



Planning and Land Use Committee Report

For the Meeting of October 15, 2015

To: Planning and Land Use Committee **Date:** October 1, 2015

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Development Permit Application No. 00484 for 1510 Clawthorpe Avenue

RECOMMENDATION

Staff recommend that Committee forward this report to Council and, after the Public Hearing for Rezoning Application No. 00484, if it is approved, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00484 for 1510 Clawthorpe Avenue, in accordance with:

1. Plans date stamped September 8, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan, 2012*.

Pursuant to Section 920 (8) of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, siting, form, exterior design and finish of buildings, and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit Application for the property located at 1510 Clawthorpe Avenue. The proposal is to convert an existing accessory building into a garden suite.

The following points were considered in assessing this Application:

- The proposal is consistent with the objectives for sensitive infill in Development Permit Area 15E: Intensive Residential – Garden Suites of the *Official Community Plan 2012* (OCP).
- The proposal is generally consistent with the policies and design specifications of the *Garden Suite Policy* (2011).

BACKGROUND

Description of Proposal

The proposal is to convert an existing accessory building into a garden suite. Specific details include:

- The garden suite incorporates architectural elements from the existing residence.
- The exterior materials include stucco and wood siding.
- The unit entry would be oriented towards the interior portion of the site. New windows will be added to the existing solid wood-core french doors.
- A new window would be added to the wall oriented towards the interior portion of the site.
- Windows facing the adjacent residential property will have a privacy film applied to them.
- New soft landscaping would be introduced.

Sustainability Features

As indicated in the applicant's letter dated September 1, 2015, the following sustainability features are associated with this Application:

- water conservation
- energy efficiency.

Active Transportation Impacts

The Application proposes to install a bike rack to support active transportation.

Existing Site Development and Development Potential

The site is presently a single family home and accessory building.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan* (OCP) identifies this property within the Development Permit Area 15E: Intensive Residential - Garden Suites. The proposal is to convert an existing accessory building into a garden suite, including some changes to the exterior materials, design and landscaping design.

As supported in the *Garden Suite Design Guidelines*, the design improvements on the accessory building relate to the principal building on site in terms of materials, colour and general architectural expression. To address potential privacy concerns, windows would be added to the interior facing wall and windows on other walls would have a privacy film applied to them.

The proposed garden suite is not visible from the street as encouraged in the *Garden Suite Design Guidelines*. To help mitigate this, it is proposed that a gate be constructed with a residential address to help increase visibility from the street. It will also provide privacy and prevent the garden suite's usable outdoor area from being used as parking.

The proposed landscaping is similar to the existing site with some adjustments including use of potted plants and benches to improve the usable outdoor space on the existing concrete driveway.

CONCLUSIONS

This proposal to convert an existing accessory building into a garden suite is generally consistent with Development Permit Area 15E: Intensive Residential – Garden Suites. The garden suite creates an opportunity for another form of rental housing and will provide a liveable environment for its occupants with minimal infringement on the neighbouring dwellings. Staff recommend that Council consider supporting this Application.

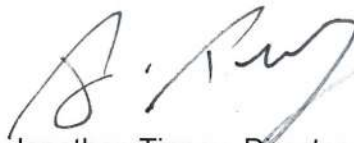
ALTERNATE MOTION

That Council decline Development Permit Application No. 00484 for the property located at 1510 Clawthorpe Avenue.

Respectfully submitted,



Rob Bateman, Planner
Development Services Division



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: October 6, 2015

List of Attachments

- Air photo
- Zoning map
- Applicant's letter to Council dated September 1, 2015
- Minutes of Community Meeting – Oaklands Community Association dated April 30, 2015
- Submission drawings dated September 8, 2015.

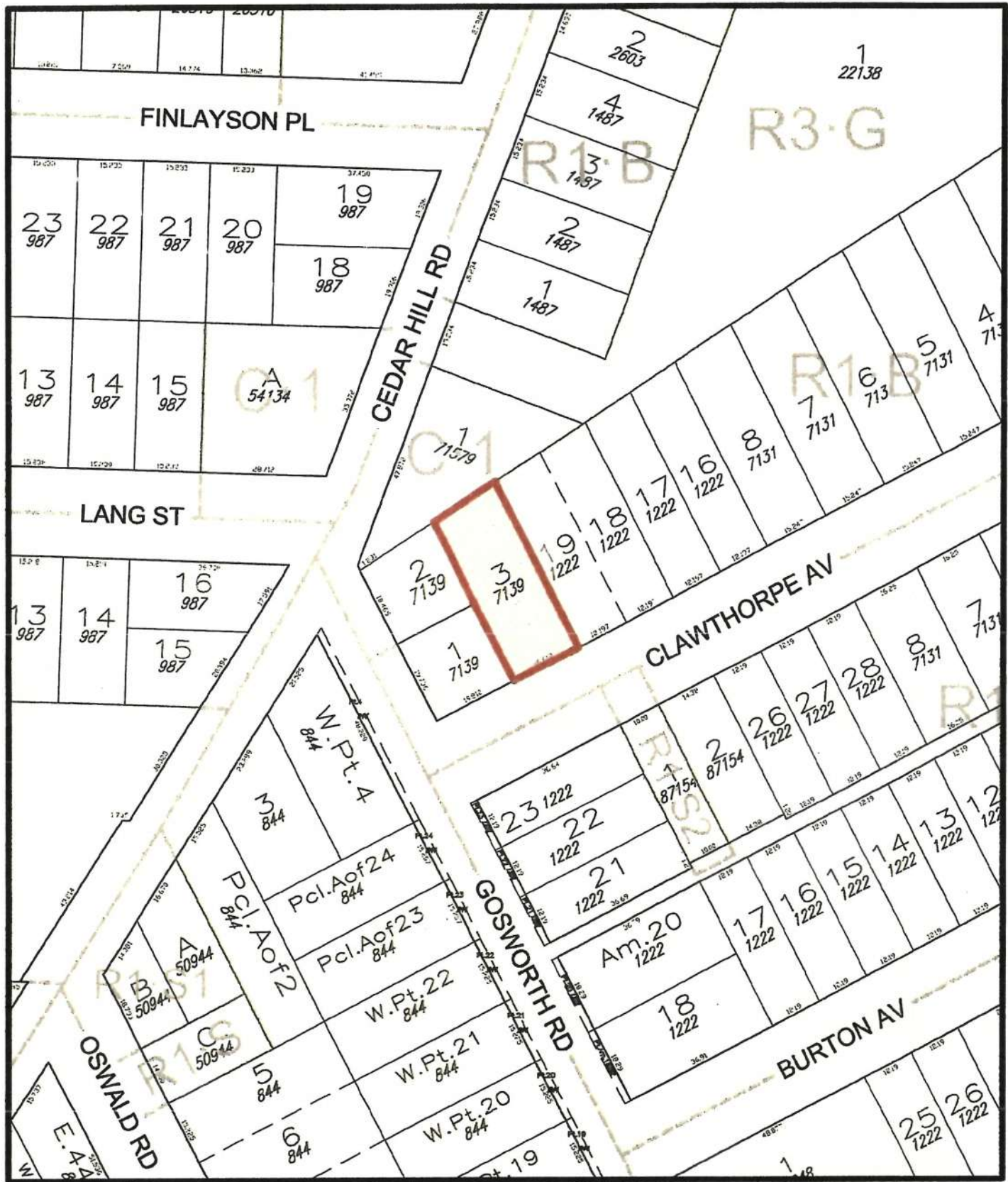


**CITY OF
VICTORIA**



1510 Clawthorpe Avenue
 Rezoning #00484
 Bylaw #





1510 Clawthorpe Avenue
Rezoning #00484
Bylaw #



Meghan & Doug Paterson
1510 Clawthorpe Ave
Victoria, BC V8T 2R7
September 1, 2015



Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6

To Mayor and Council of the City of Victoria,

APPLICATION FOR REZONING OF 1510 CLAWTHORPE AVE FROM R1-B TO R1-B-GS2 FOR THE
PURPOSE OF INSTALLING A GARDEN SUITE

Thank you for reviewing our application to rezone our property at Clawthorpe Avenue for the purpose of converting our existing outbuilding to a garden suite. We intend to convert the existing workshop in the rear of the property to a two bedroom rental garden suite, with the existing hardscape courtyard provided for the exclusive use of the suite. We will be maintaining the existing foot print and shell of the outbuilding, the interior will be updated with modern finishing's. The exterior will be updated to maintain a cohesive appearance with the existing single family dwelling and to make the garden suit feel like a home. To facilitate our conversion, we propose changing the land use from its current zoning of R1-B to R1-B-GS2.

The proposal conforms to the existing Official Community Plan (July 2012) insofar as it is the intent of the community to increase urban density. Conversion to a garden suite would benefit the neighbourhood economically and socially by contributing needed density and rental housing availability. Conversion of an existing outbuilding within its original footprint would also minimize the impact on the environment and neighbours. The addition of the garden suite would also benefit us as new homeowners by allowing affordable homeownership.

