



Planning and Land Use Committee Report

For the Meeting of January 14, 2016

To: Planning and Land Use Committee **Date:** December 18, 2015

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Rezoning Application No. 00496 for 1122 and 1124 Leonard Street

RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00496 for 1122 and 1124 Leonard Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set.

LEGISLATIVE AUTHORITY

In accordance with Section 903 (c) of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures, as well as the uses that are permitted on the land, the location of uses on the land and within buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1122 and 1124 Leonard Street. The proposal is to rezone from the R1-B Zone, Single Family Dwelling District, to a new zone in order to permit the existing non-conforming duplex to be strata titled and to alter the building.

The following points were considered in assessing this Application:

- the proposal is consistent with the Traditional Residential Urban Place Designation in the *Official Community Plan (OCP) 2012*
- the proposal does not meet the minimum site area and lot width of the *Neighbourliness Guidelines for Duplexes 1996*
- the property has an existing duplex on it that is considered a non-conforming use
- the property is in an area that is characterized by a mix of dwelling unit types and is located close to Cook Street Village and Beacon Hill Park.

BACKGROUND

Description of Proposal

The proposal is to rezone the property from the R1-B Zone, Single Family Dwelling District, to a new zone in order to permit the existing non-conforming duplex to be strata titled and to alter the building. The following differences from the standard R-2 Zone, Two Family Dwelling District, are being proposed and would be accommodated in the new zone.

- reduce the site area (minimum) from 555m² to 540m²
- reduce the site area for each dwelling unit (minimum) from 277.5m² to 270m²
- reduce the lot width (minimum) from 15m to 14.25m
- increase the floor space ratio (maximum) from 0.50:1 to 0.51:1.

In addition, eight variances would be required to facilitate this development and will be discussed in relation to the concurrent Development Permit with Variances Application.

Affordable Housing Impacts

The applicant is not proposing to create new residential units. The rezoning would permit the applicant to strata title the two existing residential units.

Sustainability Features

The applicant has identified a number of sustainability features which will be reviewed in association with the concurrent Development Permit with Variances Application for this property.

Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with this application.

Public Realm Improvements

No public realm improvements are proposed in association with this Rezoning Application.

Land Use Context

The area is characterized by single family dwellings with some attached housing and apartments. Beacon Hill Park is less than 100m away and the Cook Street Village is approximately 200m away.

Existing Site Development and Development Potential

The site is presently a non-conforming duplex. Under the current R1-B Zone, the property could be redeveloped as a single family house with a secondary suite.

Data Table

The following data table compares the proposal with the standard R-2 Zone. An asterisk is used to identify where the proposal is less stringent than the existing zone. The aspects that would be incorporated into the new zone relate to the density of the existing duplex and size

and width of the lot. The remaining eight relaxations from the R-2 Zone would require variances, which will be addressed through the concurrent Development Permit with Variances Application.

Zoning Criteria	Proposal	Zone Standard R-2
Site area (m ²) - minimum	540*	555
Site area per unit (m ²) - minimum	270*	277.5
Density (Floor Space Ratio) - maximum	0.51:1*	0.50:1
Lot width (m) - minimum	14.25*	15
1 st & 2 nd storey floor area (m ²) - maximum	274.51	280
Combined floor area (m ²) - maximum	395.08*	380
Height (m) - maximum	8.16*	7.60
Storeys - maximum	2 w/basement*	1.5 w/basement
Site coverage % - maximum	34.70	40.00
Open site space % (lot)- minimum	43.60	30.00
Open site space % (rear)- minimum	100.00	33.00
Setbacks (m) - minimum		
Front (Leonard Street)	8.21	7.5
Rear	9.51*	13.28
Side (west)	0.99*	1.50
Side (east)	0.97*	3.00
Combined Side	1.96*	4.50
Parking - minimum	2	2
Location of Parking	Front yard*	Behind front of building

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applicant has consulted the Fairfield Gonzales CALUC at a Community Meeting held on July 20, 2015. The minutes of this meeting are attached to this report.

ANALYSIS

Official Community Plan

The OCP Urban Place Designation for the subject property is Traditional Residential. In accordance with the OCP, duplexes are subject to DPA 15D: Intensive Residential – Duplex. The proposal is consistent with the objectives of DPA 15D to foster and encourage a sense of neighbourliness and help make this form of housing more accepted.

Neighbourliness Guidelines for Duplexes

The *Neighbourliness Guidelines for Duplexes* states that an interior lot must have a width greater than 15m and a site area in excess of 670m². Although the subject property does not meet this criteria, the proposal is to retain and stratify an existing duplex.

In addition, most of the differences between the existing non-conforming duplex and the standard R-2 Zone are proposed to be handled through the variance process (as discussed in relation to the concurrent Development Permit with Variances Application). This would require any future development to meet the standard two family dwelling siting requirements.

CONCLUSIONS

This proposal to rezone the property to allow the non-conforming duplex to be strata titled is consistent with OCP policy. The existing duplex use would continue, however, a strata conversion would allow the tenure to change from one owner to strata ownership for each of the two dwelling units.

ALTERNATE MOTION

That Council decline Rezoning Application No. 00496 for the property located at 1122 and 1124 Leonard Street.

Respectfully submitted,



Rob Bateman
Planner
Development Services Division

Qm



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

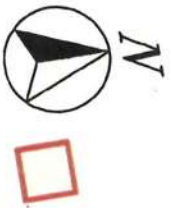
Report accepted and recommended by the City Manager:



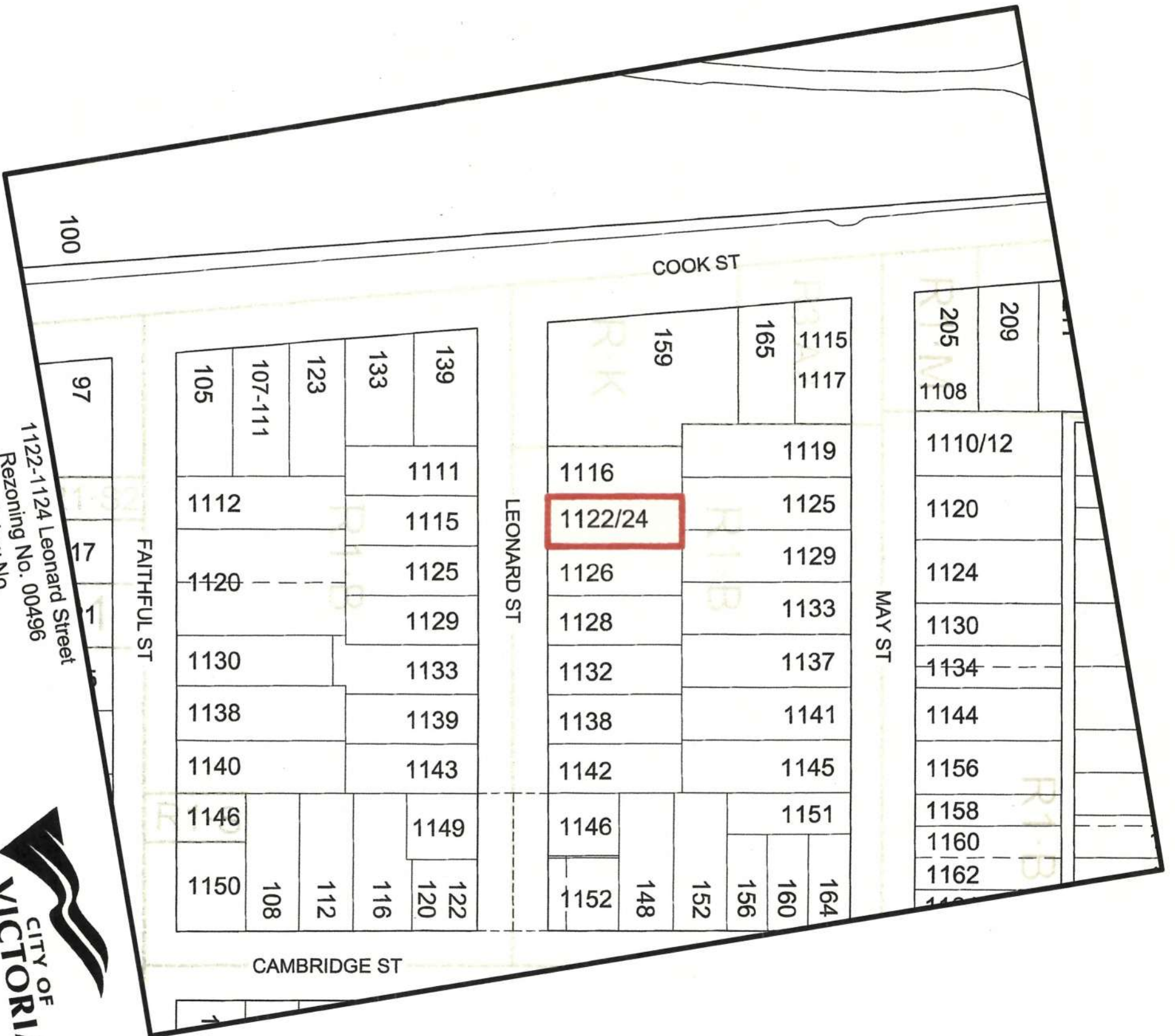
Date: December 30, 2015

List of Attachments

- Air photo
- Zoning map
- Applicant's letter to Council dated November 6, 2015
- Minutes of Community Meeting for the Fairfield-Gonzales Community Association dated July 20, 2015
- Submission drawings dated November 6, 2015.



1122-1124 Leonard Street
Rezoning No. 00496
Bylaw No.



Michael Cronquist
302-430 Chester Ave.
Victoria, BC V8V 4C1
Phone: [REDACTED]

November 6, 2015

Mayor and Council
Victoria City Hall
1 Centennial Square
Victoria, BC V8W 1P6

Dear Mayor and Council:

Re: 1122/1124 Leonard Street – Rezoning to Permit a Strata Titling of an Existing Duplex

I am the owner of the duplex located at 1122 and 1124 Leonard Street (“1122/1124 Leonard” or the “Property”). The Property is an existing, side by side duplex that was constructed in approximately 1912. I am making application to rezone 1122/1124 Leonard from R-1B to a Site Specific Zone or R2 with variances.

The purpose of the rezoning is to permit a strata titling of this existing duplex. The strata titling will not change the Property’s current configuration; it will only change the ownership tenure from one title to two strata units. The rezoning will make the property conforming and the strata titling will contribute significantly to the feasibility of completing a full renovation and renewal of the unique character of 1122/1124 Leonard. The proposal conforms to the Traditional Residential Urban Place designation in the Official Community Plan.

The following materials and plans are enclosed in support my rezoning application:

1. A Landscape Plan drafted by LADR Landscaping Ltd.
2. Photographs of 1122/1124 Leonard and the Leonard St. streetscape, as well as perspective images of the proposed renovations to the Property
3. Complete renovation plans drafted by Step One Design for the proposed upgrade of the interior and renewal of the exterior of the Property
4. “Turning Template” plans drafted by Westbrook Consulting Ltd.
5. Engineering drawings drafted by RJC
6. Photographs of the front yard parking at the duplex located at 154 and 156 Linden Ave.
7. Copies of written support for the proposal signed by Leonard Street neighbours



The proposal includes a wide range of green building features and concepts including the following:

- The building will be renovated and renewed as opposed to being torn-down and hauled to the dump - saving dump truck loads of waste.
- The building envelop was historically very poor with numerous areas of free air flow to the outdoors (you could actual see daylight coming through the outside wall in some areas). The renovation of the building will include a new, energy efficient, sealed and insulated building envelope.
- All windows and exterior doors will be replaced with energy efficient, double glazed windows and exterior swing doors with thermally broken, vinyl frames.
- The interior renovation will include a number green building features including:
 - dual flush toilets;
 - low VOC paints; and
 - Energy Star® appliances.

Due to an existing none conformance, the proposal does not meet the vehicle parking standards of Schedule C – Off-Street Parking. As is show by the enclosed plans and photographs, the side setbacks of the duplex are not wide enough to provide a driveway to the backyard.

Consequently, it is not possible provide off street parking in the backyard of the property. As a result of this existing condition, the proposal includes a plan to provide parking off the street in the front yard of the property.

The enclosed Landscape Plan illustrates the design for the proposed front yard parking included in the proposal. The plan draws from the guidelines for front yard parking that is permitted in the Gonzales neighbourhood of Fairfield and is enhanced by extensive landscaping. I engage Westbrook Consulting Ltd. to complete the enclosed “Turning Template” study which demonstrates that the front yard parking plan provide safe parking in accordance to the relevant guidelines. Steve Hutchison, Transportation Planner, City of Victoria Engineering has reviewed and supports this front yard parking plan.

The front yard parking fits in well with the Leonard St. streetscape and is strongly support by the majority of the Leonard Street neighbours. It is similar to parking at many properties on the street where owners park their cars in the front driveways to their garages. I also note that similar front yard parking was permitted at nearby duplex located at 154 and 156 Linden Ave. (see attached photos). In addition to the front yard parking I also plan to build accessory buildings in the backyards of both duplex units that will be ideal for bicycle parking.

1122/1124 Leonard has operated as a duplex since it was constructed in 1912. Over its life minimal investment has been made into the repair, maintenance and renewal of the property.

The condition of the property is very poor and not at the high standard of the homes on Leonard Street and the Cook Street Village neighbourhood.

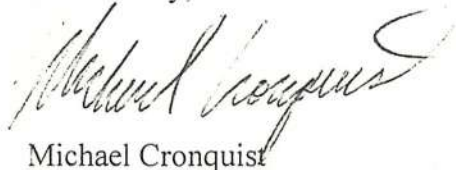
In spite of its very poor condition, 1122/1124 Leonard has "good bones" and distinctive character. It also has historical significance as it is one of the first and few homes in the city to be constructed with unique masonry block construction. The architect and builder of the duplex utilized this construction technique in the early 1900s for only a few architecturally significant homes in the area, most notably 97 Cook Street and 139 Cook Street. As shown by the enclosed plans, my proposed renovation will completely revitalize the property while preserving the original side by side duplex configuration, form and character of the exterior of the building and Leonard Street's historic streetscape.

I have met with the vast majority of the Leonard Street neighbours, including those who are nearest to 1122/1124 Leonard, and discussed strata titling of and front yard parking at the Property. I received enthusiastic, written support for strata titling from all of these neighbours. Copies of this written support are enclosed for reference. The most predominant feedback that I received during my dialogue with these neighbours is as follows:

1. There is strong support for the proposed front yard parking at 1122/1124 Leonard
2. Parking demands on Leonard St. have increased since the construction of the new children's park on the West side of Cook St., at Cook and Leonard. Front yard parking at 1122/1122 Leonard would be positive as it would reduce congestion on the street
3. 1122/1124 Leonard has been neglected and in very poor condition for a very long time. The upgrade and renewal of the property would have a very significant, positive impact on the neighbourhood
4. Preserving the 1122/1124 Leonard duplex building instead of demolishing and replacing it with a new building that might not fit in with the neighbourhood is desirable

Thank you for your consideration of my 1122/1124 Leonard St. rezoning application. I look forward to making a formal presentation related to my proposal in the near future.

Yours Truly,



Michael Cronquist

**Minutes of Community Meeting
Planning and Zoning Committee
Fairfield-Gonzales Community Association (FGCA)
July 20, 2015**

Facilitators for the FGCA: George Zador (Chair)
Susan Snell
Ken Roueche

Subject property: 1122 -1124 Leonard St. duplex; application for strata conversion.

Proponent/owner: Mike Cronquist. 123 notices sent

This property in vacant and derelict condition for the past several years is proposed to be fully rehabilitated and rezoned to permit strata titling. The project had previously been submitted and approved in 2014, however the proponent failed to proceed and after 1 year, the application lapsed.

Attendance: 20 people (not all involved with project)

Attendee Questions and Comments:

- Concern expressed about City recommended site specific rezoning as most efficient, but granting the more conventional R-2 zoning would have issues in an R-1 area as well
- Parking for 2 cars provided at the front requires removal of a boulevard tree; arborist may be engaged to recommend suitable replacement.
- Are there any plans to further subdivide the two units? Absolutely none.
- Any plans to develop the basement area? Absolutely none.
- Water weeping in backyard.....it will be managed with new drain tiles.
- Covered patio in the rear will not obstruct neighbour's sightline.
- Project timeline? Will proceed immediately upon approval by City.

