



Planning and Land Use Committee Report

For the Meeting of January 14, 2016

To: Planning and Land Use Committee **Date:** December 18, 2015

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variances Application No. 00496 for 1122 and 1124 Leonard Street

RECOMMENDATION

Staff recommend that Committee forward this report to Council and that after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00496, if it is approved, Council consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00496 for 1122 and 1124 Leonard Street, in accordance with:

1. Plans date stamped November 6, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Part 2.1.3 (d): Increase the combined floor area from 380m² to 395.08m²;
 - ii. Part 2.1.4 (a): Increase the height from 7.6m to 8.16m;
 - iii. Part 2.1.4 (a): Increase the height from 1.5 storeys with a basement to 2 storeys with a basement;
 - iv. Part 2.1.5 (b): Reduce the rear yard setback from 13.28m to 9.51m;
 - v. Part 2.1.5 (c): Reduce the side yard (west) setback from 1.5m to 0.99m;
 - vi. Part 2.1.5 (c): Reduce the side yard (east) setback from 3.0m to 0.97m;
 - vii. Part 2.1.5 (d): Reduce the combined side yard setbacks from 4.5m to 1.96m;
 - viii. Schedule "C" (3): Permit parking to be located between the building and the front lot line.
3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the bylaw.

Pursuant to Section 920 (8) of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential

development, a Development Permit may include requirements respecting the character of the development including landscaping, siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 1122 and 1124 Leonard Street. The proposal is to rezone from the R1-B Zone, Single Family Dwelling District to a new zone in order to permit the existing non-conforming duplex to be strata titled and to alter the building.

The following points were considered in assessing this Application:

- the proposal is consistent with the objectives for sensitive infill in Development Permit Area 15D: Intensive Residential – Duplex of the *Official Community Plan 2012* (OCP)
- the proposal is generally consistent with the policies and design specifications of the *Neighbourliness Guidelines for Duplexes* (1996)
- the proposed variances relate to floor area, height, number of storeys, rear and side setbacks and locating parking in the front yard. These variances are required to facilitate the retention of the existing building and reflect the current conditions.

BACKGROUND

Description of Proposal

The proposal is to strata title an existing non-conforming duplex and to alter the building. Specific details include:

- exterior materials include new stucco, roofing and windows with wood trim
- the existing concrete block is to be retained and refurbished
- the entryways of each dwelling will have new solid wood doors, glass guards, concrete stairs and masonry stone veneer
- a covered porch will be added at the rear of each dwelling.

Sustainability Features

As indicated in the applicant's letter dated November 6, 2015, the following sustainability features are associated with this proposed development:

- renovation of an existing building instead of demolition reduces waste
- improvements to the building envelope increases energy efficiency
- new windows and exterior doors will be more energy efficient
- the interior renovation will include dual flush toilets, low VOC paints and energy star appliances.

Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with this Application.

Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit with Variances Application.

Existing Site Development and Development Potential

The site is presently a non-conforming duplex.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applicant has consulted the Fairfield Gonzales CALUC at a Community Meeting held on July 20, 2015. The minutes of this meeting are attached to this report.

This Application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 15D: Intensive Residential - Duplex. The proposal is to alter an existing non-conforming duplex, including changes to exterior materials and design and is consistent with the *Neighbourliness Guidelines for Duplexes*.

The proposed improvements would help emphasise a positive street appearance with exterior materials that suit the existing building and adjacent buildings. Both units are oriented towards the street with covered entrances and windows facing it.

The applicant is proposing a mix of hard and soft landscaping, including parking, walkways, patios surfaced with decorative concrete pavers, the addition of a new ground cover, shrubs and trees.

Regulatory Considerations

To facilitate the Rezoning Application from the R1-B Zone to a new zone based on the R-2 Zone, eight variances would be required. The variances are the result of the siting and size of the existing duplex and reflect the current conditions. The following table summarizes the proposed variances.

Zoning Criteria	Proposed Variance	Zone Standard R-2
Combined floor area (m ²) - maximum	395.08	380
Height (m) - maximum	8.16	7.60
Storeys - maximum	2 w/basement	1.5 w/basement
Setbacks (m) - minimum		
Rear	9.51	13.28
Side (west)	0.99	1.50
Side (east)	0.97	3.00
Combined Side	1.96	4.50
Location of Parking	Front yard	Behind front of building

CONCLUSIONS

This proposal to alter an existing non-conforming duplex is consistent with Development Permit 15D: Intensive Residential – Duplex. The proposed variances would not have a substantial impact on the adjacent properties. Staff recommend that Council consider supporting this Application.

ALTERNATE MOTION

That Council decline Development Permit with Variances Application No. 00496 for the property located at 1122 and 1124 Leonard Street.

Respectfully submitted,



Rob Bateman
Planner
Development Services Division

am



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:

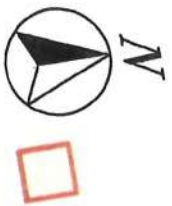


Date: December 30, 2015

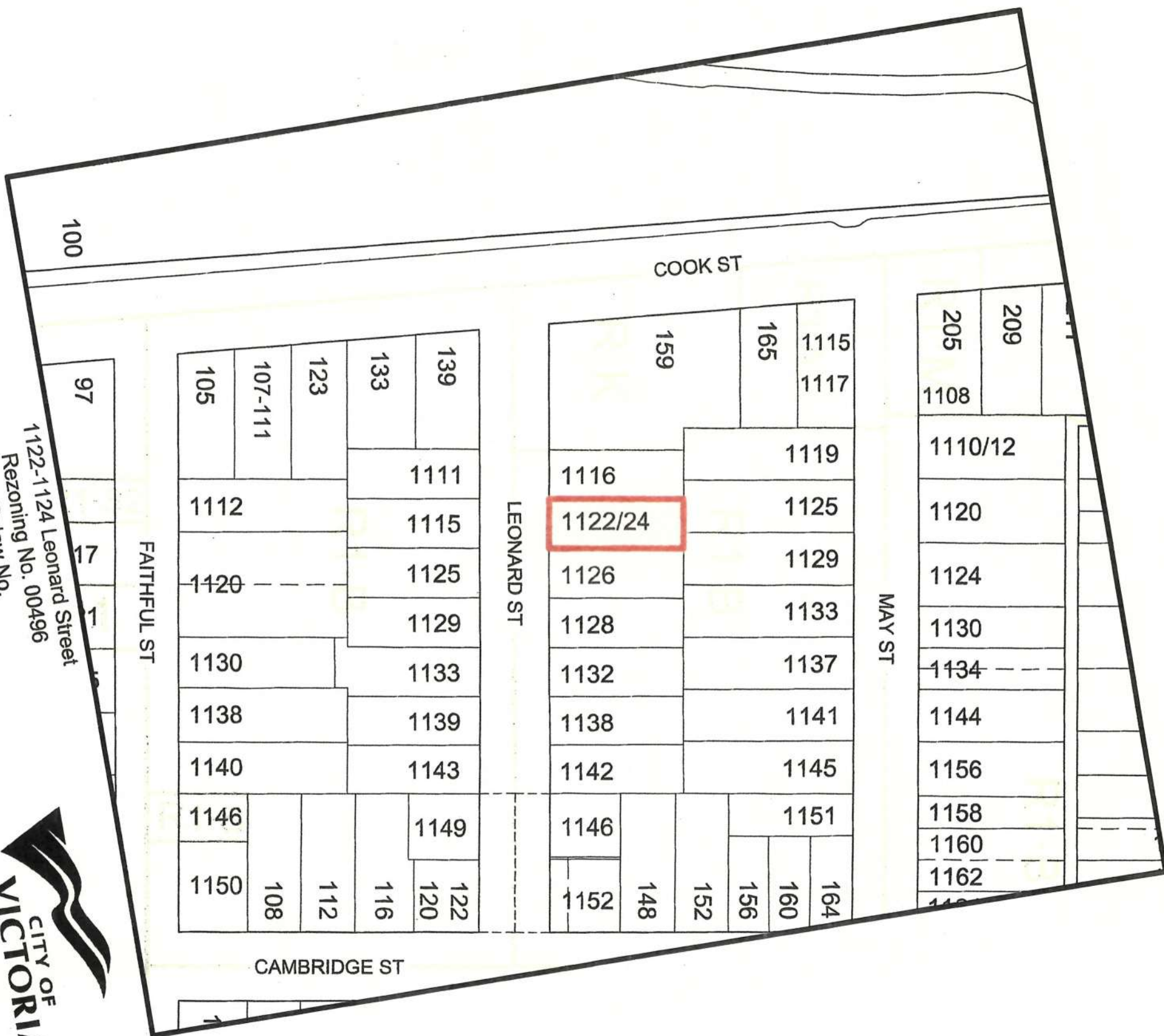
List of Attachments

- Air photo
- Zoning map
- Applicant's letter to Council dated November 6, 2015
- Minutes of Community Meeting of the Fairfield-Gonzales Community Association dated July 20, 2015
- Submission drawings dated November 6, 2015.





1122-1124 Leonard Street
Rezoning No. 00496
Bylaw No.



Michael Cronquist
302-430 Chester Ave.
Victoria, BC V8V 4C1
Phone: [REDACTED]

November 6, 2015

Mayor and Council
Victoria City Hall
1 Centennial Square
Victoria, BC V8W 1P6

Dear Mayor and Council:

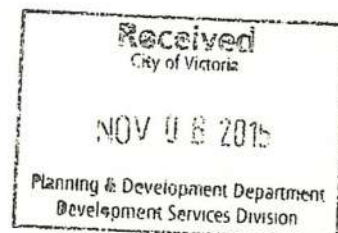
Re: 1122/1124 Leonard Street – Rezoning to Permit a Strata Titling of an Existing Duplex

I am the owner of the duplex located at 1122 and 1124 Leonard Street (“1122/1124 Leonard” or the “Property”). The Property is an existing, side by side duplex that was constructed in approximately 1912. I am making application to rezone 1122/1124 Leonard from R-1B to a Site Specific Zone or R2 with variances.

The purpose of the rezoning is to permit a strata titling of this existing duplex. The strata titling will not change the Property’s current configuration; it will only change the ownership tenure from one title to two strata units. The rezoning will make the property conforming and the strata titling will contribute significantly to the feasibility of completing a full renovation and renewal of the unique character of 1122/1124 Leonard. The proposal conforms to the Traditional Residential Urban Place designation in the Official Community Plan.

The following materials and plans are enclosed in support my rezoning application:

1. A Landscape Plan drafted by LADR Landscaping Ltd.
2. Photographs of 1122/1124 Leonard and the Leonard St. streetscape, as well as perspective images of the proposed renovations to the Property
3. Complete renovation plans drafted by Step One Design for the proposed upgrade of the interior and renewal of the exterior of the Property
4. “Turning Template” plans drafted by Westbrook Consulting Ltd.
5. Engineering drawings drafted by RJC
6. Photographs of the front yard parking at the duplex located at 154 and 156 Linden Ave.
7. Copies of written support for the proposal signed by Leonard Street neighbours



The proposal includes a wide range of green building features and concepts including the following:

- The building will be renovated and renewed as opposed to being torn-down and hauled to the dump - saving dump truck loads of waste.
- The building envelop was historically very poor with numerous areas of free air flow to the outdoors (you could actual see daylight coming through the outside wall in some areas). The renovation of the building will include a new, energy efficient, sealed and insulated building envelope.
- All windows and exterior doors will be replaced with energy efficient, double glazed windows and exterior swing doors with thermally broken, vinyl frames.
- The interior renovation will include a number green building features including:
 - dual flush toilets;
 - low VOC paints; and
 - Energy Star® appliances.

Due to an existing none conformance, the proposal does not meet the vehicle parking standards of Schedule C – Off-Street Parking. As is show by the enclosed plans and photographs, the side setbacks of the duplex are not wide enough to provide a driveway to the backyard.

Consequently, it is not possible provide off street parking in the backyard of the property. As a result of this existing condition, the proposal includes a plan to provide parking off the street in the front yard of the property.