The garden suit policy allows for structures at an upset of 56m², the existing 32 year old structure is slightly larger at 67m². In the policy when lots reach 557m² in size, the allowable size for the garden suit increases from 37m² to 56m². At this 557m² threshold, a 56m² garden suit would take up 10.05% of the lot. Given that our lot is 686m², our existing 67m² building only takes up 9.77% of the lot; which is still under the 10.05% in the policy. Further, we understand that part of the intent of the policy restricting size is so that overly large structures are not built to take over the lot and intrude upon neighbouring properties. The building is only one story that has existed for over 30 years, no changes will be made to the existing structure that increases the buildings footprint. Of the four adjacent properties two are commercial

properties. These two commercial properties happen to be next to the garden suit so impact on residential properties will be minimal. As the garden suit policy allows for exemptions for existing structures we are requesting a variance be granted for the increased size.

The conversion fits within Oakland's neighbourhood plan providing ground-oriented, family oriented housing and increasing residential densities within walking distance of the Hillside transit corridor (OCP Neighbourhood Direction – Oakland's 21.22.2). Ample public infrastructure is present in the neighbourhood, including a community recreation centre, shopping facilities, transit and parks. The existing conditions of the neighbourhood would remain relatively unchanged as the outbuilding to be converted was built and has existed since 1983. We anticipate little or no impact to the immediate neighbours, especially considering two of the immediate neighbours are commercial properties. The property will comply with schedule C parking requirements by providing one parking spot for the primary dwelling, no additional parking requirements are in place for the creation of a Garden Suite as per the policy.

Design and rezoning guidelines for the conversion at 1510 Clawthorpe were taken from the existing Garden Suit Policy. As this rezoning application is for an existing structure, every effort was made to comply with the Garden Suit Policy. Green building design features will include energy efficient appliances, water fixtures and LED lighting. Conversion will include hardscaping that will not require watering to help meet the request for drought-tolerant landscaping. The unit will also have water and hydro independence from the primary dwelling.

Enclosed with this letter is our rezoning application, thank you once again for your consideration of our application. We have endeavored to include all pertinent information herein and look forward to working with you in the rezoning process moving forward.

Sincerely,

A handwritten signature in black ink, appearing to read 'Doug & Meghan', written over a horizontal line.

Doug & Meghan Paterson

Home Owners

OCA LUC April 30, 2015
Oaklands Neighbourhood House – 2629 Victor St

Ben Clark (Land Use Committee Rep) – opens with an overview of the evening agenda and CALUC process – 1) 1510 Clawthorpe Garden Suite Rezoning Application.

1. Clawthorpe

In attendance was the applicant, one neighbour from 1514 Clawthorpe, and one neighbour representing the Kiwanis Pavilion.

The applicant presented their plan to convert an existing building on their property into a garden suite. The building was built in 1983 and has primarily been used as a workshop since then. It was also used as a recording studio before the current owners purchased the property. The current owners purchased this property last year and want to turn the workshop into a two bedroom garden suite for rental income.

The resident from 1514 Clawthorpe expressed two main concerns: the size of the building and the exterior design of the finished garden suite.

The applicant said that they are only converting an existing building and not increasing the size of that building. They also said that when complete the exterior of the garden suite will be updated to match the current colour of the main house.

The representative from Kiwanis Pavilion did not have any concerns and said that he supported the garden suite.

Meeting was adjourned at 7:30pm.

Additional correspondence received on May 1:

I couldn't be at the meeting but I was wondering if there's more information than what was in the notice.

Was there any provision for parking, for instance. It can be chock a block on Burton and is filling up on Gosworth – had a dispute on Gosworth the other day, which was a first.

Two bedrooms will likely mean two cars at a minimum, plus visitors from time to time.

Thanks for your help with this.

Lee Porteous [2927 Gosworth Road]
[REDACTED]



Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

PATERSON PROPOSED

GARDEN SUITE

1510 CLAWTHORPE AVE.



EXISTING MAIN DWELLING - SOUTH ELEVATION



EXISTING ACCESSORY BUILDING - WEST ELEVATION



EXISTING ACCESSORY BUILDING - SOUTH ELEVATION

PHOTOGRAPHS - SHEET 1 OF 2

SCALE NTS

GENERAL NOTES

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

REVISIONS

NO.	DATE	DESCRIPTION
RO2	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
RO1	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE

1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

PHOTOGRAPHS - SHEET 1 OF 2

DRAWN BY

SCALE

NTS

DATE

JUNE 2015

DWG SHEET

A001

FILE NUMBER

A15-001



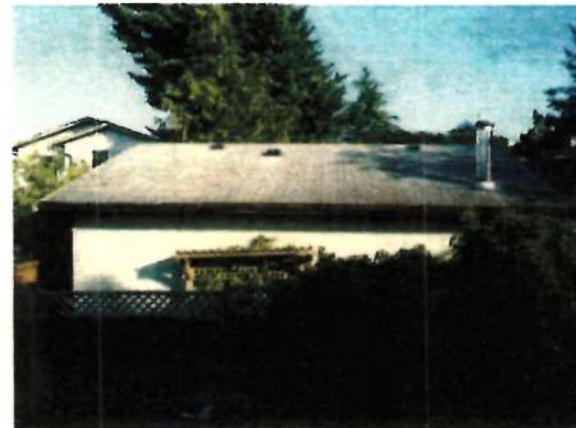
EXISTING ACCESSORY BUILDING - EAST ELEVATION (1)



EXISTING ACCESSORY BUILDING - WEST ELEVATION



EXISTING ACCESSORY BUILDING - EAST ELEVATION (2)



EXISTING ACCESSORY BUILDING - NORTH ELEVATION

PHOTOGRAPHS - SHEET 2 OF 2

SCALE NTS

GENERAL NOTES

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City of Victoria

SEP 08 2015

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Development Services Division

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PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

