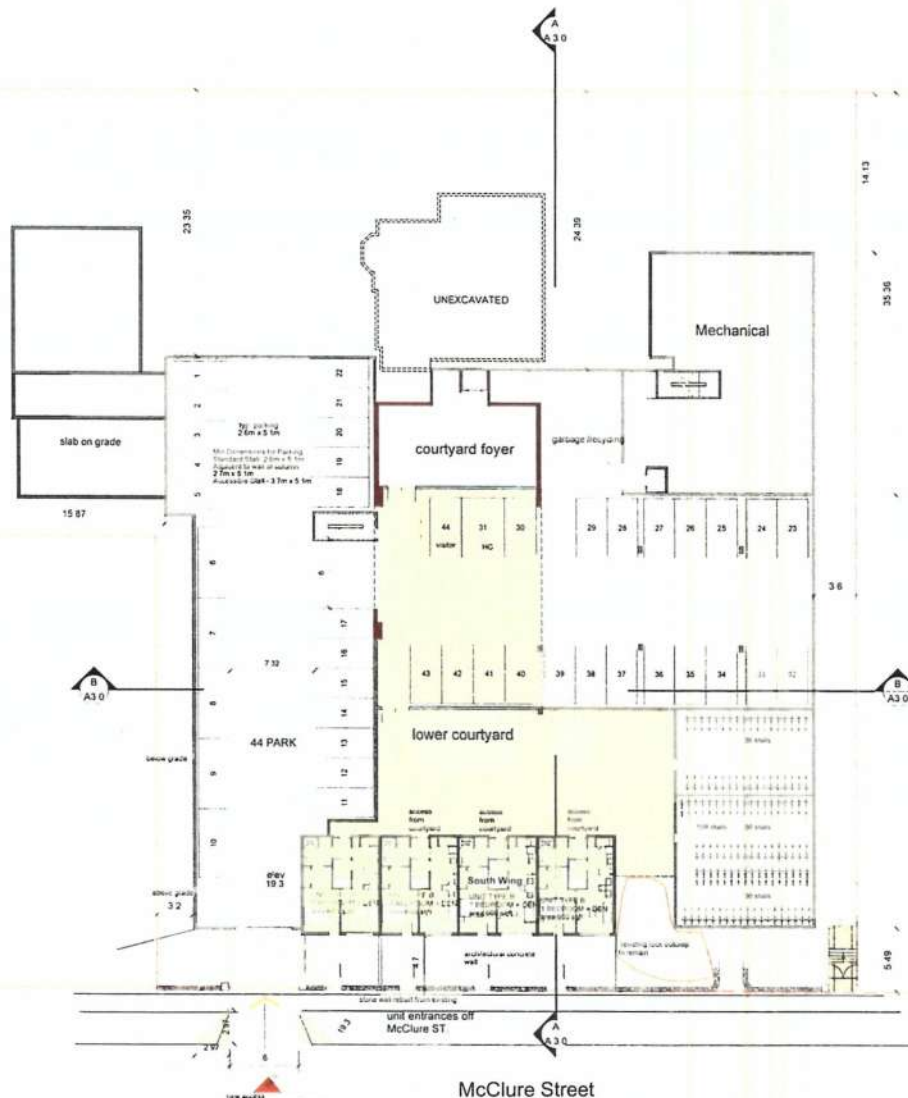
DATE PLOTTED
May 02, 2017

DRAWN BY

A1.1

PARKING LEVEL PLAN/McCLURE ST. UNITS
Scale: 1:200

Total McClure Street Level Units - 4 units



Feeling

MAY 03 1977

Planning & Development Department
Realignment Services Division

KILAY OFFICE
ARCHITECTURE LTD.

1000-275X(200505)23:5;1-4

#	DESCRIPTION	DATE	TIME
1	WAVE / RECEIVING ANTENNA	10/1/01	10:00
2	RECEIVING ANTENNA	10/1/01	10:00
3	RECEIVING ANTENNA	10/1/01	10:00
4	RECEIVING ANTENNA	10/1/01	10:00
5	RECEIVING ANTENNA	10/1/01	10:00
6	RECEIVING ANTENNA	10/1/01	10:00
7	RECEIVING ANTENNA	10/1/01	10:00

MOUNT ST. ANGELA
Senior Living. Redefined.

See also

LEVEL 1 PLAN

LEVEL 1 PLAN
Scale: 1:200

Scale: 1:200

Carreiff Res.	- 2 units
Mt. St. Angela	- 0 units
Building 1	
Cartriff Wing	- 3 units
West Wing	- 5 units
South Wing	- 5 units
East Wing	- 8 units
Temple Res.	- 3 units
Total Level 1 - 26 units	

Total Level 1 - 26 units

A1.2



MOUNT ST. ANGELA
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Item	15.00 percent	20.00 percent
1. HAZARDOUS SUBSTANCE	100.00	100.00
2. RECYCLED MATERIALS SUBSTANCE	100.00	100.00
3. RECYCLED CARPET CARC	100.00	100.00
4. RECYCLED CARPET CARC	100.00	100.00
5. RECYCLED CARPET CARC	100.00	100.00
6. RECYCLED CARPET CARC	100.00	100.00
7. RECYCLED CARPET CARC	100.00	100.00

SCALE	1:250 - 1:100
AS NOTED	
DATE PLOTTED	
MAY 02, 2017	
LOCATION: 117	
	A1.3

MAY 03 2017

Planning & Development Department
Development Services DivisionKULAV, + COLLETT
ARCHITECTURE LTD.

PROJECT NO. 152-2017

COMMENTS

NO.	REVISION	DATE
1	MAP REQUESTING SUBMISSION	SEP 2017
2	REV. MAP REQUESTING SUBMISSION	APR 2018
3	REV. AVERAGE GRADE CALC	APR 2018
4	REV. GATE AND GARAGE DOOR	APR 2018
5	REV. AS PER ADP COMMENTS	APR 2018
6	REV. AS PER ADP AND ADP COMMENTS	APR 2018
7	REV. AS PER ADP COMMENTS	APR 2018

MOUNT ST. ANGELA

Senior Living, Redefined.



LEVEL 3 PLAN
Scale: 1:200

Cartreff Res. - 1 units
Mt. St. Angela - 4 units
Building #1 - 4 units
Atrium/Galleria - 4 units
Cartreff Wing - 1 units
West Wing - 9 units
South Wing - 0 units
East Wing - 13 units
Temple Res. - 2 units
Total Level 3 Units - 34 units

SHEET TITLE

LEVEL 3 PLAN

SCALE

AS NOTED

A1.4

1124 - 1450

DATE PLOTTED

May 02, 2017

DRAWN BY

A1.4

MAY 03 2017

Planning & Development Department
Development Services Division

BLAY ARCHITECTURE LTD.

Project No. 102

Comments

NO.	REVISION	DATE	BY
1	HAP / REZONING SUBMISSION	JAN 2017	
2	REV HAP / FOLLOWING SUBMISSION	JAN 2017	
3	REV AVERAGE GRADE CALC	JAN 2017	
4	REV GATE AND GARAGE DOOR	JAN 2017	
5	REV #1 PER ADP COMMENTS	NOV 2016	
6	REV #1 PER ADP JUNE COMMENTS	FEB 2017	
7	REV #1 PER ADP COMMENTS	MAY 2017	

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE

LEVEL 4 PLAN

SCALE

AS NOTED

DATE PLOTTED

May 02, 2017

DRAWN BY

JOB NO.

1124 - 1410

A1.5



LEVEL 4 PLAN
Scale: 1:200

Mt. St. Angela - 3 units
Building 1
Atrium/Galleria - 4 units
West Wing - 8 units
East Wing - 13 units
Total Level 4 Units - 28 units

[illegible]

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
LEVEL 5 PLAN

SCALE	2:25 Hrs
AS NOTED	1124 - 1410
DATE PLOTTED	
May 02, 2017	
UNION BY	
	A1.6



LEVEL 5 PLAN
Scale: 1:200

Building 1
West Wing - 7 units
East Wing - 5 units
Total Level 5 Units - 12 units

Received
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

KLAY CLACK
ARCHITECTURE LTD.

COMMENTS

NO.	DESCRIPTION	DATE	BY
1	HAP FREEZING SUBMISSION	SEP 2016	
2	REV HAP FREEZING SUBMISSION	SEP 2016	
3	REV RAILROAD GRADE CALE	SEP 2016	
4	REV GATE AND GARAGE DOOR	SEP 2016	
5	REV as per HAP COMMENTS	SEP 2016	
6	REV as per HAP COMMENTS	SEP 2016	
7	REV as per HAP COMMENTS	SEP 2016	

MOUNT ST. ANGELA

Senior Living, Redefined.

SHEET TITLE

LEVEL 6 PLAN

SCALE
AS NOTED

JOB No.
1124 - 1410

DATE PLOTTED
May 02, 2017

GRAPHIC BY

A1.7

LEVEL 6 PLAN
Scale: 1:200

Building 1
West Wing - 4 units
East Wing - 5 units
Total Level Units - 9 units



Burdett Avenue

A
A3.0

Building #1

activity roof
garden below

3
A2.2

McClure Street

A
A3.0

Cartreff Res

Mt. St. Angela

Temple Rec.

South Wing

East Wing

West Wing

5.64

4.22

5.66

21.35

RECEIVED
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

KLAY CLARK
ARCHITECTURE LTD.

44-7143-00-1000

COMMENTS

NO.	DATE	DESCRIPTION	BY	CHK
1	10/10/2016	REVISED SUBMISSION	KL	KL
2	10/10/2016	REVISED SUBMISSION	KL	KL
3	10/10/2016	REVISED SUBMISSION	KL	KL
4	10/10/2016	REVISED SUBMISSION	KL	KL
5	10/10/2016	REVISED SUBMISSION	KL	KL
6	10/10/2016	REVISED SUBMISSION	KL	KL
7	10/10/2016	REVISED SUBMISSION	KL	KL

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE

ROOF PLAN

DATE: 11/24/16

DATE: 11/24/16

DATE: 11/24/16

A1.8

MacClure Street

Burdett Avenue

ROOF PLAN

Scale: 1/200



MAY 03 2017

Planning & Development Department
Development Services Division

FINISH SCHEDULE

1. FINISH SCHEDULE
2. FINISH SCHEDULE
3. FINISH SCHEDULE
4. FINISH SCHEDULE
5. FINISH SCHEDULE
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13. FINISH SCHEDULE
14. FINISH SCHEDULE

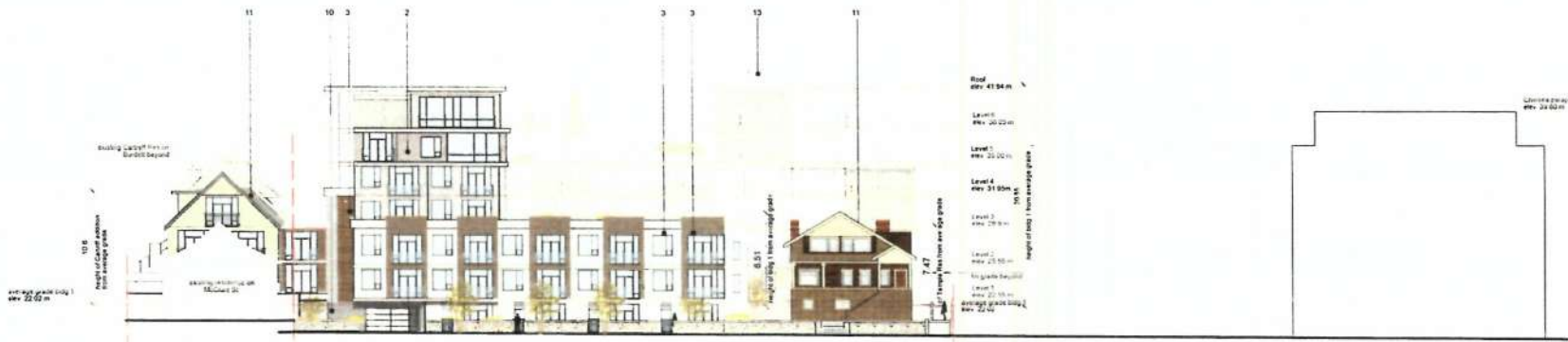
MAY 03 2017
ARCHITECTURE LTD.

COMMENTS

No.	REVISION	DATE	BY
1	MAP / REDLIVING SUBMISSION	04/01/17	
2	REV. MAP / REDLIVING SUBMISSION	04/01/17	
3	REV. AVIATION GRADE CALC	04/01/17	
4	REV. GATE AND GARAGE DOOR	04/01/17	
5	REV. ASPHALT DRIVEWAY	04/01/17	
6	REV. ASPHALT DRIVEWAY	04/01/17	
7	REV. ASPHALT DRIVEWAY	04/01/17	



1 Burdett Ave. Elevation
Scale: 1:200



2 McClure St. Elevation
Scale: 1:200

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

ELEVATIONS

SCALE

AS NOTED

JOB NO.

1124 - 1410

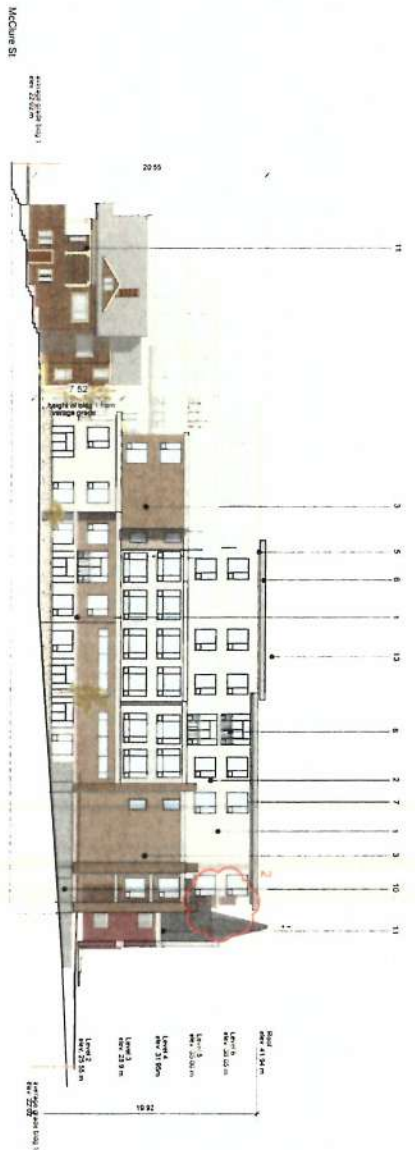
DATE PLOTTED

May 02, 2017

DATE PLOT

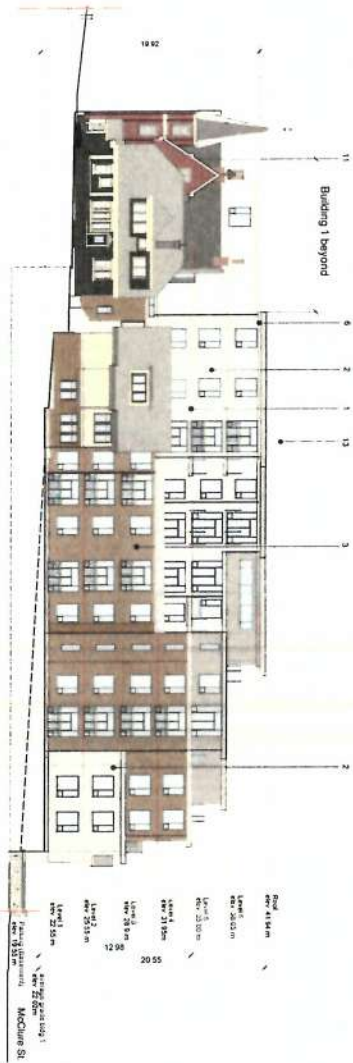
04/01/17

A2.0



FINISH SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	EXTERNAL WALL FINISH	SQ. M	1000	10.00	10000.00
2	INTERNAL WALL FINISH	SQ. M	2000	5.00	10000.00
3	FLOOR FINISH	SQ. M	1000	10.00	10000.00
4	CEILING FINISH	SQ. M	1000	10.00	10000.00
5	ROOF FINISH	SQ. M	1000	10.00	10000.00
6	PAINT WORK	LITRE	1000	10.00	10000.00
7	GLASS WORK	SQ. M	1000	10.00	10000.00
8	IRONWORK	KG	1000	10.00	10000.00
9	PLASTER WORK	SQ. M	1000	10.00	10000.00
10	CONCRETE WORK	SQ. M	1000	10.00	10000.00
11	BRICKWORK	SQ. M	1000	10.00	10000.00
12	STONEWORK	SQ. M	1000	10.00	10000.00
13	LANDSCAPE WORK	SQ. M	1000	10.00	10000.00
14	OTHER WORK	SQ. M	1000	10.00	10000.00



RECEIVED
City of Victoria
MAY 03 2017
Planning & Development Department
Development Services Division

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE	
ELEVATIONS	
SCALE	AS NOTED
DATE	MAY 02, 2017
DESIGNED BY	A2.1

RECEIVED
CITY OF VICTORIA
MAY 03 2017
Planning & Development Department
Redevelopment Services Unit

MOUNT ST. ANGELA
ARCHITECTURE LTD.

DATE: 2.5.2017

PROJECT: 17-001

REVISION: 1

COMMENTS:

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITTING	2.5.2017	MTS
2	REV. PERMITTING SUBMISSION	2.5.2017	MTS
3	REV. PERMITTING SUBMISSION	2.5.2017	MTS
4	REV. PERMITTING SUBMISSION	2.5.2017	MTS
5	REV. PERMITTING SUBMISSION	2.5.2017	MTS
6	REV. PERMITTING SUBMISSION	2.5.2017	MTS
7	REV. PERMITTING SUBMISSION	2.5.2017	MTS



COMMENTS

No.	ISSUES	Date	By
1	HAP / REZONING SUBMISSION	SEP 2011	
2	REV HAP / REZONING SUBMISSION	APR 2012	
3	REV- AVERAGE GRADE CALC	APR 13/12	
4	REV- GATE AND GARAGE DOOR	APR 18/12	
5	REV- as per ADF comments	NOV 14/12	
6	REV- as per HAP ADF joint comments	FEB 2013	
7	REV- as per staff comments	MAY 2013	

Building 1 beyond

Level 1
elev. 41.94 m

Level 2
elev. 42.00 m

Level 3
elev. 42.06 m

Level 4
elev. 42.12 m

Level 5
elev. 42.18 m

Level 6
elev. 42.24 m

Level 7
elev. 42.30 m

Level 8
elev. 42.36 m

Level 9
elev. 42.42 m

Level 10
elev. 42.48 m

Level 11
elev. 42.54 m

Level 12
elev. 42.60 m

Level 13
elev. 42.66 m

Level 14
elev. 42.72 m

Level 15
elev. 42.78 m

Level 16
elev. 42.84 m

Level 17
elev. 42.90 m

Level 18
elev. 42.96 m

Level 19
elev. 43.02 m

Level 20
elev. 43.08 m

Level 21
elev. 43.14 m

Level 22
elev. 43.20 m

Level 23
elev. 43.26 m

Level 24
elev. 43.32 m

Level 25
elev. 43.38 m

Level 26
elev. 43.44 m

Level 27
elev. 43.50 m

Level 28
elev. 43.56 m

Level 29
elev. 43.62 m

Level 30
elev. 43.68 m

Level 31
elev. 43.74 m

Level 32
elev. 43.80 m

Level 33
elev. 43.86 m

Level 34
elev. 43.92 m

Level 35
elev. 43.98 m

Level 36
elev. 44.04 m

Level 37
elev. 44.10 m

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elev. 44.16 m

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elev. 44.22 m

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elev. 44.28 m

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elev. 44.34 m

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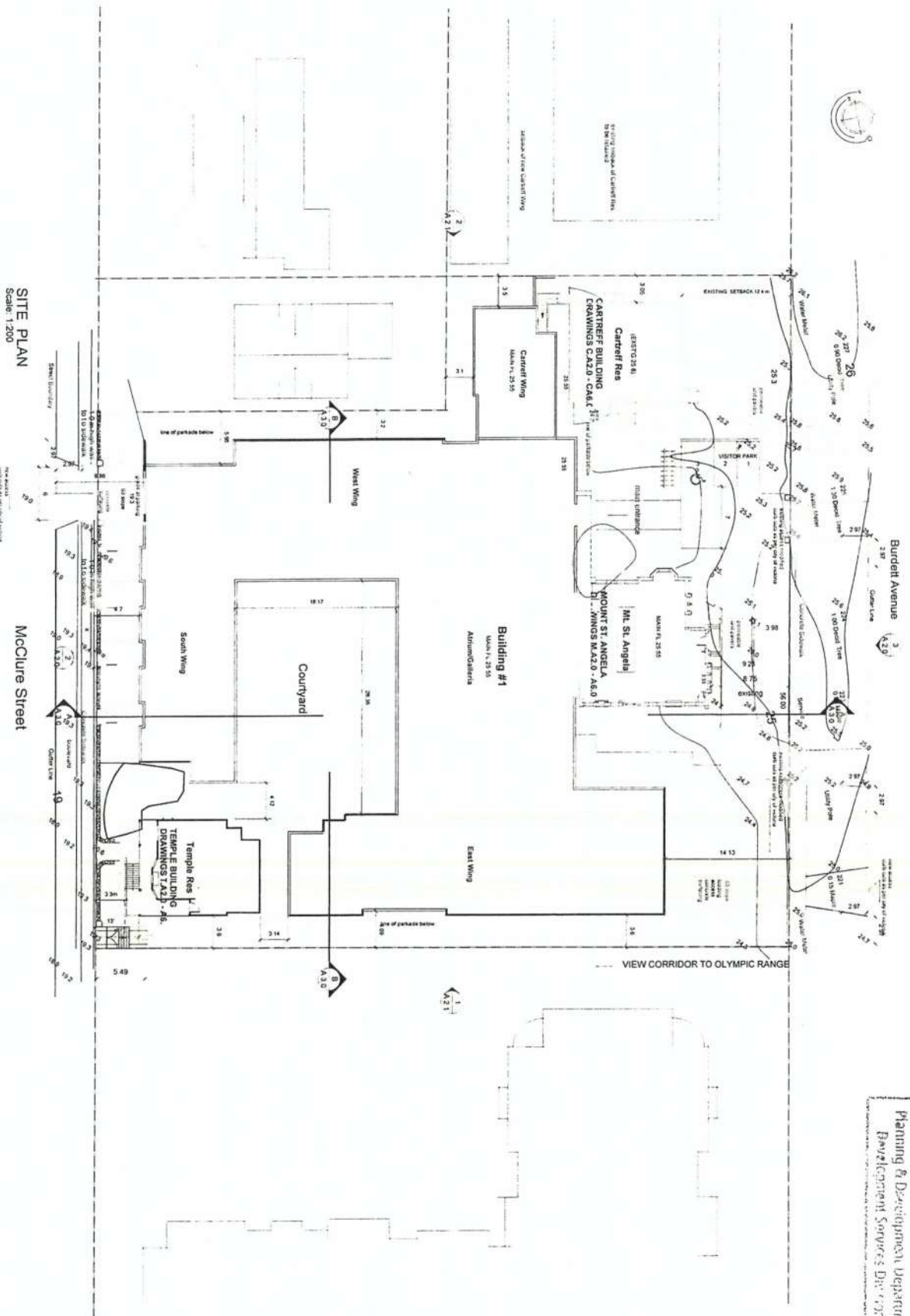
The architectural drawings illustrate the proposed development at 150a, 150b, and 150c. The site plan shows the layout of the three buildings, with Building 1 being the largest and most prominent. Building 1 is a multi-story structure with a flat roof and a central section that is wider than the wings. It is surrounded by a parking area and a landscaped area. Building 2 is a smaller, two-story structure with a gabled roof, and Building 3 is a single-story structure with a flat roof. The floor plans show the internal layout of the buildings, including rooms, corridors, and service areas. The section view shows the vertical profile of the buildings, highlighting the roof levels and the internal structure. The drawings are labeled with 'Building 1', 'Building 2', and 'Building 3', and include various annotations such as 'Roof level 41.94 m', 'Level 5 level 30.00 m', 'Level 4 level 31.95 m', 'Level 3 level 28.9 m', 'Level 2 level 25.50 m', 'Level 1 level 22.55 m', 'Parking level level 15.55 m', 'average grade level 22.00', and 'existing ground level 20.00'.