The enclosed Landscape Plan illustrates the design for the proposed front yard parking included in the proposal. The plan draws from the guidelines for front yard parking that is permitted in the Gonzales neighbourhood of Fairfield and is enhanced by extensive landscaping. I engage Westbrook Consulting Ltd. to complete the enclosed “Turning Template” study which demonstrates that the front yard parking plan provide safe parking in accordance to the relevant guidelines. Steve Hutchison, Transportation Planner, City of Victoria Engineering has reviewed and supports this front yard parking plan.

The front yard parking fits in well with the Leonard St. streetscape and is strongly support by the majority of the Leonard Street neighbours. It is similar to parking at many properties on the street where owners park their cars in the front driveways to their garages. I also note that similar front yard parking was permitted at nearby duplex located at 154 and 156 Linden Ave. (see attached photos). In addition to the front yard parking I also plan to build accessory buildings in the backyards of both duplex units that will be ideal for bicycle parking.

1122/1124 Leonard has operated as a duplex since it was constructed in 1912. Over its life minimal investment has been made into the repair, maintenance and renewal of the property.

The condition of the property is very poor and not at the high standard of the homes on Leonard Street and the Cook Street Village neighbourhood.

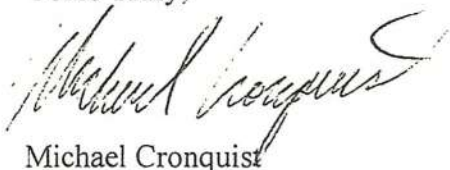
In spite of its very poor condition, 1122/1124 Leonard has "good bones" and distinctive character. It also has historical significance as it is one of the first and few homes in the city to be constructed with unique masonry block construction. The architect and builder of the duplex utilized this construction technique in the early 1900s for only a few architecturally significant homes in the area, most notably 97 Cook Street and 139 Cook Street. As shown by the enclosed plans, my proposed renovation will completely revitalize the property while preserving the original side by side duplex configuration, form and character of the exterior of the building and Leonard Street's historic streetscape.

I have met with the vast majority of the Leonard Street neighbours, including those who are nearest to 1122/1124 Leonard, and discussed strata titling of and front yard parking at the Property. I received enthusiastic, written support for strata titling from all of these neighbours. Copies of this written support are enclosed for reference. The most predominant feedback that I received during my dialogue with these neighbours is as follows:

1. There is strong support for the proposed front yard parking at 1122/1124 Leonard
2. Parking demands on Leonard St. have increased since the construction of the new children's park on the West side of Cook St., at Cook and Leonard. Front yard parking at 1122/1122 Leonard would be positive as it would reduce congestion on the street
3. 1122/1124 Leonard has been neglected and in very poor condition for a very long time. The upgrade and renewal of the property would have a very significant, positive impact on the neighbourhood
4. Preserving the 1122/1124 Leonard duplex building instead of demolishing and replacing it with a new building that might not fit in with the neighbourhood is desirable

Thank you for your consideration of my 1122/1124 Leonard St. rezoning application. I look forward to making a formal presentation related to my proposal in the near future.

Yours Truly,



Michael Cronquist

**Minutes of Community Meeting
Planning and Zoning Committee
Fairfield-Gonzales Community Association (FGCA)
July 20, 2015**

Facilitators for the FGCA: George Zador (Chair)
Susan Snell
Ken Roueche

Subject property: 1122 -1124 Leonard St. duplex; application for strata conversion.

Proponent/owner: Mike Cronquist. 123 notices sent

This property in vacant and derelict condition for the past several years is proposed to be fully rehabilitated and rezoned to permit strata titling. The project had previously been submitted and approved in 2014, however the proponent failed to proceed and after 1 year, the application lapsed.

Attendance: 20 people (not all involved with project)

Attendee Questions and Comments:

- Concern expressed about City recommended site specific rezoning as most efficient, but granting the more conventional R-2 zoning would have issues in an R-1 area as well
- Parking for 2 cars provided at the front requires removal of a boulevard tree; arborist may be engaged to recommend suitable replacement.
- Are there any plans to further subdivide the two units? Absolutely none.
- Any plans to develop the basement area? Absolutely none.
- Water weeping in backyard.....it will be managed with new drain tiles.
- Covered patio in the rear will not obstruct neighbour's sightline.
- Project timeline? Will proceed immediately upon approval by City.

The neighbourhood would welcome the reconditioning of this unsightly building.

George Zador

Planning and Zoning Chair
Fairfield Gonzales Community Association
1330 Fairfield Rd. Victoria, BC V8S 5J1
planandzone@fairfieldcommunity.ca
www.fairfieldcommunity.ca
Facebook

3 Stewartia Trees, Viburnum & Hydrangea Shrubs Along Back Fence

Existing Perimeter Fence Retained (Neighbour's)

Low Growing Plants, Dwarf Sarcococca, Heavenly Bamboo, & Evergreen Clematis Vine Along Central Privacy Screen

1200 Ht Wood & Steel Fence (See Detail 3 - This Sheet)

New Sod Lawn

Existing Perimeter Fence Retained (Neighbour's)

1800 Ht Wood Privacy Screen Between Units and Porches (See Detail 2 - This Sheet)

Existing Perimeter Fence Retained (Neighbour's)

Mixed Bed of Drought Tolerant Shrubs & Perennials Dwarf Strawberry Bush, Heavenly Bamboo, Hydrangea & Dwarf Roses

Decorative Concrete Paver Entry Walkway

Mixed Bed of Drought Tolerant Shrubs & Perennials (same both sides of driveway) Boxwood, Viburnum, Hellebores, Heavenly Bamboo, Dwarf Roses, Lavender & Blue Oat Grass

