

McDonald's®

McDONALD'S APPROVALS	
INTERIOR FLOOR PLAN APPROVAL NATIONAL DESIGN	JAN 05 2016
EXTERIOR ELEVATIONS APPROVAL NATIONAL DESIGN	SEP 10 2016

980 PANDORA AVENUE, VICTORIA, BRITISH COLUMBIA



DRAWING / CONSULTANT LIST:

ARCHITECTURAL

LOVICKSCOTT ARCHITECTS.
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A0 COVER SHEET
A0.1 GENERAL NOTES, CODE ANALYSIS &
SPECIFICATIONS
A0.2 WALL & SIGNAGE SCHEDULES
AS0.0 CONTEXT PHOTOS
AS1.0 SITE PLAN (EXISTING)
A1.0 EXISTING / DEMO FLOOR PLAN
A1.1 PROPOSED FLOOR PLAN
A1.4 EXISTING & DEMO. ROOF PLAN
A1.5 PROPOSED ROOF PLAN
A2.0 EXISTING & PROPOSED SOUTH
ELEVATIONS
A2.1 EXISTING & PROPOSED EAST
ELEVATIONS

A2.2 EXISTING & PROPOSED NORTH
ELEVATIONS
A2.3 EXISTING & PROPOSED WEST
ELEVATIONS
A2.4 COLOURED ELEVATIONS
A2.5 PERSPECTIVES
A3.0 BUILDING SECTIONS

CIVIL & LANDSCAPE

IBI GROUP
SUITE 308-30 EGLINTON AVENUE WEST
MISSISSAUGA, ONTARIO
L5R 3E7
(905) 890-3550
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ANNOTATION SYMBOLS	
STORAGE Rm.	
	2
	ROOF HAVES & BIRD
	DETAILS BLDG E
	HALL TAG
	WINDOW TAG
	DOOR TAG
	EXTERIOR ELEVATION MARKER
	SECTION BLDG E
	KEYNOTE TAG
	PLAN/ELEVATION SECTION DETAIL TITLE
	TRUE NORTH
	ELEVATION
	CEILING HEIGHTS
ABBREVIATION LEGEND:	
CL	CENTER LINE
COL	COLOR
EX	EXISTING
IN	NEW
ITP	TYPICAL
NA	NOT APPLICABLE
W/ - G/H	WITH - CONES WITH
UNO	UNLESS NOTED OTHERWISE
SON	SCOPE OF WORK
PT	PRESSURE TREATED

ASSEMBLY SCHEDULES					INTERIOR WALL ASSEMBLIES:				
EXTERIOR WALL ASSEMBLIES:					INTERIOR WALL ASSEMBLIES:				
NO.	DESCRIPTION	DETAIL	REGD.	PROVIDED	NO.	DESCRIPTION	DETAIL	REGD.	PROVIDED
1	EXTERIOR WALL: WOOD STUD FRAME (E) - NEW PART - ON SKEG (E) - REFER TO BUILDING ELEVATION & NOTES - INTERIOR FINISH AS REFER TO DECOR DRAWINGS - SKEG FINISH INSTALLED PER MANUF. SPECIAL TEXTURE - REFER TO BUILDING ELEVATION & NOTES - ON METAL LANE - ON UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) WITH RED SIDE FACING OUT - ON HOOD STUD FRAME ASSEMBLY (E) - INTERIOR FINISH AS REFER TO DECOR DRAWINGS NOTE: - PREPARE EXISTING SURFACES (EXTERIOR & INTERIOR) TO ACCEPT NEW FINISH PATCH & REPAIR OR REPLACE AS REQUIRED. 2. SEE NOTE 3.		NA		1	INTERIOR WOOD STUD WALL (E) - HOOD STUD FRAME ASSEMBLY (E) REFER TO PLAN FOR LOCATION OF NEW OR EXISTING CRYSTALL - INTERIOR FINISH AS REFER TO DECOR DRAWINGS NOTE: - PREPARE EXISTING SURFACES TO ACCEPT NEW FINISH PATCH & REPAIR OR REPLACE AS REQUIRED. 2. SEE NOTE 3.		NA	
2	EXTERIOR WALL: WOOD STUD FRAME (E) - ALPOLC METAL PANEL, INSTALLED PER MANUF. SPECIAL - REFER TO BUILDING ELEVATION & NOTES - ON UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) - ON 2 x 6 HOOD FRAMING (SEE STRUCT. DWGS) NOTE: - PREPARE EXISTING SURFACES (EXTERIOR & INTERIOR) TO ACCEPT NEW FINISH PATCH & REPAIR OR REPLACE AS REQUIRED. 2. ALPOLC RED & WRAPSHIELD TO BE INSTALLED WITH RED FACING OUT 3. ALPOLC WHITE & WRAPSHIELD TO BE INSTALLED WITH WHITE FACING OUT 4. SEE NOTE 3.		NA		2	INTERIOR - NON-REINFORCED PARTITION WALL (E) - 1/2" GWS BOTH SIDES - ON 2 x 4 OR 2 x 6 STUDS @ 16" O.C. REFER TO PLAN FOR LOCATION - INTERIOR FINISH AS REFER TO DECOR DRAWINGS NOTE: - PREPARE EXISTING SURFACES TO ACCEPT NEW FINISH PATCH & REPAIR OR REPLACE AS REQUIRED. 2. SEE NOTE 3.		NA	
3	EXTERIOR WALL: WOOD STUD FRAME (E) - ALPOLC METAL PANEL, INSTALLED PER MANUF. SPECIAL - REFER TO BUILDING ELEVATION & NOTES - ON UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) - ON 2 x 6 HOOD FRAMING (SEE STRUCT. DWGS) NOTE: - PREPARE EXISTING SURFACES (EXTERIOR & INTERIOR) TO ACCEPT NEW FINISH PATCH & REPAIR OR REPLACE AS REQUIRED. 2. ALPOLC RED & WRAPSHIELD TO BE INSTALLED WITH RED FACING OUT 3. ALPOLC WHITE & WRAPSHIELD TO BE INSTALLED WITH WHITE FACING OUT 4. SEE NOTE 3.		NA		3	INTERIOR - FINISHED WALL (E) - 2 x 4 HOOD STUDS @ 16" O.C. - ON 1/2" GWS - INTERIOR FINISH AS REFER TO DECOR DRAWINGS NOTE: - PREPARE EXISTING SURFACES TO ACCEPT NEW FINISH PATCH & REPAIR OR REPLACE AS REQUIRED. 2. SEE NOTE 3.		NA	
ROOF ASSEMBLY:					ROOF ASSEMBLY:				
NO.	DESCRIPTION	DETAIL	REGD.	PROVIDED	NO.	DESCRIPTION	DETAIL	REGD.	PROVIDED
1	FLAT ROOF - SBS ROOFING - 2 PLY SBS ROOFING HEMERANE (SPUR ON) PARAPET WALL - 2 LAYERS 800 POLYSTYRENE INSULATION (STAGGERED) - 2 LAYERS EPS SLOPE PACKAGE - SELF-ADHERED VAPOR BARRIER - PLYWOOD SHEATHING (SEE STRUCT. DRAWINGS) - ON HOOD TRIMMER		NA		1	FLAT ROOF - SBS ROOFING - 2 PLY SBS ROOFING HEMERANE (SPUR ON) PARAPET WALL - 2 LAYERS 800 POLYSTYRENE INSULATION (STAGGERED) - 2 LAYERS EPS SLOPE PACKAGE - SELF-ADHERED VAPOR BARRIER - PLYWOOD SHEATHING (SEE STRUCT. DRAWINGS) - ON SLOPED HOOD FRAMING (SEE STRUCT. DRAWINGS)		NA	
2	EXTERIOR WALL: WOOD STUD FRAME (E) - WIDE LAP SKEG INSTALLED PER MANUF. SPECIAL - REFER TO BUILDING ELEVATION & NOTES - 1/2" x 2" PLY STRAPPING @ 8" O.C. - ON UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) WITH RED SIDE FACING OUT - ON 2 x 6 HOOD FRAMING (SEE STRUCT. DWGS) - RED BATT INSULATION (5/8" MIN. POLY VAPOR BARRIER) - 1/2" GWS FINISH AS PER DECOR DRAWINGS NOTE: - IN HATCHROOMS PROVIDE 1/2" HATCHBACKER BD TO 4' AFF. 1/2" GWS ABOVE 4'. 2. SEE NOTE 3.		NA		2	EXTERIOR WALL: WOOD STUD FRAME (E) - SPLIT FACE CONCRETE BLOCK TO MATCH EXISTING (INSTALLED PER MANUF. SPECIAL) - REFER TO BUILDING ELEVATION & NOTES - 1" AIR SPACE - UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) WITH RED SIDE FACING OUT - ON 2 x 6 HOOD FRAMING (SEE STRUCT. DWGS) - RED BATT INSULATION (5/8" MIN. POLY VAPOR BARRIER) - 1/2" GWS FINISH AS PER DECOR DRAWINGS NOTE: - SEE NOTE 3.		NA	
3	EXTERIOR WALL: WOOD STUD FRAME (E) - SKEG FINISH INSTALLED PER MANUF. SPECIAL TEXTURE TO MATCH EXISTING - REFER TO BUILDING ELEVATION & NOTES - ON METAL LANE - ON UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) WITH RED SIDE FACING OUT - ON 2 x 6 HOOD FRAMING (SEE STRUCT. DWGS) - RED BATT INSULATION (5/8" MIN. POLY VAPOR BARRIER) - 1/2" GWS FINISH AS PER DECOR DRAWINGS NOTE: - IN HATCHROOMS PROVIDE 1/2" HATCHBACKER BD TO 4' AFF. 1/2" GWS ABOVE 4'. 2. SEE NOTE 3.		NA		3	EXTERIOR WALL: WOOD STUD FRAME (E) - SKEG FINISH INSTALLED PER MANUF. SPECIAL TEXTURE TO MATCH EXISTING - REFER TO BUILDING ELEVATION & NOTES - ON METAL LANE - ON UNWASHED WRAPSHIELD RED HEMERANE MECHANICAL FASTENED TO 1/2" PLY SHEATHING (SEE STRUCT. DWGS) WITH RED SIDE FACING OUT - ON 2 x 6 HOOD FRAMING (SEE STRUCT. DWGS) - RED BATT INSULATION (5/8" MIN. POLY VAPOR BARRIER) - 1/2" GWS FINISH AS PER DECOR DRAWINGS NOTE: - SEE DETAILS FOR ADDITIONAL BUILDING ENVELOPE ITEMS.		NA	
EXTERIOR WALL ASSEMBLY NOTES:					INTERIOR WALL ASSEMBLY NOTES:				
1. ALL EXTERIOR STUD WALLS TO HAVE MIN 1/2" RANGEROSE DRAINAGE CAVITY.					1. AT SHEAR WALL LOCATIONS INSTALL 1/2" OR 5/8" PLYWOOD PRIOR TO GWS INSTALLATION - SEE STRUCTURAL DRAWINGS FOR LOCATIONS & REQUIREMENTS.				
2. WALL SCHEDULE TO BE READ IN CONJUNCTION WITH BUILDING ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISHES AND COLORS.					2. IN HATCHROOMS & ALL OTHER HIGH MOISTURE AREAS, PROVIDE 1/2" HATCHBACKER BD TO 4' AFF. 1/2" GWS ABOVE 4'.				
3. ALL GWS IN THE DRINK & VESTIBULE THAT IS NEW AND THAT IS REQUIRED TO BE REPLACED DURING CONSTRUCTION TO BE 1/2" HATCHBACKER BOARD FROM FLOOR TO US OF HATCH SILL AND 1/2" GWS ABOVE.					3. WRAP ALL STUDS WITH BATT INSULATION AND DO NOT COMPRESS INSULATION BETWEEN PILES OR IN WALL CAVITY.				
4. PENETRATIONS THRU ALL FIRE-RATED ASSEMBLIES MUST BE FIRE-STOPPED PER AISC 308 REQUIREMENTS.					4. PENETRATIONS THRU ALL FIRE-RATED ASSEMBLIES MUST BE FIRE-STOPPED PER AISC 308 REQUIREMENTS.				