SCALE AS NOTED	J20 Feb 1124 - 1410
DATE PLOTTED May 02, 2017	A3.0
UNAPPROVED	

MAY 03 1977

Planning & Development Department
Displacement Services Division

KEAY + GEGGO
ARCHITECTURAL LTD



MOUNT ST. ANGELA
Senior Living. Redefined.

COMMENTS		REV	DATE
1	ADD NEW ROOMS	1	01/01/2017
2	ADD NEW ROOMS	2	01/01/2017
3	ADD NEW ROOMS	3	01/01/2017
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92	ADD NEW ROOMS	92	01/01/201

[illegible]

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

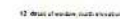
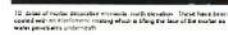
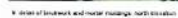
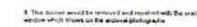
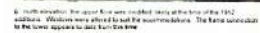
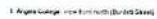
ST. ANGELA COLLEGE
RESTORATION

PHOTOGRAPHS

SCALE	JOE P&G
AS NOTED	1124 - 1410

DATE PLOTTED _____

M.A2.0



COMMENTS		
NO.	DATE/TIME	DATE
1	HAP / REZONING SUBMISSION	
2	REV HAP / REZONING SUBMISSION	04/26/2016
3	REV AVERAGE GRADE CALC	04/27/2016
4	REV GATE AND GARAGE DOOR	05/17/2016
5	REV AS PER ADP COMMENTS	05/19/2016
5	Final ADP HAP REVISIONS	05/24/2016

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

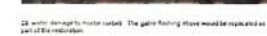
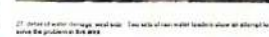
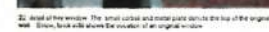
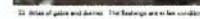
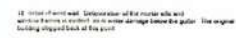
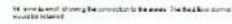
ST. ANGELA COLLEGE
RESTORATION

PHOTOGRAPHS

SCALE	JOB No.
AS NOTED	1124 - 1410

DATE PLOTTED	
May 02, 2017	

DRAWN BY	M.A2.1
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MAY 03 2017

Planning & Development Department
Development Services Division

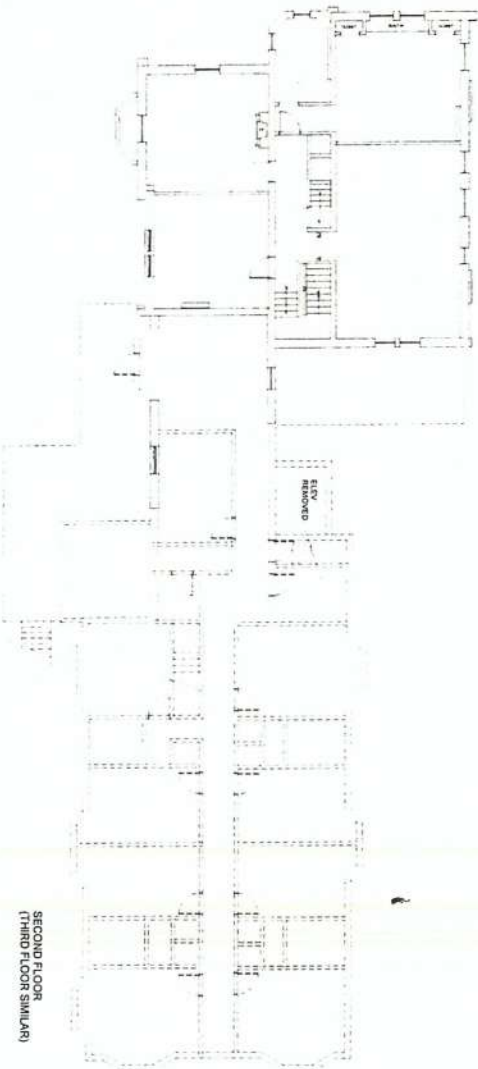
KEAY + GECCO

ADDRESS: 1110

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COMMENTS

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1	1	HPV RECDNA SUBSTATION	1000000	1000000
2	2	HPV HP1 RECDNA SUBSTATION	1000000	1000000
3	3	REV ANTENN GROUND CABLE	1000000	1000000
4	4	REV DATE AND CABLE DOOR	1000000	1000000
5	5	REV AS PER ACI 308.2-11S	1000000	1000000
6	6	REV AS PER ACI 308.2-11S	1000000	1000000



GROUND FLOOR

**SECOND FLOOR
(THIRD FLOOR SIMILAR)**

DEMOLITION LEGEND & GENERAL NOTES

WEATHER WALLS - DO NOT REMOVE
EARTHED WALLS - TO BE STRIPPED OUT
WALLS TO BE REMOVED

CONCLUSIONS

[illegible]

9. identify a social, cultural, or religious factor that may contribute to the health of a community.
10. identify a health care provider or organization that is addressing a health problem of all clients.
11. identify a health care provider or organization that is addressing a health problem of a specific client.
12. provide accurate information to the client and the client's support system.

MOUNT ST. ANGELA
Senior Living. Redefined.

BEST TIME

COLLEGE
RESTORATION
DEMO PLANS

SCALE

AS NOTED

May 02, 20

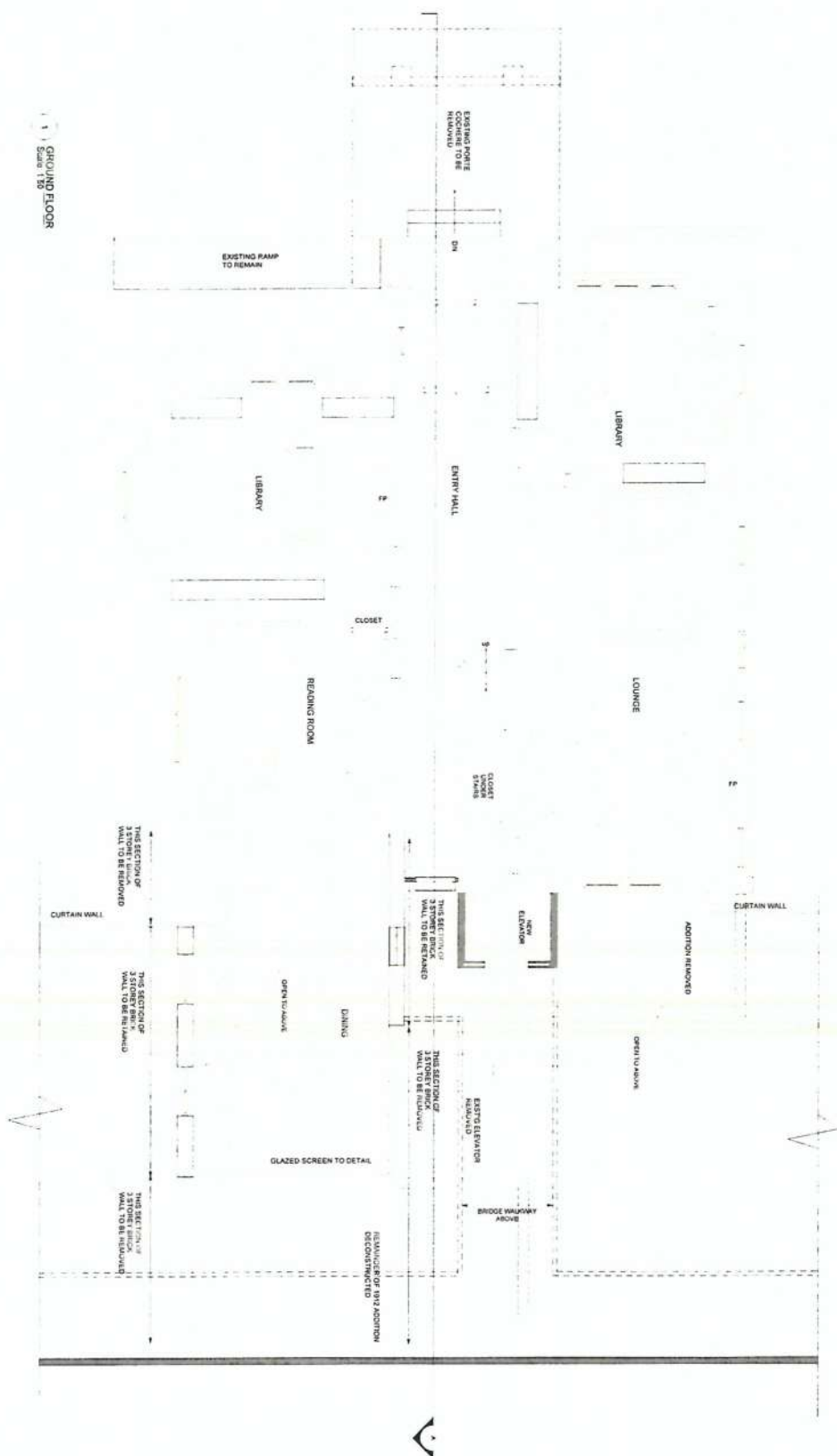
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QUESTIONS		DATE
1	REPLY RECEIVING SUBSTATION	DATE 20
2	REPLY RECEIVING SUBSTATION	DATE 20
3	REPLY RECEIVING SUBSTATION	DATE 13
4	REPLY DATE AND QUANTITY	DATE 13
5	REPLY DATE AND QUANTITY	DATE 13
6	REPLY DATE AND QUANTITY	DATE 13

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE	
COLLEGE RESTORATION RENO PLANS	
SCALE	AS NOTED
DATE NOTED	May 02, 2017
DESIGNED BY	M.A.A.0
CHECKED BY	



RENOVATION LEGEND & GENERAL NOTES

[illegible]

GENERAL NOTE

INSTRUCTIONS



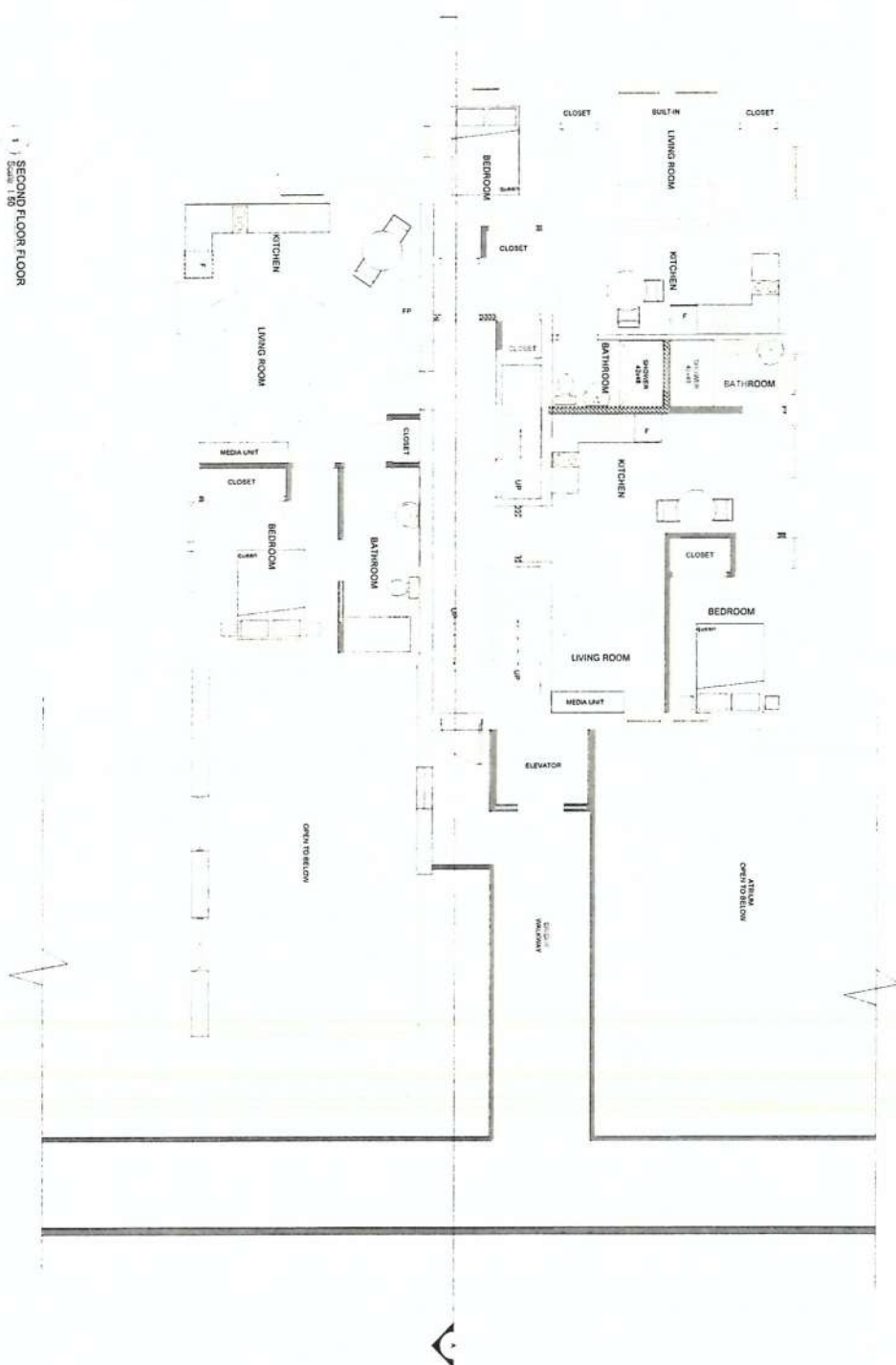
Pharmacy & Therapeutics Department
Hospitalization Services Division

KEAY + CECCHI
ARCHITECTURAL LTD

COMMENTS			
NO	DATE	NAME	AGE
1	14/06/14		
2	14/06/14	HAIR RELAXATION TREATMENT	1000
3	14/06/14	REPAIR AND RECONSTRUCTION	1000
4	14/06/14	REPAIR AND RECONSTRUCTION	1000
5	14/06/14	REPAIR AND RECONSTRUCTION	1000
6	14/06/14	REPAIR AND RECONSTRUCTION	1000

MOUNT ST. ANGELA
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SHEET TITLE	
COLLEGE RESTORATION RENO PLANS	
SCALE	AS NOTED
DATE NOTED	MAY 02, 2017
DATE NOTED	
UNITS/SCALE	
M.A.A. 1	



SECOND FLOOR FLOOR
Scale 1:50

RENOVATION LEGEND & GENERAL NOTES

[illegible]

MAY 03 2017

Planning & Development Department
Development Services Division

KEY + CEGCO
ARCHITECTURE LTD

1124-1410 1124-1410

COMMENTS

NO.	REVISION	DATE
1	HAPP REVISION SUBMISSION	SEP 28 17
2	REV HAPP REVISION SUBMISSION	NOV 20 17
3	REV AVERAGE GRADE CALC	NOV 20 17
4	REV GATE AND GARGE DOOR	JAN 18 18
5	REV AS PER ADP COMMENTS	MAY 02 18
6	REV AS PER ADP HAPP REVISION	MAY 02 18

MOUNT ST. ANGELA
Senior Living, Redefined.

1 THIRD FLOOR
Scale: 1/50

RENOVATION LEGEND & GENERAL NOTES

EXISTING WALLS	EXHAUST FAN
EXISTING WALLS - STRIPPED PAINT WITH INSULATION	WALL CAP FOR VENTING
EXISTING WALLS - STRIPPED PAINT WITH INSULATION - FILLED BAY INSULATION TO ROOF	DROPPED CEILING FOR SERVICES
EXISTING WALLS - FILLED BAY INSULATION TO ROOF	BULKHEAD
NEW CONCRETE FOUNDATION WALLS	
NEW WATER WALL - WOOD FINISHES	
NEW WATER WALL - NEW FINISHES	
NEW INTERIOR WALL	

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S BUILDING BYLAWS AND THE NATIONAL BUILDING CODE OF CANADA.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S PLUMBING BYLAWS AND THE NATIONAL PLUMBING CODE OF CANADA.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S ELECTRICAL BYLAWS AND THE NATIONAL ELECTRICAL CODE OF CANADA.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S MECHANICAL BYLAWS AND THE NATIONAL MECHANICAL CODE OF CANADA.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S FIRE BYLAWS AND THE NATIONAL FIRE CODE OF CANADA.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S ENVIRONMENTAL BYLAWS AND THE NATIONAL ENVIRONMENTAL CODE OF CANADA.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S ACCESSIBILITY BYLAWS AND THE NATIONAL ACCESSIBILITY CODE OF CANADA.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S HISTORIC PRESERVATION BYLAWS AND THE NATIONAL HISTORIC PRESERVATION CODE OF CANADA.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S LANDSCAPE ARCHITECTURE BYLAWS AND THE NATIONAL LANDSCAPE ARCHITECTURE CODE OF CANADA.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S TRAFFIC BYLAWS AND THE NATIONAL TRAFFIC CODE OF CANADA.

11. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S PUBLIC WORKS BYLAWS AND THE NATIONAL PUBLIC WORKS CODE OF CANADA.

12. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S UTILITIES BYLAWS AND THE NATIONAL UTILITIES CODE OF CANADA.

13. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S WATER BYLAWS AND THE NATIONAL WATER CODE OF CANADA.

14. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S SEWER BYLAWS AND THE NATIONAL SEWER CODE OF CANADA.

15. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S GAS BYLAWS AND THE NATIONAL GAS CODE OF CANADA.

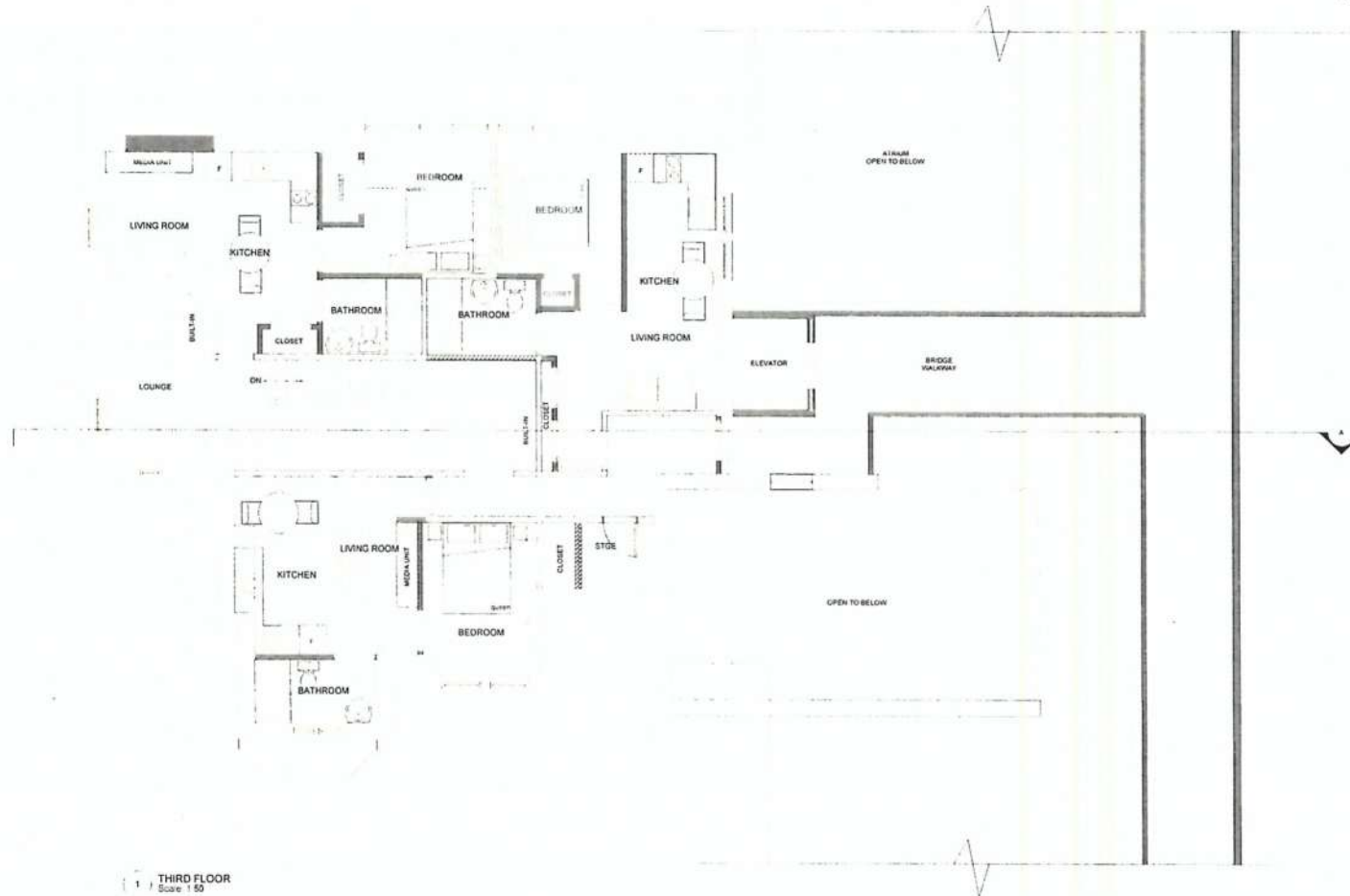
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S RAILROAD BYLAWS AND THE NATIONAL RAILROAD CODE OF CANADA.

17. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S AIRPORT BYLAWS AND THE NATIONAL AIRPORT CODE OF CANADA.

18. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S MARINE BYLAWS AND THE NATIONAL MARINE CODE OF CANADA.

19. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S AEROSPACE BYLAWS AND THE NATIONAL AEROSPACE CODE OF CANADA.

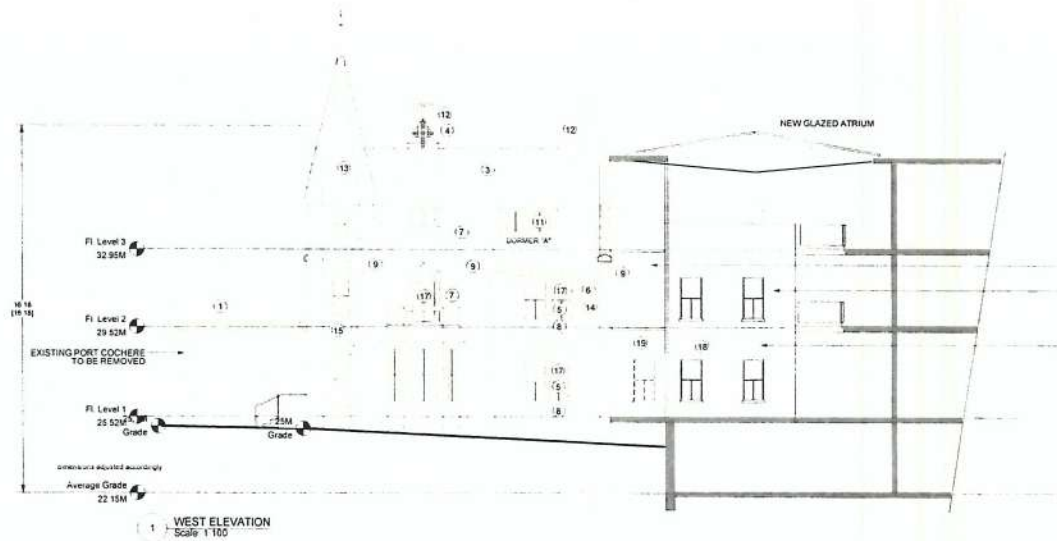
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA'S SPACE BYLAWS AND THE NATIONAL SPACE CODE OF CANADA.



MAY 03 2017

Planning & Development Department
Development Services Unit

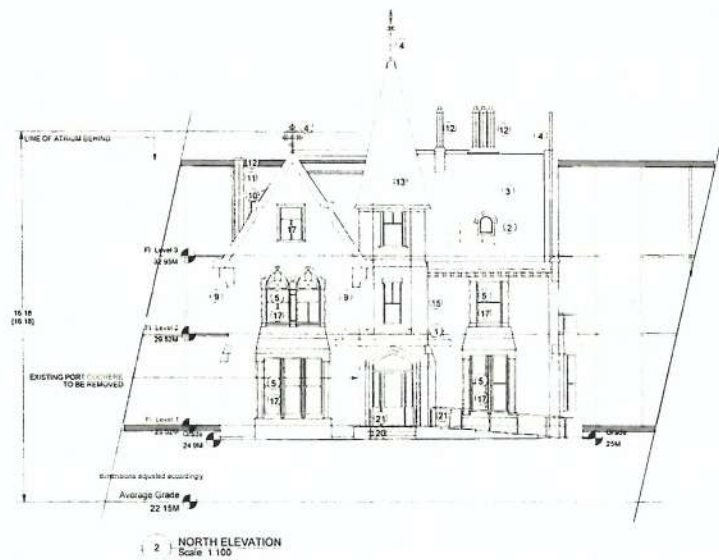
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PART OF BRICK WALL TO BE REMOVED AND
REPLACED WITH GLAZING

UPPER PORTION OF 1912 BRICK
WALL TO REMAIN

LOWER PORTION OF ORIGINAL BRICK
WALL TO REMAIN



ANGELA COLLEGE

SCOPE OF EXTERIOR RESTORATION WORK:

1. DECONSTRUCT PORTE COCHERE. MAKE BRICK EXTERIOR WALL GOOD
2. REMOVE GURMER ON NORTH ELEVATION. RECONSTRUCT ORIEL WINDOW
3. NEW PT CEDAR SHINGLE ROOF
4. RE AND RE SHEET METAL FINALS AS REQUIRED
5. REPAIR MORTAR AS REQUIRED. TO MATCH SPECIFICATIONS
6. REBUILD GUTTER AND R/W. AS REQUIRED. TO MATCH ORIGINAL
7. RE AND RE SHEET METAL DECORATIVE ELEMENTS
8. REPAIR MORTAR SILLS AND WINDOW SURROUNDINGS
CONFIRM MORTAR AND PROCEDURES
9. ELASTOMERIC COATINGS ON CORBELS AND OTHER ELEMENTS
MADE GOOD. FLASH JOINT AT BRICKWORK. FLASHING COLOR TO
MATCH COATING. DO NOT REMOVE COATINGS
10. GURMER REMOVED. ROOF MADE GOOD
11. CHIMNEY AND WINDOWS REBUILT TO DETAIL
12. CHIMNEYS STABILIZED PER STRUCTURAL
13. RE AND RE SHINGLE ROOF ON TOWER
14. NEW 4" ROUND R/W THROUGHOUT
15. REMOVE METAL FIRE ESCAPE
16. DECONSTRUCT REAR ADDITION AND REAR STAIR
17. REBUILD WINDOWS AS REQUIRED. REPAIR
18. THIS SECTION OF ORIGINAL CONSTRUCTION TO REMAIN
19. THIS SECTION OF ORIGINAL CONSTRUCTION ALTERED AS SHOWN
20. NEW CAST CONC STAIRS
21. NEW STAINLESS STEEL HANDRAILS

MOUNT ST. ANGELA

Senior Living. Redefined.

SHEET TITLE

COLLEGE
RESTORATION
ELEVATIONS

SCALE

AS NOTED

DATE PLOTTED

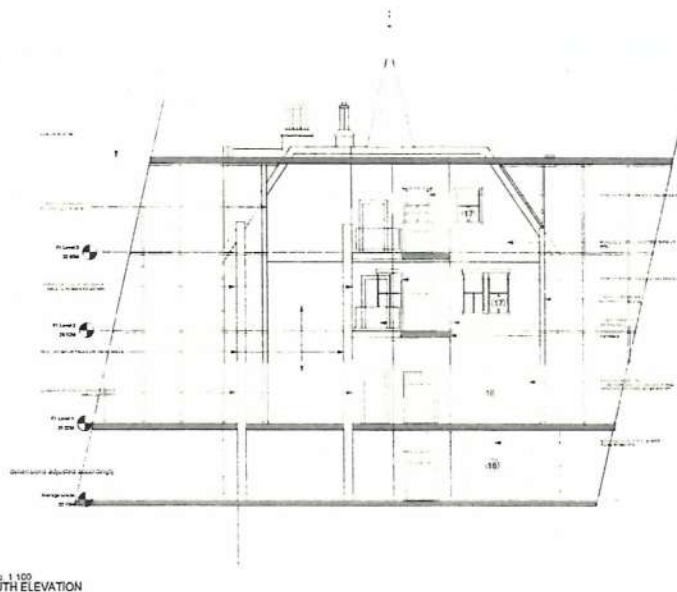
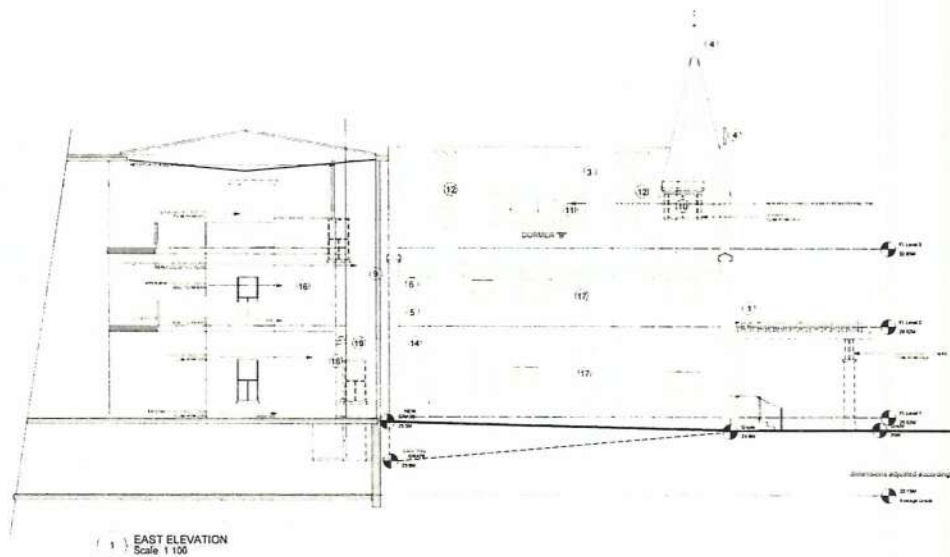
May 02, 2017

DRAWN BY

JOB NO.

1524 - 1410

M.A5.0



Received
City of Victoria
MAY 03 2017
Planning & Development Department
Development Services Division

KEAY + CECOCO
ARCHITECTURE LTD.

PROJECT NO. 1124-1410 DATE PLOTTED: MAY 02, 2017

COMMENTS		
NO.	DESCRIPTION	DATE
1	HAP / REZONING SUBMISSION	SEP 2017
2	REV HAP / REZONING SUBMISSION	APR 2018
3	REV AVERAGE GRADE CALC	MAY 2018
4	REV GATE AND GARGE DOOR	JULY 2018
5	REV AS PER ADP COMMENTS	NOV 2018
6	REV AS PER ADP HAP / REZONING SUBMISSION	NOV 2018

MOUNT ST. ANGELA
Senior Living, Redefined.

- ANGELA COLLEGE
SCOPE OF EXTERIOR RESTORATION WORK
1. DECONSTRUCT PORTE COCHERE. MAKE BRICK EXTERIOR WALL GOOD
 2. REMOVE DORMER ON NORTH ELEVATION. RECONSTRUCT ORIEL WINDOW
 3. NEW P1 CEDAR SHINGLE ROOF
 4. RE AND RE SHEET METAL FINALS AS REQUIRED
 5. REPAIR MORTAR AS REQUIRED TO MORTAR SPECIFICATIONS
 6. REBUILD GUTTER AND RIM AS REQUIRED TO MATCH ORIGINAL
 7. RE AND RE SHEET METAL DECORATIVE ELEMENTS
 8. REPAIR MORTAR SILLS AND WINDOW SURROUNDINGS CONFIRM MORTAR AND PROCEDURES
 9. ELASTOMERIC COATINGS ON CORBELS AND OTHER ELEMENTS MADE GOOD. FLASH JOINT AT BRICKWORK. FLASHING COLOR TO MATCH COATING. DO NOT REMOVE COATING
 10. DORMER REMOVED, ROOF MADE GOOD
 11. DORMER AND WINDOWS REBUILT TO DETAIL
 12. CHIMNEYS STABILIZED PER STRUCTURAL
 13. RE AND RE SHINGLE ROOF ON TOWER
 14. NEW 4" ROUND RIM THROUGHOUT
 15. REMOVE METAL FIRE ESCAPE
 16. DECONSTRUCT REAR ADDITION AND REAR STAIR
 17. REBUILD WINDOWS AS REQUIRED. REPAINT
 18. THIS SECTION OF ORIGINAL CONSTRUCTION TO REMAIN
 19. THIS SECTION OF ORIGINAL CONSTRUCTION ALTERED AS SHOWN
 20. NEW CAST CONC STAIRS
 21. NEW STAINLESS STEEL HANDRAILS

SHEET TITLE	
COLLEGE RESTORATION ELEVATIONS	
SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED May 02, 2017	
DRAWN BY	M.A5.1

Received
City of Victoria

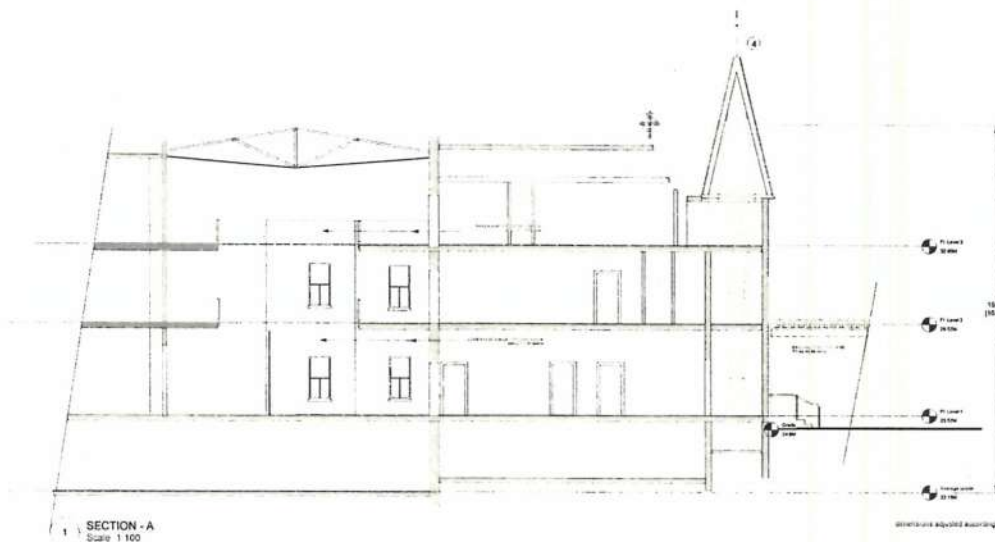
MAY 03 2017

Planning & Development Department
Development Services Division

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COMMENTS

NO.	REVISION	DATE	BY
1	HAP / REVISIONS SUBMISSION	2017-04-11	
2	REV HAP / REVISIONS SUBMISSION	2017-04-11	
3	REV AVERAGE GRADE CALC	2017-04-11	
4	REV GATE AND GARDEN DOOR	2017-04-11	
5	REV AS PER HAP COMMENTS	2017-04-11	
6	REV AS PER HAP / HAP / REVISIONS SUBMISSION	2017-04-11	



SECTION - A
Scale 1:100



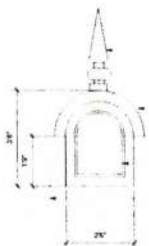
ZINC COATED 'GLASSWAVE' STANDING
SEAM ROOF
AND SIDE PANELS

ZINC GALV. METAL GUTTER
AND 2" FLANG RAIL

WOOD FRAMED
THERMO-GLASS WINDOW
CHASSIS

DORMER 'A'

DORMER 'B'



GALV METAL FINIAL

ZINC COATED 'GLASSWAVE' STANDING
SEAM ROOF
AND SIDE PANELS

WOOD FRAMED
THERMO-GLASS WINDOW
FINIAL

ADJACENT ROOF MADE WOOD

ORIEL WINDOW



DETAIL OF ORIEL WINDOW AND FINIAL,
FROM 1876 PHOTOGRAPH

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
**COLLEGE
RESTORATION**
SECTIONS & DETAILS

SCALE AS NOTED	DATE PLOTTED May 02, 2017
DATE PLOTTED May 02, 2017	DATE PLOTTED May 02, 2017
DATE PLOTTED May 02, 2017	DATE PLOTTED May 02, 2017

M.A6.0



1. View from the right side of the main floor. The right side of the main floor is a former open porch. The building is well maintained, and is currently occupied by the owners.



2. View from the northeast, showing the front and side of the house.



3. View of the front entrance. The relationship of the house to the street is well defined when it is viewed from this angle.



4. View of the side of the house. The view shows the side of the house and the relationship to the street.



5. View of the front porch, showing the railing and the steps.



6. View of the side of the house, showing the chimney and the side porch.



7. View of the front entrance. The view shows the front entrance and the relationship to the street.



8. View of the side of the house. The view shows the side of the house and the relationship to the street.



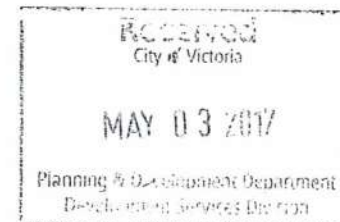
9. View of the front entrance. The view shows the front entrance and the relationship to the street.

KEAY GROUP
ARCHITECTURE LTD.

1000 10th Ave. Suite 100
Vancouver, BC V6Z 1Y1

COMMENTS		
NO.	DESCRIPTION	DATE
1	HAP/RECEIVING SUBMISSION	2017-01-10
2	REV HAP/RECEIVING SUBMISSION	2017-01-10
3	REV AVERAGE GRADE CALC	2017-01-10
4	REV GATE AND GARDEN DOOR	2017-01-10
5	REV AS PER ADP COMMENTS	2017-01-10
6	JOINT ADP/HAP REVISIONS	2017-01-10

MOUNT ST. ANGELA
Senior Living. Redefined.



SHEET TITLE
**CARTREFF RESIDENCE
RESTORATION
PHOTOGRAPHS**

SCALE AS SHOWN	DATE PLOTTED May 02, 2017	C.A2.0
DESIGNED BY		

NO.	DESCRIPTION	DATE	BY
1	HAP / REDRAWING SUBMISSION	25.01.2017	
2	REV HAP / REDRAWING SUBMISSION	25.01.2017	
3	UPDATED REV HAP / REDRAWING SUB	25.01.2017	
4	REVISED AS PER CLIENT COMMENTS	25.01.2017	

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE
CARTREFF RESIDENCE
RESTORATION
DEMO PLANS

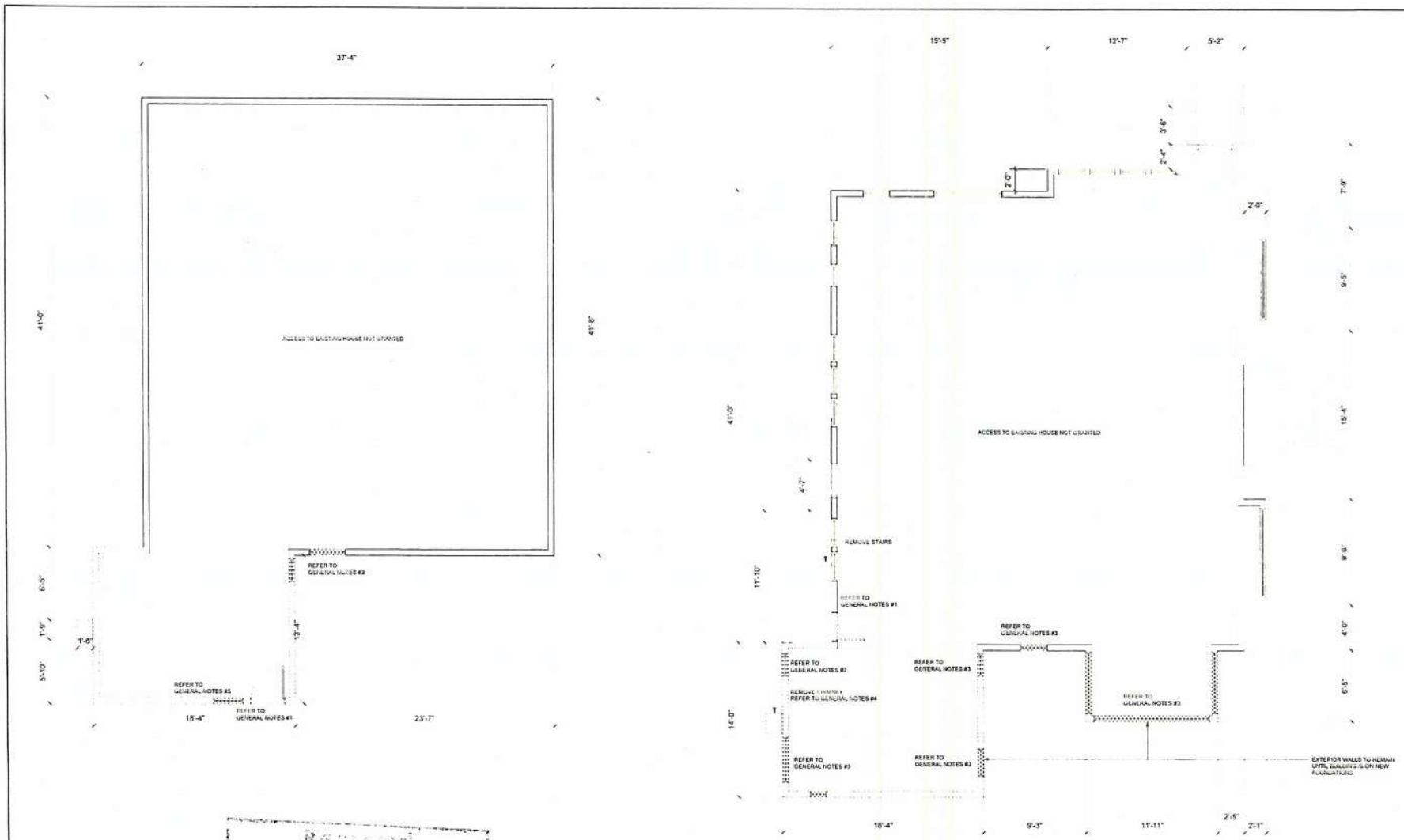
SCALE
AS NOTED

DATE PLOTTED
May 02, 2017

DATE
May 02, 2017

SCALE
1124 - 1410

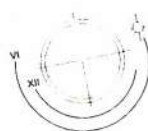
SCALE
C.A3.0



1 BASEMENT LEVEL
Scale 1:50

2 MAIN LEVEL
Scale 1:50

RECEIVED
City of Victoria
MAY 03 2017
Planning & Development Department
Development Services Unit