The neighbourhood would welcome the reconditioning of this unsightly building.

George Zador

Planning and Zoning Chair
Fairfield Gonzales Community Association
1330 Fairfield Rd. Victoria, BC V8S 5J1
planandzone@fairfieldcommunity.ca
www.fairfieldcommunity.ca
Facebook

3 Stewartia Trees, Viburnum & Hydrangea Shrubs Along Back Fence

Existing Penimeter Fence Retained (Neighbour's)

Low Growing Plants, Dwarf Sarcococca, Heavenly Bamboo, & Evergreen Clematis Vine Along Central Privacy Screen

1200 Ht. Wood & Steel Fence (See Detail 3 - This Sheet)

New Sod Lawn

Existing Penimeter Fence Retained (Neighbour's)

1800 Ht. Wood Privacy Screen Between Units and Porches (See Detail 2 - This Sheet)

Existing Penimeter Fence Retained (Neighbour's)

Mixed Bed of Drought Tolerant Shrubs & Perennials: Dwarf Strawberry Bush, Heavenly Bamboo, Hydrangea & Dwarf Roses

Decorative Concrete Paver Entry Walkway

Mixed Bed of Drought Tolerant Shrubs & Perennials (same both sides of driveway): Boxwood, Viburnum, Hellebores, Heavenly Bamboo, Dwarf Roses, Lavender & Blue Oat Grass

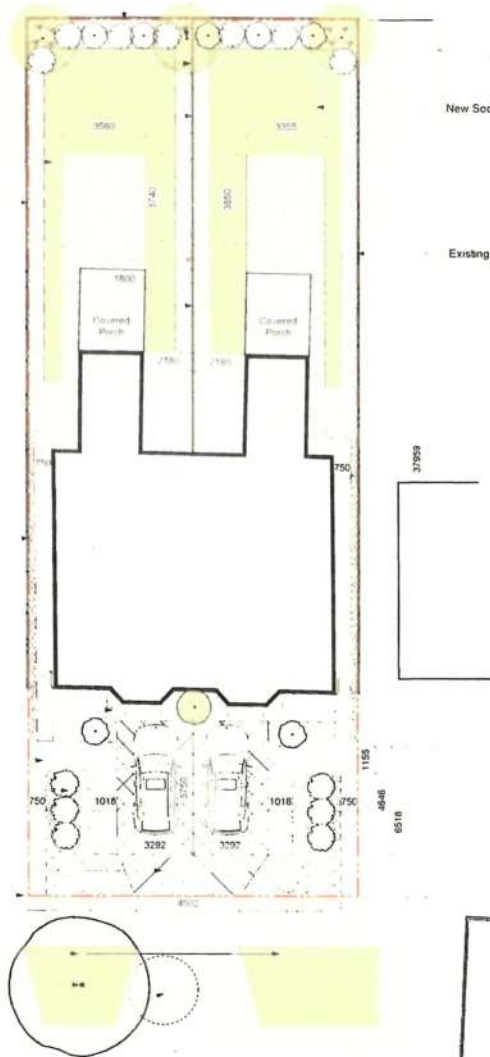
Decorative Concrete Paver Parking Surface

Existing Stone Wall Modified to Suit New Driveway

New Sod on Boulevard

Replacement Boulevard Tree (Akebono Cherry or other as determined by Parks Department)

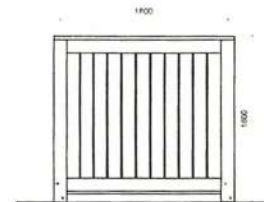
Existing Cherry Tree Removed



1 Landscape Plan
1:100

New Sod Lawn

Existing Penimeter Fence Retained (Neighbour's)



2 1800 Ht. Wood Privacy Screen

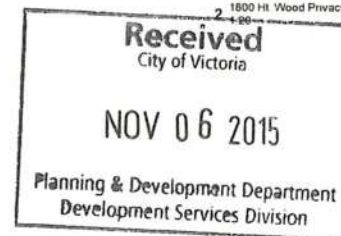
Recommended Nursery Stock

Trees	Quantity	Botanical Name	Common Name	Size
	1	Prunus, Laurus, Buxus	Eastern European Cherry	500 (cm)
Large Shrubs	Quantity	Botanical Name	Common Name	Size
	1	Salix, Laurus, Buxus	European Boxwood, Bush	1500
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
	1	Trifolium, Laurus, Buxus	European Boxwood, Bush	1500
	1	Trifolium, Laurus, Buxus	European Boxwood, Bush	1500
Medium Shrubs	Quantity	Botanical Name	Common Name	Size
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
Small Shrubs	Quantity	Botanical Name	Common Name	Size
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
Perennials, Annuals and Ferns	Quantity	Botanical Name	Common Name	Size
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500
Vines	Quantity	Botanical Name	Common Name	Size
	1	Malus, Laurus, Buxus	European Boxwood, Bush	1500

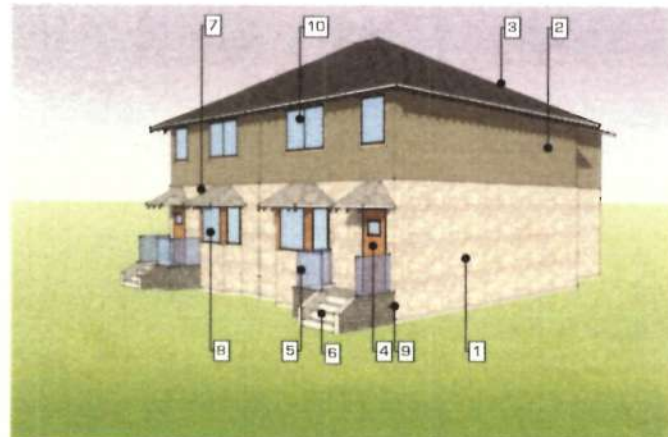
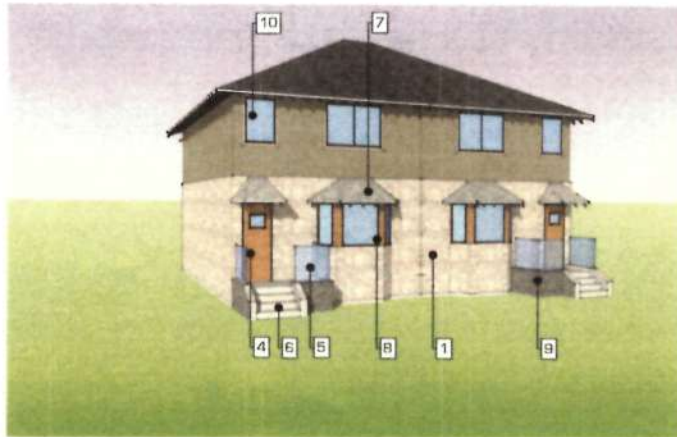
- Notes:
- All work to be completed to current BC SLA Landscape Standards
 - All soft landscape to be irrigated with an automatic irrigation system



3 1200 Ht. Wood & Steel Fence
1:20



1122 Leonard Street - Landscape Concept (Rezoning)



- EXTERIOR MATERIAL PALETTE**
1. REFURBISHED CONCRETE BLOCK
 2. ORIGINAL STUCCO REMOVED AND REPLACED WITH NEW STUCCO
 3. NEW ROOFING
 4. NEW SOLID WOOD EXTERIOR DOOR
 5. GLASS GUARD
 6. NEW CONCRETE STAIRS
 7. NEW ROOFING
 8. WOOD TRIM WITH CLEAR SEALER
 9. MASONRY STONE VENEER
 10. NEW WINDOWS

3 PROPOSED EXTERIOR FINISHES
05 RES. STAFF



2 EXISTING EXTERIOR PHOTOS
05 RES. STAFF

1 STREET PARKING PHOTO
05 RES. STAFF

Received
City of Victoria

NOV 06 2015

Planning & Development Department
Development Services Division

OUTSIDE THE LINES
ARCHITECTURE + INTERIOR DESIGN

Leonard Street Remodelling
1102 - 1121 Leonard Street
Victoria, BC

Map Commission

Exterior Imagery

105

DATE: 11/05/15

Site Plan of 1122 & 1124 Leonard Street

Legal - Lot 4, Fairfield Farm Estate, Victoria City, Plan 1215

Parcel Identifier: 007-826-141

Scale - 1:100



All distances are shown in metres.