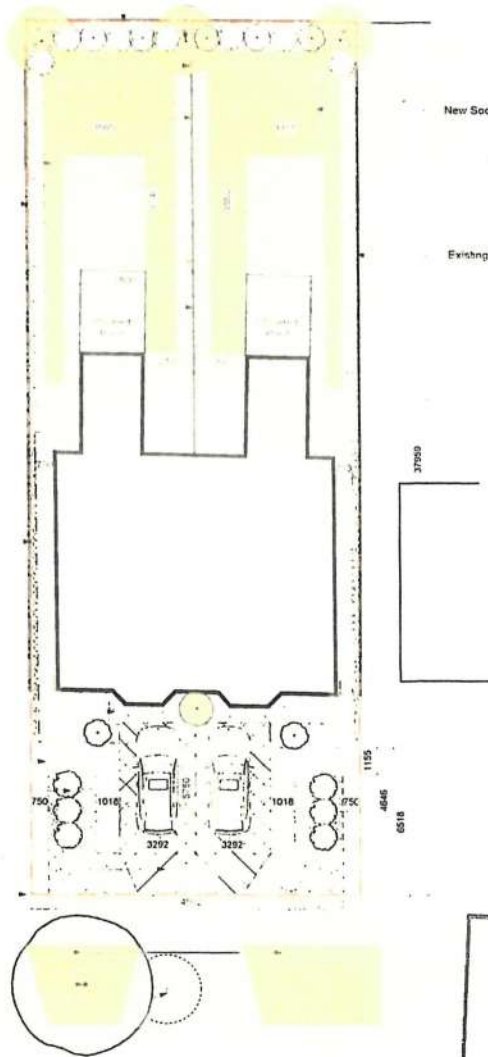
Decorative Concrete Paver Parking Surface

Existing Stone Wall Modified to Suit New Driveway

New Sod on Boulevard

Replacement Boulevard Tree (Akebono Cherry or other as determined by Parks Department)

Existing Cherry Tree Removed



1 Landscape Plan 1:100

New Sod Lawn

Existing Perimeter Fence Retained (Neighbour's)



2 1800 Ht Wood Privacy Screen

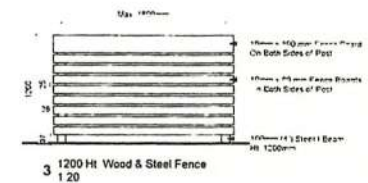


Recommended Nursery Stock

Trees	Quantity	Botanical Name	Common Name	Size
1	1	Buxus caroliniana	Boxwood	40cm pot
Large Shrubs				
1	1	Arbutus menziesii	Strawberry Tree	45 pot
1	1	Hydrangea macrophylla	Hydrangea	45 pot
1	1	Philadelphus	Philadelphus	45 pot
1	1	Malus	Malus	45 pot
Medium Shrubs				
1	1	Prunella	Prunella	45 pot
Small Shrubs				
1	1	Hamamelis	Hamamelis	45 pot
1	1	Quercus	Quercus	45 pot
1	1	Salix	Salix	45 pot
1	1	Ulmus	Ulmus	45 pot
Perennials, Annuals and Ferns				
1	1	Hosta	Hosta	45 pot
1	1	Heuchera	Heuchera	45 pot
1	1	Geranium	Geranium	45 pot
1	1	Verbena	Verbena	45 pot
1	1	Impatiens	Impatiens	45 pot
Vines				
1	1	Clematis	Clematis	45 pot

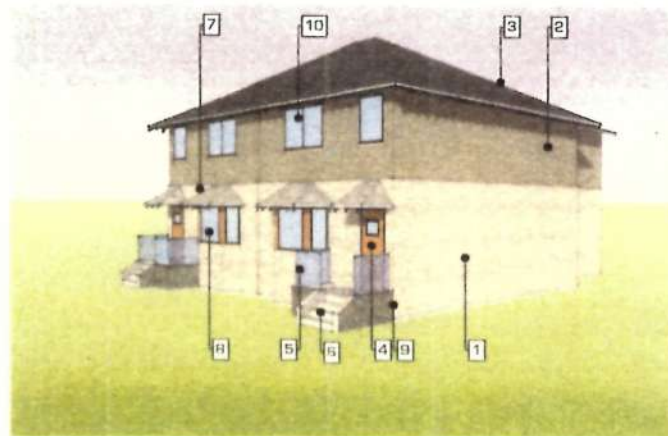
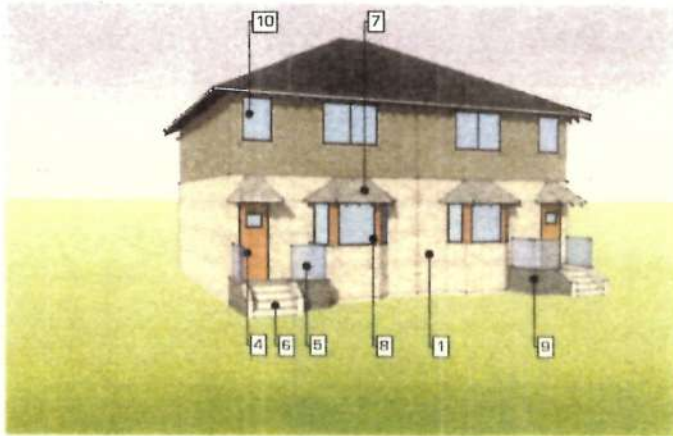
Notes:

- All work to be completed to current BCSLA Landscape Standards
- All soft landscape to be irrigated with an automatic irrigation system



3 1200 Ht Wood & Steel Fence

1122 Leonard Street - Landscape Concept (Rezoning)



EXTERIOR MATERIAL PALETTE

1. REFURBISHED CONCRETE BLOCK
2. ORIGINAL STUCCO REMOVED AND REPLACED WITH NEW STUCCO
3. NEW ROOFING
4. NEW SOLID WOOD EXTERIOR DOOR
5. GLASS GUARD
6. NEW CONCRETE STAIRS
7. NEW ROOFING
8. WOOD TRIM WITH CLEAR SEALER
9. MASONRY STONE VENEER
10. NEW WINDOWS

3 PROPOSED EXTERIOR FINISHES
DS NOT SCALE



2 EXISTING EXTERIOR PHOTOS
DS NOT SCALE

1 STREET PARKING PHOTO
DS NOT SCALE

Received
City of Victoria
NOV 06 2015
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OUTSIDE THE LINES
CITY OF VICTORIA

1. LANDSCAPE ARCHITECT
2. LANDSCAPE ARCHITECT
3. LANDSCAPE ARCHITECT
4. LANDSCAPE ARCHITECT
5. LANDSCAPE ARCHITECT
6. LANDSCAPE ARCHITECT
7. LANDSCAPE ARCHITECT
8. LANDSCAPE ARCHITECT
9. LANDSCAPE ARCHITECT
10. LANDSCAPE ARCHITECT

Site Plan of 1122 & 1124 Leonard Street

Legal - Lot 4, Fairfield Farm Estate, Victoria City, Plan 1215

Parcel Identifier: 007-826-141

Scale - 1:100



All distances are shown in metres.