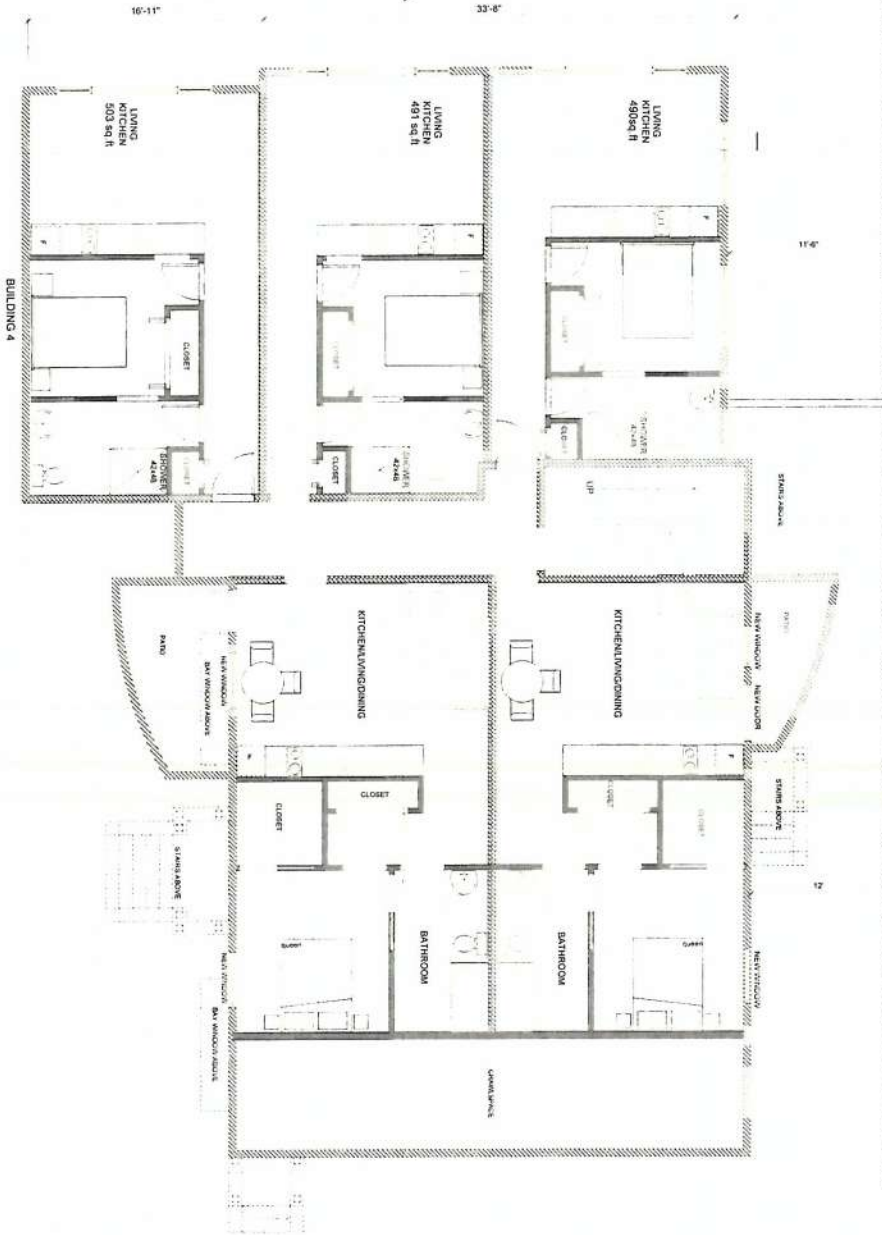
DEMOLITION LEGEND & GENERAL NOTES

- EXISTING WALLS - DASHED LINE WITH HATCH
- EXISTING WALLS - TO BE STRIPPED OF GYPSUM PLASTER
- WALLS TO BE REMOVED
- DOOR - REFER TO DOOR SCHEDULE

GENERAL NOTES

- ALL WOOD PANEL, DOOR FRAMES AND ALL BRICKWORK ETC. ARE TO BE REMOVED WITH CARE - AT ALL TIMES, CARE AND PRECAUTIONS ARE TO BE TAKEN TO PROTECT THE REMAINING STRUCTURE AND THE EXISTING WORK IS TO BE PROTECTED.
- COMBINE REMOVAL OF ALL CRITICAL, BRICKWORK AND ALL WITH THE ELECTRICAL CONTRACTOR AND REFER TO ELECTRICAL CONTRACTOR FOR A TYPICAL.
- REMOVE AND TRIM IN PLASTER FROM CATH WALL TO BE REMOVED WITH CARE AND STORED FOR RE-USE IN NEW FOUNDATIONS.
- DISMANTLE CHIMNEY CHIMNEY AND RETAIN BRICKWORK FOR RE-USE. PRIOR TO DISMANTLING CHIMNEY BRICKWORK, DISMANTLING OF ALL BRICKWORK TO BE TAKEN CARE TO PROTECT THE REMAINING STRUCTURE AND THE EXISTING WORK IS TO BE PROTECTED.
- REMOVE ALL EXISTING FURNITURE AND PLUMBING TO BE REPLACED WITH NEW.
- REMOVE ALL EXISTING FLOORING AND PLUMBING TO BE REPLACED WITH NEW.
- REMOVE AND STORE ANY EQUIPMENT, APPLIANCES, TO BE RE-USED BY THE ARCHITECT.
- REMOVE ALL EXISTING FLOORING TO BE REPLACED WITH NEW FLOORING.
- PROTECT ALL OPENINGS CREATED BY THIS DEMOLITION DURING STRIP-OUT AND MOVING.
- PROTECT SECURITY TO OWNER'S SPECIFICATION.

PROPERTY LINE



GARDEN LEVEL
Scale 1/50



RENOVATION LEGEND & GENERAL NOTES

- | | | | |
|---|--|---|----------------------------------|
|  | EXISTING WALLS |  | EXISTING FLOOR |
|  | EXISTING WALLS TO BE REMOVED |  | WALL, CLAMP FOR TIE-RODS |
|  | EXISTING WALLS TO BE REMOVED AND RECONSTRUCTED |  | UNDESIGNED OR UNBUILT DETAILS |
|  | EXISTING WALLS TO BE REMOVED AND RECONSTRUCTED |  | RECONSTRUCT |
|  | NEW WETTED WALL - CONCRETE/CMU |  | GENERAL NOTES |
|  | NEW WETTED WALL - CONCRETE/CMU |  | SEE GENERAL NOTES FOR DIMENSIONS |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU |  | |
|  | NEW WETTED WALL - CONCRETE/CMU | | |
|  | NEW WETTED WALL - CONCRETE/CMU | | |
|  | NEW WETTED WALL - CONCRETE/CMU | | |
|  | NEW WETTED WALL - CONCRETE/CMU | | |
|  | NEW WETTED WALL - CONCRETE/CMU | | |

GENERAL NOTES

- Well, first, to get the most out of your simulation, you need to know what you're looking for. In other words, you need to know what you're looking for. In other words, you need to know what you're looking for. In other words, you need to know what you're looking for.

MOUNT ST. ANGELA
Senior Living. Redefined.

LOWER FLOOR PLAN

C.A4.0

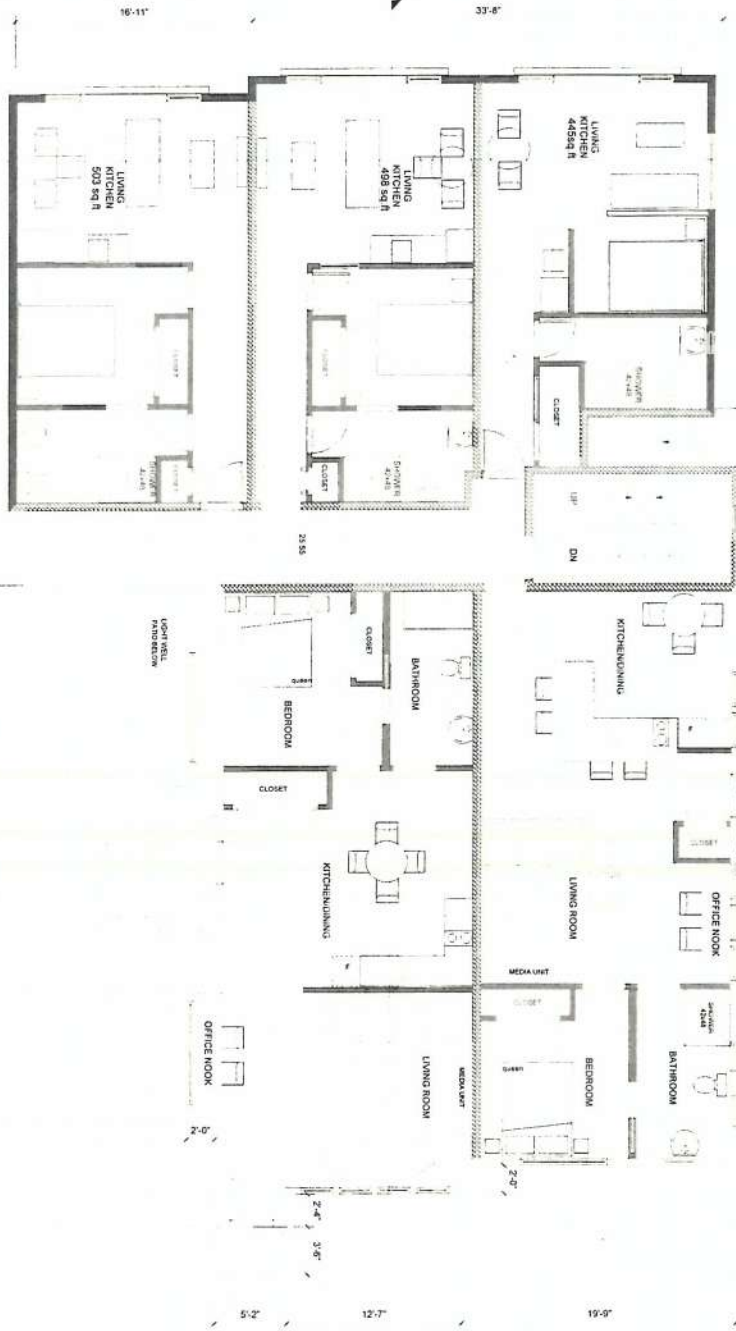
Item	Item Name	Unit
1	MAP/RECONSTRUCTION	sq. ft.
2	REV MAP/RECONSTRUCTION	sq. ft.
3	UNAPPORTED REV MAP/RECONSTRUCTION	sq. ft.
4	Revised as per client comments	sq. ft.

MAY 03 2017

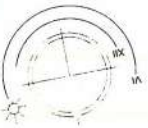
Planning & Designation Department
 Department of Services Division

NEW ADDITION
 EXISTING BUILDING

PROPERTY LINE



MAIN LEVEL
 Scale: 1/8" = 1'-0"



REVISIONS, LEGEND & GENERAL NOTES

NO.	DATE	DESCRIPTION
1	05/03/17	ISSUED FOR PERMIT
2	05/03/17	REVISED PER PLAN ROOMS
3	05/03/17	REVISED PER PLAN ROOMS
4	05/03/17	REVISED PER PLAN ROOMS
5	05/03/17	REVISED PER PLAN ROOMS

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC).
- ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2015 NATIONAL ELECTRICAL CODE (NEC).
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL PLUMBING CODE (IPC).
- ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE (IMC).
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL FIRE DEPARTMENT.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ENVIRONMENTAL AGENCY.

MOUNT ST. ANGELA Senior Living. Redefined.

PROJECT TITLE
 CARRIAGE RESIDENCE
 RESTORATION

SCALE
 1/8" = 1'-0"

DATE NOTED
 MAY 03, 2017

DESIGNER
 C.A.4.1

REVISIONS

NO.	DATE	DESCRIPTION
1	05/03/17	ISSUED FOR PERMIT
2	05/03/17	REVISED PER PLAN ROOMS
3	05/03/17	REVISED PER PLAN ROOMS
4	05/03/17	REVISED PER PLAN ROOMS
5	05/03/17	REVISED PER PLAN ROOMS

COMMENTS

NO.	DATE	DESCRIPTION
1	05/03/17	ISSUED FOR PERMIT
2	05/03/17	REVISED PER PLAN ROOMS
3	05/03/17	REVISED PER PLAN ROOMS
4	05/03/17	REVISED PER PLAN ROOMS
5	05/03/17	REVISED PER PLAN ROOMS

RC 2419-02
City of Victoria

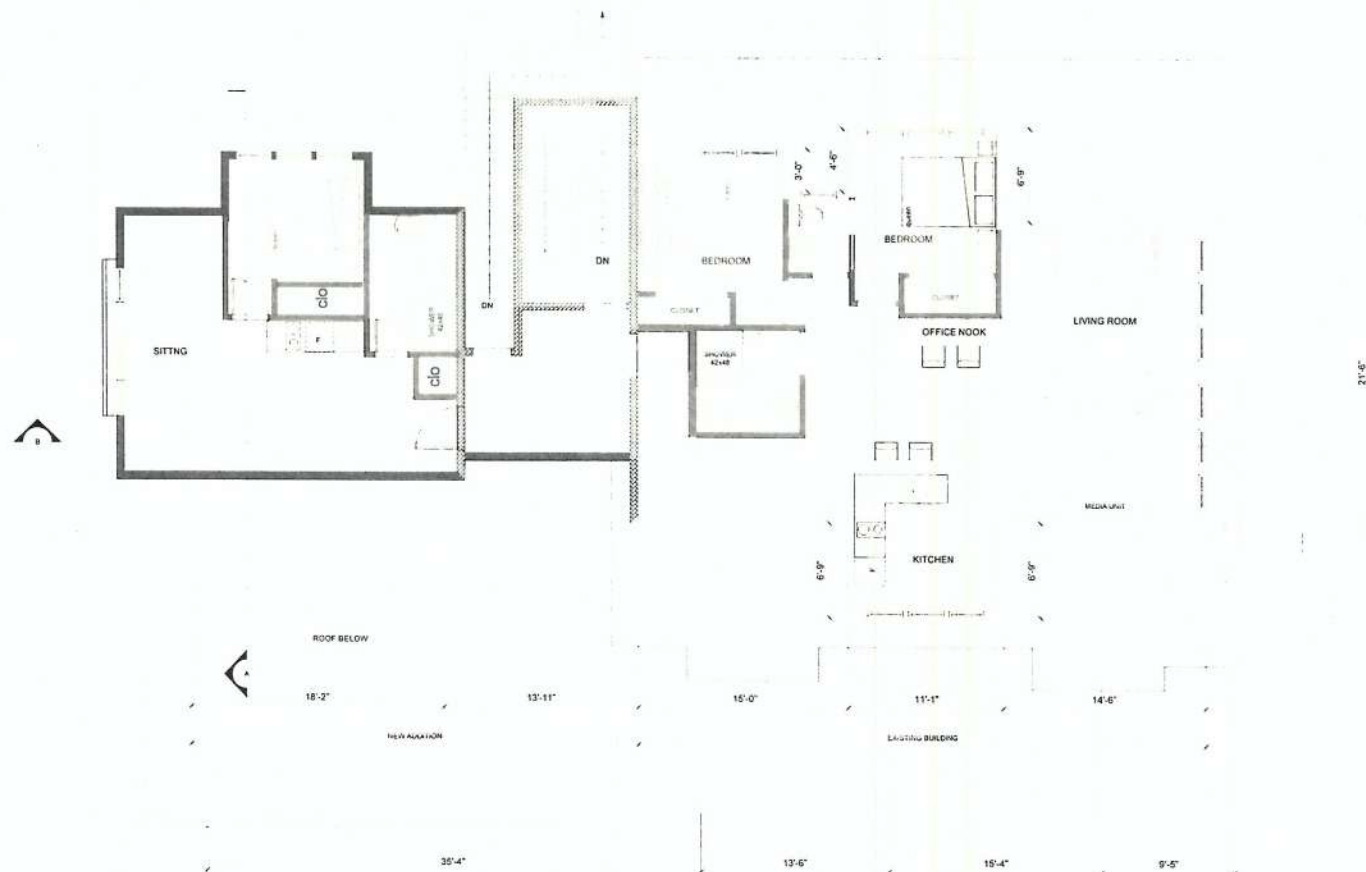
MAY 03 2017

Planning & the Community Department
Development Services - Planning

KEY + CEGCO
ARCHITECTURE LTD

PROJECT NO: 1014 DRAWING NO: 1014

COMMENTS		
NO.	DESCRIPTION	DATE
1	HAP / REZONING SUBMISSION	June 2015
2	REV HAP / REZONING SUBMISSION	June 2016
3	UPDATED REV HAP / REZONING SUB	June 2017
4	Revised as per staff comments	May 2017



SECOND LEVEL
Scale: 1:50

RENOVATION LEGEND & GENERAL NOTES

	EXISTING WALLS		EXHAUST FAN
	EXISTING WALLS - OPENING FILLED		WALL CAP FOR VENTING
	EXISTING WALLS - OPENING IN STONWORK		DROPPED CEILING FOR SERVICES
	EXISTING WALLS - OPENING IN STONWORK		BULKHEAD
	EXISTING WALLS - OPENING IN STONWORK		
	NEW CONCRETE FOUNDATION WALLS		
	NEW RATED WALL - 1st or 2nd STOREY		
	NEW RATED WALL - NEW FRAMED WALL		
	NEW WALLS		

GENERAL NOTES

1. WALL PANEL DOORS TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION
2. WINDOW AND DOOR - TO BE RE-INSTALLED AS PER ARCHITECT'S INSTRUCTION
3. INSTALL DUCTS TO WIRE THROUGH ROOF AND IN 2nd WALLS WHICH ARE EXISTING

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE CARTREFF RESIDENCE RESTORATION	
UPPER FLOOR PLAN	
SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED May 02, 2017	C.A4.2
DRAWN BY	

MAY 03 1977

Planning & Use Committee Report
Development of a new building

[illegible][illegible]

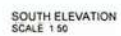
MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
CARTREFF RESIDENCE
RESTORATION
ELEVATIONS

SCALE AS NOTED	JOB No. 1124 - 1410
-------------------	------------------------

DATE PLOTTED
May 02, 2017

C.A5.0



- ### FINISH SCHEDULE
- #### SCOPE OF EXTERIOR RESTORATION WORK
1. REMOVE GLAZED WINDOW ROOF
 2. REPAIR AND REGLAZE WALL SHINGLES, PAINTED
 3. REPAIR WOOD FRAM, WINDOW AS REQUIRED, REPAINT
 4. CHIMNEY'S RECONSTRUCTED
 5. NEW TYPH ON MEMBRANE ROOF
 6. NEW ALU GUTTERS CAWROUND ROOF
 7. EXTEND EXISTING TOWER AS SHOWN, TO ACCOMMODATE EXIT STAIR, SHINGLES FINISH TO MATCH
 8. STUCCO, PEBBLE FINISH, COLOR TO SPEC
 9. WOOD FRAME THERMO GL WINDOWS, PAINTED
 10. ALUMINUM FRAMED THERMO GL WINDOWS, PAINTED
 11. ALUMINUM RAILING SYSTEM, FOR GAZETTE BALCONY
 12. BRICK VENTIL C/W ALUMINUM LATE, PAINTED
 13. TYPICAL LIMESTONE PANELS
 14. METAL FLASHING GASKED LAMZEL FINISH
 15. ALUMINUM RAILING SYSTEM IN GLAZED PANELS
 16. STONE VENEER - SANDSTONE - BUFF COLOUR, HONEYCOMB
 17. BRICK VENEER - BROWN COLOUR

1500-000-0000
City of Victoria

MAY 03 2017

Planning & Development Department
Residential Development Division

KEY + CECCE
ARCHITECTURE LTD.