Tree diameters are in centimetres.

Geodetic elevations shown (in METRES)

Site Area = 540 m²

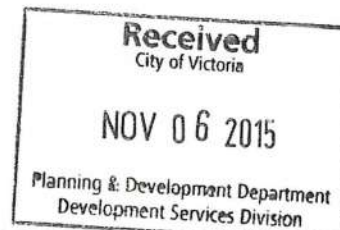
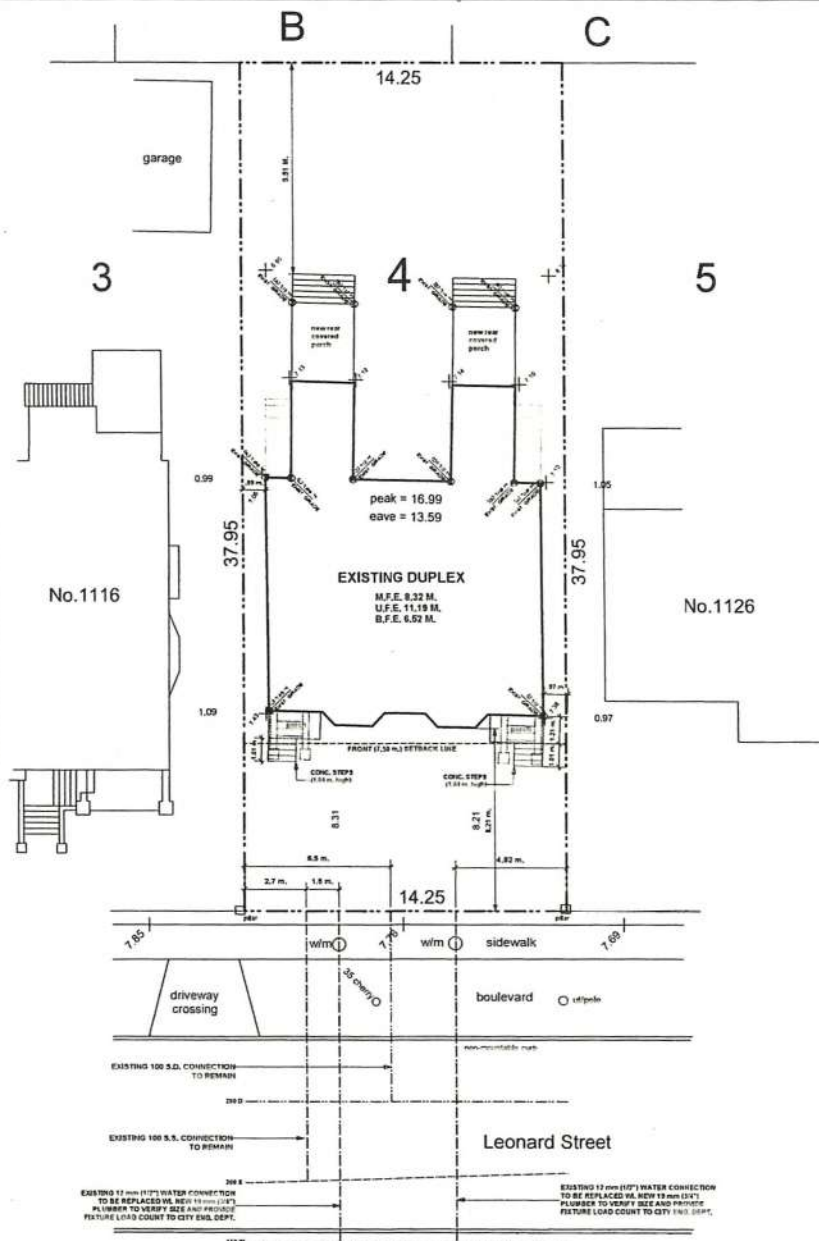
SITE DATA		
ITEMS	PERMITTED	PROPOSED
LOT AREA	540.00 sq.m.	540.00 sq.m.
LOT COVERAGE	40.0 %	34.7 %
SETBACKS		
- FRONT (south)	7.60 m	8.21 m
- REAR (north)	9.48 m	9.51 m
- SIDE (west)	1.50 m	*.99 m
- SIDE (east)	2.00 m	*.97 m
COMB. SIDEYARDS	4.50 m	*1.95 m
FLOOR AREA		
- BASEMENT		120.57 sq.m.
- MAIN		141.80 sq.m.
- UPPER		132.91 sq.m.
SUB TOTAL		395.28 sq.m.
TOTAL FLOOR AREA (all levels)	300.00 sq.m.	*395.28 sq.m.
TOTAL FLOOR AREA (1st. & 2nd.)	280.00 sq.m.	274.51 sq.m.
BUILDING HT.	7.60 m	*9.11 m
BUILDING HT. (no. of storeys)	2	2

* EXISTING LEGAL NON-COMFORMING (overheight)

A	7.13 m.	+ B	7.12 m.	div. by 2	=	2.79 m.	=	19.87
B	7.12 m.	+ C	7.12 m.	div. by 2	=	8.10 m.	=	43.41
C	7.12 m.	+ D	7.12 m.	div. by 2	=	4.39 m.	=	32.15
D	7.12 m.	+ E	7.14 m.	div. by 2	=	6.10 m.	=	43.49
E	7.14 m.	+ F	7.10 m.	div. by 2	=	2.73 m.	=	19.43
F	7.10 m.	+ G	7.10 m.	div. by 2	=	6.10 m.	=	43.31
G	7.10 m.	+ H	7.10 m.	div. by 2	=	1.13 m.	=	8.60
H	7.10 m.	+ I	7.12 m.	div. by 2	=	10.32 m.	=	73.73
I	7.12 m.	+ J	7.49 m.	div. by 2	=	12.15 m.	=	88.75
J	7.49 m.	+ K	7.08 m.	div. by 2	=	10.41 m.	=	75.73
K	7.08 m.	+ L	7.08 m.	div. by 2	=	1.13 m.	=	8.60
L	7.08 m.	+ A	7.13 m.	div. by 2	=	6.10 m.	=	43.27

TOTAL 499.15

TOTAL 499.15 div. by 41.90 = 7.16 average grade



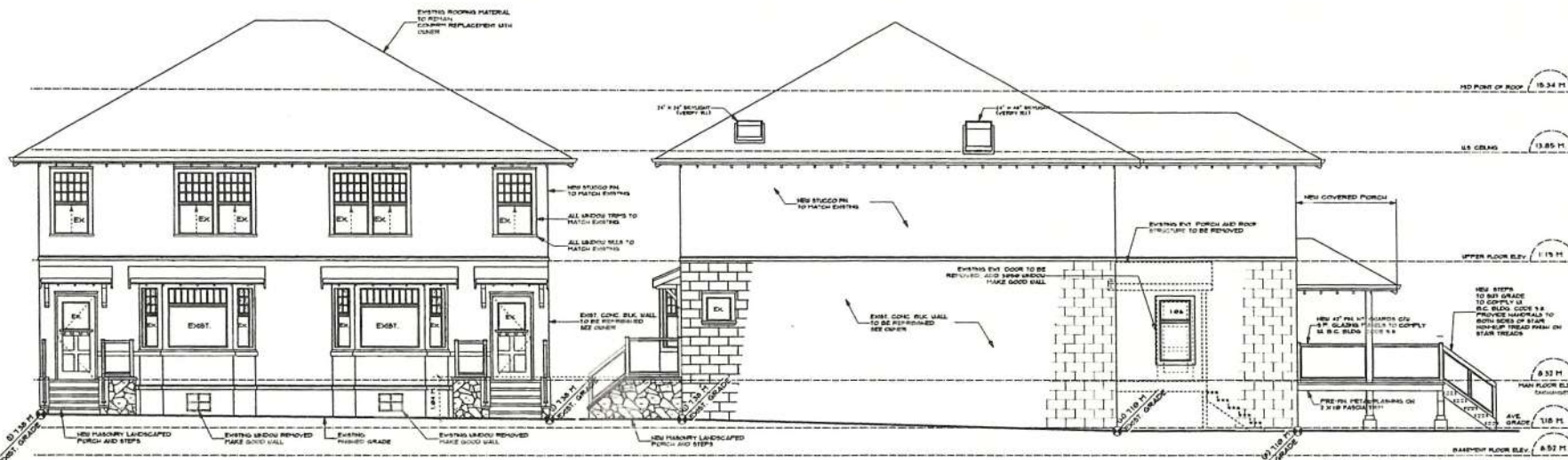
client **MICHAEL CRONQUIST**
project **PROPOSED RENOVATION OF EXISTING DUPLEX**
address **1122 & 1124 LEONARD STREET**
municipality **THE CITY OF VICTORIA, B.C.**

step one design
"Your Best Interest is Our First Step"