PHOTOGRAPHS - SHEET 2 OF 2

DRAWN BY

SCALE

NTS

DATE

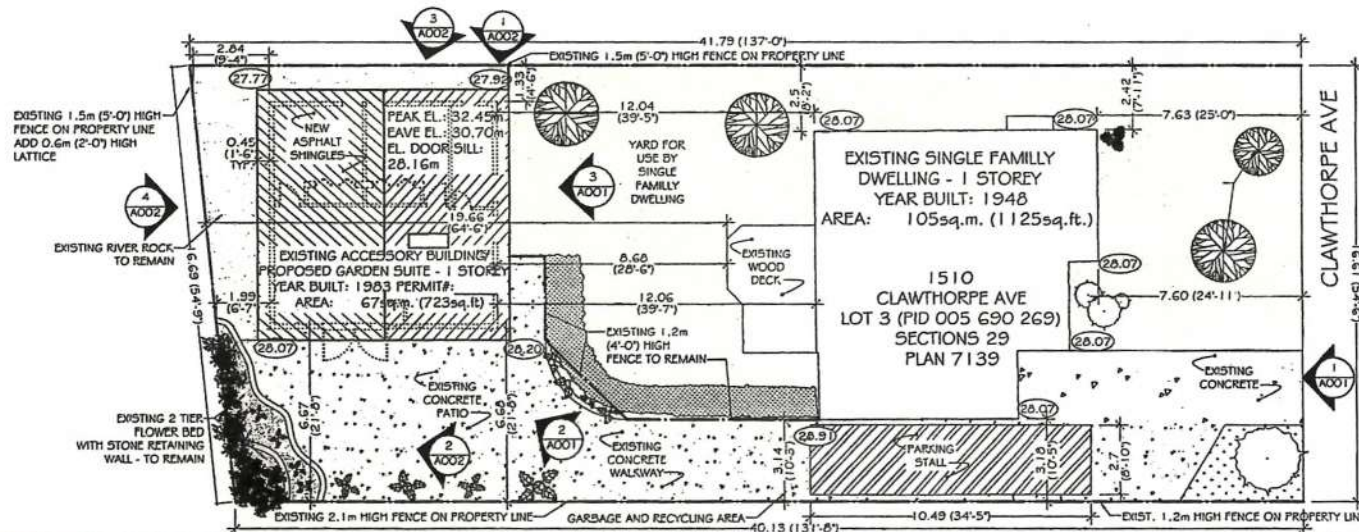
JUNE 2015

DWG SHEET

FILE NUMBER

A15-001

A002



REQUIREMENTS FOR GARDEN SUITE ANALYSIS - PROJECT INFORMATION TABLE					
CHECKLIST - GARDEN SUITE	COMPLIANCE	REQUIREMENT	PROVIDED	COMMENTS	
ZONING	NON - COMPLIANT	R1-B-GS2	R1-B	VARIANCES REQUESTED BASED ON BELOW COMMENTS	
LOCATION	COMPLIANT	REAR YARD	REAR YARD		
SITE/LOT AREA	COMPLIANT	557m² MIN.	600m²		
NUMBER OF GARDEN SUITES	COMPLIANT	1 MAX.	1		
STOREYS	COMPLIANT	1.5	1		
BUILDING HEIGHT	COMPLIANT	5.5m MAX.	3.6m	BASED ON AVG GRADE OF 27.96 AND BUILDING MID HEIGHT OF 31.58. DOES NOT IMPEDE NEIGHBOURS, NOR ADD SHADING TO ADJ. PROPERTIES	
ROOF DECK	COMPLIANT	NOT PERMITTED	0		
GARDEN SUITE FLOOR AREA	NON - COMPLIANT	56m² MAX.	67m²	EXCEPTION REQUESTED. EXISTING ACCESSORY BLDG QUALIFIES UNDER EXEMPTION 1 FOR HAVING BEEN BUILT WITH A BUILDING PERMIT IN 1963. AS WELL AS EXEMPTION 2 FOR BEING A PLUS SITE WITH LOT EXCEEDING 557M² (CURRENT LOT 605.7M²) WHICH ALLOWS FOR INCREASED FLOOR SPACE. AS THE BUILDING IS EXISTING AND WAS BUILT MORE THAN 32 YEARS AGO WE ARE REQUESTING AN EXCEPTION BE GRANTED. AREA MEASURED FROM INSIDE FACE OF CONCRETE.	
EXISTING SINGLE FAMILY DWELLING (SFD) AREA			105m²		
REAR YARD AREA			327m²		
REAR YARD SITE COVERAGE	COMPLIANT	25% MAX.	20.6%		
TOTAL SITE COVERAGE	COMPLIANT	30-40% MAX.	25.33%		
REAR YARD SETBACK	COMPLIANT	0.6m MIN.	1.99m		
SIDE YARD SETBACK - EAST	COMPLIANT	0.6m MIN.	1.33m		
SIDE YARD SETBACK - WEST	COMPLIANT	0.6m MIN.	6.67m		
SEPARATION BETWEEN GARDEN SUITE AND SFD	COMPLIANT	2.4m MIN.	8.2m		
CHECKLIST - GARDEN SUITE	COMPLIANCE	COMMENTS			
BUILDING CODE	COMPLIANT	ALL ALTERATIONS WILL MEET ALL BC BUILDING, PLUMBING AND ELECTRICAL CODE REGULATIONS			
ACCESS	COMPLIANT	AN UNOBSTRUCTED PATH (3.14m) IS PROVIDED ALONG WEST SIDE OF PROPERTY			
PARKING	COMPLIANT	PARKING STALL IS PRESENT FOR PRIMARY DWELLING (NOT LOCATED IN FRONT YARD)			
SECONDARY SUITES	COMPLIANT	THERE IS NO OTHER SECONDARY SUITES LOCATED ON PROPERTY			
SERVICING	COMPLIANT	CURRENT AND NEW SERVICES WILL BE LOCATED UNDERGROUND			
CHARACTER	COMPLIANT	ACCESSORY BLDG SHARES THE SAME CHARACTERISTICS AS THE MAIN HOUSE AS THE CLADDING FOR BOTH CONSISTS OF STUCCO AND VERTICAL CEDAR SIDING			
RESPECT MATURE LANDSCAPING ELEMENTS	COMPLIANT	MATURE TREES/LANDSCAPING WILL REMAIN UNHARMED ON SITE AND ON ADJACENT PROPERTIES			
MINIMIZE SHADING	COMPLIANT	ACCESSORY BUILDING WAS BUILT OVER 30YRS AGO AND DOES NOT OVER SHADE ADJACENT PROPERTIES			
ACCESSORY BLDG VIEWABLE FROM STREET	NON-COMPLIANT	ACCESSORY BLDG WAS BUILT OVER 30YRS AGO TO BE IN AS DISCRETE A LOCATION AS POSSIBLE. AS SUCH IT IS NOT VISIBLE FROM THE STREET			
WINDOWS	COMPLIANT	NO WINDOWS FACING REAR YARD ADJACENT PROPERTIES. 1 OF 2 EXISTING WINDOW OPENINGS BEING SPLIT INTO 2 EGRESS WINDOWS SERVING BEDROOMS. 1 WINDOW ADDED TO WEST ELEVATION (INTERIOR YARD) SERVING KITCHEN TO MAXIMIZE NATURAL LIGHTING			
ENTRIES AND ADDRESSING	COMPLIANT	EXISTING ENTRY IS ORIENTED TOWARDS STREET			
USABLE OUTDOOR SPACE	COMPLIANT	ROUGHLY 120m² OF USABLE OUTDOOR SPACE PROVIDED			
LANDSCAPE	COMPLIANT	REAR YARD CONTAINS TERRACED GARDEN WITH MATURE IVY ALONG NORTH PROPERTY LINE, RIVER ROCK PATH ALONG NORTH AND EAST PROPERTY LINE, CONC. PATIO AND PERIMETER PLANTERS			
HERITAGE	N/A	STRUCTURE IS NOT ON HERITAGE REGISTER			
GARBAGE AND RECYCLING	COMPLIANT	SEE SITE PLAN. SUFFICIENT SPACE HAS BEEN PROVIDED OUT OF SIGHT			

SITE PLAN - EXISTING/PROPOSED

SCALE 1:200

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

REVISIONS

NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUC, PLUG
R01	FEB '15	DRAFT

PATERSON PROPOSED
GARDEN SUITE

1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

SITE PLAN

DRAWN BY

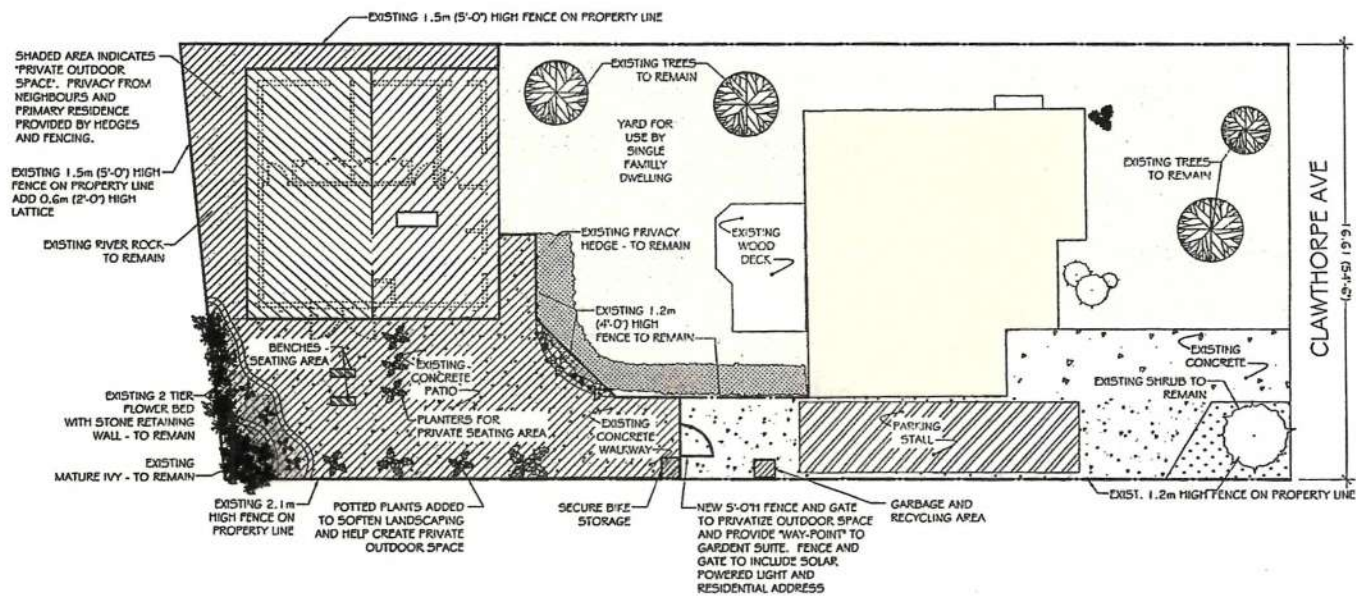
SCALE
AS INDICATED

DATE
AUG.2015

FILE #P/VRFP
A15-001

DWG SHEET

A101



EXISTING/PROPOSED LANDSCAPE PLAN

SCALE 1/16" = 1'-0"

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

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R03	AUG '15	ZONING APPL. - RESUBMIT
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PROJECT