1500-000-0000 Fax 778-100-0000

COMMENTS

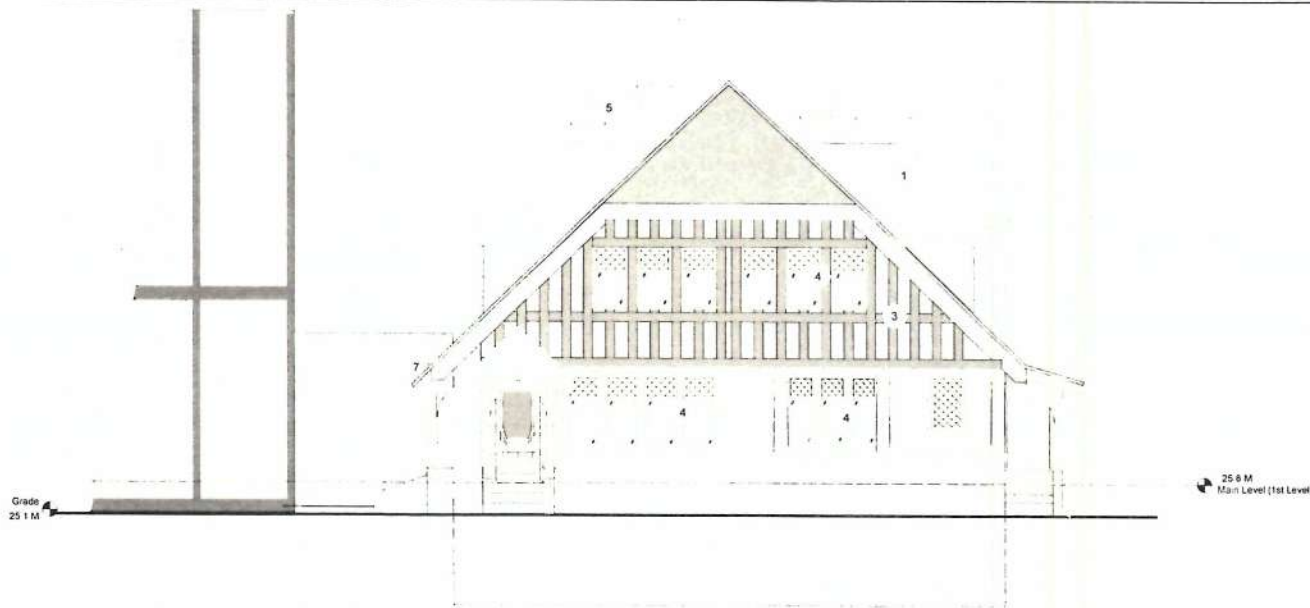
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2	REV HAP / REZONING SUBMISSION	2016-01-11
3	UPDATED REV HAP / REZONING SUB	2016-01-11
4	Revised as per DRAFT comments	2016-01-11

- FINISH SCHEDULE**
- SCOPE OF EXTERIOR RESTORATION WORK**
1. FIBREGLASS SHINGLE ROOF
 2. RE AND RE CEDAR WALL SHINGLES, PAINTED
 3. RE AND RE WOOD TRIM, PAINTED
 4. REPAIR WOOD FRAME WINDOWS AS REQUIRED, REPAINT
 5. CHIMNEYS RECONSTRUCTED
 6. NEW TORCH ON W/SHINGLE ROOF
 7. NEW ALU GUTTERS C/W ROUND RVL
 8. EXTEND EXISTING TOWER AS SHOWN TO ACCOMMODATE EXIT STAIR - SHINGLE FINISH TO MATCH
 9. STUCCO - PEBBLE DASH FINISH, COLOR TO SPEC
 10. WOOD FRAME THERMO GL WINDOWS, PAINTED
 11. ALUMINUM FRAMED THERMO GL WINDOWS, PAINTED
 12. ALUMINUM PICKETS AND RAIL FOR JULIETTE BALCONY
 13. BRICK WALL C/W ALUMINUM GATE, PAINTED
 14. TYNDALE Limestone PANELS
 15. METAL FLASHING BAKED ENAMEL FINISH
 16. ALUMINUM RAILING SYSTEM W/ GLAZED PANELS
 17. STONE VENEER - SANDSTONE - BUFF COLOUR - HONEYFINISH
 18. BRICK VENEER (BROWN COLOUR)

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
CARTREFF RESIDENCE RESTORATION ELEVATIONS

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED May 02, 2017	C.A5.1
DRAWN BY	



NORTH ELEVATION
SCALE 1:50
Average grade
22.02 M

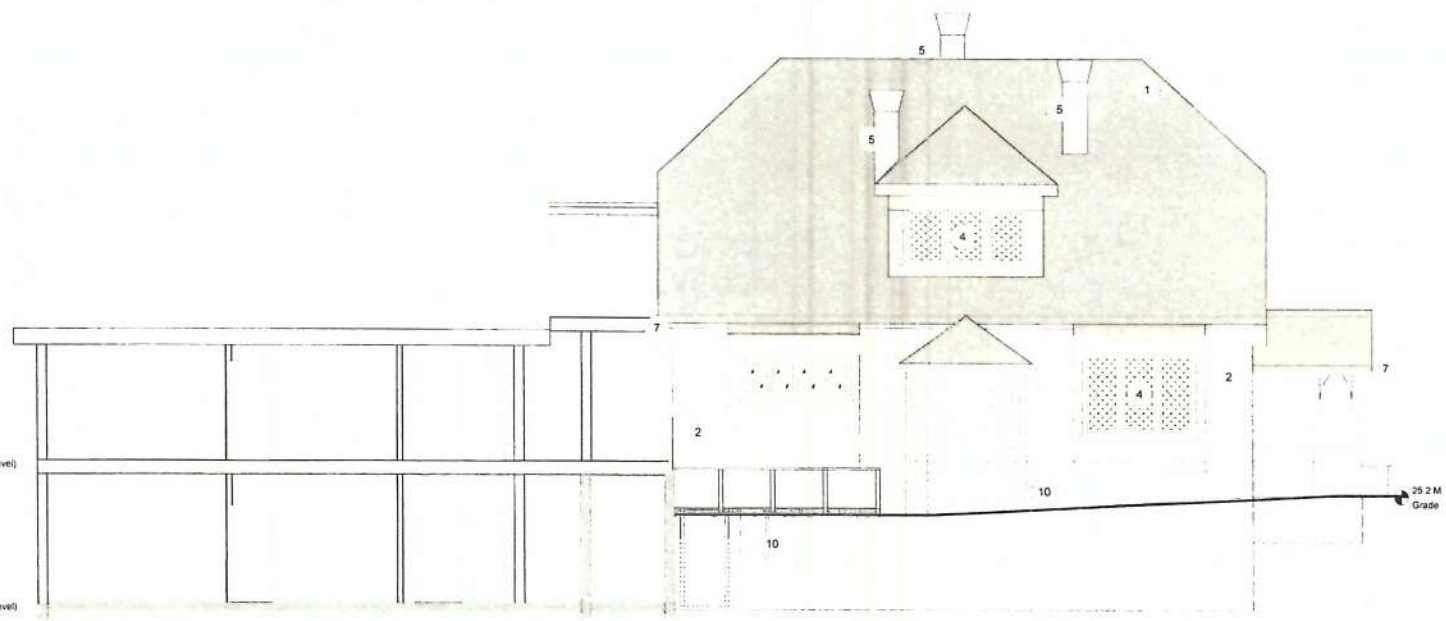
25.1 M
Grade

29.1 M
Second Level

25.05 M
Main Level (1st Level)

EAST ELEVATION
SCALE 1:50
Average grade
22.02 M
Lower Level (-1 Level)
22.8 M

25.2 M
Grade



HOUSE 1630
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

KEY + GECCO
ARCHITECTURE LTD.

DATE: 2017-02-02 TIME: 10:00 AM

COMMENTS

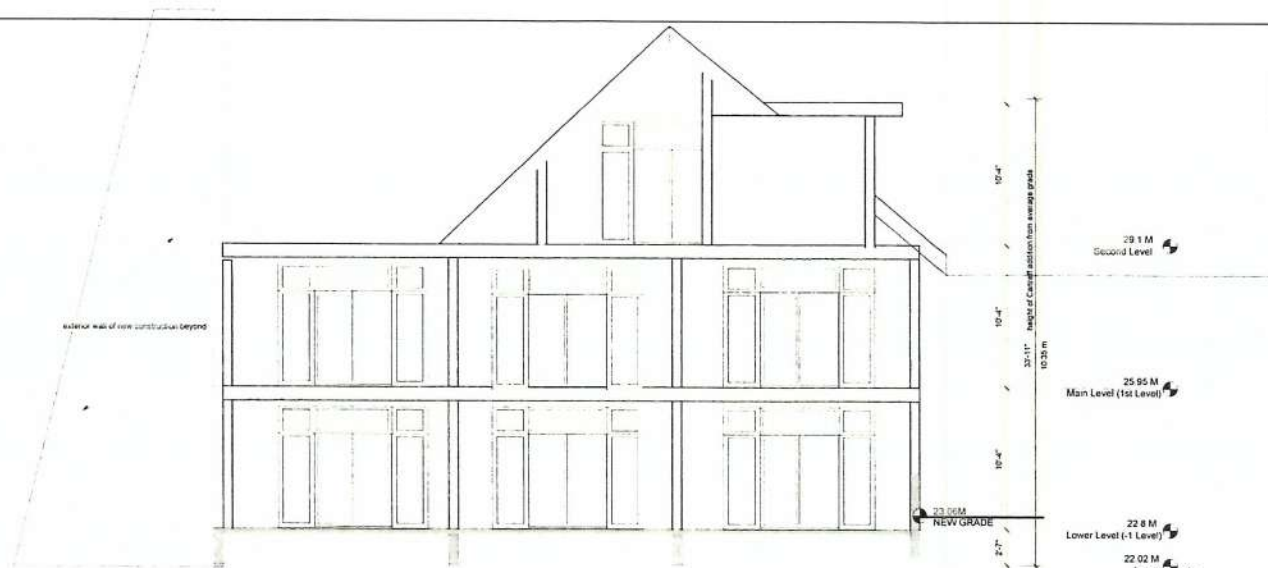
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4	REVISED AS PER STAT COMMENTS	2017-02-02	

MOUNT ST. ANGELA Senior Living. Redefined.

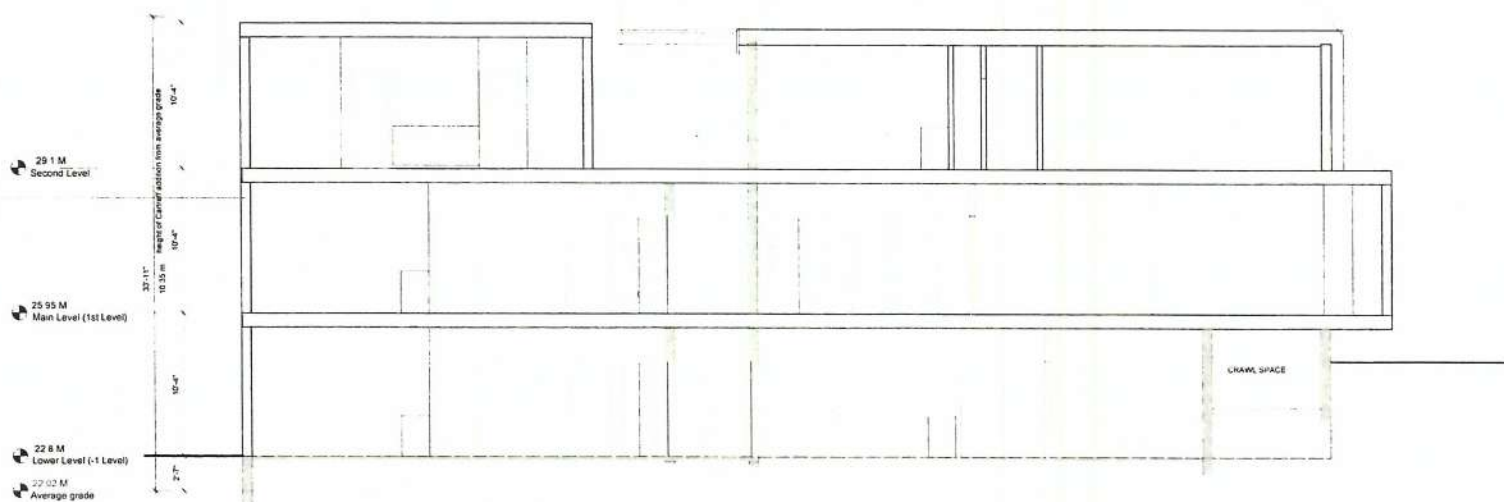
SHEET TITLE
CARTREFF RESIDENCE
RESTORATION

SECTIONS

SCALE AS NOTED	JOB No. 1124 - 1410
DATE PLOTTED May 02, 2017	C.A6.0
DRAWN BY	



1 SECTION - A
Scale: 1/50



2 SECTION - B
Scale: 1/50

MAY 03 1997
Planning & Development Dept. 6100
Development Services Bureau

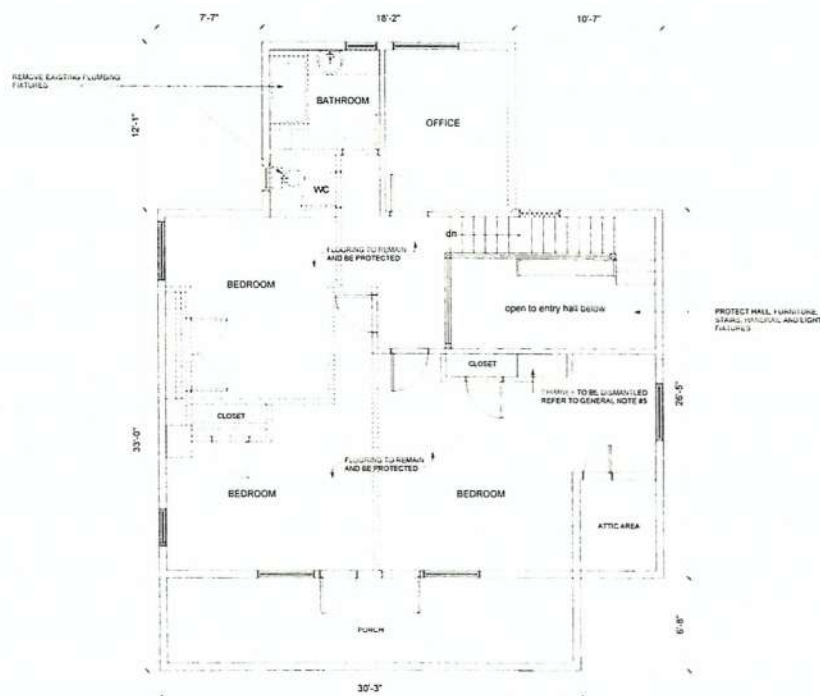
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No.	TO BE SUBMITTED	DATE
1	HAF1 RECEIVING SUBMISSION	0001/2015
2	REV HAF1 RECEIVING SUBMISSION	0001/2015
3	REV AVERAGE GRADE CALC	0001/2015
4	REV GATE AND GARAGE DOOR	0001/2015
5	REV AS PER ACP COMMENTS	0001/2015
6	REV AS PER HAC/ACP post comments	0001/2015

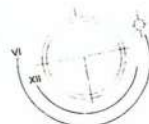
MOUNT ST. ANGELA
Senior Living. Redefined.

DEMO PLANS

T.A3.1



1 SECOND LEVEL
Scale 150



DEMOLITION LEGEND & GENERAL NOTES

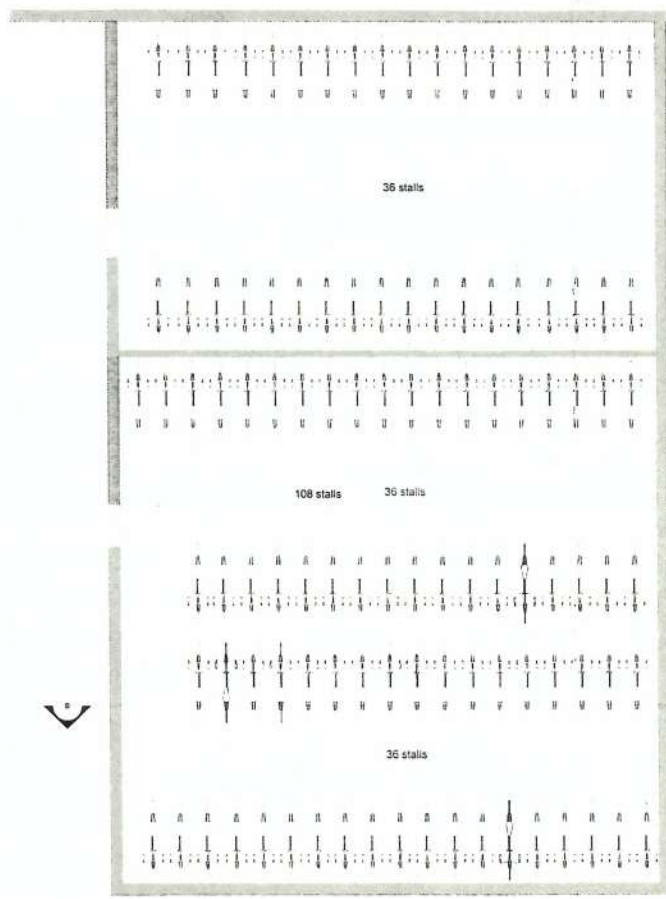
- EX-100 WALLS - TO BE STRIPPED OF DRYWALL/PLASTER
WALLS TO BE REMOVED
REFER TO DOOR SCHEDULE

GENERAL NOTES

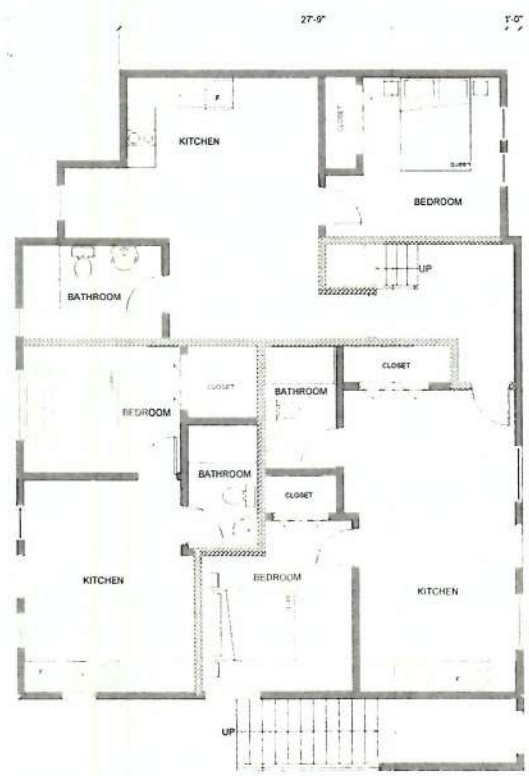
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MAY 03 2017
 Planning & Development Department
 Development Services Unit

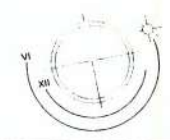
KEY + CECO ARCHITECTURE LTD		
416-250-102-1022	416-250-102-1022	
COMMENTS		
No.	DESCRIPTION	DATE
1	HAP (RELOCATING SUBMITTALS)	2017-05-03
2	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
3	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
4	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
5	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
6	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
7	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
8	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
9	REV HAP (RELOCATING SUBMITTALS)	2017-05-03
10	REV HAP (RELOCATING SUBMITTALS)	2017-05-03



1 PARKING LEVEL
 Scale 1:50



2 GARDEN LEVEL
 Scale 1:50



RENOVATION LEGEND & GENERAL NOTES	
EXISTING WALLS EXISTING WALLS - STREPPED FILLED WITH INSULATION EXISTING WALLS - STREPPED AND STREPPED FILLED WITH INSULATION EXISTING WALLS - FILL WITH SPAN FIBER GLASS INSULATION NEW CONCRETE FOUNDATION WALLS NEW RATED WALL - EXISTING STUDS NEW RATED WALL - NEW STUDS NEW WATER WALL	EXHAUST FAN WALL CAP FOR VENTING DROPPED CEILING FOR SERVICES CEILING FAN
GENERAL NOTES 1. ALL WORK SHALL BE DONE TO BE SEEN BY THE ARCHITECT'S INSTRUCTION. 2. ALL WORK SHALL BE DONE TO BE SEEN BY THE ARCHITECT'S INSTRUCTION. 3. ALL WORK SHALL BE DONE TO BE SEEN BY THE ARCHITECT'S INSTRUCTION. 4. ALL WORK SHALL BE DONE TO BE SEEN BY THE ARCHITECT'S INSTRUCTION. 5. ALL WORK SHALL BE DONE TO BE SEEN BY THE ARCHITECT'S INSTRUCTION.	

MOUNT ST. ANGELA Senior Living, Redefined.

SHEET TITLE	
TEMPLE RESIDENCE RESTORATION	
RENO PLANS	
SCALE	JOB NO.
AS NOTED	1124 - 1410
DATE PLOTTED	
MAR 04, 2017	
DRAWN BY	
	T.A4.0

MAY 03 1977

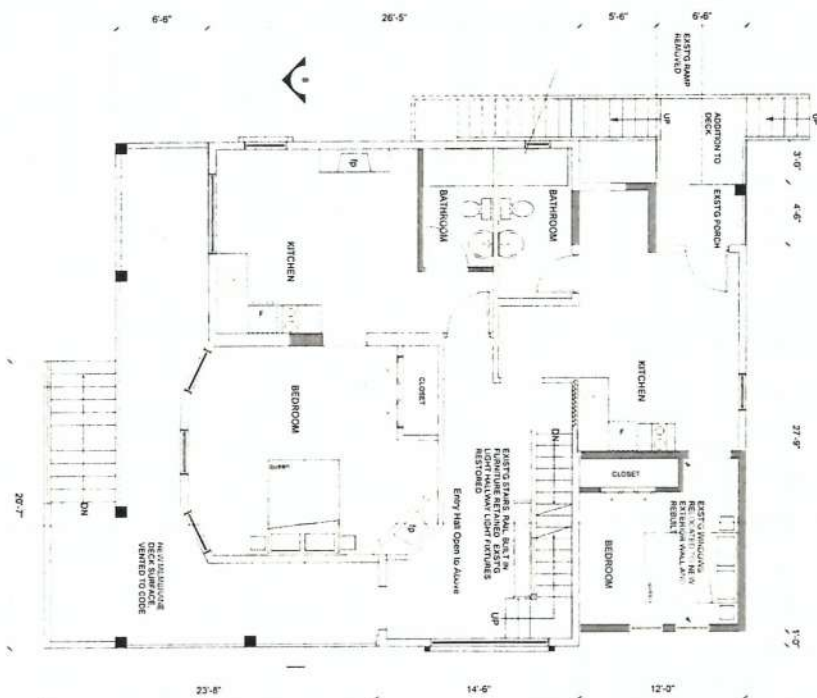
KEY + GEGG
ARCHITECTURAL

CONTENTS		
no	chapter title	date
1	MAP READING SKILLS	
2	REV MAP READING SUBMISSION	
3	REV PHYSICAL CHANG DATE	
4	REV DATE AND DATED BOOK	
5	REV ALPHAS AND COMMENTS	
6	REV ALPHAS AND COMMENTS	

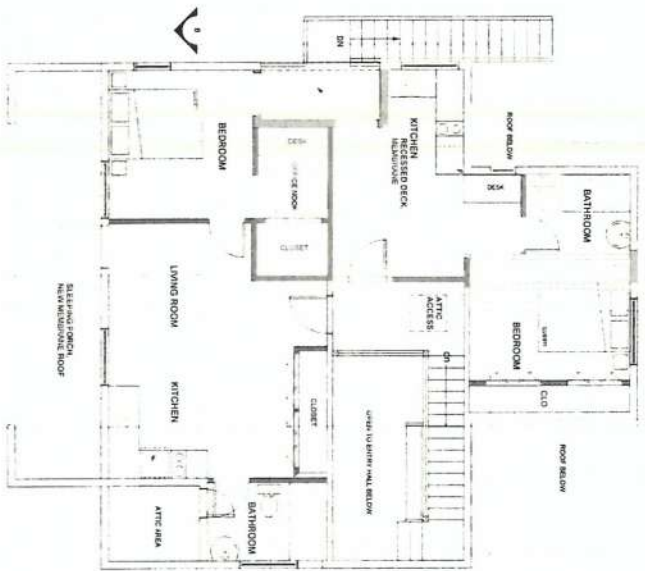
MOUNT ST. ANGELA
Senior Living. Redefined.