PH: 778-433-1434 or 250-636-3729
www.steponedesign.ca
www.steponedesign.ca Join us on Facebook

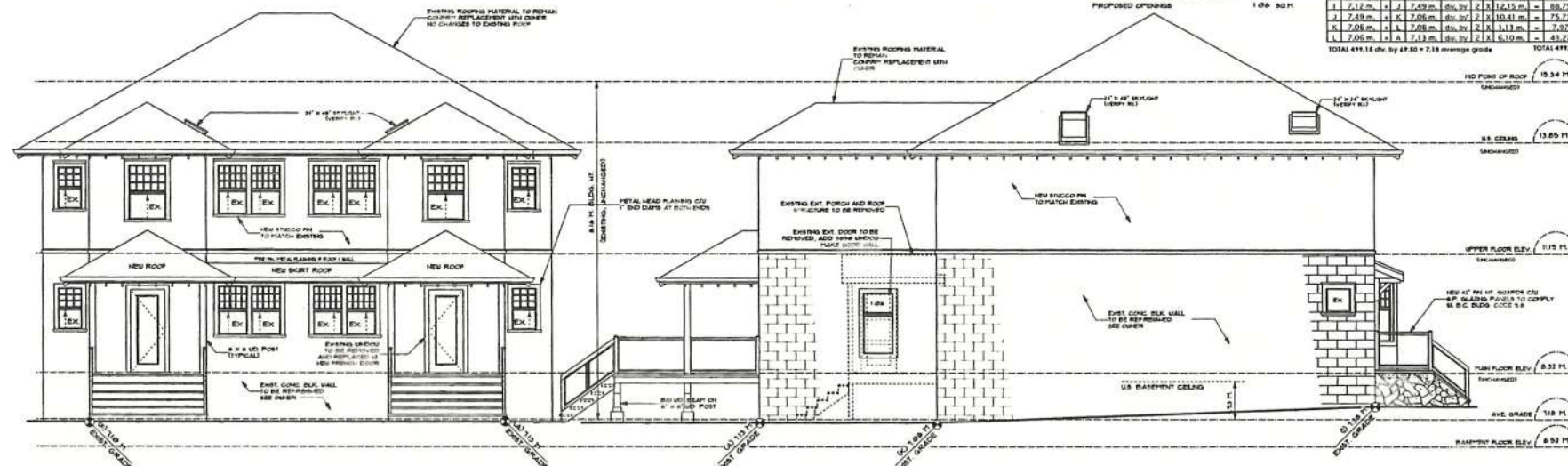
List of Drawings		
AI	SITE PLAN	
A2	BASEMENT & MAIN FLOOR PLAN	
A3	UPPER FLOOR & ATTIC PLAN	
A4	ELEVATIONS	
A5	CROSS SECTION	
A6	DETAILS	
ISSUED/REVISED		
NO.	DATE	DESCRIPTION
01	09/04/13	D.P. SUBMITTAL
02	02/24/13	CLIENT REV.
03	09/04/15	PORCH REV.
drawing no. 2012-0-CRO		
date SEPT. 14 / 2015		
scale AS SHOWN		
drawn / M. DUNSMUIR		
sheet no. of		
A1		A6

THE CITY OF VICTORIA, B.C.



1 FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

2 RIGHT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

4 LEFT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

CONCORD TO TABLE 312.14.4. B.C. BLDG. CODE

LISTING DISTANCE (GETBACK)	AREA OF EXPOSED BUILDING FACE	ALLOWABLE OPENING PERCENTAGE	ALLOWABLE OPENING AREA PROPOSED
213' 11"	2512 SQ. FT.	12.0 %	3.45 SQ. FT.
1.06'	50.11'		1.06' SQ. FT.

TOTAL 411.15 sq. ft. by 47.50' x 7.18' average grade

MICHAEL CRONQUIST

PROPOSED RENOVATION OF
EXISTING DUPLEX

122 & 124 LEONARD STREET

THE CITY OF VICTORIA, B.C.

client

project

address

municipality

step one
design

Your Best Interest is Our First Step

817 Rogers Way
Victoria B.C.
V8C 5L1
PH: 778-433-3338 or 250-688-3279
email: info@steponedesign.ca
www.steponedesign.ca

List of Drawings

A1 SITE PLAN
A2 BASEMENT & MAIN FLOOR PLAN
A3 UPPER FLOOR & ATTIC PLAN
A4 ELEVATIONS
A5 CROSS SECTION
A6 DETAILS

ISSUED/REVISED

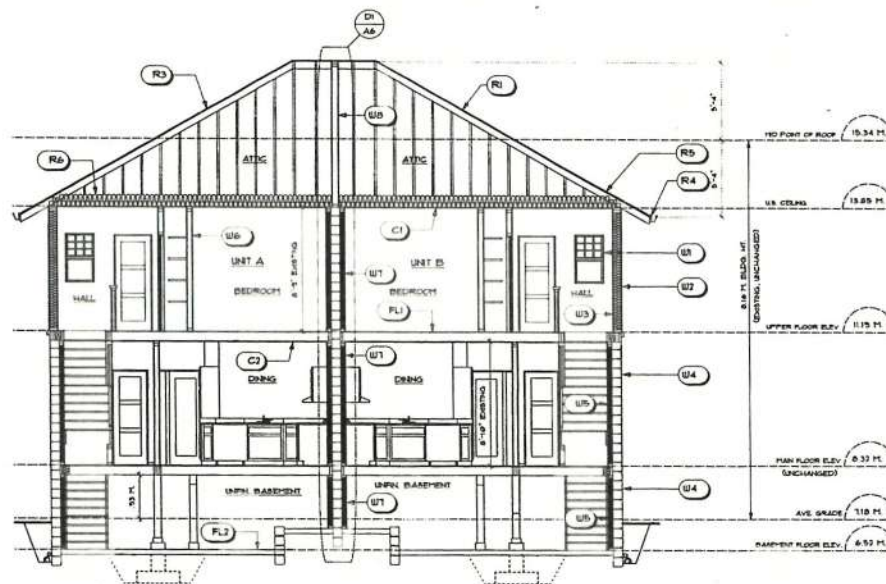
NO.	DATE	DESCRIPTION
01	09/04/15	01 P. APPROVAL IN CH
02	02/14/15	CLIENT REV
03	09/04/15	PORCH REV

drawing no. 2012-0-CRD
date SEPT. 14 / 2015
scale AS SHOWN
drawn / designed M.DUNSMUIR
sheet no. 4 of 6