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DRAWING TITLE

EXISTING/PROPOSED
LANDSCAPE PLAN

DRAWN BY

SCALE

AS INDICATED

DATE

AUG.2015

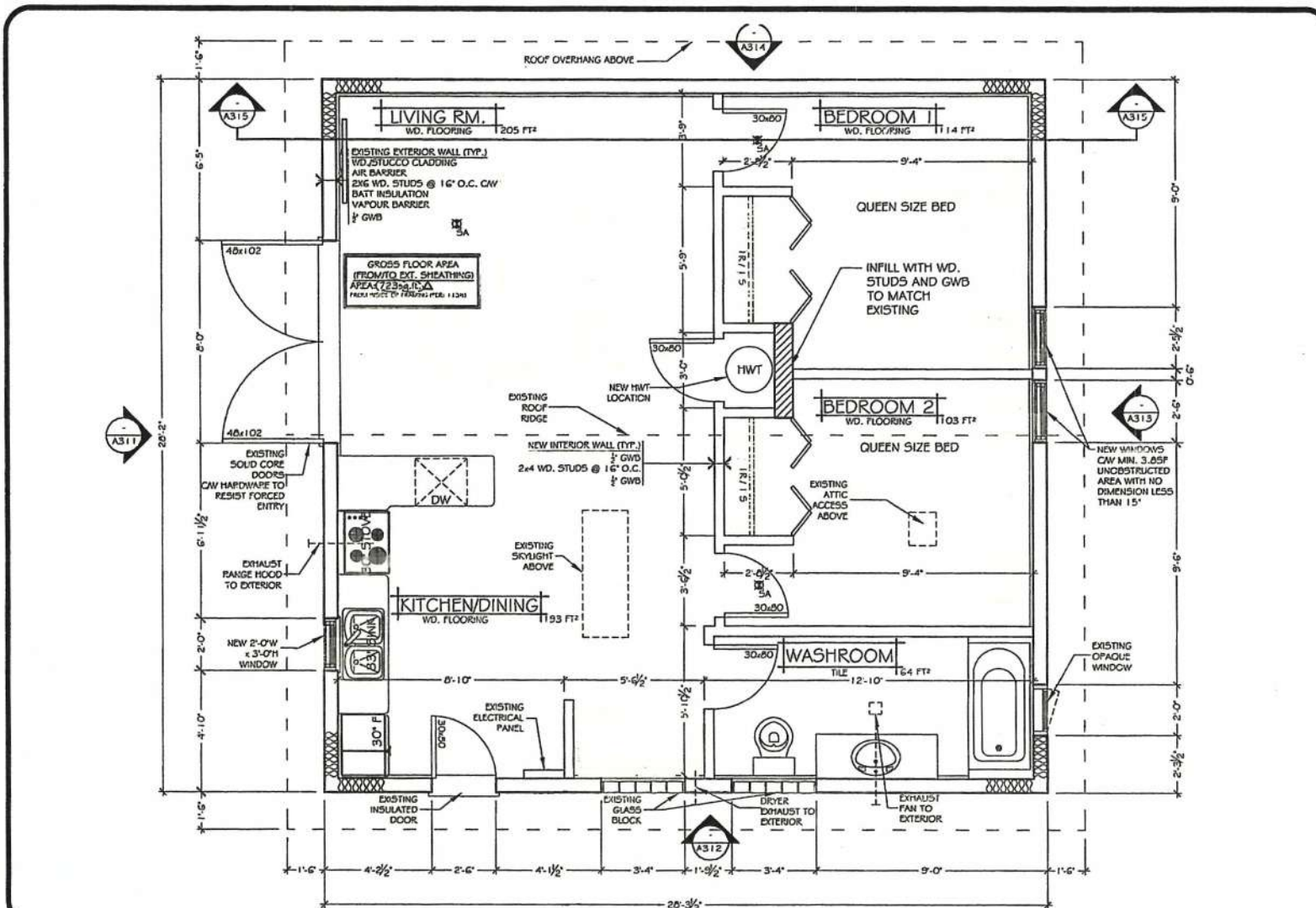
DWG SHEET

FILE NUMBER

A15-001

A102

A301



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- SMOKE ALARMS TO BE INTERCONNECTED PER B.C.B.C. 9.19.1
- FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS
- ALL SIDING TO BE A MINIMUM OF 8" (200mm) ABOVE FINISHED GRADE
- ALL EXTERIOR WALLS ARE 2"x4" STUDS @ 16" O.C. AND ALL INTERIOR WALLS ARE 2"x4" STUDS @ 16" O.C. UNLESS NOTED OTHERWISE (U.N.O.)
- ALL UNITS OVER DOORS AND WINDOWS (2) 2'x1'0" U.N.O.
- INSULATE AND CONTINUE VAPOUR BARRIER WHERE INTERIOR WALLS MEET EXTERIOR WALLS
- PROVIDE CAULKING AT ALL EXTERIOR WALL FINISHES WHERE FRAMING MEMBERS ABUT
- MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED AS PER LATEST EDITION OF THE B.C.B.C.
- RANGE HOOD AND DRYER SHALL BE DUCTED/VENTED TO THE EXTERIOR
- ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS AND CONFORM TO THE LATEST EDITION OF THE B.C.B.C.
- TWO LAYERS OF FELT PAPER SHALL BE INSTALLED ON EAVES EXTENDING 36" ON ROOF FROM THE INNER FACE OF THE EXTERIOR WALL
- FELT PAPER SHALL BE INSTALLED UNDER ROOF VALLEY EXTENDING 48" ON EITHER SIDE OF ADJOINING SLOPED ROOFS
- PROVIDE UNOBSTRUCTED VENT AREA OF 1/500 THE ISOLATED CEILING AREA
- ALL REQUIRED FLASHINGS TO BE 24IL GAUGE GALVANIZED METAL U.N.O. ON THE PLANS
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO THE HOMEOWNER IMMEDIATELY.

REVISIONS

NO.	DATE	DESCRIPTION
R02	JUN '15	FOR REVIEW - CITY, CALC. PLUC
R01	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

PROPOSED FLOOR PLAN

DRAWN BY

SCALE

AS INDICATED

DATE

JUNE 2015

FILE NUMBER

A15 001

DRAWING SHEET

A302

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

GENERAL NOTES

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- ALL EXTERIOR WALLS ARE 2"x6" STUDS @ 16" O.C. AND ALL INTERIOR WALLS ARE 2"x4" STUDS @ 16" O.C. UNLESS NOTED OTHERWISE (U.N.O.)
- ALL UNITS OVER DOORS AND WINDOWS (2) 2'x10" UNITS
- INSULATE AND CONTINUE VAPOUR BARRIER WHERE INTERIOR WALLS MEET EXTERIOR WALLS
- PROVIDE CAULKING AT ALL EXTERIOR WALL FRAMINGS WHERE FRAMING MEMBERS MEET
- MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED AS PER LATEST EDITION OF THE B.C.B.C.
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- PROVIDE UNOBSTRUCTED VENT AREA OF 1/300 THE INSULATED CEILING AREA
- ALL REQUIRED FLASHINGS TO BE 24" GAUGE GALVANIZED METAL U.N.O. ON THE PLANS
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO THE HOMEOWNER IMMEDIATELY.