TEMPLE RESIDENCE RESTORATION RENO PLANS

AS NOTED	1124 - 1410
DATE PLOTTED	
MAR 04, 2017	
CALCULATED BY	T.A4.1



① MAIN LEVEL
Grade 150



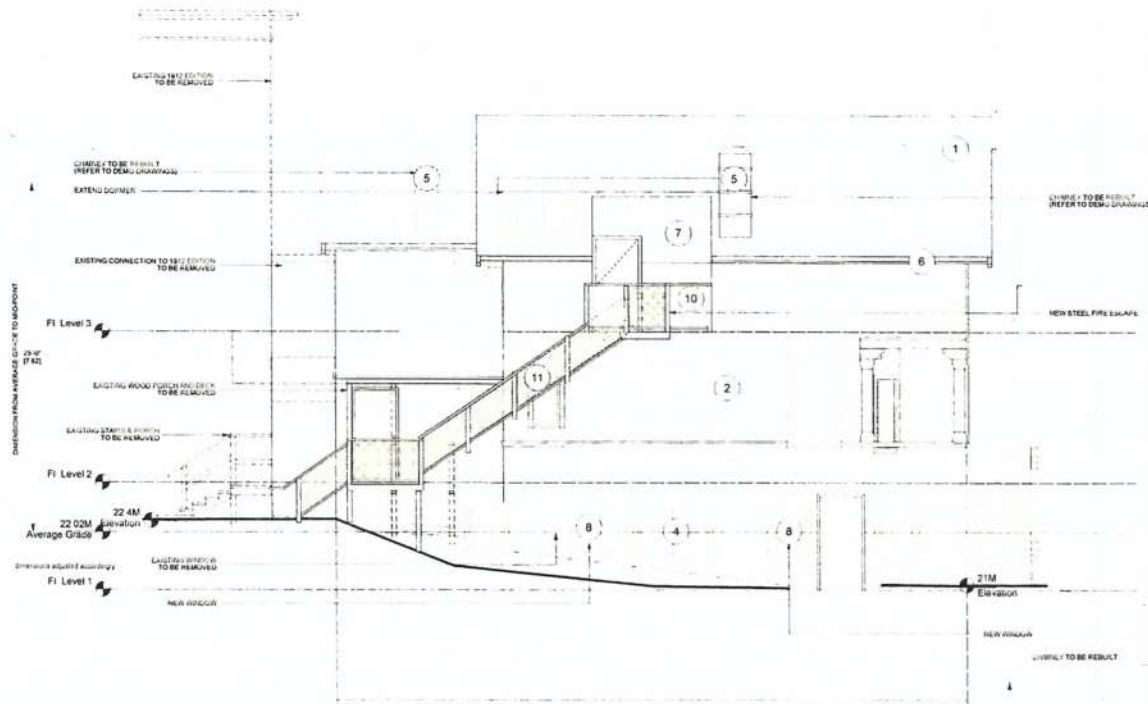
2 SECOND LEVEL
Scale: 150

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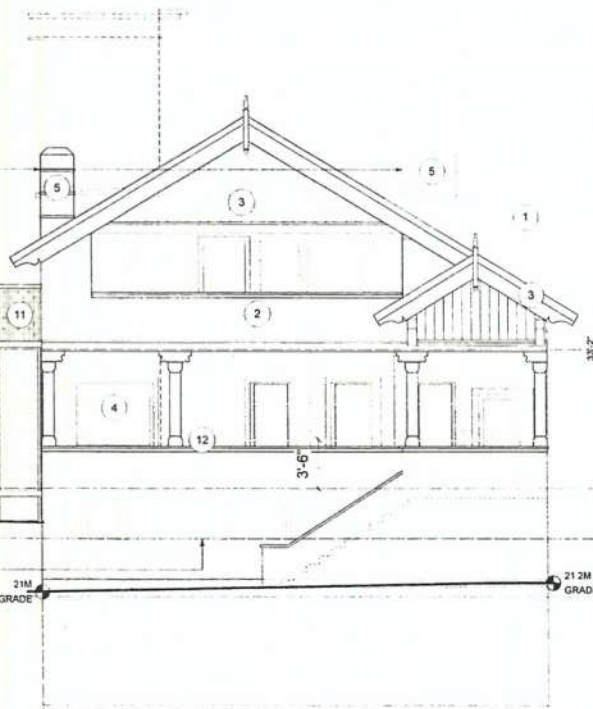
RECEIVED
City of Montreal
MAY 03 2017
Planning & Development Department
Development Services Division

KEY + GECCO
ARCHITECTURE LTD.

COMMENTS		
NO.	REVISION	DATE
1	HAPPY REZONING SUBMISSION	2016-04-01
2	REV. HAPPY REZONING SUBMISSION	2016-04-01
3	REV. AVERAGE GRADE CALC	2016-04-01
4	REV. GATE AND GARAGE DOOR	2016-04-01
5	REV. AS PER ADP COMMENTS	2016-04-01
6	REV. AS PER ADP COMMENTS	2016-04-01



1 West Elevation
Scale: 1:100



2 South Elevation
Scale: 1:100

FINISH SCHEDULE

SCOPE OF EXTERIOR RESTORATION WORK

1. FIBREGLASS SHINGLE ROOF
2. RE AND RE-EXISTING CEDAR WALL SHINGLES, PAINTED
3. RE AND RE-EXISTING WOOD TRIM, PAINTED
4. REPAIR EXISTING WOOD FRAME WINDOWS AS REQUIRED, REPAINT
5. CHIMNEYS RECONSTRUCTED
6. NEW ALU GUTTERS C/W ROUND RAIL
7. NEW CEDAR SHINGLES, PAINTED TO MATCH EXISTING RESIDENCE
8. NEW WOOD FRAME THERMO GL WINDOWS, PAINTED
9. METAL FLASHING, BAKED ENAMEL FINISH
10. ALUMINUM RAILING SYSTEM W/ GLAZED PANELS
11. STEEL FIRE ESCAPE WITH METAL MESH GUARD
12. NEW STEEL RAIL TO MEET HEIGHT OF 42"

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
TEMPLE RESIDENCE
RESTORATION
ELEVATIONS

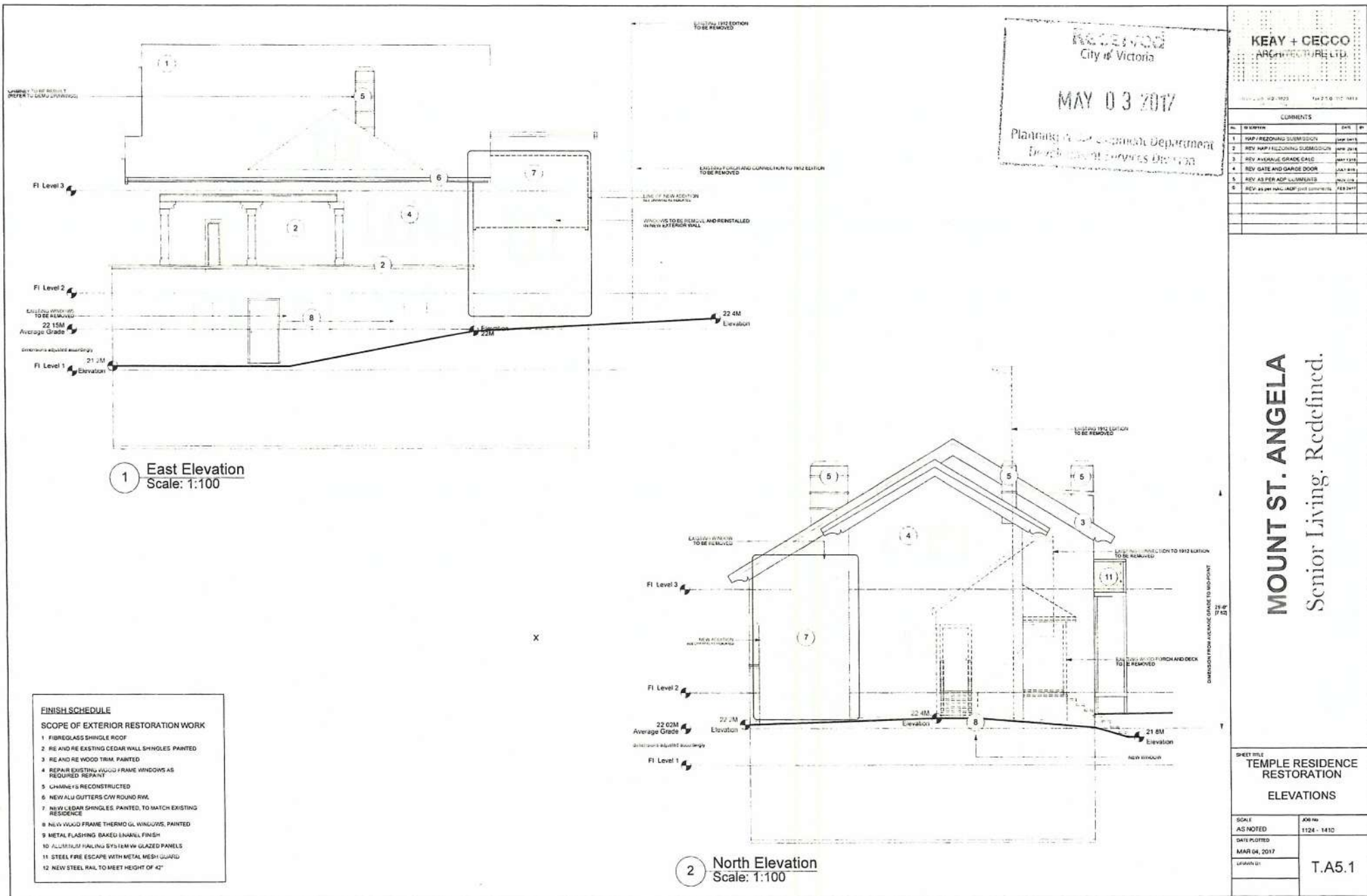
SCALE
AS NOTED

DATE PLOTTED
MAR 04, 2017

UPLOADED BY

DATE PLOTTED
11/24 - 14/10

T.A5.0



MAY 03 2017
 Planning & Development Department
 Development Services Division

MAY 03 2017
 City of Victoria

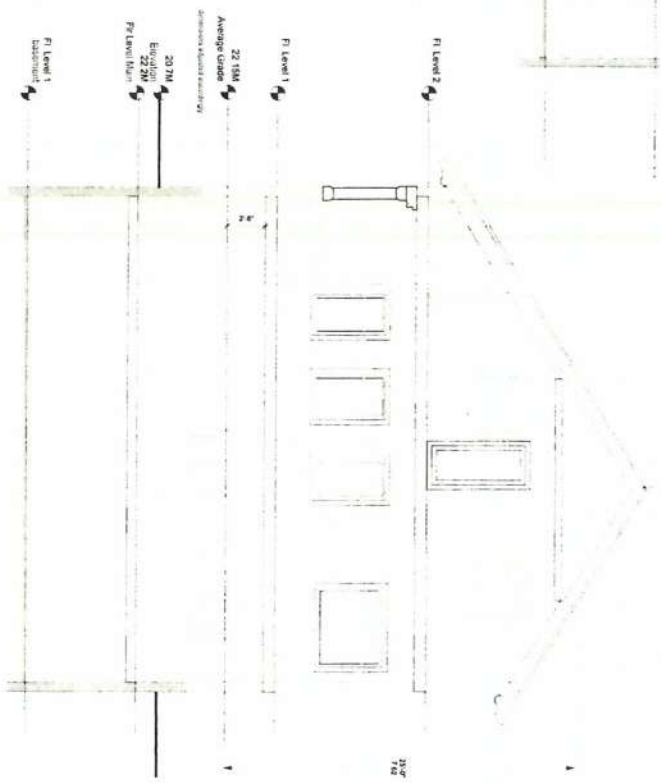
KEAY + GECCO
 ARCHITECTURE LTD.

REVISIONS		DATE	BY
1	REV. REVISION SUBMITTAL	04/24/17	KEG
2	REV. REVISION SUBMITTAL	04/24/17	KEG
3	REV. REVISION SUBMITTAL	04/24/17	KEG
4	REV. REVISION SUBMITTAL	04/24/17	KEG
5	REV. REVISION SUBMITTAL	04/24/17	KEG
6	REV. REVISION SUBMITTAL	04/24/17	KEG
7	REV. REVISION SUBMITTAL	04/24/17	KEG
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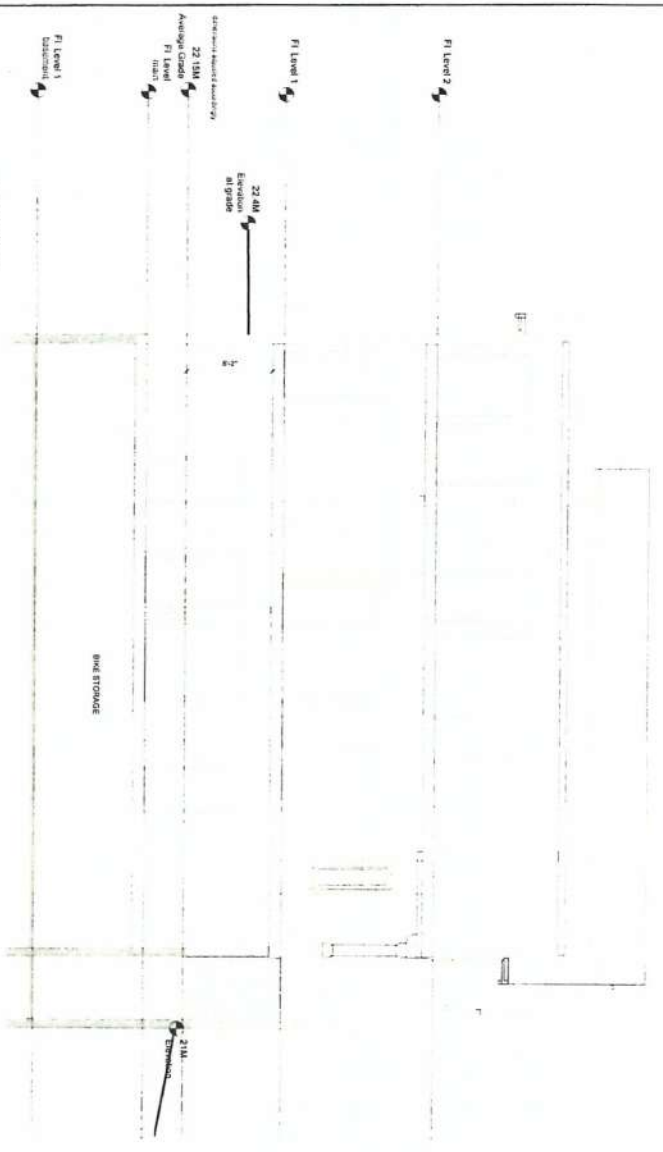
MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE	
TEMPLE RESIDENCE RESTORATION	
SECTIONS	
SCALE	JOB NO.
AS NOTED	11784 - 1410
DATE NOTED	MAY 04, 2017
DESIGNED BY	T.A6.0

Section-B
 Scale 1/30



Section-A
 Scale 1/30



MAY 03 2017

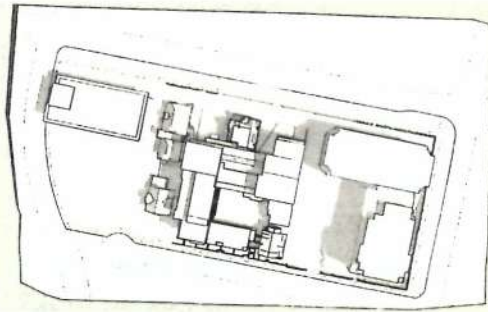
Planning & Development Department
Development Services Division

KEAY & CO
ARCHITECTURE LTD

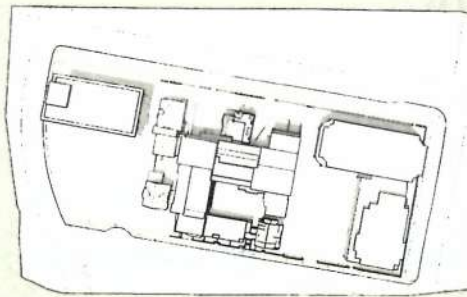
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COMMENTS

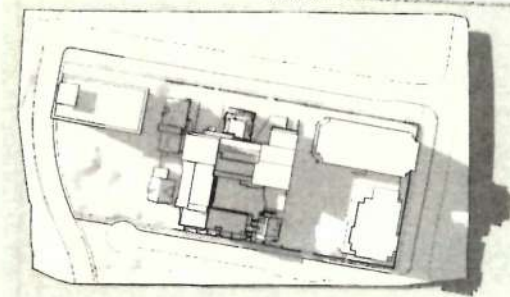
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2	10/10/16	REV: MAP / PRELIMINARY SUBMISSION	KEAY	10/10/16
3	10/10/16	REV: AVIATION GRACE GALS	KEAY	10/10/16
4	10/10/16	REV: DATE AND GARAGE DOOR	KEAY	10/10/16
5	10/10/16	REV: AS PER ACP COMMENTS	KEAY	10/10/16
6	10/10/16	REV: AS PER HALLWAY AND GARAGE	KEAY	10/10/16
7	10/10/16	REV: AS PER HALL COMMENTS	KEAY	10/10/16



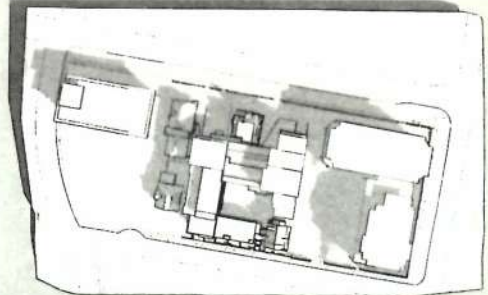
Morning
Summer Solstice



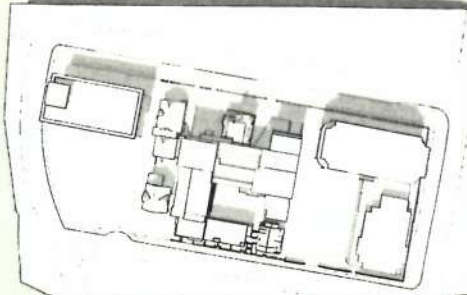
Noon



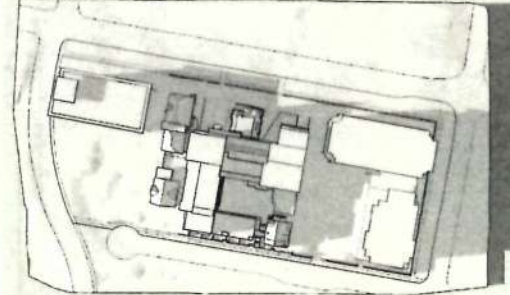
Evening



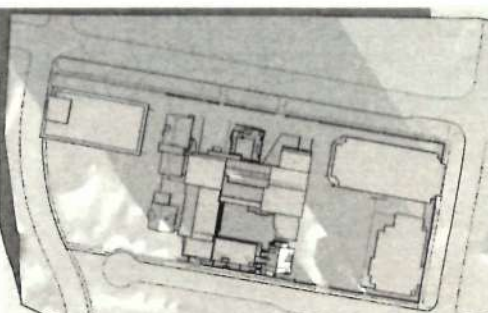
Morning
Equinox



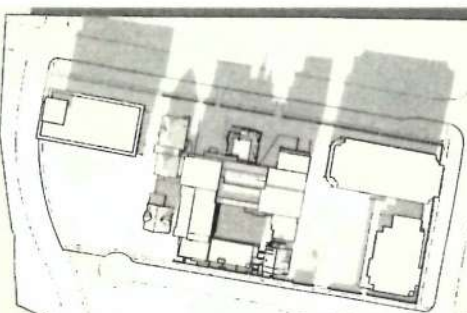
Noon



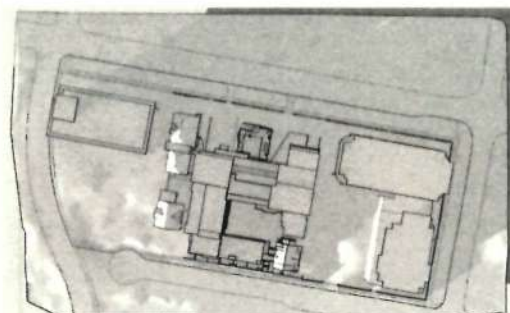
Evening



Morning
Winter Solstice



Noon



Evening

MOUNT ST. ANGELA
Senior Living, Redefined.

SHEET TITLE

SHADOW STUDY

SCALE

AS NOTED

DATE PLOTTED

May 02, 2017

DRAWN BY

JOB NO.

1124 - 1410

A 7.0

MAY 03 2017

Planning & Development Department
Development Services Division
ARCHITECTURE LTD.

10114-1-00-001-001

CURRENTS

NO.	DESCRIPTION	DATE	BY
1	HAP I REZONING SUBMISSION	SEP 2015	
2	REV HAP I REZONING SUBMISSION	NOV 2015	
3	REV AVERAGE GRADE CALC	MAY 2016	
4	REV GATE AND GARAGE DOOR	MAY 2016	
5	REV AS PER ADP COMMENTS	MAY 2016	
6	REV AS PER HAC ADP AND COMMENTS	JUN 2016	
7	REV AS PER ADP COMMENTS	MAY 2017	

MOUNT ST. ANGELA
Senior Living, Redefined.