Received
City of Victoria

NOV 06 2015

Planning & Development Department
Development Services Division



CROSS SECTION A-A
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. DO NOT SCALE FROM THIS PLAN.
- DESIGNER NOT RESPONSIBLE FOR DAMAGE TO ANY WORK CARRIED OUT USING THIS PLAN. DESIGNER NOT RESPONSIBLE FOR ERRORS OR OMISSIONS.
- THE RESPONSIBILITY SOLELY LIES WITH THE OWNER AND/OR GENERAL CONTRACTOR OR SUBTRADE TO THOROUGHLY REVIEW PLAN PRIOR TO STARTING WORK. ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO DESIGNER.
- CONTRACTOR TO INSURE WORK IS BE CARRIED OUT UNDER CURRENT BUILDING "PERMIT" SET, AND MOST CURRENT EDITION.
- CONTRACTOR OR OWNER TO WORK IN COORDINATION WITH B.C.L.S. TO ENSURE PROPER PLACEMENT OF ALL STRUCTURES AND BUILDINGS ON PROPERTY. DESIGNER NOT RESPONSIBLE FOR PLACEMENT OF STRUCTURES ON PROPERTY.
- ALL WORK TO CONFORM WITH MINIMUM STANDARDS PRESCRIBED AND SET FORTH IN THE LATEST EDITION OF THE BRITISH COLUMBIA BUILDING CODE INCLUDING ALL APPLICABLE AMENDMENTS. CONTRACTORS & SUBS TO COMPLY BUILDING CODE. AT PLANNING DESIGNER NOT RESPONSIBLE FOR BUILDING CODE.
- ALL WORK IS SUBJECT TO BUILDING INSPECTION BY GOVERNING MUNICIPAL BUILDING DEPARTMENT.
- ALL BUILDING MATERIAL TO MEET STANDARD CONSTRUCTION QUALITY, AND ALL TRADES MUST BE PROPERLY SUPERVISED.
- MANUFACTURER'S SPECIFICATIONS MUST BE ADHERED TO AND MUST DIFFER FROM WHAT IS NOTED ON THE PLAN. CONTRACTOR TO COMPLY PRIOR TO STARTING WORK.
- ALL FINISHING MATERIAL, SIZED TO STANDARD GRADES. FINISH 100% 3/4" FRAMERS TO PROVIDE FINISH AS REQUIRED.
- ALL STRUCTURAL COMPONENTS TO CONFORM TO THE APPLICABLE EDITIONS OF THE B.C. B.C. CODE AND MAY BE SUBJECT TO ENGINEERING DESIGN LOADS AND DEAD LOADS TO CONFORM TO MUNICIPAL REQUIREMENTS.
- DESIGNER NOT RESPONSIBLE TO ANY EXISTING LOADS THAT MAY OCCUR THROUGH BUILDING. PROPOSED OR EXISTING REFER TO STRUCTURAL ENGINEERING DRAWINGS.
- ALL STRUCTURAL BEARING MUST BE CARRIED DIRECTLY DOWN TO SOLID UNDISTURBED BEARING. VERIFY ALL BEARING CONDITIONS PRIOR TO STARTING WORK. SEE STRUCTURAL ENGINEER.
- METAL FLASHING (ON IT DRAIN) TO PROVIDED DIRECTLY OVER ALL WINDOW AND DOOR HEADS. SURE REQUIRED. AT ALL ROOF WALL CONNECTIONS AND ALL HORIZONTAL TRANSITIONS BETWEEN EXTERIOR WALL FINISHES.
- LOCATIONS EXTERIOR HOSE BIBS TO BE INSTALLED TO OWNER'S DISCRETION.
- ELECTRICAL AND PLUMBING INSTALLATION SHALL CONFORM TO, AND IS GOVERNED BY, THEIR RESPECTIVE CODES AND SUBJECT TO INSPECTION BY THE APPROPRIATE MUNICIPAL OR PROVINCIAL AUTHORITIES.
- MECHANICAL EQUIPMENT AND DUCTWORK SHALL BE INSTALLED ACCORDING TO THE CANADIAN HVAC CODE, CURRENT EDITION. ALL DUCT WORK TO BE SIZED TO MEET STANDARDS, AND TO MEET MANUFACTURER'S SPECIFICATIONS.

SECTION NOTES

ROOFS & CEILINGS

- EXISTING ROOFING TO REMAIN ON EXISTING RAFTERS. NO CHANGES TO EXIST ROOF STRUCT. EXISTING ROOFING TO REMAIN. SEE OWNER.
- LAPRATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL. NO TRUSSES & 24" O.C. 1/2" PLYWOOD. VERTED SLOPE. ROOF OVER COVERED REAR PORCH TO MATCH EXISTING ROOF PITCH. NOT IN SECTION.
- PROVIDE 1/8" VENT PER 300 SQ FT FOR ROOF AREA. FINISH AS REQUIRED. TO BE # TOP 2/3 BOTTOM. EXISTING TO COMPLY WITH S.E.S. INSTALL ROOF VENT ON TOP OF ROOF SURFACE. TO PROVIDE ROOF VENTILATION AT TOP OF ROOF TO COMPLY WITH CODE.
- EXISTING OUTLETS TO REMAIN.
- IF NEW ROOFING TO BE INSTALLED, ENSURE ADEQUATE EAVE PROTECTION. CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- PROVIDE 1" CLEAR BETWEEN NEW R-48 INSULATION INSTALLED IN EXIST. ATTIC. (FINISH 1/2" PLYWOOD CONNECTION.)
- ADD 1 LAYER 1/2" GYP BOARD ON 6" PLY. V.B. TO US. OF EXISTING CEILING JOISTS TO REMAIN.
- ADD 1 LAYER 1/2" GYP BOARD ON U.S. OF EXISTING FLOOR JOISTS TO REMAIN.

FOUNDATION WALLS

- ADD 6" WOOD POST TO MATCH BAY OVER AN IMPROVED BY STRUCT. ANCHORED TO 12" DIA CONCRETE FOOTING. CONCRETE FOOTING TO BE 30" DIA. WITH 4" DIA. BARS BOTH SAYS ON. NEW POST AND PAD FTS. IN BASEMENT. NEW POST AND PAD FTS. IN BASEMENT.
- AT 2' 6" SOLID WOOD POST ANCHORED TO 12" DIA CONCRETE FOOTING ON 18" x 18" 1/2" CONC. PAD FOOTING. 30" DIA. BARS BOTH SAYS ON. SOLID WOOD POSTS TO BE 30" DIA. BARS BOTH SAYS ON. NEW REAR COVERED PORCH, NOT IN SECT.

FLOORS & WALLS

- ADD FIN FLOORING ON 3/4" BAYLAP FLOOR BEARING. EXISTING 2" x 8" FLOOR JOISTS & 12" O.C. TO REMAIN.
- EXISTING CONC. SLAB TO REMAIN. ADD 1" CONC. GROUND SEAL ON 4" PLY. V.B. ON ON GRAVELLAK FILL AT EXISTING CRACKSPACE PORTION ON RAFTERS.
- EXTERIOR CONC. SLAB: 3" 1/2" CONC. SLAB ON 4" PLY. COMPACTED GRAVELLAK FILL. EXPOSED AGG. FIN. CONFORM TO OWNER. NOT IN SECTION.
- DECORATIVE FIBERGLASS TO COMPLY WITH CAN / CODE 31.84 ON 3/4" 1/2" PLYWOOD. GUALED & GUALED TO STRUCT. BELOW ON 2" x 4" BRIDGING & 12" SPAN. PROVIDE ADEQUATE DRAINAGE. FLASHING IN CONJ. WITH EAVE. EXT. WALL PROVIDE 7" STEP AT DOOR THRESHOLD. REAR PORCH, NOT IN SECTION.
- DOUBLE GLAZING IN EXTERIOR WINDOW FRAMES. 32" x 48" UNIL. OVER 1" TYPICAL. EXIST. FLASHING CONT. TO REMAIN. OVER NOTE GLAZING IN ALL EXTERIOR DOORS & WINDOWS. ALL WINDOWS TO COMPLY WITH B.C. B.C. CODE 320.11. FIN. PERFORMANCE GLASS. MUST BE CLEARLY LABELED ON ALL WINDOWS UPON INSTALLATION AND SUBJECT TO MUNICIPAL BUILDING INSPECTION.
- NEW ANCHOR FIN. TO MATCH EXISTING ON SURE LATE ON APPROVED BACKING BOARD. 100% DRY AIR SPACE. 1/2" PLY. WOOD STRAPPING ON 2 LAYERS 5/8" PLY. BACKING PAPER ON EXISTING EXT. WALL SHEATHING ON EXISTING STUDS TO REMAIN.
- ADD 1 LAYER 1/2" GYPSUM BOARD ON 6" PLY. V.B. TO EXISTING WALL STUDS ON R-10 FIB. BATT INSULATION. WHITE FURF. EXIST. WALL STUDS AS REQ'D FOR INSULATION.
- REINFORCED CONCRETE BLOCK WALL. SEE OWNER FOR FIN.
- ADD 2" x 4" STUDS & 24" O.C. ON R-10 FIB. BATT INSULATION. TO INTERIOR FACE OF EXIST. CONC. BLK. WALL. 6" PLY. V.B. 1 LAYER 1/2" GYPSUM BOARD. PROVIDE 1 LAYER 5/8" PLY. B.P. ON AIR SPACE BETWEEN FRAMING & CONC. BLOCK WALL. PROVIDE REQUIRED PREPRESSURE IN WALL ASSEMBLY TO COMPLY WITH B.C. B.C. CODE 318.14. ENSURE EXTERIOR WALL COMPLY WITH 318.14 FOR THERMAL INSULATION.
- INTERIOR PARTITION. 1/2" GYPSUM BOARD ON EACH SIDE OF 2" x 4" OR STUDS & 12" O.C.
- RATED PARTY WALL. B.C. B.C. CODE MISC. 2 LAYERS 5/8" PLY. B.P. 1 LAYER 1/2" GYPSUM BOARD (SUITE SIDE) ON 2" x 4" STUDS & 12" O.C. ON ABSORPTIVE MATERIAL FILLING STUD SPACE ON 1 LAYER 5/8" PLY. B.P. EXISTING 4" x 12" CONCRETE BLOCK WALL. 1 LAYER 5/8" PLY. B.P. 2" x 4" STUDS & 12" O.C. ON ABSORPTIVE MATERIAL FILLING STUD SPACE ON 1 LAYER 1/2" GYPSUM BOARD (SUITE SIDE).
- RATED PARTY WALL. B.C. B.C. CODE MISC. 1/2" PLY. V.B. 2 LAYERS 5/8" PLY. B.P. 1 LAYER 1/2" GYPSUM BOARD (SUITE SIDE) ON 2" x 4" STUDS & 12" O.C. ON ABSORPTIVE MATERIAL FILLING STUD SPACE ON 1 LAYER 1/2" GYPSUM BOARD (SUITE SIDE).

