



Planning and Land Use Committee Report

For the Meeting of October 1, 2015

To: Planning and Land Use Committee **Date:** September 17, 2015

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: **Heritage Alteration Permit Applications with Variances Nos. 00205 and 00206 for 226 Dallas Road and 222 Dallas Road**

RECOMMENDATION

That Committee forward this report to Council and that Council consider the following motions:

226 Dallas Road

"That Council advance Heritage Alteration Permit Application No. 00205 with Variances for 226 Dallas Road, for consideration at a Public Hearing."

Following consideration of Heritage Alteration Permit Application No. 00205 for 226 Dallas Road:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00205 for 226 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:

1. Revised Plans date stamped August 18, 2015.
2. The provision of:
 - plan, elevation and section details for the front porch
 - a post-relocation condition assessment of the existing wood siding/shingles, woodwork, roof, exterior doors and windows
 - rehabilitation details confirming the scope of work arising from the condition of the historic fabric
 - an exterior door and window rehabilitation schedule.
3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Section 1.2.4.a - Height relaxed from 7.6m to 8.8m
 - ii. Section 1.2.5.a - Front setback relaxed from 7.5m to 6.15m for main building, from 5.0m to 4.83m for stairs

- iii. Section 1.2.5.c - Side yard setback (east) relaxed from 3.0m to 1.20m and side yard setback (west) relaxed from 1.5m to 1.04m
- iv. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.24m.
4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
5. Final plans to be generally in accordance with the plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."

222 Dallas Road

"That Council advance Heritage Alteration Permit Application No. 00206 with Variances for 222 Dallas Road, for consideration at a Public Hearing."

Following consideration of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:

1. Revised Plans date stamped August 18, 2015.
2. The provision of:
 - plan, elevation and section details for the front porch
 - a post-relocation condition assessment of the existing wood siding/shingles, woodwork, roof, exterior doors and windows
 - rehabilitation details confirming the scope of work arising from the condition of the historic fabric
 - an exterior door and window rehabilitation schedule.
3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Section 1.2.4.a - Height relaxed from 7.6m to 9.9m and number of storeys from 2 to 2.5
 - ii. Section 1.2.5.a - Front setback relaxed from 7.5m to 6.45m for main building, from 5.9m to 4.94m for porch, from 5.0m to 3.91m for stairs
 - iii. Section 1.2.5.c - Side yard setback (east) relaxed from 1.5m to 1.36m
 - iv. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.68m
 - v. Section 1.2.5.e - Flanking street (Dock) setback relaxed from 3.5m to 1.32m.
4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
5. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."

LEGISLATIVE AUTHORITY

In accordance with Sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for two heritage alteration permit applications for the heritage-registered houses (presently located at 524 and 526 Michigan Street) to be relocated to 226 and 222 Dallas Road, respectively. The two houses are being relocated to facilitate the development of Capital Park. The proposal is to rehabilitate the houses after they have been relocated and designated at the receiver sites.

The following points were considered in assessing this application:

- consistency with OCP
- consistency with the James Bay Neighbourhood Plan
- consideration of impacts of variances to the *Zoning Regulation Bylaw*
- consistency with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Staff recommend that Council advance Heritage Alteration Permit Application Nos. 00205 and 00206 with Variances for 226 Dallas Road and 222 Dallas Road, respectively, for consideration at a Public Hearing.

BACKGROUND

The Province and the City were parties to the *Victoria Accord - Legislative Precinct Master Development Agreement*, made June 6, 1994, respecting the subdivision and development of the lands within the Legislative Precinct. In relation to the five heritage-registered homes currently situated on the South Block, the extent of restoration of the heritage houses and a relocation plan were to be described in future development proposals.

On June 11, 2014, Council authorized the issuance of Heritage Alteration Permits Nos. 00188 and 00189 for 524 and 526 Michigan Street, regarding the relocation of the Prout House and the Beaven/Macabe Residence within James Bay, subject to conditions that included providing the City with a relocation plan and a letter irrevocably agreeing to the designation of the houses. The condition regarding heritage designation was satisfied by the applicant in August 2014.

On September 11, 2014, Council instructed staff to prepare the heritage designation bylaw that would designate the Prout House and Beaven/Macabe Residence upon receipt of owner's consent to the designations. Once the houses have been relocated to their new lots, the heritage designation bylaw that Council gave first and second reading will be advanced to a public hearing pursuant to Section 968 of the *Local Government Act*, and Council may then consider adopting the bylaw.

These applications address the second condition regarding the provision of a relocation plan and as a result, deal with the planning issues associated with relocating the two houses to specific lots within James Bay.