Tree diameters are in centimetres.

Geodetic elevations shown (in METRES)

Site Area = 540 m²

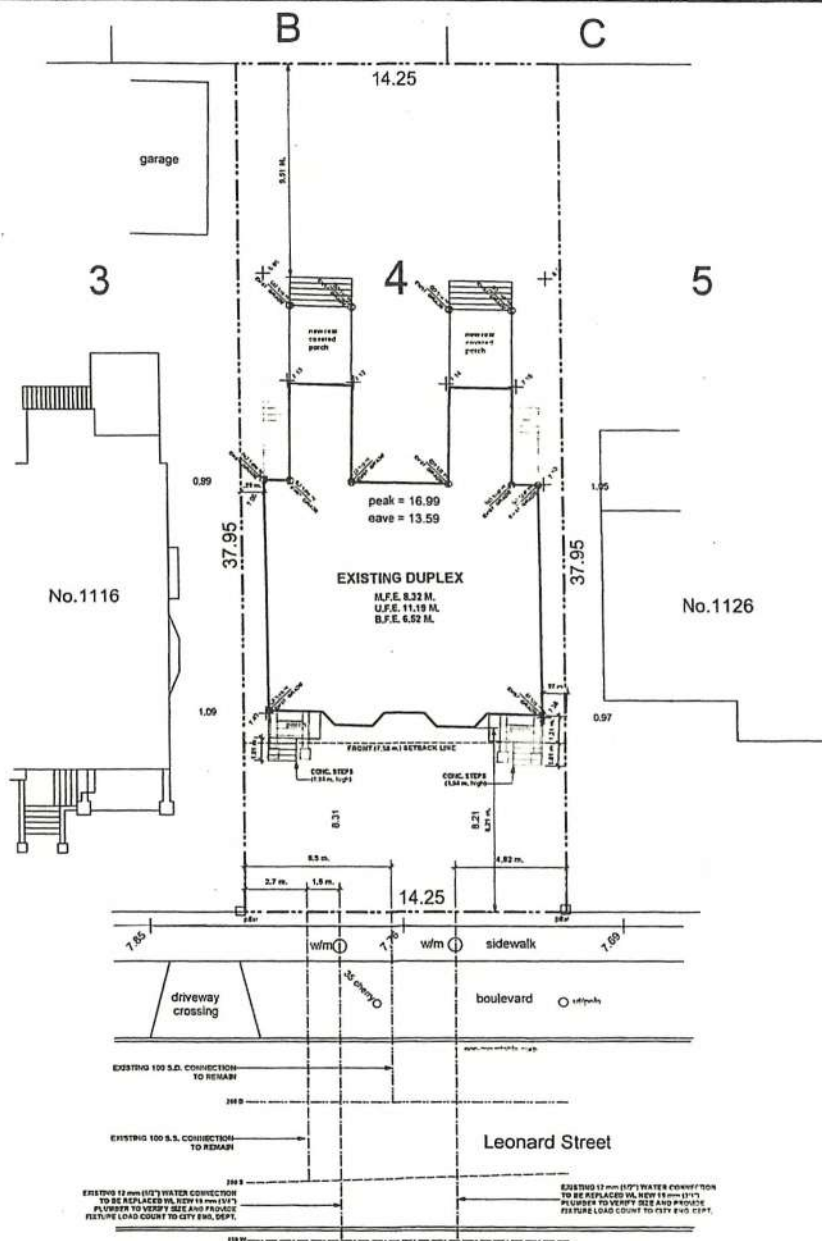
SITE DATA		
ITEMS	PERMITTED	PROPOSED
LOT AREA		540.00 sq.m.
LOT COVERAGE	45.0 %	34.7 %
SETBACKS		
- FRONT (south)	7.50 m.	8.21 m.
- REAR (north)	9.48 m.	9.51 m.
- SIDE (west)	1.50 m.	1.59 m.
- SIDE (east)	1.00 m.	0.97 m.
COMB. SIDEYARDS	4.50 m.	1.95 m.
FLOOR AREA		
- BASEMENT		120.57 sq.m.
- MAIN		141.60 sq.m.
- UPPER		132.81 sq.m.
SUB TOTAL		295.08 sq.m.
TOTAL FLOOR AREA (all levels)	300.00 sq.m.	295.08 sq.m.
TOTAL FLOOR AREA (1st & 2nd.)	280.00 sq.m.	276.91 sq.m.
BUILDING HT.	7.50 m.	9.13 m.
BUILDING HT. (no of storeys)	2	3

* EXISTING LEGAL NON-COMFORMING (each storey)

A	7.13 m.	±1 B	7.12 m.	div. by 2	3.56 m.	=	18.87
B	7.12 m.	±1 C	7.12 m.	div. by 2	3.56 m.	=	18.87
C	7.12 m.	±1 D	7.12 m.	div. by 2	3.56 m.	=	18.87
D	7.12 m.	±1 E	7.14 m.	div. by 2	3.57 m.	=	18.87
E	7.14 m.	±1 F	7.10 m.	div. by 2	3.55 m.	=	18.87
F	7.10 m.	±1 G	7.10 m.	div. by 2	3.55 m.	=	18.87
G	7.10 m.	±1 H	7.10 m.	div. by 2	3.55 m.	=	18.87
H	7.10 m.	±1 I	7.12 m.	div. by 2	3.56 m.	=	18.87
I	7.12 m.	±1 J	7.12 m.	div. by 2	3.56 m.	=	18.87
J	7.12 m.	±1 K	7.08 m.	div. by 2	3.54 m.	=	18.87
K	7.08 m.	±1 L	7.08 m.	div. by 2	3.54 m.	=	18.87
L	7.08 m.	±1 A	7.13 m.	div. by 2	3.56 m.	=	18.87