SIGNAGE SCHEDULE	
	3'-6" GOLDEN ARCHES PROPOSED: 2 SIGNS
	3'-6" Mc PROPOSED: 2 SIGNS
	3'-6" Mc PROPOSED: 2 SIGNS
	24 HR SIGN PROPOSED: 2 SIGNS
	3'-6" McDonald's CHANNEL LETTERS PROPOSED: 2 SIGNS
	3'-6" play place CHANNEL LETTERS PROPOSED: 1 SIGN
	3'-6" CYT SIGN PROPOSED: 1 SIGN
	3'-6" DIGITAL READER BOARD PROPOSED: 1 SIGN
NOTE:	
- ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS ON RACWAY OR FASTENED DIRECTLY TO BUILDING. GUT SHEETS INDICATING FINISH, HATCHING DETAILS, ILLUMINATION SYSTEM ETC. TO BE PROVIDED BY SIGN MANUFACTURER AT TIME OF SIGNAGE PERMIT APPLICATION.	
- ALL SIGNS TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.	
- ALL SIGNS TO MEET ALL LOCAL SIGNAGE BY-LAW.	

NO.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	REV.
1	McDonald's			McDonald's			McDonald's		
2	McDonald's			McDonald's			McDonald's		
3	McDonald's			McDonald's			McDonald's		
4	McDonald's			McDonald's			McDonald's		
5	McDonald's			McDonald's			McDonald's		
6	McDonald's			McDonald's			McDonald's		
7	McDonald's			McDonald's			McDonald's		
8	McDonald's			McDonald's			McDonald's		
9	McDonald's			McDonald's			McDonald's		
10	McDonald's			McDonald's			McDonald's		

3707 1ST AVENUE BURNABY, BC V5C 3V1 ADMIN@LOVICKSCOTT.CO1 P: 604 298 3700 F: 604 298 608 MEMBER OF THE AISC, AAA, SAA, HYTAA & RAH	LOVICK SCOTT ARCHITECTS
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McDonald's Restaurant	480 PANDORA AVE, VICTORIA, BC
WALL & SIGNAGE SCHEDULES	
DATE: 05-11	REV: A0.2
SCALE: 1/4" = 1'-0"	REVISION: NUMBER
DATE: FEBRUARY 2016	REV: 001



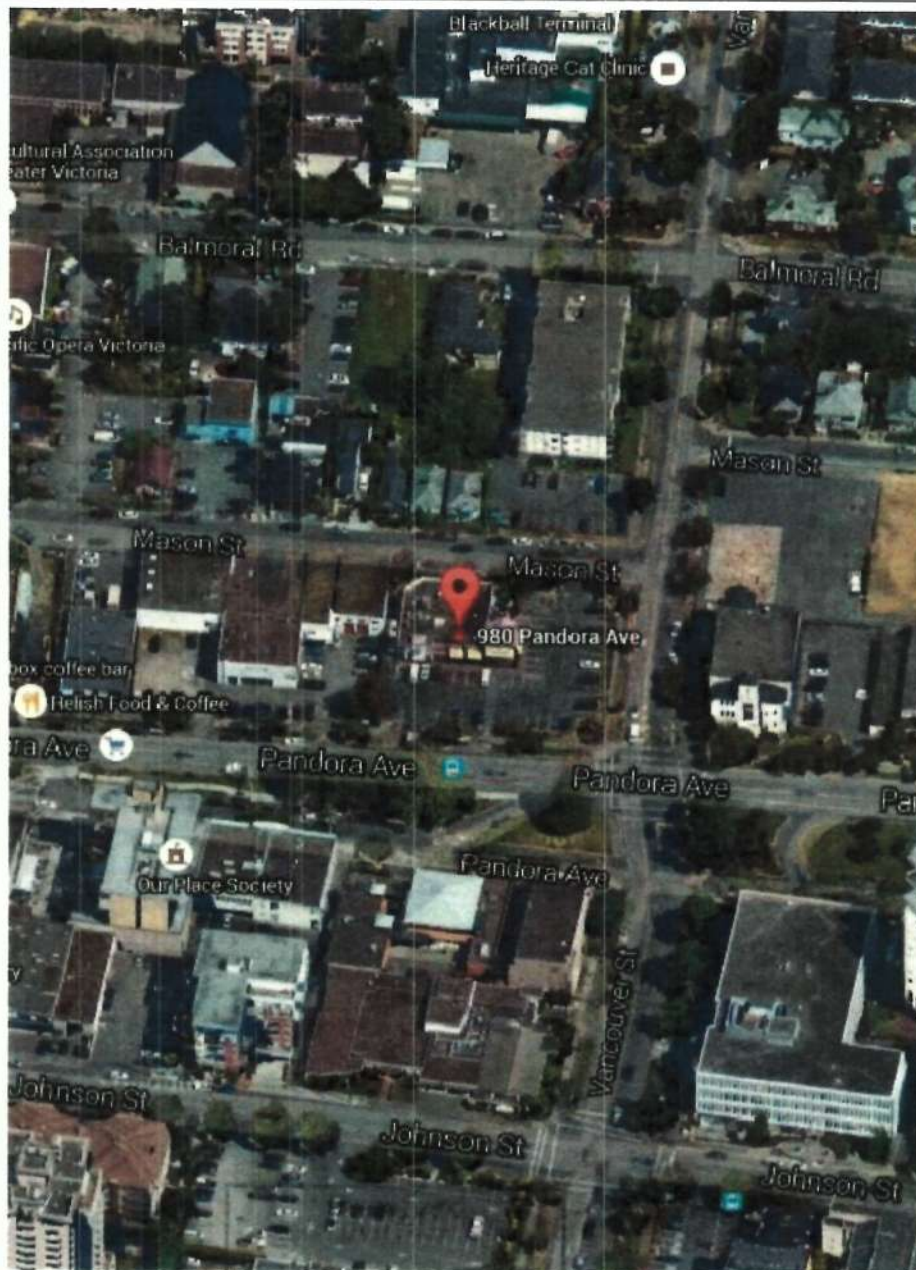
SOUTH EAST VIEW (EXISTING)
SCALE: NOT TO SCALE



SOUTH VIEW (EXISTING)
SCALE: NOT TO SCALE



EAST VIEW (EXISTING)
SCALE: NOT TO SCALE



JUN 21 2016

Planning & Development Department
Development Services Division

KEY PLAN (EXISTING)
SCALE: NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1		ISSUED FOR DP			
2		ISSUED FOR PRELIMINARY PLAN REVIEW			
3		ISSUED FOR FINAL REVIEW			
4		ISSUED FOR FINAL REVIEW			
5		ISSUED FOR FINAL REVIEW			
6		ISSUED FOR FINAL REVIEW			
7		ISSUED FOR FINAL REVIEW			
8		ISSUED FOR FINAL REVIEW			
9		ISSUED FOR FINAL REVIEW			
10		ISSUED FOR FINAL REVIEW			

McDonald's
MCDONALD'S RESTAURANTS OF CANADA LIMITED,
4100 STILL CREEK DRIVE, BURNABY, BC, V5C 6G6

CONTRACT NO.