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PROPOSED FLOOR PLAN

DRAWN BY

SCALE

AS INDICATED

DATE

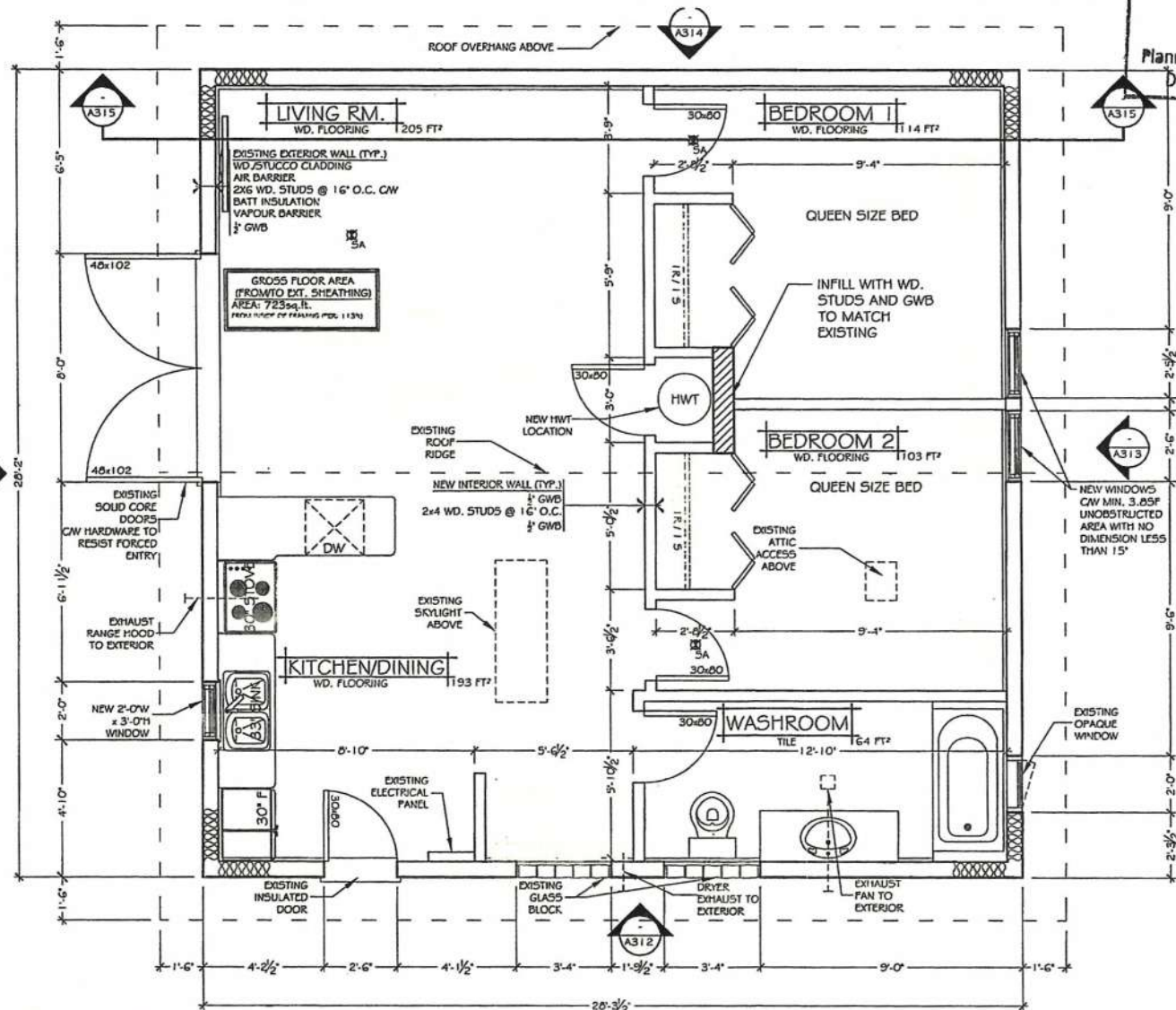
JUNE 2015

DWG SHEET

A302

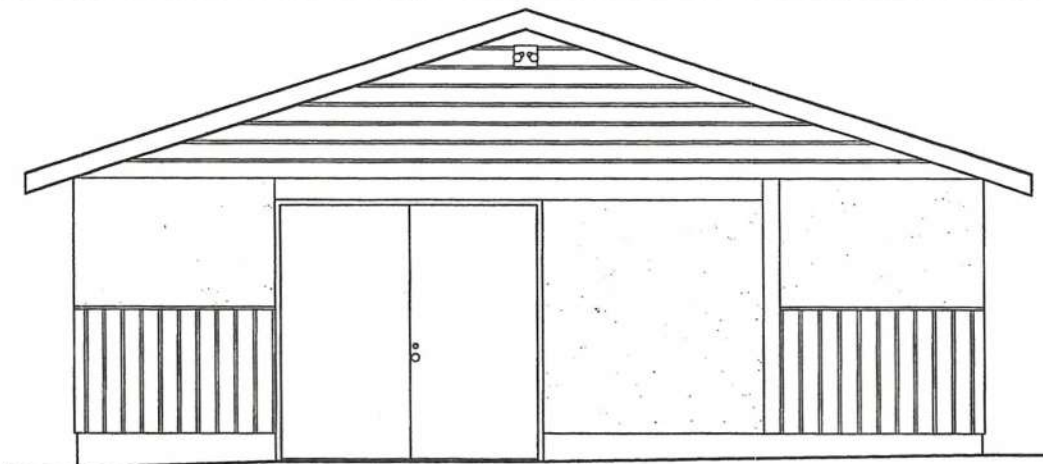
FILE NUMBER

A15-001



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING

PEAK
EL. 14'-1 1/2"
(32.45 GEODETIC)

U/S EAVE
EL. 8'-4"

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

EXISTING SOLID WOOD CORE
ENTRANCE DOOR TO REMAIN
CW DEADBOLT
GLASS INSERTS TO BE CUT INTO DOOR

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. 0'-3" (26.07 GEODETIC)

EXISTING MOTION SENSOR LIGHT

EXTERIOR LIGHTING OUTLET WITH FIXTURE
CONTROLLED BY A WALL SWITCH LOCATED
WITHIN THE BUILDING

UNOBSTRUCTED VENT AREA OF
NOT LESS THAN 1/500 THE INSULATED
CEILING AREA PROVIDED TOP AND
BOTTOM - EXISTING CONFORMS

EXISTING
ALUMINUM EAVESTROUGH CONT.
ON EXISTING WD. FASCIA
TO REMAIN

EXISTING STUCCO SIDING TO REMAIN AND
PAINTED WHITE TO MATCH PRINCIPAL
RESIDENCE AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

NEW WINDOW
SERVING KITCHEN

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

PROPOSED

EXPOSED BUILDING FACE AREA: 315sq.ft. (29sq.m.)
LIMITING DISTANCE: 21'-9" (6.67m)
ALLOWABLE % OF UNPROTECTED OPENING: 50%
ACTUAL UNPROTECTED OPENING AREA: 70sq.ft. (6.5sq.m.)
ACTUAL UNPROTECTED OPENING %: 22.5%

GRADE
(26.20 GEODETIC) EL. 0'-2"

AVERAGE GRADE: -0'-2 1/2"
26.135 GEODETIC

WEST ELEVATION

SCALE: 1/4" = 1'-0"

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WEST ELEVATION

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DATE

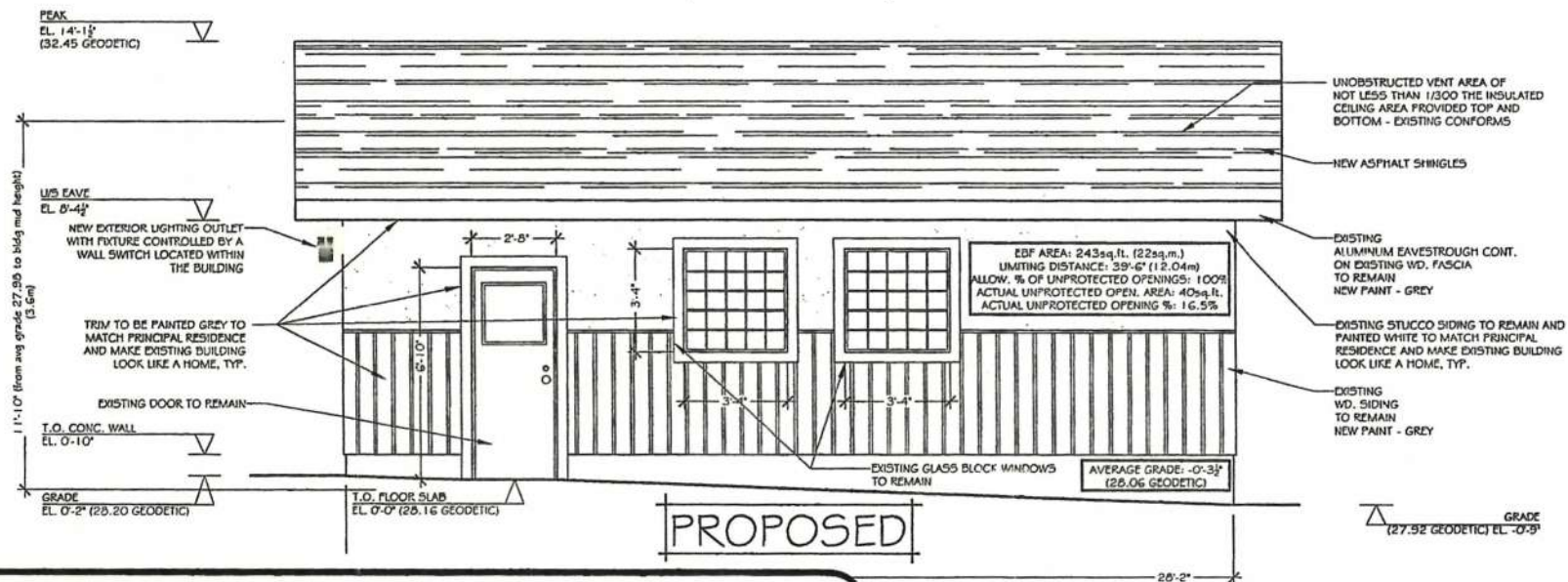
AUG. 2015

DWG SHEET

FILE NUMBER

A15-001

A311



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

SOUTH ELEVATION

DRAWN BY

SCALE

AS INDICATED

DATE

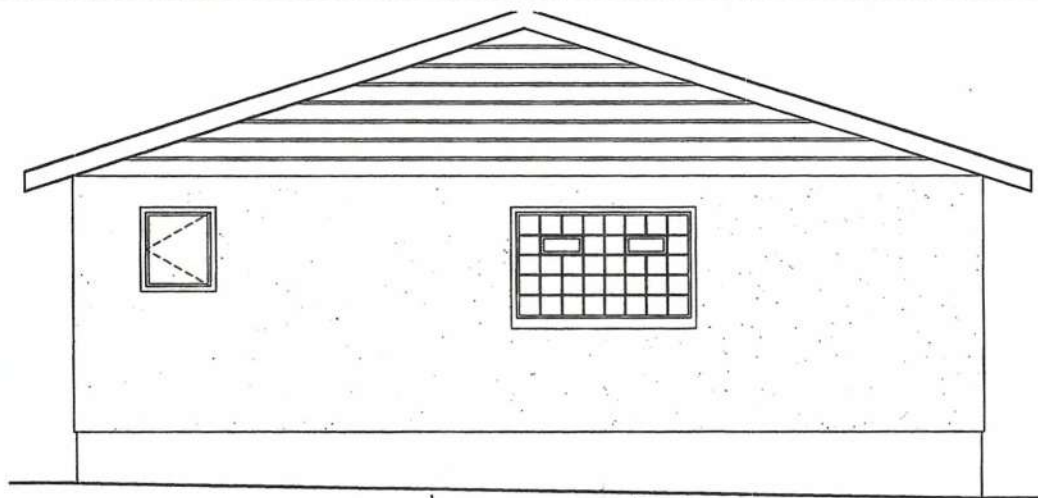
AUG.2015

DWG SHEET

FILE NUMBER

A15-001

A312



EXISTING

PEAK
EL. 14'-11"
(32.45 GEODETIC)