client **MICHAEL CRONQUIST**

project **PROPOSED RENOVATION OF EXISTING DUPLEX**

address **1122 & 1124 LEONARD STREET**

municipality **THE CITY OF VICTORIA, B.C.**

step one design
"Your Best Interest is Our First Step"

887 Rogers Way
Victoria, BC V8T 2Y5
www.steponedesign.ca
join us on Facebook

List of Drawings

A1	SITE PLAN
A2	BARRETT & HAN FLOOR PLAN
A3	UPPER FLOOR & ATTIC PLAN
A4	ELEVATIONS
A5	CROSS SECTION
A6	DETAILS

ISSUED/REVISED

NO.	DATE	DESCRIPTION
01	07/06/13	B.P. SUBMISSION
02	07/24/13	CLIENT REV.
03	09/14/13	PORCH REV.

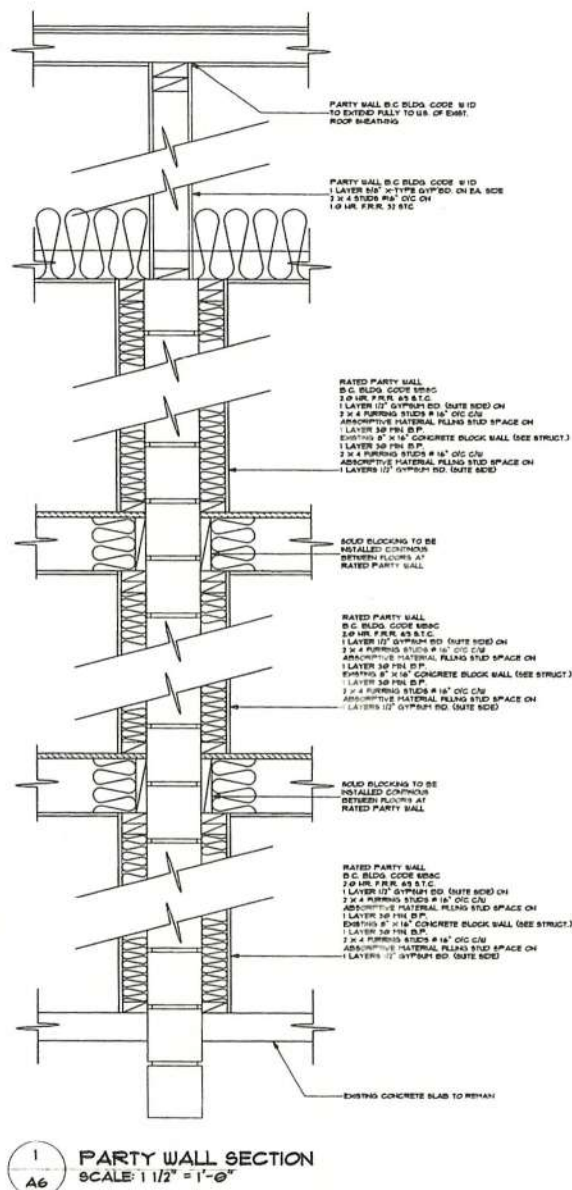
drawing no.	2012-0-CR0
date	SEPT. 14 / 2015
scale	AS SHOWN
drawn / designed	M.DUNSMUIR
sheet no.	of

A5 A6

Received
City of Victoria

NOV 06 2015

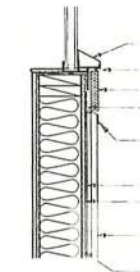
Planning & Development Department
Development Services Division



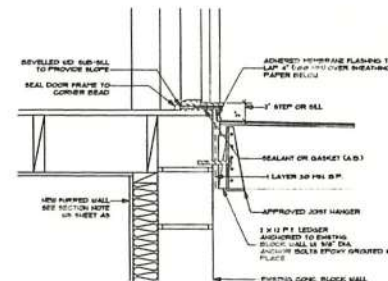
1 PARTY WALL SECTION
SCALE: 1 1/2" = 1'-0"



2 TYP. WINDOW HEAD DETAIL- UPPER FLOOR
SCALE: 1 1/2" = 1'-0"



3 TYP. WINDOW SILL DETAIL-UPPER FLOOR
SCALE: 1 1/2" = 1'-0"



4 DOOR SILL PROTECTED MEMBRANE
SCALE: 1 1/2" = 1'-0"

client MICHAEL CRONQUIST

project PROPOSED RENOVATION OF
EXISTING DUPLEX

address 1122 & 1124 LEONARD STREET

municipality THE CITY OF VICTORIA, B.C.

step one
design

"Your Best Interest is Our First Step"
887 Rogers Way
Victoria, B.C.
V8S 2S1
www.steponedesign.ca
Join us on Facebook

List of Drawings
A1 SITE PLAN
A2 BASEMENT & MAIN FLOOR PLAN
A3 UPPER FLOOR & ATTIC PLAN
A4 ELEVATIONS
A5 CROSS SECTION
A6 DETAILS