LOVICK SCOTT ARCHITECTS



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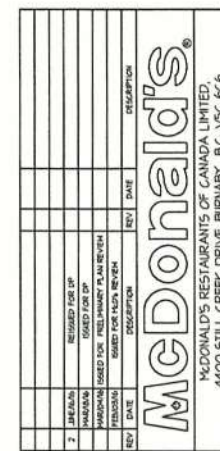
McDonald's Restaurant

980 PANDORA AVE,
VICTORIA, BC

CONTEXT PHOTOS

PROJECT NUMBER	DATE
15-011	ASO 0
DATE	NOT TO SCALE
DATE	NOT TO SCALE
DATE	NOT TO SCALE
DATE	NOT TO SCALE

FEBRUARY 2016



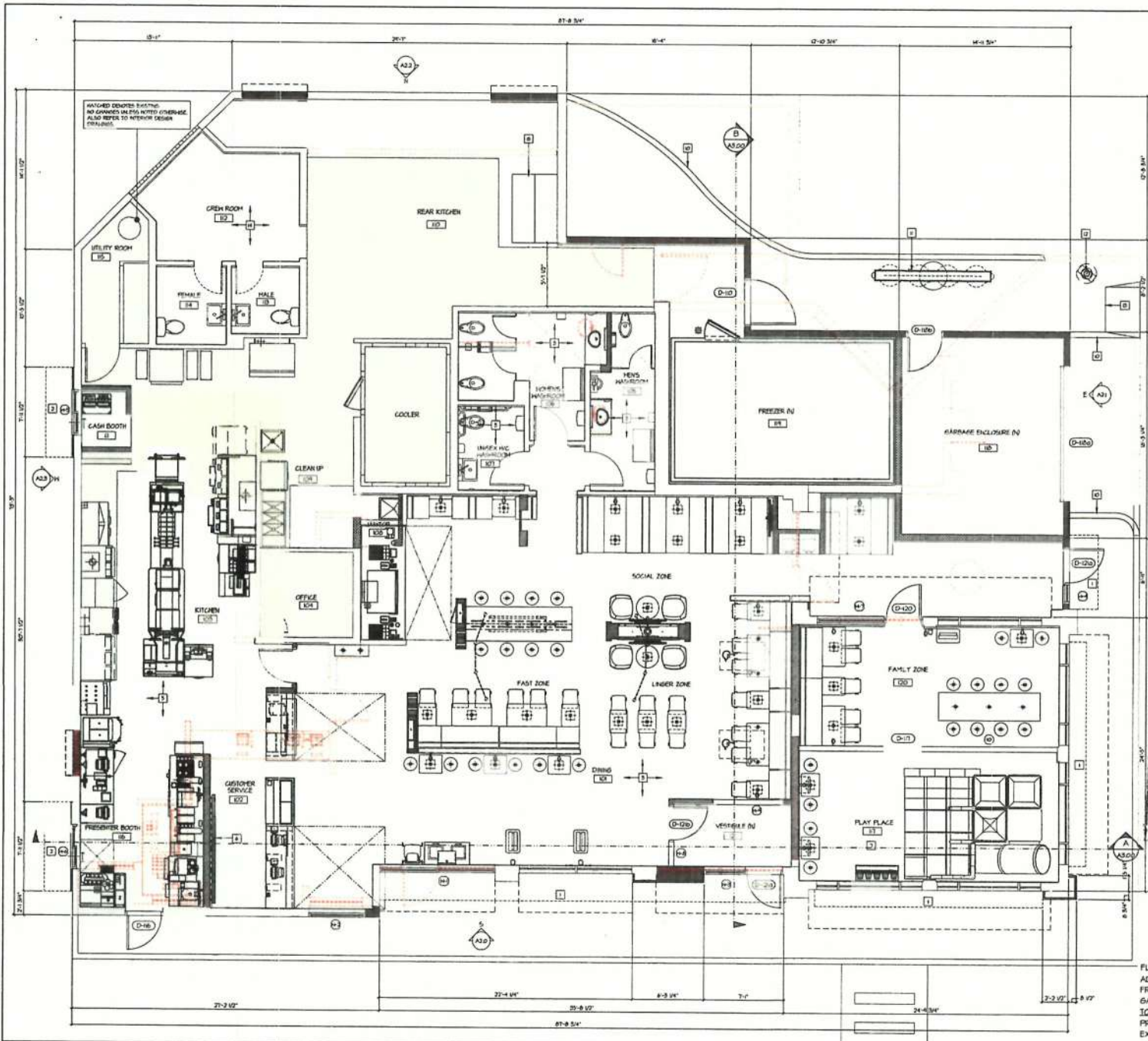
LOVICK
SCOTT
ARCHITECTS

CONCLUSIONS: The results of this study suggest that the use of a single, standardized, and validated instrument to assess the quality of life of patients with chronic pain is feasible and reliable. The use of this instrument in future studies will allow for the comparison of results across studies and will help to identify the factors that influence the quality of life of patients with chronic pain.

McDonald's Restaurant
980 PANDORA AVE,
VICTORIA, BC

EXISTING / DEMO FLOOR PLAN

PROF. A. ALDREY	PROF. A. ALDREY
15-III	Al.O
1942	1942
1/4" x 1-0"	1/4" x 1-0"
1942	1942
FEBRUARY 2016	1942



TYPICAL HALL LEGEND

NOTE:
1. ALL ASSEMBLIES TYPICAL 1/8" FOR THEIR HALLS OR SPECIALTY CONSTRUCTION.
2. REFER TO HALL SCHEDULE FOR APPROVED FINISHES AND REQUIRED FIRE.

NEW EXTERIOR HALL
NEW F.P.B. INTERIOR HALL
EXISTING EXTERIOR HALL
EXISTING INTERIOR HALL

EXISTING HALLS TO BE REMOVED (ALSO REFER TO OTHER SHEET FOR DETAILS) SEE AS NOTED

PROPOSED FLOOR PLAN LEGEND

ROOM NUMBER
HALL FINISH REFER TO ROOM FINISH SCHEDULE
DOOR NUMBER REFER TO DOOR SCHEDULE
WINDOW NUMBER REFER TO WINDOW SCHEDULE
FURNITURE NUMBER REFER TO FURNITURE SCHEDULE

NEW TOILET ACCESSORIES REFER TO PLUMBING AND INTERIOR DESIGN DRAWINGS
EXISTING HALLS (DOORS, WELLS, ETC.) TO BE REMOVED

PROPOSED FLOOR PLAN KEY NOTES:

1. LINE OF NEW WHITE RECYCLED OVER.
2. LINE OF NEW WHITE TRIM LAMPY OVER.
3. COMPLETE LAMPY RECYCLED REFER TO INTERIOR DESIGN DRAWINGS.
4. EXISTING VANDERBILT INTERIOR UPGRADE WITH NEW FINISHES, PARTIALS AND ACCESSORIES. REFER TO PLUMBING AND INTERIOR DESIGN DRAWINGS FOR FINISHES.
5. NEW 4 RELOCATED KITCHEN EQUIPMENT, SEE KITCHEN, MECHANICAL AND ELECTRICAL DRAWINGS.
6. EXISTING NEW BOARD TO REMAIN AS IS.
7. NEW PLAY UNIT SIZE AND CONFIGURATION SEE.
8. LINE OF NEW ROOF PARAPET OVER.
9. NEW CONCRETE GARD SEE CIVIL ENGINEER.
10. NEW FENCE BOARD SEE CIVIL ENGINEER.
11. NEW FENCE BOARD SEE CIVIL ENGINEER.
12. NEW CONCRETE RAMP SEE CIVIL ENGINEER.
13. COMPLETE GREEN ROOM RECYCLED REFER TO INTERIOR DESIGN DRAWINGS.
14. BRIDGE TO ACCOMMODATE NEW BICYCLE SPACES (2) - 6' 0" x 2' 0" x 2' 0".

PROPOSED FLOOR PLAN KEY NOTES:

1. LINE OF NEW WHITE RECYCLED OVER.
2. LINE OF NEW WHITE TRIM LAMPY OVER.
3. COMPLETE LAMPY RECYCLED REFER TO INTERIOR DESIGN DRAWINGS.
4. EXISTING VANDERBILT INTERIOR UPGRADE WITH NEW FINISHES, PARTIALS AND ACCESSORIES. REFER TO PLUMBING AND INTERIOR DESIGN DRAWINGS FOR FINISHES.
5. NEW 4 RELOCATED KITCHEN EQUIPMENT, SEE KITCHEN, MECHANICAL AND ELECTRICAL DRAWINGS.
6. EXISTING NEW BOARD TO REMAIN AS IS.
7. NEW PLAY UNIT SIZE AND CONFIGURATION SEE.
8. LINE OF NEW ROOF PARAPET OVER.
9. NEW CONCRETE GARD SEE CIVIL ENGINEER.
10. NEW FENCE BOARD SEE CIVIL ENGINEER.
11. NEW FENCE BOARD SEE CIVIL ENGINEER.
12. NEW CONCRETE RAMP SEE CIVIL ENGINEER.
13. COMPLETE GREEN ROOM RECYCLED REFER TO INTERIOR DESIGN DRAWINGS.
14. BRIDGE TO ACCOMMODATE NEW BICYCLE SPACES (2) - 6' 0" x 2' 0" x 2' 0".

Received
City of Victoria

JUN 21 2016

Planning & Development Department
Development Services Division

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA (EXISTING) = 4,452.43 SQ. FT. (413.64 SQ. M.)
ADDITION = 71.84 SQ. FT. (6.68 SQ. M.)
FREEZER (NEW) = 281.84 SQ. FT. (26.14 SQ. M.)
GARAGE AREA (NEW) = 219.83 SQ. FT. (25.44 SQ. M.)
TOTAL FLOOR AREA = 5,066.00 SQ. FT. (472.50 SQ. M.)