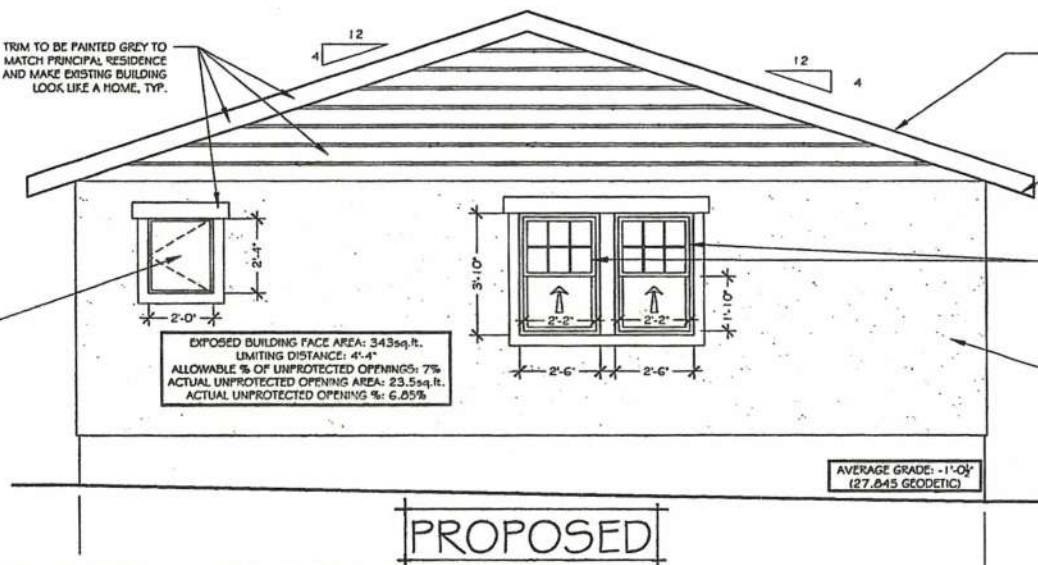
TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

W/O EAVE
EL. 8'-4"

EXISTING WINDOW TO REMAIN
ADD OPAQUE OR "FROST" PRIVACY FILM

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. -0'-9" (27.92 GEODETIC)



PROPOSED

AVERAGE GRADE: -1'-0"
(27.845 GEODETIC)

GRADE
(27.77 GEODETIC) EL. -1'-4"

EAST ELEVATION

SCALE: 1/4"=1'-0"

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

REVISIONS

NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
R01	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE

1510 CLAWTHORPE AVE.

(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

EAST ELEVATION

DRAWN BY

SCALE

AS INDICATED

DATE

AUG.2015

FILE NUMBER

A15-001

DWG SHEET

A313

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

REVISIONS

NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
R01	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

NORTH ELEVATION

DRAWN BY

SCALE

AS INDICATED

DATE

AUG.2015

DWG SHEET

A314

FILE NUMBER

A15-001

EXISTING

PROPOSED

PEAK
EL. 14'-1 1/2"
(32.45 GEODETIC)

U/S EAVE
EL. 0'-4 1/2"

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. -1'-4" (27.77 GEODETIC)

EXPOSED BUILDING FACE AREA: 257sq.ft. (24sq.m.)
LIMITING DISTANCE: 6'-6" (1.99m)
ALLOWABLE % OF UNPROTECTED OPENINGS: 10%
ACTUAL UNPROTECTED OPENING AREA: 0sq.ft. (0sq.m.)
ACTUAL UNPROTECTED OPENING %: 0%

AVERAGE GRADE: -0'-9 1/2"
(27.92 GEODETIC)

UNOBSTRUCTED VENT AREA OF
NOT LESS THAN 1/300 THE INSULATED
CEILING AREA PROVIDED TOP AND
BOTTOM - EXISTING CONFORMS

NEW ASPHALT SHINGLES

EXISTING
ALUMINUM EAVESTROUGH CONT.
ON EXISTING WD. FASCIA
TO REMAIN

NEW EXTERIOR LIGHTING OUTLET
WITH FUTURE CONTROLLED BY A
WALL SWITCH LOCATED WITHIN
THE BUILDING

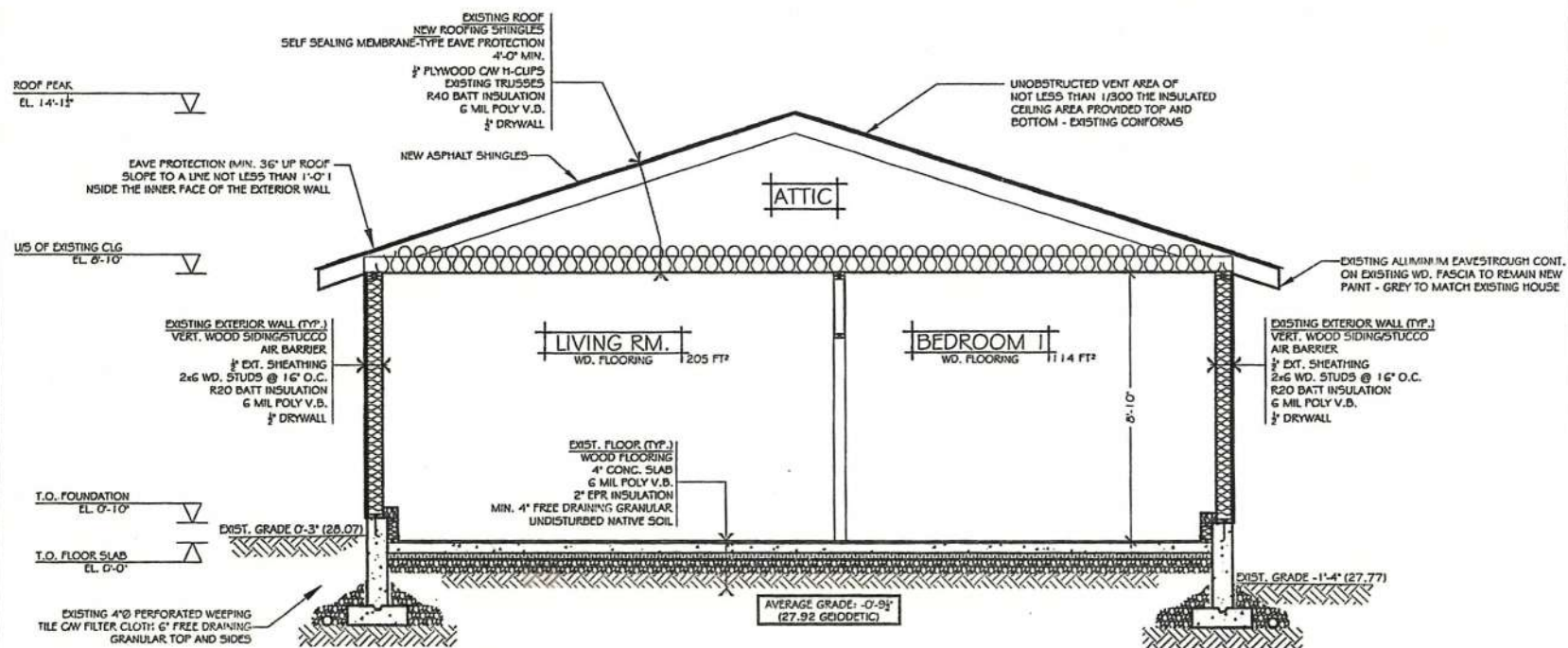
EXISTING STUCCO SIDING TO REMAIN AND
PAINTED WHITE TO MATCH PRINCIPAL
RESIDENCE AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

GRADE
(28.07 GEODETIC) EL. -0'-3"

28'-2"

NORTH ELEVATION

SCALE: 1/4"=1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"