TOTAL 479.15

TOTAL 479.15 div. by 49.50 = 7.58 average grade



client **MICHAEL CRONQUIST**

project **PROPOSED RENOVATION OF EXISTING DUPLEX**

address **1122 & 1124 LEONARD STREET**

municipality **THE CITY OF VICTORIA, B.C.**

step one
design

"Your Best Interest is Our First Step"

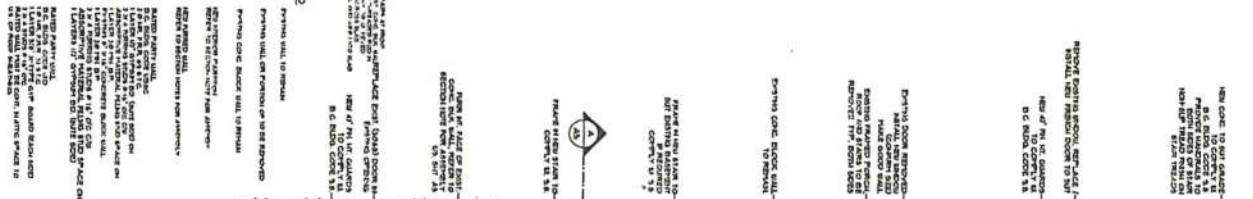
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V8K 5L1
www.steponedesign.ca
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List of Drawings	
A1	SITE PLAN
A2	BASEMENT & MAIN FLOOR PLAN
A3	UPPER FLOOR & ATTIC PLAN
A4	ELEVATIONS
A5	CROSS SECTION
A6	DETAILS

ISSUED/REVISED		
NO.	DATE	DESCRIPTION
01	02/04/15	D.P. SUBMITTAL
02	07/24/15	CREDIT REV.
03	09/04/15	PORCH REV.

drawing no.	SEP-01-CRD
date	SEPT. 14 / 2015
scale	AS SHOWN
drawn / developed	MOUNSHUIR
sheet no.	of
A1	A6

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UNIT A 64384 SQ FT (60.75 SQ M)
UNIT B 64384 SQ FT (60.75 SQ M)UNIT A 64384 SQ FT (60.75 SQ M)
UNIT B 64384 SQ FT (60.75 SQ M)UNIT A "A" ON 10/17. (10 00 00H
UNIT B "A" ON 10/17. (10 00 00HUNIT A "A" ON 10/17. (10 00 00H
UNIT B "A" ON 10/17. (10 00 00H

100	100
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NOV 06 2015

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step one
design

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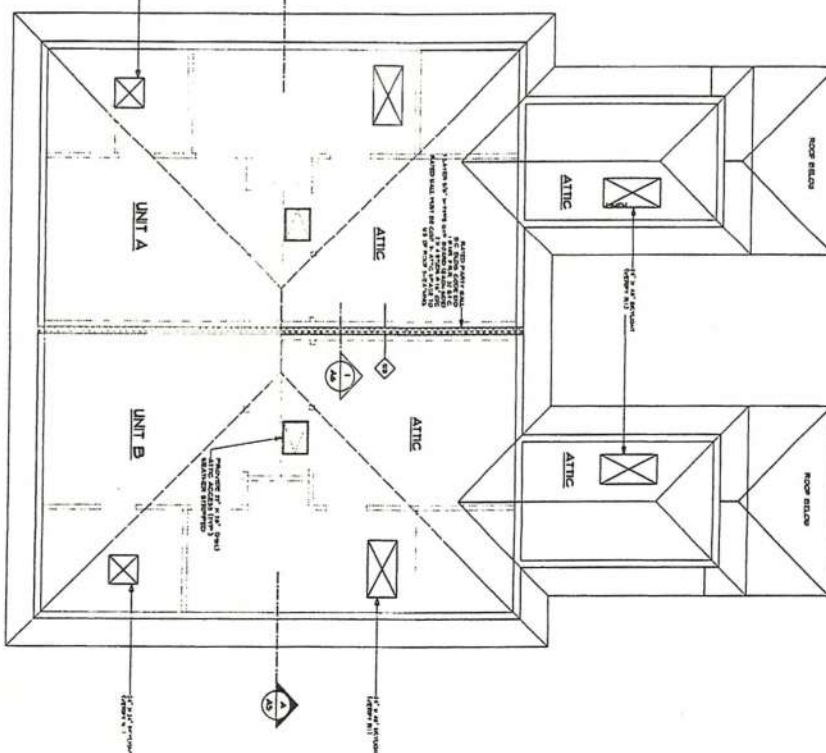
municipality

1122 & 1124 LEONARD STREET

THE CITY OF VICTORIA, B.C.