PROPOSED SEATS - 102
EXISTING SEATS - 40

REV	DATE	DESCRIPTION
1	01/11/15	ISSUED FOR PERMIT
2	01/11/15	ISSUED FOR PERMIT
3	01/11/15	ISSUED FOR PERMIT
4	01/11/15	ISSUED FOR PERMIT
5	01/11/15	ISSUED FOR PERMIT
6	01/11/15	ISSUED FOR PERMIT
7	01/11/15	ISSUED FOR PERMIT
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9	01/11/15	ISSUED FOR PERMIT
10	01/11/15	ISSUED FOR PERMIT
11	01/11/15	ISSUED FOR PERMIT
12	01/11/15	ISSUED FOR PERMIT
13	01/11/15	ISSUED FOR PERMIT
14	01/11/15	ISSUED FOR PERMIT
15	01/11/15	ISSUED FOR PERMIT
16	01/11/15	ISSUED FOR PERMIT
17	01/11/15	ISSUED FOR PERMIT
18	01/11/15	ISSUED FOR PERMIT
19	01/11/15	ISSUED FOR PERMIT
20	01/11/15	ISSUED FOR PERMIT

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED,
4400 5TH AVE. CREEK DRIVE FARMERY B.C. V5C 6C6

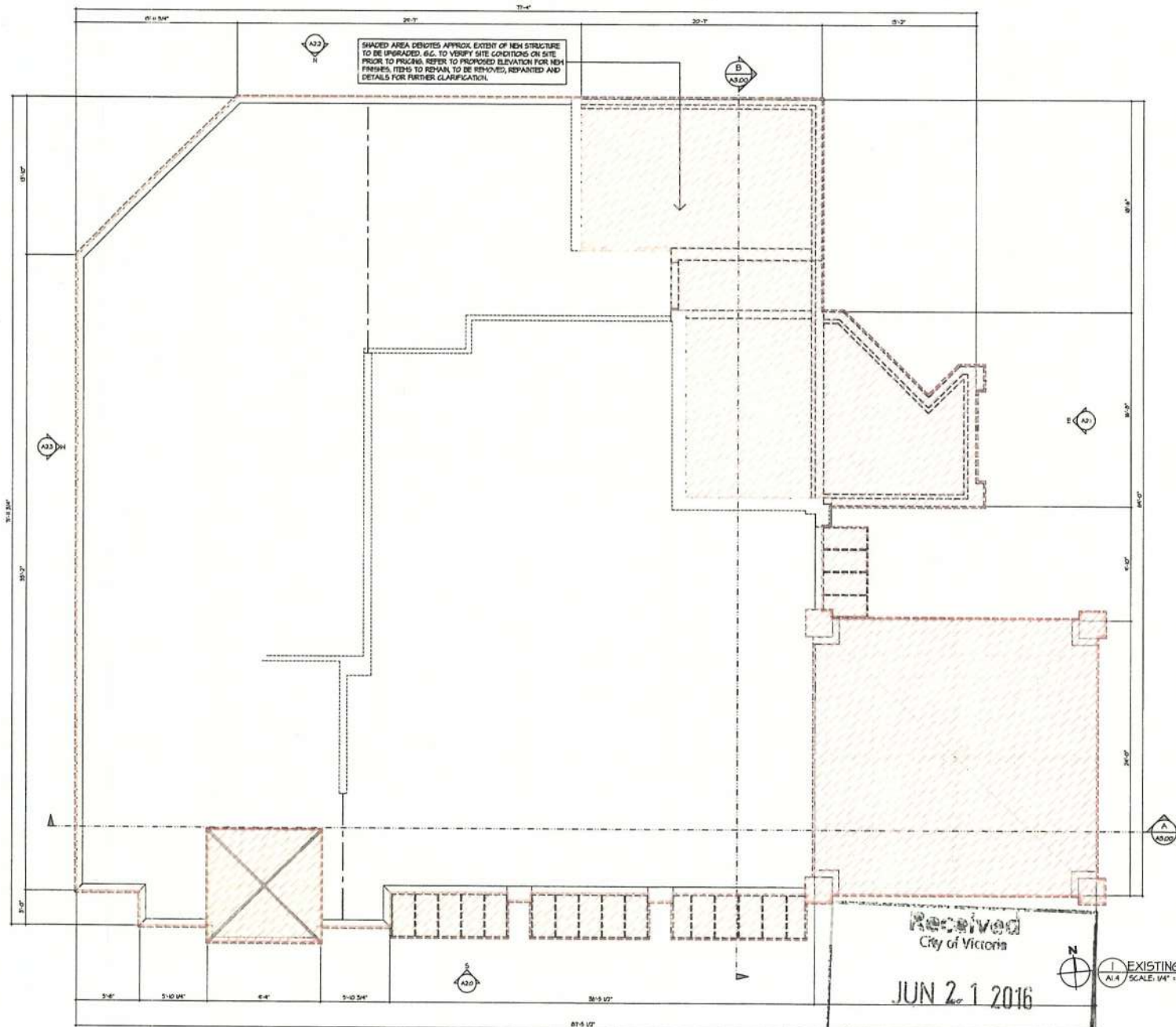
LOVICK SCOTT ARCHITECTS

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MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAI

McDonald's Restaurant
480 PANDORA AVE,
VICTORIA, BC

PROPOSED FLOOR PLAN

DATE: 01/11/15
BY: JME/21/16



NO.	DATE	DESCRIPTION	BY	CHKD
1	03/03/16	ISSUED FOR PERMIT	AL	AL
2	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
3	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
4	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
5	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
6	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
7	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
8	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
9	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
10	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
11	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
12	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
13	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
14	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
15	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
16	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
17	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
18	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
19	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
20	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
21	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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24	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
25	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
26	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
27	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
28	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
29	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
30	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
31	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
32	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
33	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
34	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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36	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
37	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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43	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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46	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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48	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
49	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
50	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
51	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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53	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
54	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
55	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
56	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
57	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
58	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
59	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL
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100	03/03/16	ISSUED FOR PRELIMINARY PLAN REVIEW	AL	AL

McDonald's

McDonald's RESTAURANTS OF CANADA LIMITED,
4400 STILL CREEK DRIVE, BURNABY, BC, V5C 6G6

PROJ. 17-000000

LOVICK SCOTT ARCHITECTS

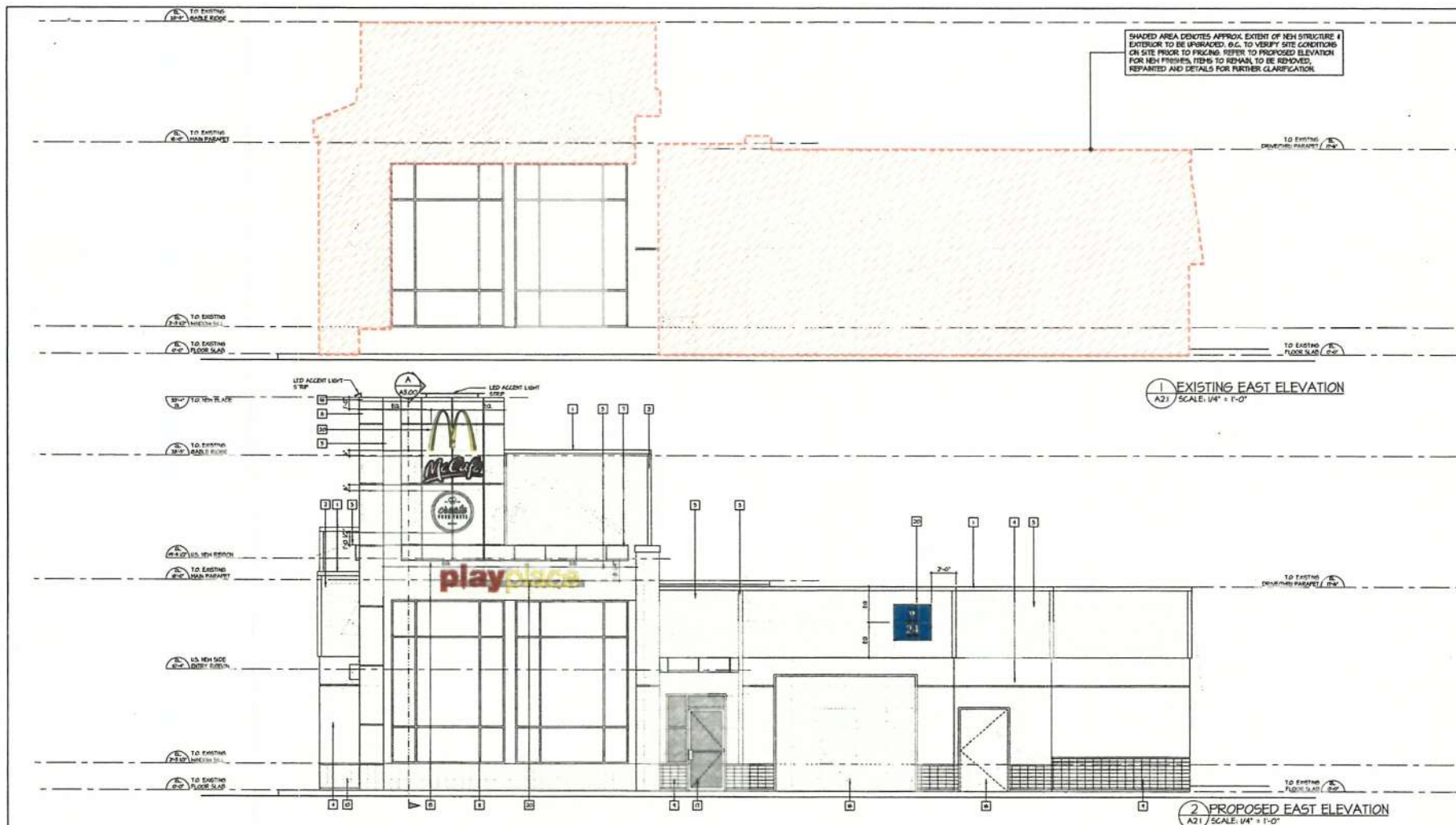
3707 1ST AVENUE
BURNABY, BC V5C 3V
ADMIN@LOVICKSCOTT.CO
P. 604 298 3700 F. 604 298 608
MEMBER OF THE ABC, AIA, SAA, NAITAA & RAA