Received
City of Victoria

SEP 08 2015

Planning & Development Department
Development Services Division

REVISIONS

NO.	DATE	DESCRIPTION
RO1	JUN '15	FOR REVIEW - CITY, CALC. PLUC

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

BUILDING SECTION

DRAWN BY

SCALE

AS INDICATED

DATE

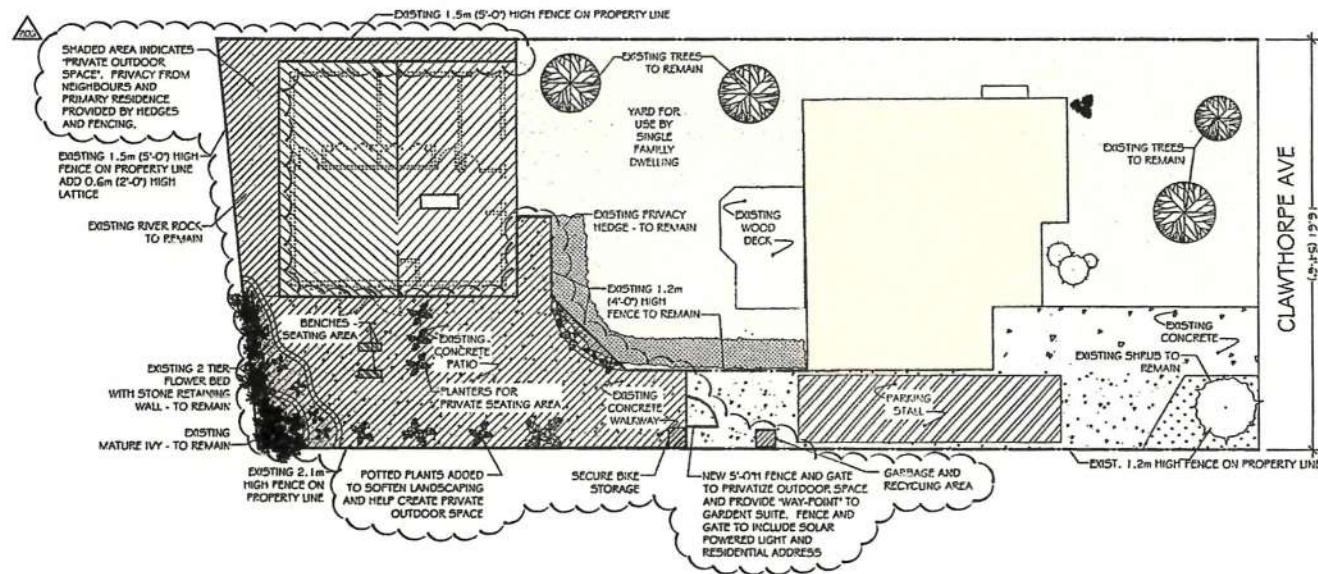
FEBRUARY 2015

FILE NUMBER

A15-001

DWG SHEET

A315

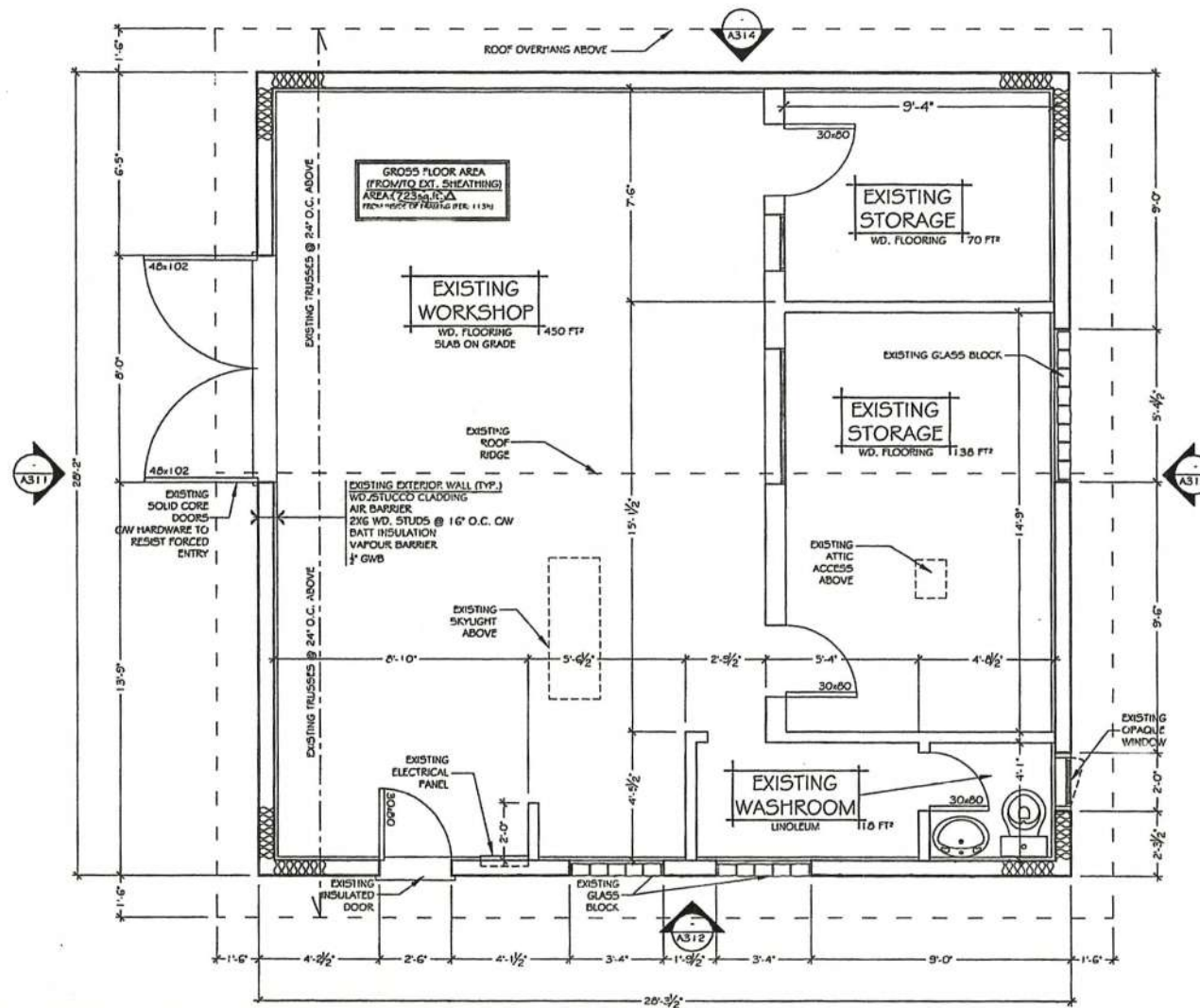


EXISTING/PROPOSED LANDSCAPE PLAN

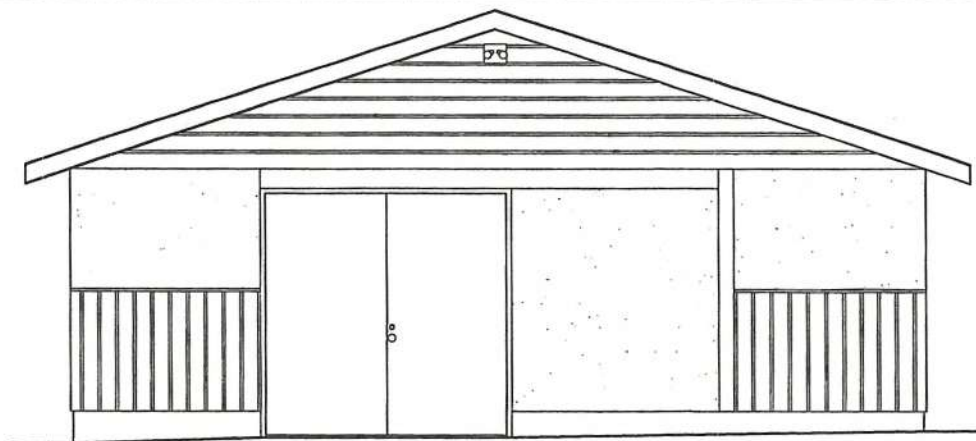
SCALE 1/16"=1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
R01	FEB '15	DRAFT
PROJECT		
PATERSON PROPOSED		
GARDEN SUITE		
1510 CLAWTHORPE AVE.		
(APPLICANT: DOUG PATERSON 250-507-3660)		
DRAWING TITLE		
EXISTING/PROPOSED		
LANDSCAPE PLAN		
DRAWN BY		
SCALE		
AS INDICATED		
DATE	DRAWN BY	
AUG. 2015		
FILE NUMBER	DRAWN BY	
A15-001		

A102



REVISIONS		
NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUG. PLUC
R01	FEB '15	DRAFT
PROJECT		
<p>PATERSON PROPOSED</p> <p>GARDEN SUITE</p> <p>1510 CLAWTHORPE AVE.</p> <p>(APPLICANT: DOUG PATERSON 250-507-3660)</p>		
DRAWING TITLE		
EXISTING FLOOR PLAN		
DRAWN BY		
SCALE		
AS INDICATED		
DATE		DWG SHEET
AUG.2015		A301
FILE NUMBER		
A15 001		



EXISTING

PEAK
EL. 14'-1 1/2"
(32.45 GEODETIC)

EXISTING MOTION SENSOR LIGHT

EXTERIOR LIGHTING OUTLET WITH FIXTURE
CONTROLLED BY A WALL SWITCH LOCATED
WITHIN THE BUILDING

UNOBSTRUCTED VENT AREA OF
NOT LESS THAN 1/300 THE INSULATED
CEILING AREA PROVIDED TOP AND
BOTTOM - EXISTING CONFORMS

W.D. EAVE
EL. 8'-4 1/2"

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

EXISTING SOLID WOOD CORE
ENTRANCE DOOR TO REMAIN
CW DEADBOLT
GLASS INSERTS TO BE CUT INTO DOOR

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. -0'-5" (28.07 GEODETIC)

AVERAGE GRADE: -0'-2 1/2"
(28.135 GEODETIC)

EXISTING
ALUMINUM EAVESTROUGH CONT.
ON EXISTING WD. FASCIA
TO REMAIN

EXISTING STUCCO SIDING TO REMAIN AND
PAINTED WHITE TO MATCH PRINCIPAL
RESIDENCE AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

NEW WINDOW
SERVING KITCHEN

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

GRADE
(28.20 GEODETIC) EL. 0'-2"

PROPOSED

EXPOSED BUILDING FACE AREA: 315 sq.ft. (29 sq.m.)
LIMITING DISTANCE: 21'-9" (6.67m)
ALLOWABLE % OF UNPROTECTED OPENINGS: 90%
ACTUAL UNPROTECTED OPENING AREA: 70 sq.ft. (6.5 sq.m.)
ACTUAL UNPROTECTED OPENING %: 22.5%

WEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
RO3	AUG '15	ZONING APPL. - RESUBMIT
RO2	JUN '15	FOR REVIEW - CITY, CALUC. PLUC
RO1	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

WEST ELEVATION

DRAWN BY

SCALE

AS INDICATED

DATE

AUG.2015

DWG SHEET

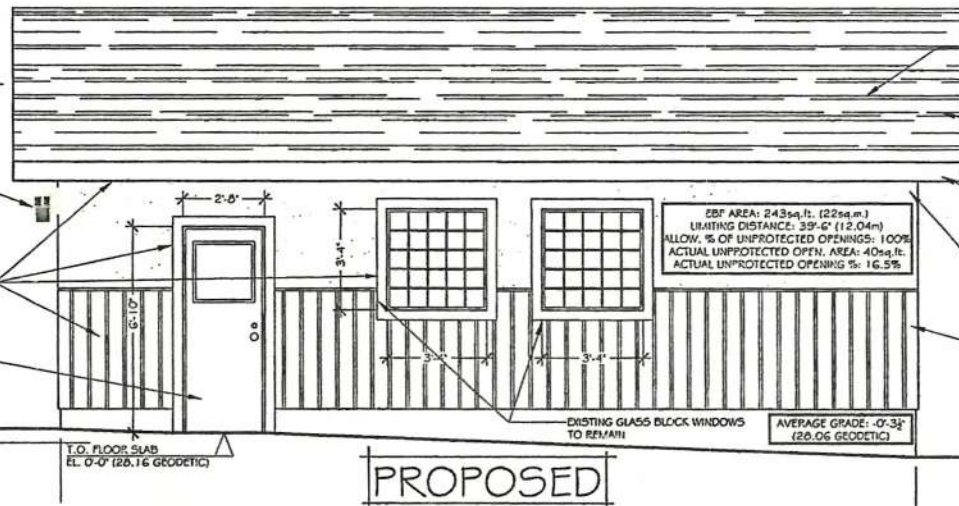
FILE NUMBER

A15 001

A311



PEAK
EL. 14'-11"
(32.45 GEODETIC)



UNOBSTRUCTED VENT AREA OF
NOT LESS THAN 1/300 THE INSULATED
CEILING AREA PROVIDED TOP AND
BOTTOM - EXISTING CONFORMS

NEW ASPHALT SHINGLES

EXISTING
ALUMINUM EAVESTROUGH CONT.
ON EXISTING WD. FASCIA
TO REMAIN
NEW PAINT - GREY

EXISTING STUCCO SIDING TO REMAIN AND
PAINTED WHITE TO MATCH PRINCIPAL
RESIDENCE AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

EXISTING
WD. SIDING
TO REMAIN
NEW PAINT - GREY

28F AREA: 243sq.ft. (22sq.m.)
LIMITING DISTANCE: 39'-6" (12.04m)
ALLOW. % OF UNPROTECTED OPENINGS: 100%
ACTUAL UNPROTECTED OPEN. AREA: 40sq.ft.
ACTUAL UNPROTECTED OPENING %: 16.5%

EXISTING GLASS BLOCK WINDOWS
TO REMAIN

AVERAGE GRADE: -0'-3"
(26.06 GEODETIC)

GRADE
(27.52 GEODETIC) EL. -0'-3"

11'-11" (from avg grade, 27.52 to ridge mid height)
(3.6m)

NEW EXTERIOR LIGHTING OUTLET
WITH FIXTURE CONTROLLED BY A
WALL SWITCH LOCATED WITHIN
THE BUILDING

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

EXISTING DOOR TO REMAIN

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. 0'-2" (26.20 GEODETIC)

SOUTH ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
RO3	AUG '15	ZONING APPL. - RESUBMIT
RO2	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
RO1	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

SOUTH ELEVATION

DRAWN BY

SCALE

AS INDICATED

DATE

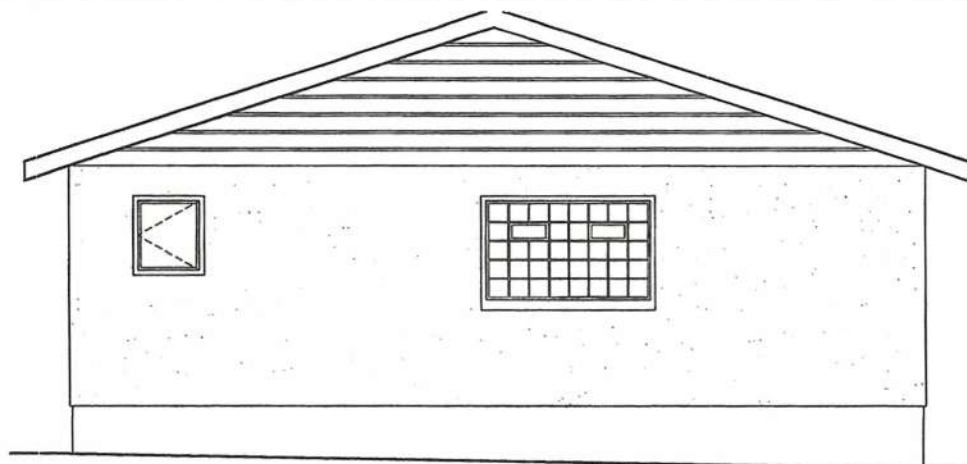
AUG.2015

DWG SHEET

FILE NUMBER

A15-001

A312



EXISTING

PEAK
EL. 14'-11"
(32.45 GEODETIC)

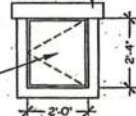
TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

W/5 EAVE
EL. 0'-4"

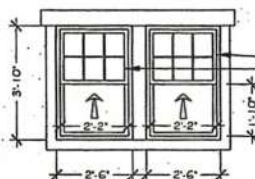
UNOBSTRUCTED VENT AREA OF
NOT LESS THAN 1/300 THE INSULATED
CEILING AREA PROVIDED TOP AND
BOTTOM - EXISTING CONFORMS

EXISTING ALUMINUM EAVESTROUGH CONT.
ON EXISTING WD. FASCIA TO REMAIN NEW
PAINT - GREY TO MATCH EXISTING HOUSE

EXISTING WINDOW TO REMAIN
ADD OPAQUE OR "FROST" PRIVACY FILM



EXPOSED BUILDING FACE AREA: 343sq.ft.
LIMITING DISTANCE: 4'-4"
ALLOWABLE % OF UNPROTECTED OPENINGS: 7%
ACTUAL UNPROTECTED OPENINGS AREA: 23.5sq.ft.
ACTUAL UNPROTECTED OPENING %: 6.85%



NEW WINDOWS CONFORMING
TO B.C.B.C. 9.9.10.
(UNOBSTRUCTED OPENING OF 3.0sq.ft. CW
NO DIMENSION LESS THAN 15")
CW OPAQUE OR "FROST" PRIVACY GLAZING

EXISTING STUCCO SIDING TO REMAIN AND
PAINTED WHITE TO MATCH PRINCIPAL
RESIDENCE AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. -0'-9" (27.92 GEODETIC)

AVERAGE GRADE: -1'-0"
(27.845 GEODETIC)

GRADE
(27.77 GEODETIC) EL. -1'-4"

PROPOSED

28'-0"

EAST ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
R01	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

EAST ELEVATION

DRAWN BY

SCALE

AS INDICATED

DATE

AUG. 2015

FILE NUMBER

A15 001

DWG SHEET

A313



EXISTING

PEAK
EL. 14'-11"
(32.45 GEODETIC)

UP EAVE
EL. 8'-4"

TRIM TO BE PAINTED GREY TO
MATCH PRINCIPAL RESIDENCE
AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

T.O. CONC. WALL
EL. 0'-10"

GRADE
EL. -1'-4" (27.77 GEODETIC)



AVERAGE GRADE: -0'-9"
(27.92 GEODETIC)

PROPOSED

UNOBSTRUCTED VENT AREA OF
NOT LESS THAN 1/300 THE INSULATED
CEILING AREA PROVIDED TOP AND
BOTTOM - EXISTING CONFORMS

NEW ASPHALT SHINGLES

EXISTING
ALUMINUM EAVESTROUGH CONT.
ON EXISTING WD. FASCIA
TO REMAIN

NEW EXTERIOR LIGHTING OUTLET
WITH FIXTURE CONTROLLED BY A
WALL SWITCH LOCATED WITHIN
THE BUILDING

EXISTING STUCCO SIDING TO REMAIN AND
PAINTED WHITE TO MATCH PRINCIPAL
RESIDENCE AND MAKE EXISTING BUILDING
LOOK LIKE A HOME, TYP.

GRADE
(28.07 GEODETIC) EL. -0'-3"

28'-2"

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
R03	AUG '15	ZONING APPL. - RESUBMIT
R02	JUN '15	FOR REVIEW - CITY, CALUC, PLUC
R01	FEB '15	DRAFT

PROJECT

PATERSON PROPOSED
GARDEN SUITE
1510 CLAWTHORPE AVE.
(APPLICANT: DOUG PATERSON 250-507-3660)

DRAWING TITLE

NORTH ELEVATION

DRAWN BY

SCALE

A5 INDICATED

DATE
AUG. 2015

FILE NUMBER
A15-001

DWG SHEET

A314