ISSUED/REVISED
NO. DATE DESCRIPTION
01 01/04/13 B.P. REVISIONS
02 02/14/13 CLIENT REV
03 09/14/13 PORCH REV

drawing no. 1012-0-CRD
date DEPT. 14 / 2015

DESIGNED BY SHAWN

drawn / designed H. DUNSMUIR

sheet no. of

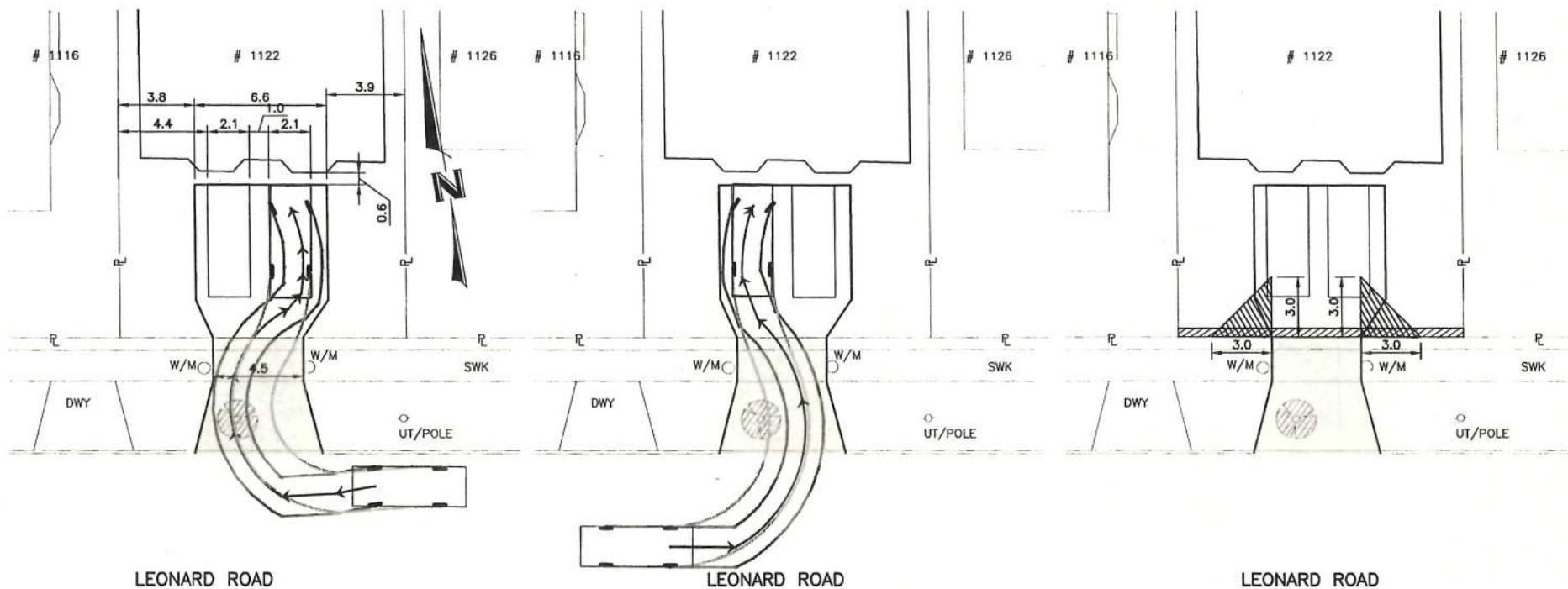
A6 A6

Received
City of Victoria

NOV 06 2015

Planning & Development Department
Development Services Division

WESTBROOK CONSULTING LTD. - 2013-09-12 11:19AM H:\Proposals\WESTBROOK 2013\Leonard\prelim.dwg



- LEGEND**
- SIGHT TRIANGLE IN WHICH NOTHING HIGHER THAN 1.0m CAN BE PLACED.
 - NO TREES, SHRUBS OR HEDGES CLOSER THAN 0.45 TO PROPERTY LINE.
 - EXISTING TREE TO BE REMOVED

REVISIONS			
		DESIGNED	PC
		DRAWN	PC
		CHECKED	
		DATE	SEPT 2013
		B.M.	
		ELEV.	
		SCALE	Horz. 1:200
		Vert.	
No.	DESCRIPTION	DATE	SIGN



WESTBROOK
Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
1122 LEONARD ROAD

WESTBROOK PROJECT No.

GOVERNING AUTHORITY FILE No.

SHEET OF REV.
1 1

WESTBROOK DRAWING No.
FIG 1

TURNING TEMPLATE

Received
City of Victoria

NOV 06 2015

Planning & Development Department
Development Services Division

General Notes:

All work to conform to the British Columbia Building Code (BCBC) 2006 and referenced documents. Wood framing to BCBC 2006 – Part 9 as a minimum.

Renovations have been designed to maintain the structural capacity of the original base structure.

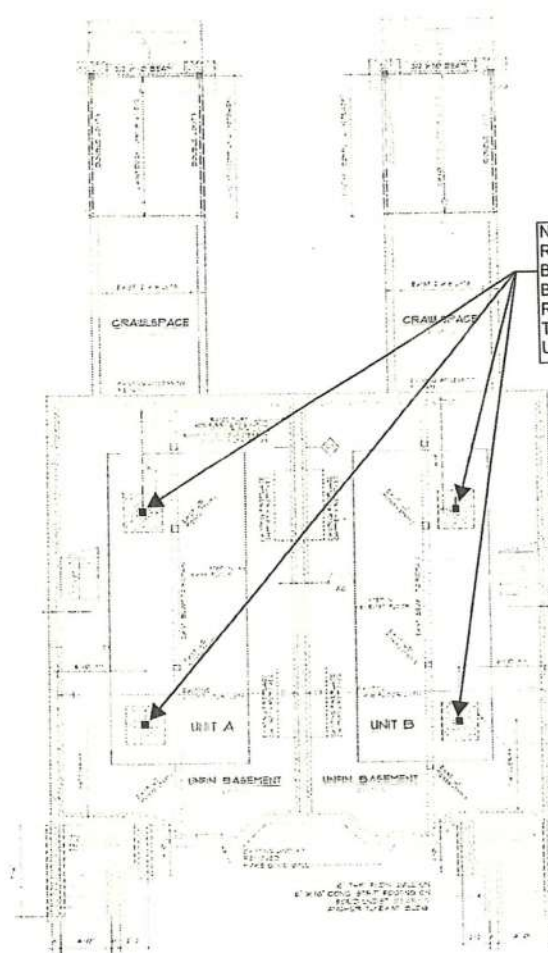
Material Notes:

Wood framing to be SPF No. 2 Grade unless noted otherwise.

Renovation Notes:

The structural drawings are based on assumed as-built conditions for the existing structure. The actual conditions may vary and the contractor shall immediately inform the consultant of any variations from the assumed conditions. New openings in existing structure to be marked out by the contractor and reviewed by RJC prior to any cutting. No overcutting is permitted. The contractor is responsible for safety in and about the jobsite during construction, and the design and erection of all temporary formwork and shoring required to complete the work.

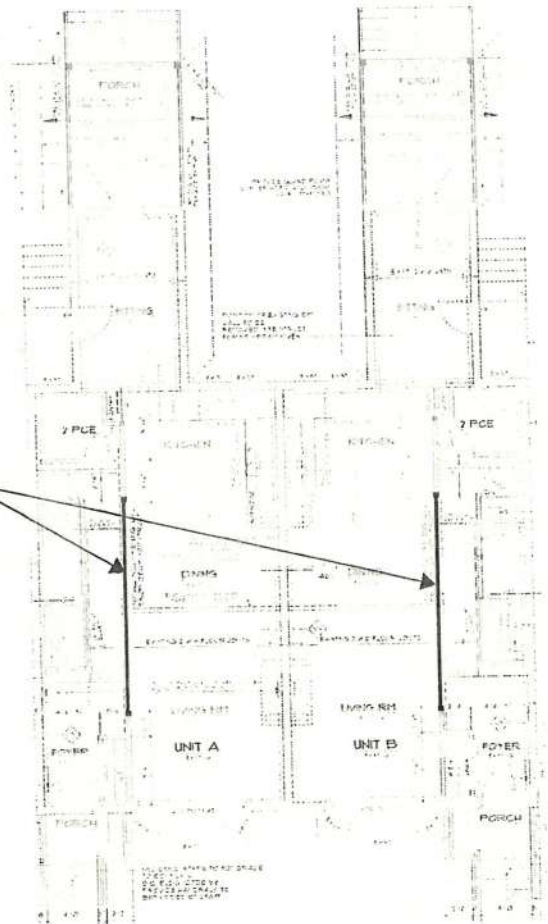
RJC to review the existing structure and framing, and all deficiencies are to be repaired by the owner's contractor as per RJC's instructions.



BASEMENT FLOOR PLAN

NEW 750x750x250 DP. FOOTING
REINF. WITH 3-15M600 E.W.
BOT. (MIN 145 kPa ALLOWABLE
BEARING) C/W 250x250 PEIR
R/W 4-15M VERTS. 10M@250
TIES AND 140x140 POSTS TO
U/S OF MAIN FLOOR

NEW 2 PLY 44X356 2.0E
BEAM WITH 3-38x89
SPF NO. 2 STUDS
UNDER EACH END



MAIN FLOOR PLAN



rjc Read Jones Christoffersen
Consulting Engineers
Suite 220, 645 Tyee Road
Victoria, BC V9A 6X5 Canada
Office 250 386-7794 Fax 250 381-7900
www.rjc.ca

Project Name
1122 LEONARD STREET
Sketch Title
MAIN / BASEMENT FLOOR

Dwg. Ref.
Scale NTS
Date JAN 24, 2013
Project No. VIC.108134.001
Sketch Number Rev.
SSK-01