McDonald's Restaurant
480 PANDORA AVE,
VICTORIA, BC
S10000

EXISTING / DEMO FLOOR PLAN

DATE: 03/03/16
SCALE: 1/4" = 1'-0"
SHEET: 15-III
TOTAL SHEETS: 15
DATE: MARCH 2015





ELEVATION NOTES

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW

1. EXISTING WALL GLAZING, SLOTTED GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY B.C. PATCH & REPAIR. PATCH & REPAIR TO BE COMPLETED PRIOR TO NEW WORK.
2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY B.C. PATCH & REPAIR. PATCH & REPAIR TO BE COMPLETED PRIOR TO NEW WORK.
3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, LAMP BODIES, DOORBELLS, WALL MOUNTED OR SLOTTED LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL DISBURSERS REQUIREMENTS. PATCH AND REPAIR AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND MOUNTING.
5. EXISTING METAL ROOFING, SHEATHING, FLASHING, BUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY B.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
6. B.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING, FLASHING AND REGULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR WEAR IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
7. EXISTING LIGHTING MOUNTING & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL DISBURSERS REQUIREMENTS. B.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQUIRED AND COORDINATE BACKSUPPORTS WITH NEW COMPANY.

- A. HATCH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- B. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL Voids AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- C. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- D. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- E. PRIOR TO PAINTING IF ROOF, SILL & BUTTER IS GALVANIZED SHALL BE REQUIRED TO BE CLEANED WITH BENZOLINE MOISTURE FREE - B.C. O.A. & GROUTED BULKHEAD PER MANUFACTURER'S INSTRUCTIONS.
- F. ALL EXISTING BUILDINGS TO REMAIN TO BE FINISHED SMOOTH WHITE.
- G. REMOVE ALL EXISTING SHOWER STALLS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALL.
- H. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- I. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A21.

EXTERIOR FINISHES

MATERIAL	COLOUR	MATERIAL	COLOUR
1. PREFINISHED METAL CAP FLASHING	CHARCOAL, GC-BOTS OR TO MATCH ADJACENT FINISHES. B. NEW WHITE. C. SHT WHITE.	4. ALUMINUM STOREFRONT DOOR/SHOWER PANELS (EXISTING)	CLEAR ANODIZED. REPAIR AS IS.
2. HORIZONTAL METAL SIDING - ASDO	CHARCOAL, GREY (SCANDINAVIAN)	5. PREFINISHED METAL FLASHING (EXISTING)	PAINTED COLOR PAINT HED 4B
3. AIR FREE GROUT JOINT - SMOOTH - 3/32" NOTCH	DELUX PAINT GUEST/STAFF/CATE BRUSH HED 31	6. PREFINISHED METAL BASE / TRIM WALL (EXISTING)	CHARCOAL, GC-BOTS
4. STUCCO WITH FINISHED SLOTTED HATCHES	PAINTED DELUX PAINT REGENT GREY HED 4A	7. PREFINISHED METAL PANEL SLOTTED - ASDO	SHT WHITE
5. FIBER GROUT CAP FLASHING	DELUX PAINT GUEST/STAFF/CATE BRUSH HED 31	8. METAL DOORS & FRAMES EXISTING REGENT GREY	SHT WHITE
6. METAL PANEL - SMOOTH - WHITE	PAINTED	9. ALUMINUM STOREFRONT DOOR/SHOWER PANELS TO MATCH EXISTING	CLEAR ANODIZED
7. STUCCO FINISHING	PAINTED DELUX PAINT REGENT GREY HED 4A	10. HIDDEN HEAD FLASHING	CLEAR ANODIZED
8. POLYMER TILE TO MATCH EXISTING	CHARCOAL, GREY	11. HIDDEN KEE FLASHING	CLEAR ANODIZED
9. POLYMER TILE (EXISTING)	TO REMAIN PATCH & REPAIR AS REQUIRED.	12. STUCCO	SEE RESPONSIBILITY CHART
		13. NEW CONCRETE BASE	SKANDINAVIAN - MATCH CHARCOAL, GREY
		14. EXISTING GLASS BLOCKS	TO REMAIN
		15. EXISTING TRAILER TO MATCH EXISTING	CLEAR ANODIZED CAP FLASHING, GROUTING SYSTEM

- ALL MATERIALS ARE NEW UNLESS NOTED
- REFER TO EXTERIOR FINISH SPECIFICATIONS ON DRAWING A21
- * ALL MATERIAL FINISHES TO BE 24 GA
- SEE EXTERIOR FINISH SPECIFICATION FOR ADDITIONAL FINISHES

PROPOSED ELEV. LEGEND

EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

Received
City of Victoria

JUN 21 2016

Planning & Development Department
Development Services Division

REV	DATE	DESCRIPTION
1	01/11/15	ISSUED FOR PERMITTING
2	01/11/15	ISSUED FOR PERMITTING
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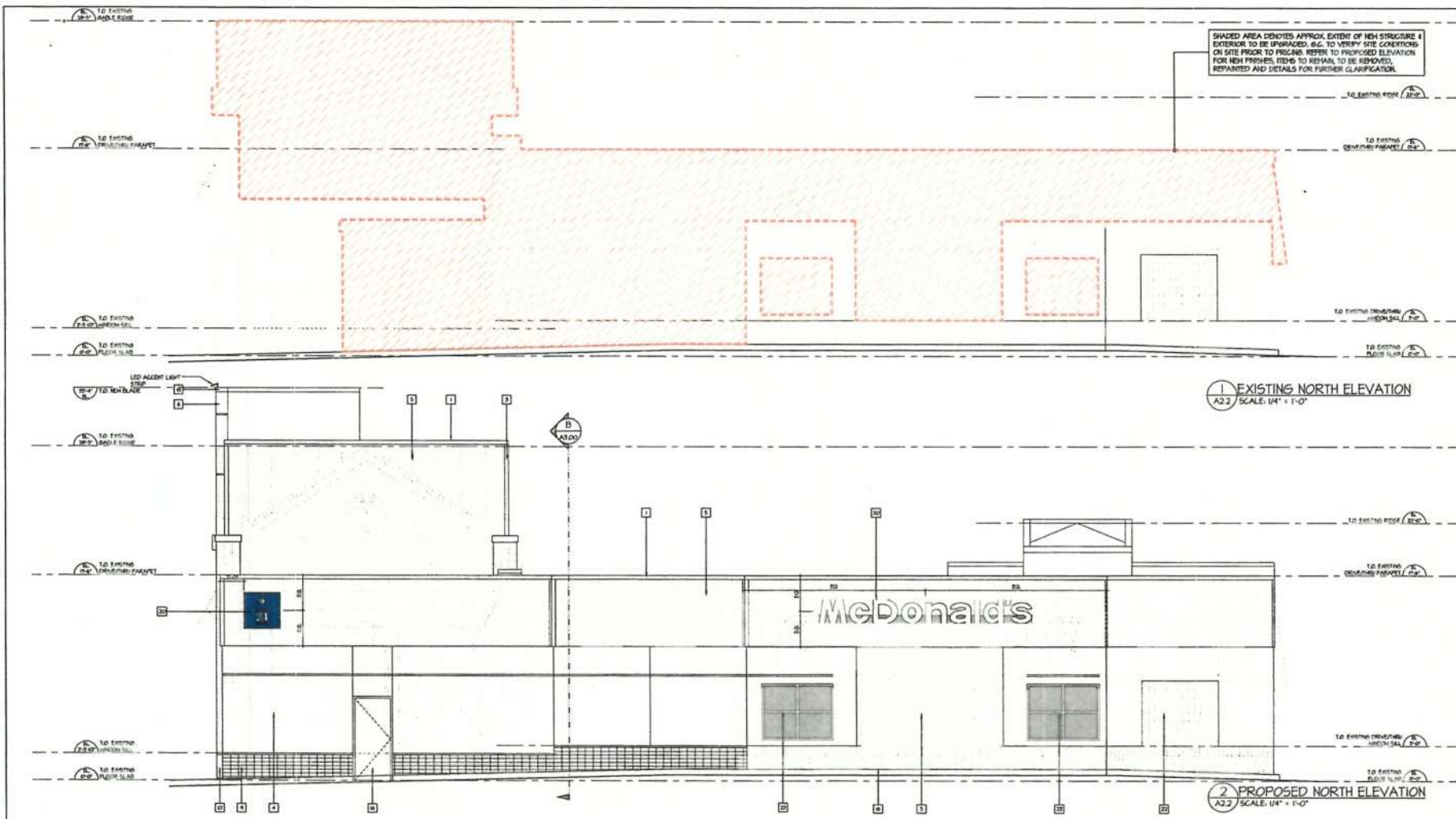
McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, BURNABY BC, V5C 6G6

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
BURNABY, BC V5C 3V1
ADMIN@LOVICKSCOTT.CO
P: 604 298 3700 F: 604 298 608
MEMBER OF THE AIBC, AIA, SAA, HWATA & RAH

McDonald's Restaurant
980 PANDORA AVE,
VICTORIA, BC

PROJECT NAME	REVISION
15-11	A2.1
1/4" = 1'-0"	1/4" = 1'-0"
DATE	DATE
FEBRUARY 2016	FEBRUARY 2016



SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. O.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PROCEED. REFER TO PROPOSED ELEVATION FOR NEW FINISHES, ITEMS TO REMAIN TO BE REMOVED, REPAIRED AND DETAILS FOR FURTHER CLARIFICATION.