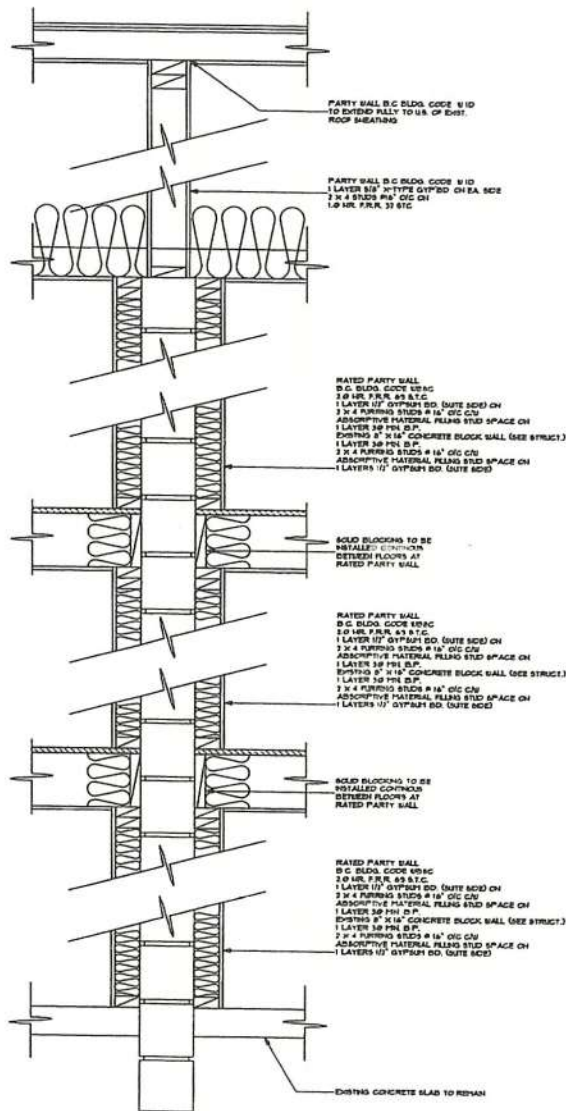


SCALE: 1/4" = 1'-0"

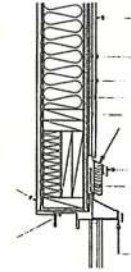


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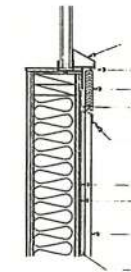
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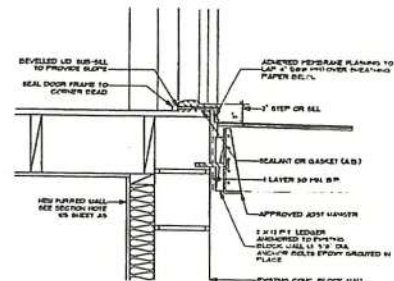
1
A6
PARTY WALL SECTION
SCALE: 1 1/2" = 1'-0"



2
A6
TYP. WINDOW HEAD DETAIL- UPPER FLOOR
SCALE: 1 1/2" = 1'-0"



3
A6
TYP. WINDOW SILL DETAIL-UPPER FLOOR
SCALE: 1 1/2" = 1'-0"



4
A6
DOOR SILL PROTECTED MEMBRANE
SCALE: 1 1/2" = 1'-0"

client
MICHAEL CRONQUIST

project
**PROPOSED RENOVATION OF
EXISTING DUPLEX**

address
1122 & 1124 LEONARD STREET

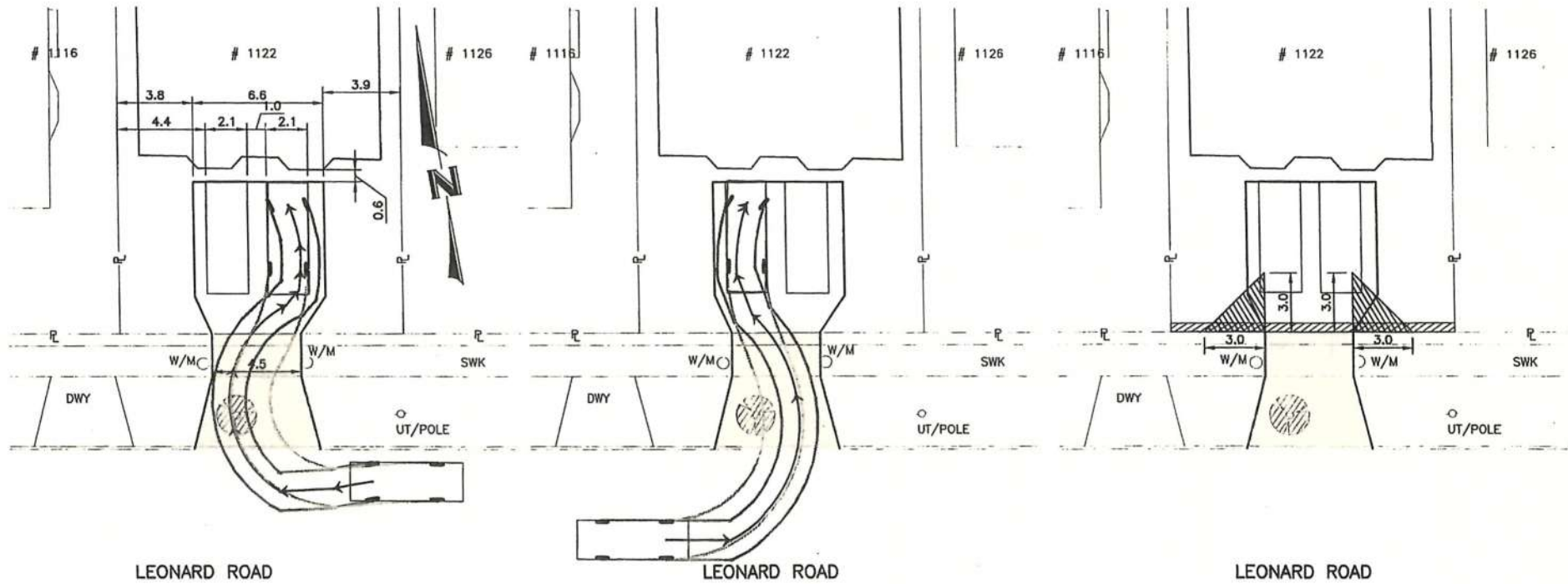
municipality
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List of Drawings		
A1	DATE	DESCRIPTION
A2		BASINMENT & MAIN FLOOR PLAN
A3		UPPER FLOOR & ATTIC PLAN
A4		ELEVATIONS
A5		CROSS SECTION
A6		DETAILS
ISSUED/REVISED		
NO.	DATE	DESCRIPTION
01	02/08/13	D.P. (REVISION)
02	02/14/13	CLIENT REV
03	05/14/15	PORCH REV
Drawing no. 2013-0-CRD		
Date: SEPT. 14 / 2015		
Drawn / Designed: M. DUNSMUIR		
Sheet no. A6 A6		

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City of Victoria
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Planning & Development Department
Development Services Division

WESTBROOK CONSULTING LTD - 2013-09-12 11:19AM H:\Proposals\WESTBROOK 2013\Leonard\prelim.dwg



LEGEND

- SIGHT TRIANGLE IN WHICH NOTHING HIGHER THAN 1.0m CAN BE PLACED.
- NO TREES, SHRUBS OR HEDGES CLOSER THAN 0.45 TO PROPERTY LINE.
- EXISTING TREE TO BE REMOVED

REVISIONS

No.	DESCRIPTION	DATE	SIGN

DESIGNED	
DRAWN	PC
CHECKED	
DATE	SEPT 2013
B.M.	
ELEV.	
SCALE	Horz. 1:200
	Vert.