SHEET TITLE

Perspectives

SCALE

AS NOTED

DATE PLOTTED

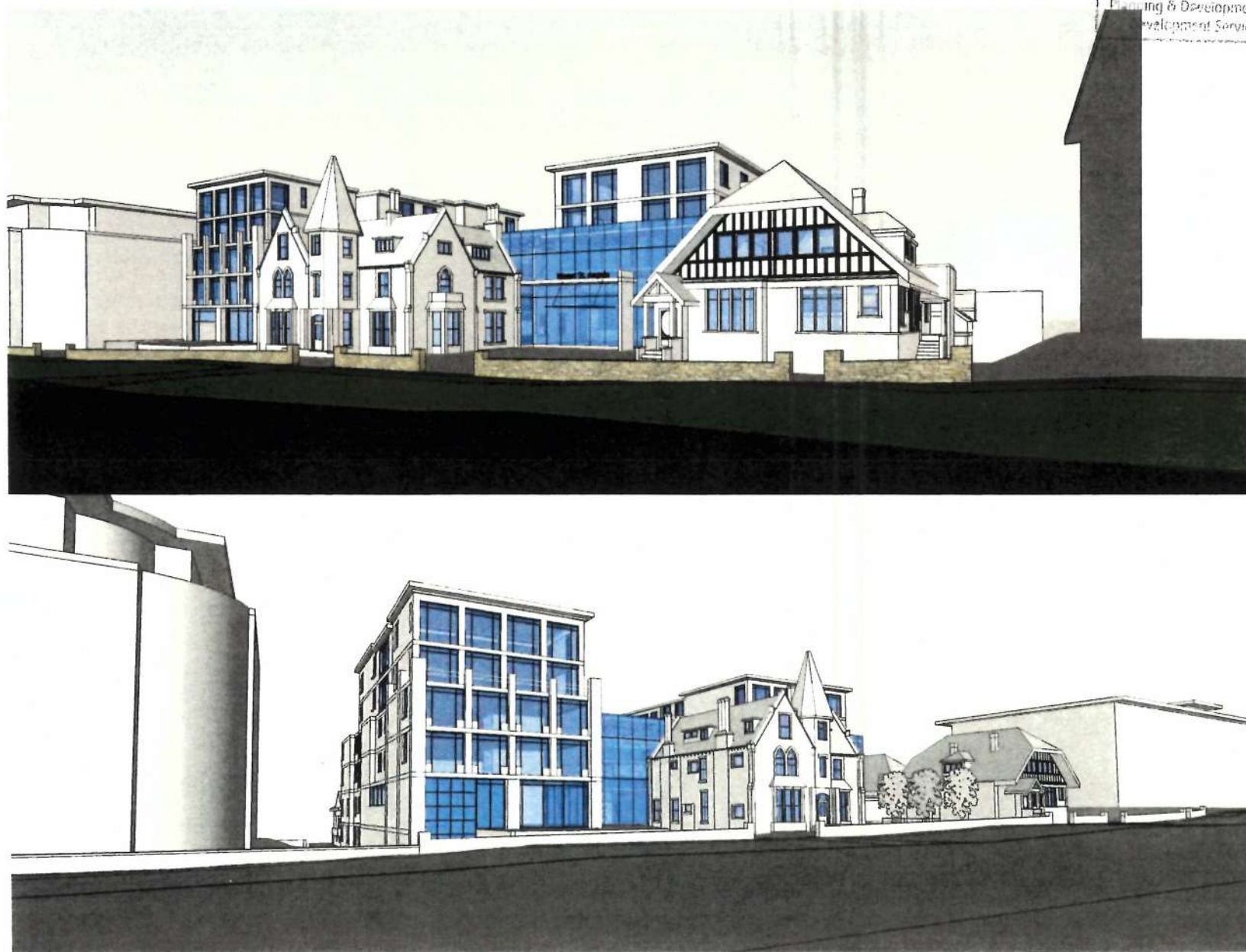
May 02, 2017

DESIGNED BY

AUT NO.

1124 - 1410

A 7.1



MAY 03 2017

Planning & Development Department
Development Services Division

KLAY CHERRY
ARCHITECTURE LTD

COMMENTS

NO.	REVISION	DATE	BY
1	MAP PRELIMINARY SUBMISSION	SEP 2016	
2	REV MAP PRELIMINARY SUBMISSION	SEP 2016	
3	REV AVERAGE GRADE CALC	SEP 2016	
4	REV GATE AND GARAGE DOOR	SEP 2016	
5	REV AS PER ADP COMMENTS	NOV 2016	
6	REV AS PER MAC ADP PRELIMINARY COMMENTS	DEC 2016	
7	REV AS PER STAFF COMMENTS	SEP 2017	



MOUNT ST. ANGELA
Senior Living, Redefined.

SHEET TITLE

Perspectives

SCALE

AS NOTED

DATE PLOTTED

1124 - 1410

DATE PLOTTED

May 02, 2017

UPDATE BY

A 7.2



Limited view of cathedral tower behind existing residence

Limited view of cathedral tower through trees during fall season

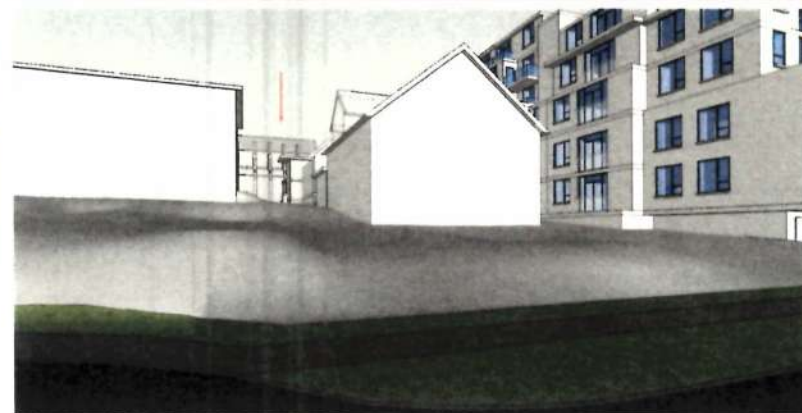
Roof line of cathedral visible behind Chelsea building during fall season

Current Conditions: McClure St. views looking north toward Christ Church Cathedral.
(Photos taken from the south sidewalk on McClure St.)



Roof line of cathedral remains visible during fall season

Roof line of cathedral remains visible behind Chelsea building



Roof line of cathedral remains visible during fall season

New Conditions: Views of Christ Church Cathedral will be maintained

REAY CLUGG
ARCHITECTURE LTD.

Project: 218-102-0017
Date: 10/10/2017

COMMENTS

No.	REVISION	DATE	BY
1	HAP / REZONING SUBMISSION	SEP 2017	
2	REV HAP / REZONING SUBMISSION	NOV 2017	
3	REV AVIATION STAGE GARD	MAY 2017	
4	REV GATE AND GARAGE DOOR	JULY 2017	
5	REV AS PER AUP COMMENTS	NOV 2017	
6	REV AS PER HAP / AUP COMMENTS	FEB 2017	
7	REV AS PER AUP COMMENTS	MAY 2017	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
Perspectives-Public views
of Christ Church Cathedral
from McClure St.

SCALE AS NOTED	DATE 1124 - 1410
DATE PLOTTED May 02, 2017	
UNITS mm	

A 7.3

Received
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

MAY 03 2017

Planning & Development Department
Development Services Division

PLAY GROUP
ARCHITECTURE LTD.

PROJECT NO. 102-001

COMMENTS

NO.	DATE	REVISION
1	SEP 2015	HAP/RECORDING SUBMISSION
2	SEP 2015	REV. HAP/RECORDING SUBMISSION
3	SEP 2015	REV. AVERAGE GARAGE CALC.
4	SEP 2015	REV. GATE AND GARAGE DOOR
5	SEP 2015	REV. AS PER ADP COMMENTS
6	SEP 2015	REV. AS PER HAP/ADP COMMENTS
7	SEP 2015	REV. AS PER ADP COMMENTS

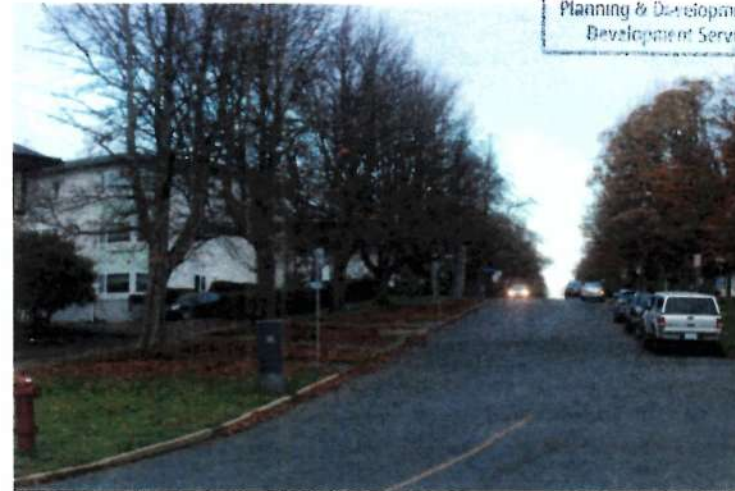
MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE
Perspectives-Public views
of Christ Church Cathedral

SCALE AS NOTED	JOB NO. 1124 - 1410
DATE PLOTTED May 02, 2017	UNAPPROVED
	A 7.4



View at the corner of Sutlej St. and Vancouver St. looking north toward Christ Church Cathedral during fall season. Proposed project does not impinge on current view.



View at the corner of Humboldt St. and Vancouver St. looking north toward Christ Church Cathedral, no view from this location.



View at the corner of Collinson St. and Vancouver St. looking north toward Christ Church Cathedral during fall season. Roof and tower are visible here. The roof line of the proposed project does not impinge on current view.



View at the corner of Quadra St. and Burdett Ave. looking south toward proposed project during fall season.





View from Burdett Ave.

REAY ARCHITECTURE
ARCHITECTURE LTD.

1114-215 WA 3021

CURRENTS

No.	Description	Date	By
1	HAP PRELIMINARY SUBMISSION		
2	REV HAP PRELIMINARY SUBMISSION		
3	REV AVENUE GRADE CALC.		
4	REV GATE AND GARAGE DOOR		
5	REV AS PER HAP COMMENTS		
6	REV AS PER HAP AND PRELIM COMMENTS		
7	REV AS PER HAP COMMENTS		

MOUNT ST. ANGELA Senior Living. Redefined.

SHEET TITLE

Views

SCALE

AS NOTED

DATE PLOTTED

May 02, 2017

DRAWN BY

Plot No.

1124 - 1410

A 7.5

Received
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Bureau

NO.	REVISION	DATE
1	ISSUE FOR PERMIT SUBMISSION	2017-05-03
2	REVISED PERMIT SUBMISSION	2017-05-03
3	REVISED PERMIT SUBMISSION	2017-05-03
4	REVISED PERMIT SUBMISSION	2017-05-03
5	REVISED PERMIT SUBMISSION	2017-05-03
6	REVISED PERMIT SUBMISSION	2017-05-03
7	REVISED PERMIT SUBMISSION	2017-05-03

MOUNT ST. ANGELA

Senior Living. Redefined.



View along Burdett Ave.

MAY 03 2017
 Planning & Development Department
 Development Services Bureau

SCALE	1:100
AS NOTED	1:100 - 1:100
DATE NOTED	May 02, 2017
DESIGNED BY	A 7.6



View along McClure St.

KEAY CLINT
ARCHITECTURE LTD

1000 2ND AVE. 1ST FLOOR
VICTORIA, B.C. V8W 2E1

COMMENTS

NO.	DESCRIPTION	DATE	BY
1	HAP PRELIMINARY SUBMISSION	SEP 2016	
2	REV HAP PRELIMINARY SUBMISSION	DEC 2016	
3	REV AVERAGE GRADE CALC	MAY 18/17	
4	REV GATE AND GARAGE DOOR	JULY 18/17	
5	REV AS PER HAP COMMENTS	MAY 18/17	
6	REV AS PER HAP COMMENTS	MAY 18/17	
7	REV AS PER HAP COMMENTS	MAY 18/17	

MOUNT ST. ANGELA
Senior Living. Redefined.



SHEET TITLE

Views

SCALE

AS NOTED

DATE PLOTTED

May 02, 2017

GRAPHIC(S)

1124 - 1410

A 7.7

CONTENTS			
NO.	DESCRIPTION	DATE	REV.
1	REVISIONS		
2	REVISIONS		
3	REVISIONS		
4	REVISIONS		
5	REVISIONS		
6	REVISIONS		
7	REVISIONS		

MOUNT ST. ANGELA Senior Living. Redefined.



View along McClure St.

MAY 03 2017
 Planning & Development Department
 Building Department

SHEET TITLE	
Views	
SCALE	AS NOTED
DATE NOTED	MAY 02, 2017
DATE NOTED	MAY 02, 2017
DATE NOTED	MAY 02, 2017
A 7.8	



Courtyard entrance off Burdett Ave.



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100-234 101 102

COMMENTS

#	REVISION	DATE	BY
1	HAP PRELIMINARY SUBMISSION	SEP 2016	
2	REV HAP PRELIMINARY SUBMISSION	SEP 2016	
3	REV AVERAGE GRADE CALC	SEP 2016	
4	REV GATE AND GATEHOUSE DOOR	NOV 2016	
5	REV as per ACP comments	NOV 2016	
6	REV as per HALLIDAY and comments	FEB 2017	
7	REV as per staff comments	MAY 2017	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET FILE

Views

SCALE

AS NOTED

DATE PLOTTED

May 02, 2017

UPLOADED BY

Job No

1124 - 1410

A 7.9



Entrance Lobby



KLAY CCCC
ARCHITECTURE LTD.

Phone: 250.712.1024

COMMENTS

NO.	REVISION	DATE	BY
1	HAP/REZONING SUBMISSION	SEP 2016	
2	REV HAP/REZONING SUBMISSION	NOV 2016	
3	REV AVERAGE GRADE CALC	MAY 2017	
4	REV GATE AND GARAGE DOOR	JULY 2017	
5	REV AS PER ACP COMMENTS	NOV 2017	
6	REV AS PER FINAL ACP/PAID COMMENTS	FEB 2018	
7	REV AS PER PAID COMMENTS	MAY 2018	

MOUNT ST. ANGELA
Senior Living. Redefined.

SHEET TITLE

Views

SCALE

AS NOTED

DATE PLOTTED

May 02, 2017

UNITS: 1/8"

JOIN No.

1124 - 1410

A 7.10

MOUNT ST. ANGELA
Senior Living. Redefined.



MAY 03 2017

A 7.11

COMMENTS			
NO.	DATE	TIME	
1	12/26/14	10:00	
2	RECY-ADP RECYCLING SUBMITTAL	10:00	
3	RECY-ADP RECYCLING SUBMITTAL	10:00	
4	RECY-ADP RECYCLING SUBMITTAL	10:00	
5	RECY-ADP RECYCLING SUBMITTAL	10:00	
6	RECY-ADP RECYCLING SUBMITTAL	10:00	
7	RECY-ADP RECYCLING SUBMITTAL	10:00	

MOUNT ST. ANGELA
Senior Living. Redefined.



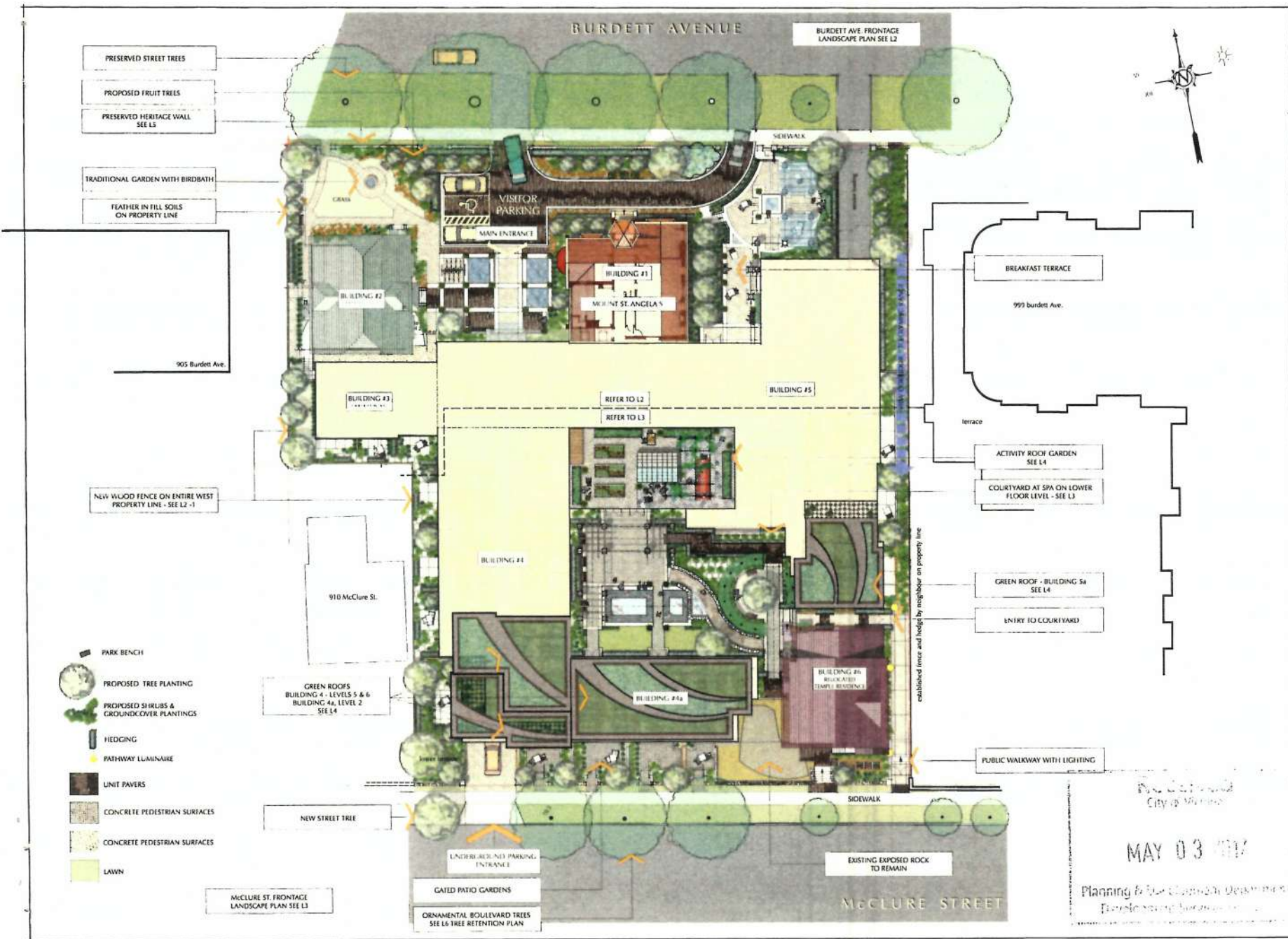
Entrance at night

City of Victoria

MAY 03 2017

Planning & Development Department
Development Services Division

SHEET TITLE	
Views	
SCALE	AS SHOWN
DATE NOTED	1124 - 1410
DATE NOTED	
May 02, 2017	
Updated by	
A 7.12	



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LANDSCAPE ARCHITECTS INC.

3012 monroe road, suite, b.c., v8v 6a4
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www.smallandrossell.com

MOUNT ST. ANGELA

DRAWING REVISIONS

- REVISION 27 APRIL 2017
- CARTREE NOTATION CORRECTED
- LEVEL: RESIDENCE NOTATION ADDED
- REVISED 9 MARCH 2017
- TO RESPOND TO JOINT ADVISORY DESIGN PANEL
- A 10 MINUTE ALTERNATIVE PANEL REVALUATIONS
- HERB GARDEN IMPACTED WITH TRADITIONAL GARDEN SPACE
- FRUIT TREES ADDED
- ENTRANCE SPACE & BREAKFAST TERRACE REVISED TO CO-EXIST WITH ARCHITECTURAL REFINEMENTS
- EXISTING WALL PRESERVED (MCCLURE ST 1)
- ALTERNATIVE ROUTE TO COURTYARD GARDEN
- EXISTING ROCK OUTCROP PRESERVED
- PATIO GARDEN ADDED
- GARDEN ROOFS TO LEVELS 5 & 6 ADDED
- UPPER PATIO TO BUILDING 4S ADDED
- REVISED 6 APRIL 2016
- FURNITURE WALL ON BURDETT
- FRONTAGE IDENTIFIED FOR PRESERVATION
- REVISED 28 NOVEMBER 2015
- PUBLIC WALKWAY DELETED
- ISSUED FOR ZONING & DP APPLICATION
- 2 NOVEMBER 2015

SHEET TITLE		
LANDSCAPE PLAN (OVERALL)		
SCALE	1:200	JOB NO.
DATE PLOTTED		
DRAWN BY	2016	
		L1

Planning & Design Services
Developing Sustainable Communities

MAY 03 2017

MAY 03 2017

Planning & Development Department
Development Services Division
BURDETT AVENUE

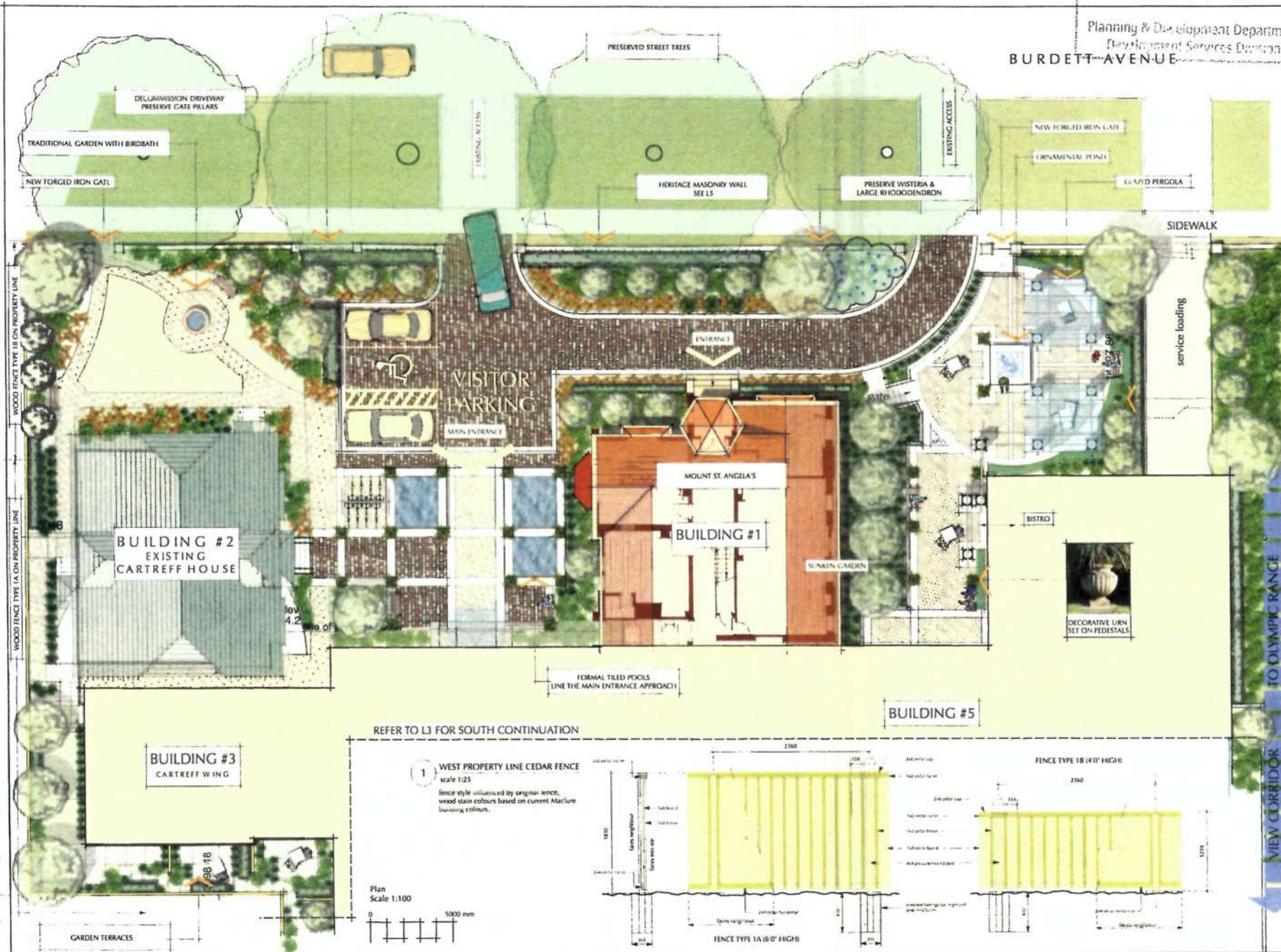
KEAY CECOCO
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design@smallandrossell.com
www.smallandrossell.com