1 EXISTING NORTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

2 PROPOSED NORTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1. REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 2. EXTERIOR WALL GLAZING, SCOTT GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY O.C. PATCH & REPAIR/REPLACE AS REQUIRED EXISTING DAMAGED BY NEW WORK.
- 3. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY O.C. GLAZING NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 4. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, DOORBELLS, WALL MOUNTED OR SUPPLY LUMINOUS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 5. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL WIRE ELECTRICAL ENGINEERS DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HIRING.
- 6. EXISTING METAL ROOFING, SHEATHING FLASHING, GUTTERS, DRAIN & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY O.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- 7. O.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING FLASHING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLD IS DISCOVERED PROJECT HANDBOOK & PROJECT IS TO BE NOTIFIED IMMEDIATELY FOR REPLACEMENT INSTRUCTIONS.
- 8. EXISTING ALUMINUM SHUTTERS & SHUTTERS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL CHART FOR ELECTRICAL ENGINEERS REQUIREMENTS. O.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQUIRED AND COORDINATE DISPOSITIONS WITH SUB CONTRACTOR.

- 9. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 10. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- 11. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 12. REMOVE EXISTING SHUTTERS TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SHUTTERS UPON COMPLETION.
- 13. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BURNER/BLASTING HOSE & 20% OIL & GREASE DRAINAGE FOR MANUFACTURER'S INSTRUCTIONS.
- 14. ALL EXISTING BUILDINGS TO REMAIN TO BE PAINTED SAFETY YELLOW.
- 15. REMOVE ALL EXISTING SHOCKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALL.
- 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A01.

EXTERIOR FINISHES			
MATERIAL	COLOR	MATERIAL	COLOR
1. REFINISHED METAL CAP FLASHING	CARBONAL DC-8070 OR TO MATCH ADJACENT FINISHES. 1/2" MIN. RISE & 3/8" MIN. RISE	11. ALUMINUM STORMFEST DOOR/HATCH/FLAP/FRONT	CLEAR FINISHED REMAIN AS IS.
2. HORIZONTAL METAL SIDING - ACRO	CARBONAL GREY (SCOTTED)	12. REFINISHED METAL FLASHING EXTERIOR	PAINTED DAILY PAINT HED 45
3. 4x6 FIBER CONCRETE TRIM - 3/8" X 3/8" X 3/8"	PAINTED DAILY PAINT HED 45	13. REFINISHED METAL BASE 1/2" MIN. RISE	CARBONAL DC-8070
4. STUCCO NEW (CONCRETE DOTTED HATCHES)	PAINTED DAILY PAINT HED 45	14. PERFORATED METAL PANEL SIDING - ACRO	2ND WHITE
5. FIBER CONCRETE CAP FLASHING	PAINTED DAILY PAINT HED 45	15. METAL PANEL SIDING - ACRO	2ND WHITE
6. METAL PANEL - RED	2ND WHITE	16. METAL DOORS & FRAMES EXTERIOR HED 45	PAINTED DAILY PAINT HED 45
7. METAL PANEL - RED	2ND WHITE	17. ALUMINUM STORMFEST DOOR/HATCH/FLAP/FRONT	CLEAR FINISHED REMAIN AS IS.
8. STUCCO EXTERIOR	PAINTED DAILY PAINT HED 45	18. HIDEON HEAD FLASHING	CLEAR FINISHED
9. PORCELAIN TILE TO MATCH EXISTING	CARBONAL GREY	19. HIDEON TAIL FLASHING	CLEAR FINISHED
10. PORCELAIN TILE EXTERIOR	TO REMAIN PATCH & REPAIR AS REQUIRED	20. SHUTTERS	SEE RESPONSIBILITY CHART
		21. NEW CONCRETE BASE	STAINED - MASON CHARCOAL GREY
		22. EXISTING GLASS BLOCKS	TO REMAIN
		23. REPAIR TO MATCH EXISTING	CLEAR FINISHED

ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE.
REFER TO EXTERIOR FINISH SPECIFICATIONS ON DRAWING A01.
ALL MATERIALS TO BE 24 GA.
SEE COLOURED ELEVATION FOR FINISHES & COLOURS.

PROPOSED ELEV. LEGEND:
[] MATERIAL NUMBER
[] EXISTING EXTERIOR DOORS, WINDOWS, ETC. TO BE REMOVED

Received
City of Victoria
JUN 21 2016

Planning & Development Department
Development Services Division

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G6

REV	DATE	DESCRIPTION
1	02/02/16	ISSUED FOR O.P.
2	02/02/16	ISSUED FOR PRELIMINARY PLAN REVIEW
3	02/02/16	ISSUED FOR FINAL REVIEW

3707 1ST AVENUE
BURNABY, BC V5C 3V1
ADMIN@LOVICKSCOTT.CO1
P: 604 258 3700 F: 604 258 508
MEMBER OF THE AIBC, AAA, SAA, NWTA & RAI

LOVICK SCOTT ARCHITECTS

McDonald's Restaurant
480 PANDORA AVE,
VICTORIA, BC

EXISTING & PROPOSED
NORTH ELEVATIONS

PROJECT NUMBER: A2.2
DATE: FEBRUARY 2016
SCALE: 1/4" = 1'-0"

SHADE AREA INDICATES APPROX. EXTENT OF NEW STRUCTURE EXTERIOR TO BE UPGRADED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO FINISHES. REFER TO PROPOSED ELEVATION FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAIRED AND DETAILS FOR FURTHER CLARIFICATION.

TO EXISTING DRIVEWAY PARALLEL

TO EXISTING DRIVEWAY PARALLEL

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1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

1. REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW

- EXTERIOR WALL GLAZING, SPLIT GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND REPAIRED BY S.C. PATCH & REPAIRS. PATCH & REPAIRS TO BE COMPLETED PRIOR TO FINISHES.
- EXISTING WINDOWS & ALUMINUM BLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND REPAIRED BY S.C. PATCH & REPAIRS. PATCH & REPAIRS TO BE COMPLETED PRIOR TO FINISHES.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOWNSPILLS, HALL HOOKS OR SPLIT LIGHTS TO REPAIR PRIOR TO FINISHES AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL FOR ELECTRICAL CHARGES. REQUIREMENTS, PATCH & REPAIR AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND MOUNTING.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, DILLS AND CAP FLASHING NOTED TO BE REMOVED TO BE COMPLETED BY S.C. PATCH & REPAIRS. PATCH & REPAIRS TO BE COMPLETED PRIOR TO FINISHES.
- AS TO IMPROVE ALL EXISTING VAPOR BARRIER, SHEATHING, FLASHING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR RENOVATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL CHIEF FOR ELECTRICAL CHARGES REQUIREMENTS, E.G. TO PATCH & REPAIR EXISTING DAMAGED BY NEW HERE. AS REQUIRED AND COORDINATE BACKLOGS/REPORTS WITH SIGN COMPANY.

- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STREGO TO MATCH EXISTING. ALL VOIDS AND GAPS TO BE SPOT GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, INK, & GUTTER IS DAMAGED WILL BE REQUIRED TO BE CLEANED WITH BRILLIANT MOORE HSB - 3M CO. & GROUTED EXHAUSTER FOR MANUFACTURER'S INSTRUCTIONS.
- ALL EXISTING SIGNAGE TO REMAIN TO BE PAINTED SAFETY YELLOW.
- ALL EXISTING SPLIT TO REMAIN TO BE PAINTED EXTERIOR GRAVE WHITE.
- REMOVE ALL EXISTING GUTTER STACKS AND OTHER WALL MOUNTED FEATURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A23.

EXTERIOR FINISHES

MATERIAL	COLOR	MATERIAL	COLOR
1. PREFINISHED METAL CAP FLASHING	CHARCOAL, OG-BOTS OR TO MATCH ADJACENT FINISHES. B. BHT WHITE	1. ALUMINUM STORMDOOR (EXISTING)	CLEAR ANODIZED, REPAIR AS IS.
2. HORIZONTAL METAL SPLIT - A2000	CHARCOAL, GREY (B. BHT WHITE)	2. PREFINISHED METAL FLASHING (EXISTING)	PAINTED DULCE PAINT HED 4B
3. 6" FIBER GLASS TRIM - 33" HEIGHT	PAINTED DULCE PAINT REGENT GREY HED 4B	3. PREFINISHED METAL BASE / TRIM WALL FLASHING	CHARCOAL, OG-BOTS
4. STREGO NEW (DOTTED DASHES)	PAINTED DULCE PAINT REGENT GREY HED 4B	4. PERFORATED METAL PANEL SPLIT - A2000	BHT WHITE
5. FIBER GLASS TRIM SPLIT	DULCE PAINT (EXISTING) CAP BHT WHITE	5. METAL PANEL SPLIT - A2000	BHT WHITE
6. METAL PANEL - BHT	BHT WHITE	6. METAL DOORS & FRAMES (EXISTING) HED 4B	PAINTED DULCE PAINT HED 4B
7. METAL PANEL / FRAMES - WHITE	BHT WHITE	7. ALUMINUM STORMDOOR (EXISTING) FINISHES TO MATCH EXISTING	CLEAR ANODIZED
8. STREGO (BHT WHITE)	PAINTED DULCE PAINT REGENT GREY HED 4B	8. JEDD HEAD FLASHING	CLEAR ANODIZED
9. PORCELAIN TILE TO MATCH EXISTING	CHARCOAL, GREY	9. JEDD HEAD FLASHING	CLEAR ANODIZED
10. PORCELAIN TILE (BHT WHITE)	TO REMAIN PATCH & REPAIR AS REQUIRED	10. SANIAGE	SEE RESPONSIBILITY CHART
		11. NEW CONCRETE BASE	STAINED - NAKAM CHARCOAL, GREY
		12. EXISTING GLASS BLOCKS	TO REMAIN
		13. EXISTING STORMDOOR (EXISTING) FINISHES TO MATCH EXISTING	CLEAR ANODIZED CAN (PANEL) GLAZING SYSTEM

ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE.
REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DRAWING A23.
ALL MATERIAL FINISHES TO BE 24 HZ.
SEE EXTERIOR FINISHES FOR COLOURS AND FINISHES.