WESTBROOK
Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT

1122 LEONARD ROAD

TURNING TEMPLATE

Received
City of Victoria

WESTBROOK PROJECT No.

GOVERNING AUTHORITY FILE No.

SHEET 1 OF 1 REV.

WESTBROOK DRAWING No.
FIG 1

NOV 06 2015

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General Notes:

All work to conform to the British Columbia Building Code (BCBC) 2006 and referenced documents. Wood framing to BCBC 2006 - Part 9 as a minimum.

Renovations have been designed to maintain the structural capacity of the original base structure.

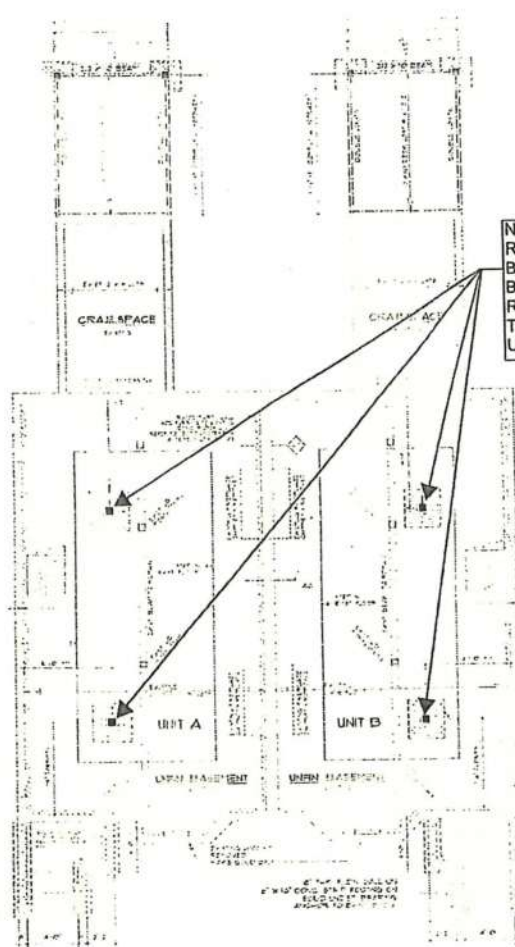
Material Notes:

Wood framing to be SPF No. 2 Grade unless noted otherwise.

Renovation Notes:

The structural drawings are based on assumed as-built conditions for the existing structure. The actual conditions may vary and the contractor shall immediately inform the consultant of any variations from the assumed conditions. New openings in existing structure to be marked out by the contractor and reviewed by RJC prior to any cutting. No overcutting is permitted. The contractor is responsible for safety in and about the jobsite during construction, and the design and erection of all temporary formwork and shoring required to complete the work.

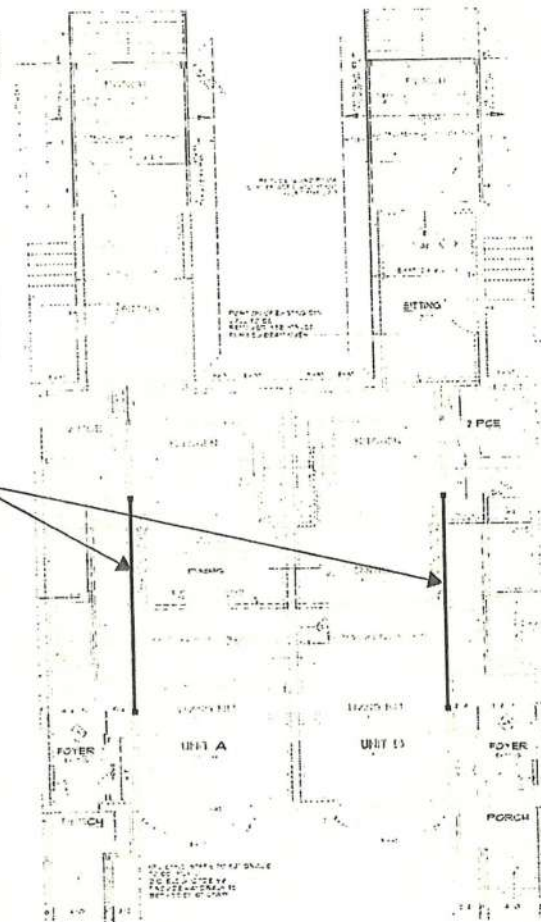
RJC to review the existing structure and framing, and all deficiencies are to be repaired by the owner's contractor as per RJC's instructions.



BASEMENT FLOOR PLAN

NEW 750x750x250 DP. FOOTING
REINF. WITH 3-15M600 E.W.
BOT. (MIN 145 kPa ALLOWABLE
BEARING) C/W 250x250 PEIR
R/W 4-15M VERTS. 10M@250
TIES AND 140x140 POSTS TO
U/S OF MAIN FLOOR

NEW 2 PLY 44X356 2.0E
BEAM WITH 3-38x89
SPF NO. 2 STUDS
UNDER EACH END



MAIN FLOOR PLAN

Received
City of Victoria

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Read Jones Christoffersen
Consulting Engineers

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Victoria, BC V9A 6X5 Canada
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Project Name

1122 LEONARD STREET

Sketch Title

MAIN / BASEMENT FLOOR

Dwg. Ref.

Scale NTS

Date JAN 24, 2013

Project No. VIC.108134.001

Sketch Number Rev.

SSK-01