DRAWING REVISIONS
REVISED 27 APRIL 2017 - CARTREFF NOTATION CORRECTED
REVISED 9 MARCH 2017
TO RESPOND TO JOINT ADVISORY DESIGN PANEL & HERITAGE ADVISORY PANEL RECOMMENDATIONS
- HERB GARDEN RE-DESIGNED WITH TRADITIONAL GARDEN SPACE
- ENTRANCE - SPACE & 2000 TALL TOWER RE-DESIGNED TO COORDINATE WITH ARCHITECTURAL REFINEMENTS
REVISED 6 APRIL 2016
- WEST PROPERTY LINE FENCE DETAIL ADDED
- FENCE WALL PROPORTIONS MODIFIED
REVISED - PUBLIC WALKWAY DELAYED
28 NOVEMBER 2015
ISSUED FOR ZONING & DP APPLICATION
2 NOVEMBER 2015

MOUNT ST. ANGELA

SHEET TITLE
LANDSCAPE
PLAN
MAIN FLOOR LEVEL

SCALE 1:100 2/28 in

DATE PLOTTED

DRAWN BY JIS

L2

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EMAIL: info@keycece.com

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B.C. V8N 4K1

DESIGN: smallandrossell.com
WWW.SMALLANDROSSELL.COM

MOUNT ST. ANGELA

DRAWING REVISIONS

REVISED 27 APRIL 2017: TEMPLE RESIDENCE
NOTATION: L3/4/5/6/7
REVISED 5 JANUARY 2017
TO RESPOND TO KENT ADVISORY DESIGN PANEL
& HERITAGE ADVISORY PANEL RECOMMENDATIONS
• EXISTING WALL PRESERVED
• EXISTING ROCK OUTCROP PRESERVED
• ALTERNATIVE ROUTE TO COURTYARD GARDEN
REVISED - STEEL GATE DETAIL ADDED
6 APRIL 2016
REVISED - PUBLIC WINDOW DELETED
26 NOVEMBER 2015
ISSUED FOR REPLYING & CP APPLICATION
2 NOVEMBER 2015

SHEET TITLE

LANDSCAPE
PLAN
LOWER FLOOR LEVELS

SCALE

1:100

DATE PLOTTED

APRIL 06, 2016

DRAWN BY

ajs

L3

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Development Services Division

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terrace

999 Burdett Ave.

ROOF TOP TERRACE

GREEN ROOF
BUILDING 5a

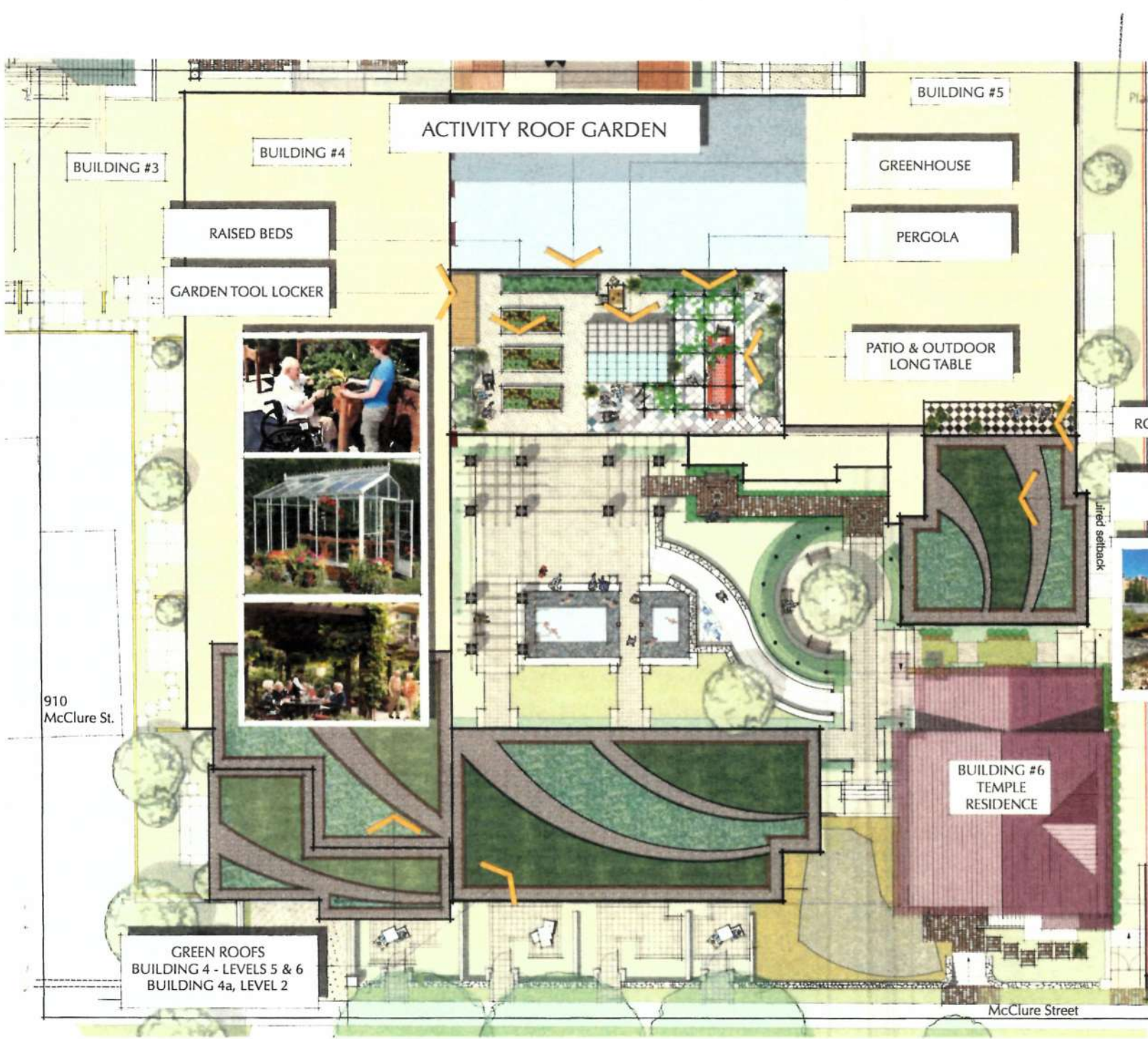


DRAWING REVISIONS
REVISED 27 APRIL 2017 - TEMPLE RESIDENCE
NOTATION CORRECTED
REVISED 1 JANUARY 2017
* GREEN ROOFS ADDED TO BUILDING 4,
LEVELS 5 AND 6
* ROOF TOP TERRACE ADDED
REVISED 28 NOVEMBER 2015
* PUBLIC WALKWAY DELETED
ISSUED FOR REZONING & DP APPLICATION
2 NOVEMBER 2015

SHEET TITLE
**ACTIVITY
ROOF GARDEN
&
GREEN ROOFS**

SCALE 1:100	JOB NO.
DATE PLOTTED APRIL 06, 2018	L4
DRAWN BY CIB	

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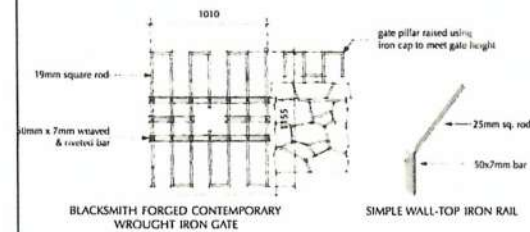
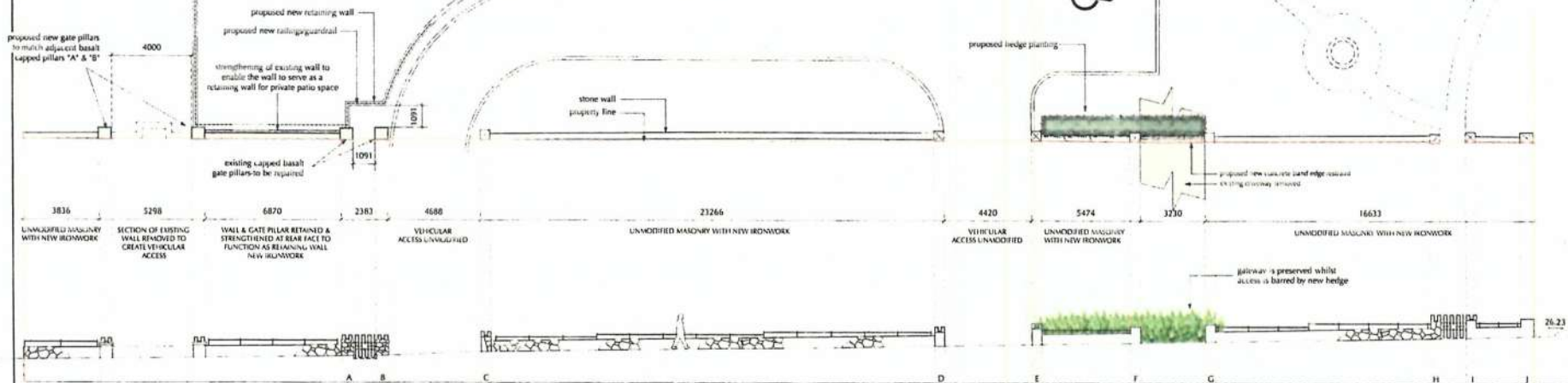
3012 Monar Road, Suite 201, Victoria
BC V8M 2C6
phone 250 642 4967
design@smallrossell.com
www.smallrossell.com

NEW BUILDING
(BUILDING #5)

MOUNT ST. ANGELA'S
(BUILDING #1)

EXISTING
CARTREFF HOUSE

VISITOR
PARKING



BASALT GATE PILLARS 'A' & 'B'



WHITE GRANITE PILLAR 'C'



WHITE GRANITE PILLAR 'F'



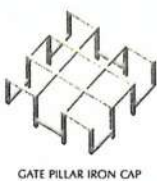
STONE PILLAR 'G'

DRAWING REVISIONS
REVISED 27 APRIL 2017
• BUILDING 2 SPELLING CORRECTED
• BILLABLE ADDED TO IDENTIFY HERB GARDEN
REPLACED WITH TRADITIONAL GARDEN SPACE

MOUNT ST. ANGELA
1124 East Street, Victoria, BC

SHEET TITLE
PROPOSALS TO
ALTER HERITAGE
GARDEN WALL ON
BURDETT FRONTAGE

SCALE 1:100
DATE PLOTTED APRIL 06, 2016
DRAWN BY BJS
L5



GATE PILLAR IRON CAP



CONCRETE MASS / REAR FACE OF WALL, TYPICAL



RANDOM STONE FACE OF WALL, TYPICAL



WHITE GRANITE PILLAR 'D'



WHITE GRANITE PILLAR 'E'



STONE GATE PILLARS 'H' & 'I'



STONE PILLAR 'J' AT WEST END

Scale

Burdett Avenue

No 905
4 storey apartment
building

MOUNT ST. ANGELA TREE RETENTION / REMOVAL SCHEDULE					
TREES ON SITE REFERENCE	SPECIES	DBH IN METRES	CANOPY IN METRES	REMOVE / RETAIN	REMARKS
TREE # 1	DOUGLAS FIR	0.24	6.0	REMOVE	
TREE # 2	TANUS SPP. YEW	MULTI X 4	5.0	REMOVE	ONE SLIDER
TREE # 3	GARRY OAK	0.1	10.0	REMOVE	GOOD
TREE # 4	MAPLE	0.1	2.0	REMOVE	SELF SEED
TREE # 5	HAWTHORNE	0.35	3.0	REMOVE	
TREE # 6	PURPLE PLUM	0.66	10.0	REMOVE	SOME DECAY
TREE # 7	BIRCH	TWIN 0.18 & 0.1	4.0	REMOVE	
TREE # 8	MAPLE	0.11	4.0	REMOVE	SELF SEED
TREE # 9	MAPLE	0.105	5.0	REMOVE	SELF SEED
TREE # 10	WALNUT	TWIN 0.1 X 2	8.0	REMOVE	SELF SEED
TREE # 11	FRUIT	0.4	8.0	REMOVE	
TREE # 12	FRUIT	0.12	4.0	REMOVE	
TREE # 13	FRUIT	0.33	6.0	REMOVE	IN DECLINE
TREE # 14	FRUIT	0.18	6.0	REMOVE	
TREE # 15	CYPRESS	MULTI 3.5	4.0	REMOVE	SEVERELY PRUNED
TREE # 16	RHODOGARDEN	MULTI 0.1 X 5	5.0	RETAIN	
TREE # 17	HOLLY	0.48	4.4	REMOVE	
TREE # 18	CHERRY	MULTI 0.15 X 4	5.0	REMOVE	
TREE # 19	FRUIT	0.15	2.5	REMOVE	
TREE # 20	FRUIT	0.15	2.5	REMOVE	
TREE # 21	CYPRESS	MULTI 4	3.0	REMOVE	
MUNICIPAL TREES					
MCCLURE STREET					
TREE # 21	CHERRY	0.4	8.0	REMOVE	POOR HEALTH, REPLACE TO MUNICIPAL REQUIREMENTS
TREE # 22	SORBUS SPP. WHITEBAG	0.33	6.0	RETAIN	
TREE # 23	CHERRY	0.4	8.0	REMOVE	POOR HEALTH, REPLACE TO MUNICIPAL REQUIREMENTS
TREE # 24	CHERRY	0.2	8.0	REMOVE	POOR HEALTH, REPLACE TO MUNICIPAL REQUIREMENTS
BURDETT STREET					
TREE # 25	MAPLE	0.6	19.0	RETAIN	
TREE # 26	MAPLE	0.3	21.0	RETAIN	
TREE # 27	MAPLE	0.92	21.2	RETAIN	
TREE # 28	MAPLE	0.84	13.6	RETAIN	
TREE # 29	MAPLE	0.48	2.5	RETAIN	
TREE # 30	MAPLE	0.55	12.0	RETAIN	LIFT & REPLANT

Received
City of Victoria

MAY 03 2017

Planning & Development Department
Development Services UnitKEY & CECCE
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MOUNT ST. ANGELA

SHEET TITLE

TREE RETENTION /
REMOVAL PLAN

SCALE

1: 200

JOB No.

DATE PLOTTED

Apr 06, 2016

DRAWN BY

CB

L6

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MAY 03 2017

Planning & Development Department
Development Services Division

TREES			SHRUBS - MASSING		
					
Flowering dogwood	Japanese maple	Magnolia "Vulcan"	Hydrangea "Bluebird"	Hardy fuchsia	Azalea
SHRUBS - SPECIMEN			PERENNIALS / GROUND COVERS		
					
Red veined enkianthus	Witch-hazel	Mock orange blossom	Hardy geranium	Calla lily	Hosta

PLANT SCHEDULE, INDICATES TYPICAL SPECIES, PLANT SIZES AND APPROXIMATE NUMBERS

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENTS
TREES				
ACER PALMATUM	JAPANESE MAPLES	#5 - #15 pots	50	SPRING / AUTUMN COLOUR
CORNUS KOUSA "SATOMI"	PINK FL. DOGWOOD	4CM CALIPER		FLOWERS
CARPINUS BETULUS FASTIGIATA	HORNBEAM	5CM CALIPER		PLEACHED
MAGNOLIA VARIETIES	MAGNOLIA EVERGREEN & DECIDUOUS	4/5CM CALIPER		FLOWERS
STYRAX JAPONICA	BELL FLOWER TREE	5CM CALIPER		FLOWERS
FRUIT TREES	"HERITAGE" VARIETIES	#5 - #10 pots	5	FRUIT / HERITAGE VALUE
BOULEVARD SPECIES AS REQUESTED BY CITY PARKS		5CM CALIPER	1	IN BOULEVARD
SHRUB PLANTING - TOTAL AREA 1153 SQ.M				
SPECIMEN SHRUBS (10% - 115 sq.m @ 0.3 / sq.m = 35 plants)				
ARBUTUS UNEDO "COMPACTA"	STRAWBERRY TREE	#5 - #15 pots	35	EVERGREEN / ORNAMENTAL FRUIT
AZALEA VARIETIES	AZALEAS, DECIDUOUS & EVERGREEN			SPRING COLOUR
ENKIANTHUS CAMPANULATUS	ENKIANTHUS			FLOWERS
HAMAMELIS X INTERMEDIA	WITCHHAZEL			SPRING FLS / FRAGRANCE
HYDRANGEA VARIETIES	HYDRANGEAS			FLOWERS
PHILADELPHUS "BELLE ETOILE"	MOCK ORANGE BLOSSOM			SUMMER FLS / FRAGRANCE
RHODODENDRON SPP.	RHODO VARIETIES			SPRING COLOUR / EVERGREEN
VIBURNUM X BODNANTENSE "DAWN"	WINTER FL. VIBURNUM			WINTER FRAGRANCE
MASSING SHRUBS (50% - 575 sq.m @ 1.5 / sq.m = 384 plants)				
AZALEA	DWARF EVERGREEN AZALEA	#1 pots	384	COLOUR
BUXUS SEMPERVIRENS	BOX			DROUGHT RESISTANT
LAVENDULA ANGUSTIFOLIA "HIDCOTE"	ENGLISH LAVENDER			DROUGHT RESISTANT
LONICERA "TWIGGY"	DWARF SHRUBBY HONESUCKLE			DROUGHT RESISTANT
ROSA VARIETIES	SHRUB ROSES			COLOUR / FRAGRANCE
SARCOCCOA RUSCIFOLIA	FRAGRANT WINTER BOX			FRAGRANCE / DROUGHT RESISTANT

PLANT SCHEDULE, INDICATES TYPICAL SPECIES, PLANT SIZES AND APPROXIMATE NUMBERS

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENTS
PERENNIALS / GROUND COVERS (40% - 461 sq.m @ 0.3 / sq.m = 1383 plants)				
ARCTOSTAPHYLOS UVA-URS	KINNICKINNIK	#1 pots	1383	NATIVE SPP.
GERANIUM MACCRORHIZUM	HARDY GERANIUM			DROUGHT RESISTANT
HOSTA VARIETIES	PLANTAIN LILY			FOLIAGE
LIGULARIA DENTATA	LIGULARIA			FOLIAGE
POLYSTICHUM MUNITUM	SWORD FERN			NATIVE SPP.
ZANTEDESCHIA AETHIOPICA	CALLA LILY			FLOWERS / FOLIAGE
GREEN ROOF 332 SQ.M				
SEEDUM MATS TO COVER 332 SQ.M. & PLANT PLUGS				
PLANT PLUGS		10cm POTS	100	EVERGREEN
ALLIUM CERNUM	NODDING ONION	10cm		NATIVE BULB
CALAMAGROSTIS STRICTA	NARROW LEAVED REED GRASS	10cm		FOLIAGE
GERANIUM MACCRORHIZUM	CRANESBILL	10cm		FOLIAGE
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	10cm		DROUGHT TOLERANT
KNIPHOFIA BORDER BALLET	RED HOT POKER, DWARF	10cm		BIRD ATTRACTOR
LAVANDULA STOECHAS	SPANISH LAVENDER	10cm		DROUGHT TOLERANT
PENSTEMON FRUTICOSUS	BUSH PENSTEMON	10cm		DROUGHT TOLERANT
SEDUM SPECTABILE "AUTUMN JOY"	SEDUM SPECTABILE	10cm		AUTUMN INTEREST
STIPA TENUISSIMA	MEXICAN FEATHER GRASS	10cm		FOLIAGE

1. PLANT SCHEDULES.

PROPOSED PLANT SPECIES, SPACING, SIZE AND NUMBERS ARE A GUIDE TO THE PLANTING CONCEPT AND CHARACTER. THIS INFORMATION WILL BE CONFIRMED AT BUILDING PERMIT APPLICATION STAGE WHEN DETAILED PLANTING PLANS WILL BE PROVIDED.

2. LANDSCAPE STANDARDS

SOFT LANDSCAPE WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST BC LANDSCAPE STANDARD. SOFT LANDSCAPE WORKS SHALL BE IRRIGATED WITH AN AUTOMATED LOW VOLUME UNDERGROUND IRRIGATION SYSTEM IN ACCORDANCE WITH APPLICABLE PLUMBING REGULATIONS AND INSTALLED TO THE STANDARDS OF THE IRRIGATION INDUSTRY ASSOCIATION OF BC AND TO THE STANDARDS OF THE CITY OF VICTORIA.

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MOUNT ST. ANGELA

PLANT SCHEDULES
&
EXAMPLES

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