PROPOSED ELEV. LEGEND:

1. MATERIAL NUMBER

2. EXISTING GLAZING DOORS, WINDOWS, ETC.

3. TO BE REMOVED

4. CITY OF VICTORIA

5. JUN 21 2016

6. Planning & Development Department

7. Development Services Division

8. EXISTING & PROPOSED WEST ELEVATIONS

9. 15-III A23

10. 1/4" = 1'-0"

11. FEBRUARY 2016

12. FEBRUARY 2016

13. FEBRUARY 2016

14. FEBRUARY 2016

15. FEBRUARY 2016

16. FEBRUARY 2016

17. FEBRUARY 2016

18. FEBRUARY 2016

19. FEBRUARY 2016

20. FEBRUARY 2016

21. FEBRUARY 2016

22. FEBRUARY 2016

23. FEBRUARY 2016

24. FEBRUARY 2016

DATE	REV	DESCRIPTION
15-III	A23	EXISTING & PROPOSED WEST ELEVATIONS

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, BURBARY BC, V5C 6G6

3707 1ST AVENUE

BURBARY, BC V5C 3V1

ADMIN@LOVICKSCOTT.CO

P: 604 298 3700 F: 604 298 608

MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAH

3707-1ST-AVE

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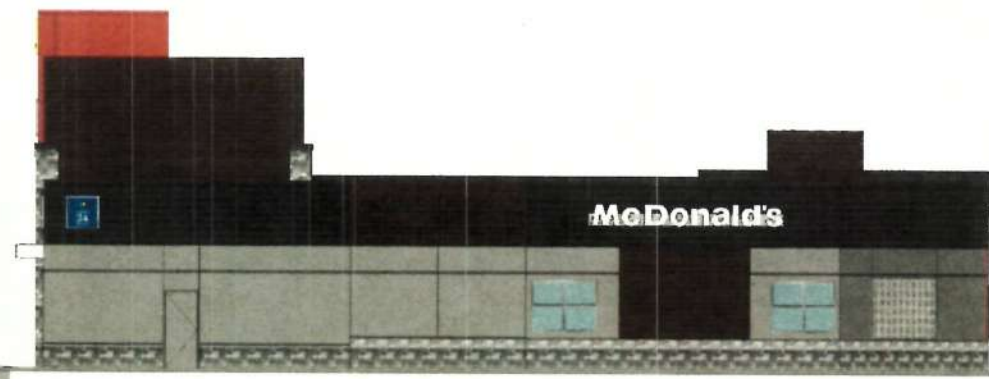
3707-1ST-AVE



1 PROPOSED SOUTH ELEVATION
A2.4 SCALE: NTS



2 PROPOSED EAST ELEVATION
A2.4 SCALE: NTS



3 PROPOSED NORTH ELEVATION
A2.4 SCALE: NTS



4 PROPOSED WEST ELEVATION
A2.4 SCALE: NTS



REV	DATE	DESCRIPTION
1		BASED FOR PLAN REVIEW
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McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED,
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSTRUCTION

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING CODE.



3707 1ST AVENUE
BURNABY, BC V5C 3V
ADMIN@LOVICKSCOTT.COM
P: 604 298 3700 F: 604 298 608
MEMBER OF THE AIBC, AIA, SAA, HWATA & RAIA
ARCHITECTS

McDonald's Restaurant
480 PANDORA AVE,
VICTORIA, BC
COLOURED ELEVATIONS

DATE: FEBRUARY 2016
SCALE: NOT TO SCALE
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: MAR/14/16



REV	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PRELIMINARY PLAN REVIEW
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McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 10000 16TH AVENUE, SUITE 100, EDMONTON, ALBERTA T5C 1S6

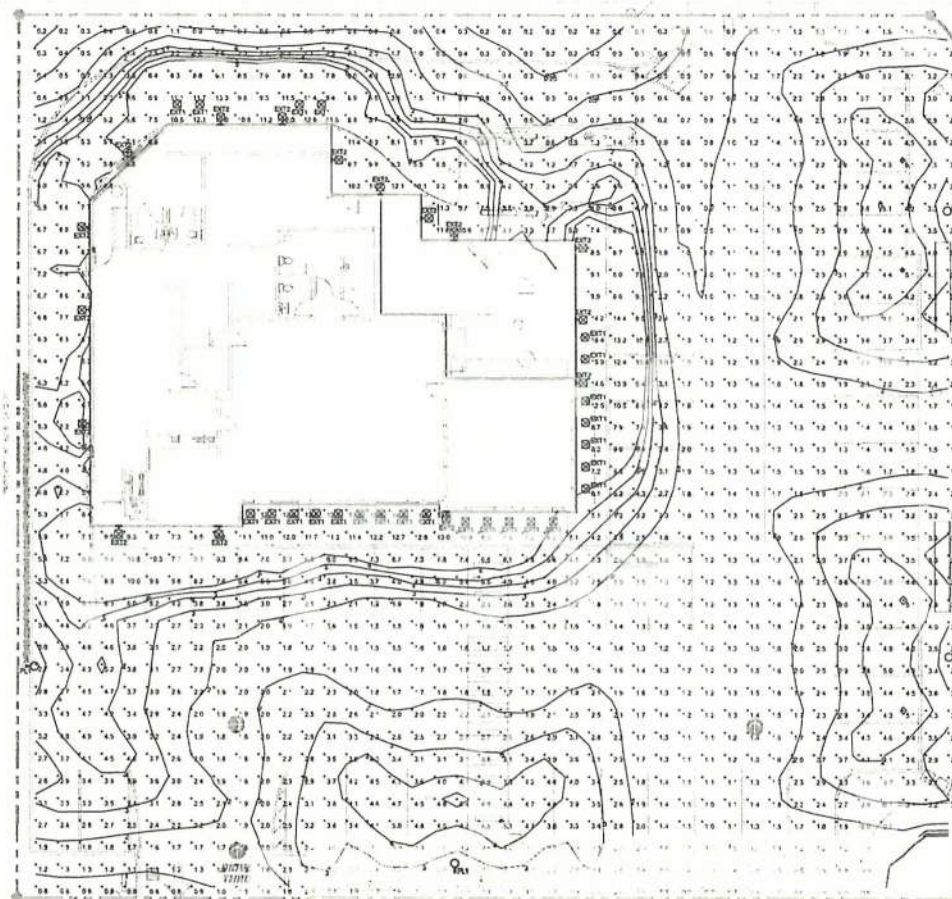
CONTRACT NO. 10000 16TH AVENUE, SUITE 100, EDMONTON, ALBERTA T5C 1S6

LOVICK SCOTT ARCHITECT
 3707 1ST AVENUE
 BURNABY, BC V5C 3A
 ADMIN@LOVICKSCOTT.COM
 P: 604 298 3700 F: 604 298 60
 MEMBER OF THE AIBC, AIA, SAA, NWTA & RA
 ARCHITECTS BC, AIA

Received
 City of Victoria
 JUN 21 2016
 Development Department
 Permit Services Division

McDonald's Restaurant
 480 PANDORA AVE,
 VICTORIA, BC
 PROJECT NO. 10000 16TH AVENUE, SUITE 100, EDMONTON, ALBERTA T5C 1S6
 DATE: FEBRUARY 2016
 DRAWN BY: JNF/3/06

PROJECT NO.	DATE
15-III	A25
DATE	NOT EXPIRING
DATE	NOT TO SCALE
DATE	FEBRUARY 2016
DATE	JNF/3/06



Vanouver St

Received
City of Victoria

JUN 21 2016

Planning & Development Department
Development Services Division

SITE LIGHTING CALCULATIONS

3/1/16



Location	Light	#	Power (W)	Beam Angle (°)	Height (m)	Beam Diameter (m)	Footcandle (fc)	Footcandle (lx)
EXT 1	EXT 1	16	100	120	10	1.2	100	100
EXT 2	EXT 2	25	100	120	10	1.2	100	100
EXT 3	EXT 3	25	100	120	10	1.2	100	100

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	3/1/16	Site Lighting Calculations	EDG		

EDG
Electrical Consultant
208 - 2784 Barnet Highway, Coquitlam BC V3B 1Z9
Phone: 604-476-4088

Template\LSA Logo.jpg

3707 1ST AVENUE
BURNABY, BC V5C 3V
ADMIN@LOVICKSCOTT.CO
P: 604 298 3700 F: 604 298 608
MEMBER OF THE AIBC, AAA, SAA, IWTAA & RAI

3/1/16

McDonald's Restaurant
450 PANDORA AVE,
VICTORIA, BC

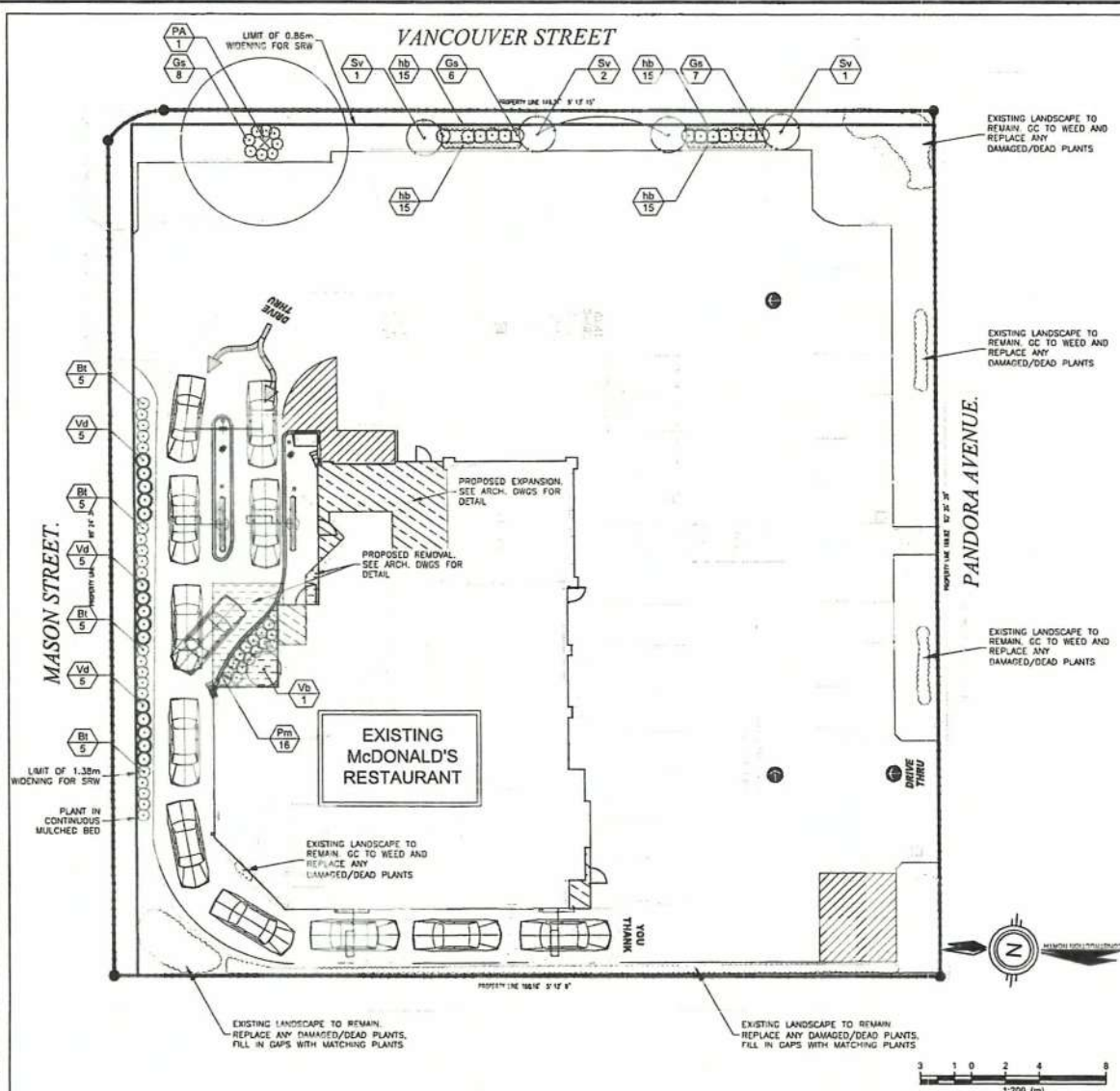
SITE LIGHTING CALCULATIONS

3/1/16
3/2/16
AG NOTED
MAY 09, 2016



1. INSTALL ALL PLANT MATERIAL TO CITY OF VICTORIA STANDARDS PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCLBC/ANCA LANDSCAPE STANDARDS - LATEST EDITION AREA OF SEARCH: BRITISH COLUMBIA
2. ALL PLANT MATERIAL TO BE PROVIDED BY THE LANDSCAPE ARCHITECT TO BE PEST-FREE PLANT MATERIAL FROM CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION OF PLANT MATERIAL TO THE RESPECTIVE CITY OF VICTORIA IRRIGATION SYSTEM BY OTHERS
3. ALL PLANT MATERIAL TO BE EXTRACTED FROM THE LANDSCAPE ARCHITECT
4. REPORT ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING
5. ALL PLANT MATERIAL TO BE PROVIDED BY THE LANDSCAPE ARCHITECT TO BE PROVIDED TO THE CONTRACTOR. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES
6. EXACT LOCATIONS OF PLANT MATERIAL WILL BE DETERMINED BY PLACEMENT OF SITE UTILITIES SUCH AS WATER MAINS, SEWER MAINS, ROADS, ETC.
7. ALL PLANT MATERIAL LOCATIONS TO BE STAKED OR MARKED OUT AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
8. ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK LATEST EDITION. INSTALL PLANT MATERIAL ACCORDING TO DETAILS SHOWN
9. DISTURBED SOIL AREAS AROUND TREES AND SHRUBS ARE TO BE COVERED WITH SPOILED CONCRETE OR BARK MULCH. MULCH TO BE APPLIED BY THE LANDSCAPE ARCHITECT
10. PROTECT ALL UTILITIES AND DIMENSIONS TO BE NOTED
11. PROVIDE PLANTING BED AREA AS NOTED ON THE DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL
12. ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL ACCEPTANCE NO EXTRAS WILL BE PAID TO COMPLETE THIS WORK
13. SUPPLY AND PLACE TOPSOIL IN ACCORDANCE WITH DBSS 2013 751.1 TO A MINIMUM DEPTH OF 150mm UNLESS OTHERWISE SPECIFIED
14. SUPPLY AND PLACE SOD IN ACCORDANCE WITH DBSS 2013 751.751 TO A MINIMUM UNLESS OTHERWISE SPECIFIED
15. SUPPLY AND PLACE SEED IN ACCORDANCE WITH DBSS 2013 751 UNLESS OTHERWISE SPECIFIED ALL 5/1 OR 5/2 SEEDS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT TO BE PROVIDED TO THE CONTRACTOR. PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION
16. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED
17. ALL DIMENSIONS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT TO BE PROVIDED TO THE CONTRACTOR. PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION
18. THE DRAWING SHALL BE CONSIDERED CORRECT
19. ALL DIMENSIONS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT TO BE PROVIDED TO THE CONTRACTOR. PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION
20. ANY SITE PLAN OR GRADING AND SECTIONS SHOWN IS FOR INFORMATION ONLY. REFER TO APPROVED DIMENSIONS SPECIFIED
21. NOT FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED BY LANDSCAPE ARCHITECT
22. DRAWINGS NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT FROM LANDSCAPE ARCHITECT
23. FOR GRADING AND SERVICES INFORMATION REFER TO THE CONSULTING ENGINEER'S DRAWINGS
24. FOR LIVING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL CONSULTANT'S DRAWINGS

[illegible][illegible]



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KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	COND.	MATURE HEIGHT (m)	MATURE SPREAD (m)	O.C. SPACING (m)	QNTY.
TREES									
PA	<i>Platanus acerifolia</i>	London Plane		60mm		20 gal.	15.0	12.0	12
SHRUBS AND PERENNIALS									
Sv	<i>Syringa vulgaris 'Krasavica Moskvy'</i>	Krasavica Moskvy Common Lilac		150mm	B&B	2.0	2.0	1.0	4
Gr	<i>Geranium thalicti</i>	Salut		30cm	3 gal.	1.2	0.9	0.75	21
Bt	<i>Berberis thunbergii 'Barfona'</i>	Red Japanese Barberry		30cm	3 gal.	0.9	0.9	0.5	20
Pm	<i>Potentilla multiflora</i>	Western Sweetgum		30cm	3 gal.	0.9	0.9	0.5	18
Vb	<i>Viburnum davidii</i>	David Viburnum		30cm	3 gal.	1.2	1.2	1.0	15
Vb	<i>Viburnum dentatum</i>	Amurshrub Viburnum		60cm	3 gal.	4.0	3.0	2.0	1
Nb	<i>Neuchama 'Midnight Rose'</i>	Midnight Rose Dog Rose		1 gal.	0.3	0.3	0.3	0.3	60

NOTE: ANY SPECIES SUBSTITUTIONS MUST BE TO THE SATISFACTORY OF THE MUNICIPALITY.

Planning & Development Department
Development Services Division



PROPOSED VEGETATION
(REFER TO PLANT LIST)

1	2016 05 13	SW	FIRST LANDSCAPE SUBMISSION	
#	DATE	BY	DESCRIPTION	
REVISIONS				



IBI GROUP
308 - 30 Eglinton Avenue West
Mississauga ON L5R 3E7 Canada
tel 905 890 3550 fax 905 890 708
ibigroup.com

1336 - PANDORA

**McDONALD'S RESTAURANTS
OF CANADA LIMITED**
980 PANDORA AVE
VICTORIA, BC

LANDSCAPE PLAN

DESIGNED BY:	SW	SCALE:	AS NOT
DRAWN BY:	SW	DRAFT PLAN #:	-
CHECKED BY:	JM	FILE NUMBER:	394
DATE:	2016 02 02	SHEET NUMBER:	1