Description of Proposal

These applications propose to remove the existing 1950s house that straddles the two existing lots located at 222 and 226 Dallas Road and to relocate the heritage-registered Prout House and Beaven/Macabe Residence presently located at 524 and 526 Michigan Street, part of the South Block.

The proposal to rehabilitate the houses presently located at 524 and 526 Michigan Street will involve the construction of new concrete footings on the receiver site; construction of new storm windows that are compatible with the character of the place; undertaking of alterations to rear and side window/door openings in order to accommodate the new use; rehabilitation of the existing guardrails; construction of a new steel rear balcony to comply with the Building Code; and undertaking of repairs to the exterior wood siding/shingles.

The scope of the proposed work outlined in Heritage Alteration Permit Nos. 00205 and 00206 is more particularly described in the revised plans prepared by Keay Cecco Architecture Ltd., dated August 18, 2015, and in the applicant's letter, dated August 17, 2015.

Public Realm Improvements

No public realm improvements are proposed in association with these heritage alteration permit applications.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applications were sent to the James Bay Neighbourhood Association on August 25, 2015. Should staff receive comments from the James Bay CALUC, these will be forwarded to Council for consideration.

ANALYSIS

The following sections provide a summary of the applications' consistency with the relevant City policies and guidelines.

Official Community Plan

The proposed development outlined in the applications is consistent with the OCP because it contributes to the goal of protecting and celebrating Victoria's cultural and natural heritage resources. In addition, a key strategic direction of James Bay would be met by the proposed development where it enables the adaptation and renewal of existing building stock.

James Bay Neighbourhood Plan

The proposed development is consistent with the goals and objectives of the *James Bay Neighbourhood Plan* in relation to Housing, where it encourages the retention of significant buildings in the neighbourhood and in relation to Heritage Preservation, where it encourages the conservation and rehabilitation of buildings, lands and structures of heritage significance, which

contribute to the neighbourhood's attractive character and where the moving of heritage buildings is considered as a last resort to prevent their demolition.

Zoning Regulation Bylaw

The relocation of the heritage-registered Prout House and Beaven/Macabe Residence (presently located at 524 and 526 Michigan Street) triggers siting variances (height, front and side yard setbacks) as a result of the dimensions of the existing houses. The placement of the houses is generally compatible with the Dallas Road lot configuration, which are narrow in width and deep in length. The heights of nearby structures range from one to two storeys along Dallas Road and up to three-and-one-half storeys in relation to the apartment block across Dock Street to the north. Staff consider that the variances of heights and setbacks will have a minor impact on the overall character of the area and therefore recommend that Council consider the variances to the *Zoning Regulation Bylaw* to accommodate the proposed development.

Standards and Guidelines for the Conservation of Historic Places in Canada

(As applicable to both buildings)

Exterior Walls

The proposal includes the alteration of openings on the north elevation; alterations to existing openings on the east elevation for code compliance; and the rehabilitation of the exterior wood shingles, siding and windows. The proposed interventions will conserve character-defining elements of the building's exterior and are therefore consistent with the Standards and Guidelines where it recommends modifying exterior walls to accommodate an expanded program, a new use, or applicable codes and regulations, in a manner that respects the building's heritage value.

Doors and Windows

The rehabilitation of existing wood windows and the construction of new storm windows that are compatible with the character of the place will significantly improve the thermal performance of the exterior envelope and is consistent with the Standards and Guidelines where it recommends designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

Roof

Undertaking repairs to the roofs as necessary is consistent with the Standards and Guidelines where it recommends repairing a roof assembly, including its functional and decorative elements, by using a minimal intervention approach.

Codes

Alterations to an existing front porch, east side openings, and the construction of a new upper-level balcony at the rear in order to comply with the Building Code is consistent with the Standards and Guidelines where it recommends complying with health, safety and security requirements in a manner that conserves the heritage value of the exterior wall assembly and minimizes impact on its character-defining elements.

CONCLUSIONS

These applications to rehabilitate two heritage-registered houses form part of the sequence of applications associated with the Capital Park Development that will enable the relocation, designation and rehabilitation of the properties. The proposal is consistent with the Standards and Guidelines in relation to exterior walls, doors and windows, roof elements and the Building Code. The applicant has made revisions to reduce the potential effects that may result from the increased height and reduced setbacks (including the removal of existing openings to comply with codes) and has responded to community concerns within the constraints of the existing property and the dimensions of the heritage-registered houses. Staff consider that the potential impact of the variances requested have been mitigated and therefore recommend that Council consider supporting the applications subject to the conditions outlined in this report.

ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application Nos. 00205 and 00206 for the properties located at 226 Dallas Road and 222 Dallas Road.

Respectfully submitted,



Murray G. Miller
Senior Heritage Planner
Community Planning



Jonathan Tinney
Director
Sustainable Planning and Community Development

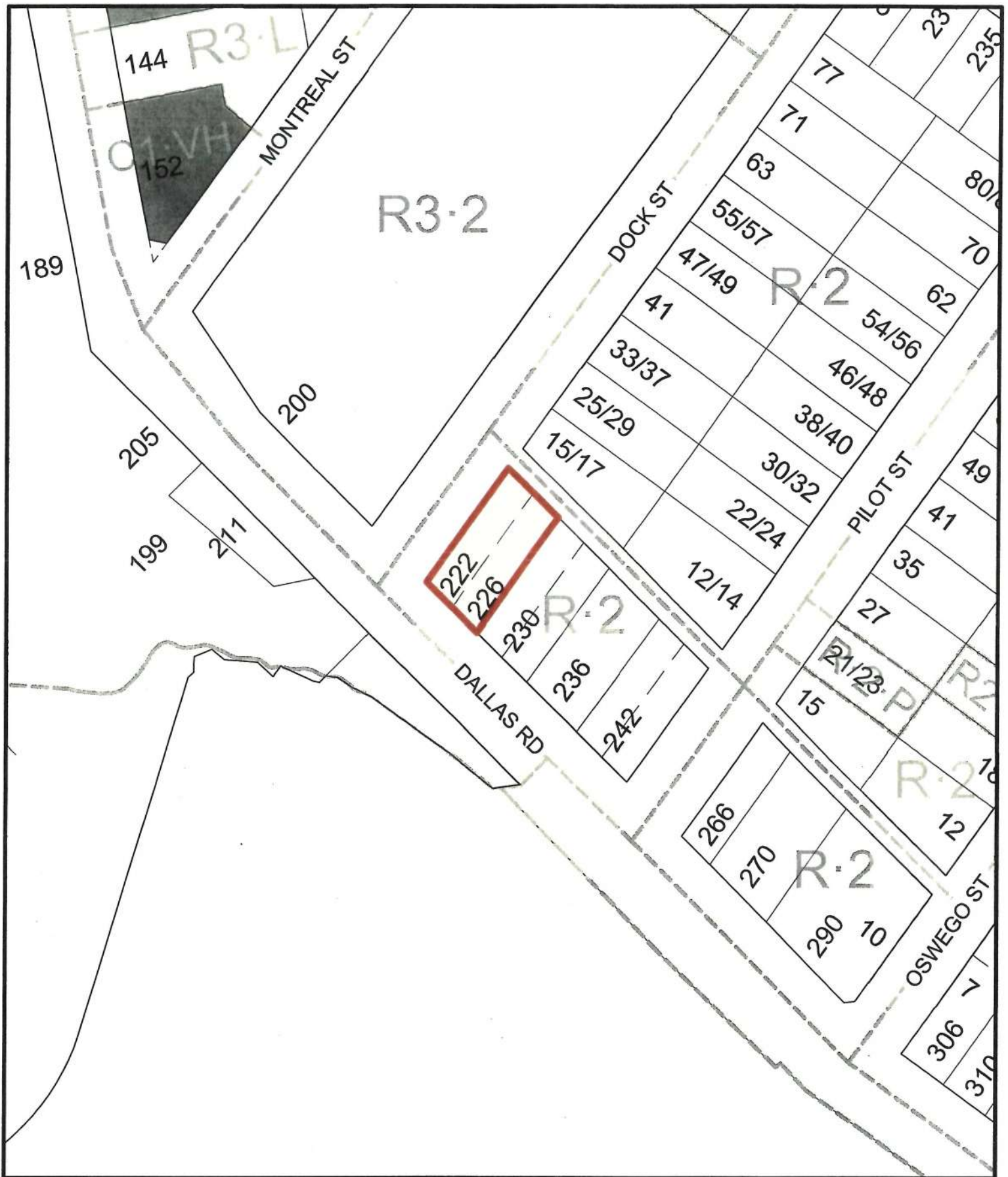
Report accepted and recommended by the City Manager:



Date: Sept. 23/15

List of Attachments

- Subject map
- Aerial photograph
- Revised plans dated August 18, 2015
- Letters from applicant dated August 20, 2015.



222 & 226 Dallas Road

Heritage Alteration Permit #00205 & #00206

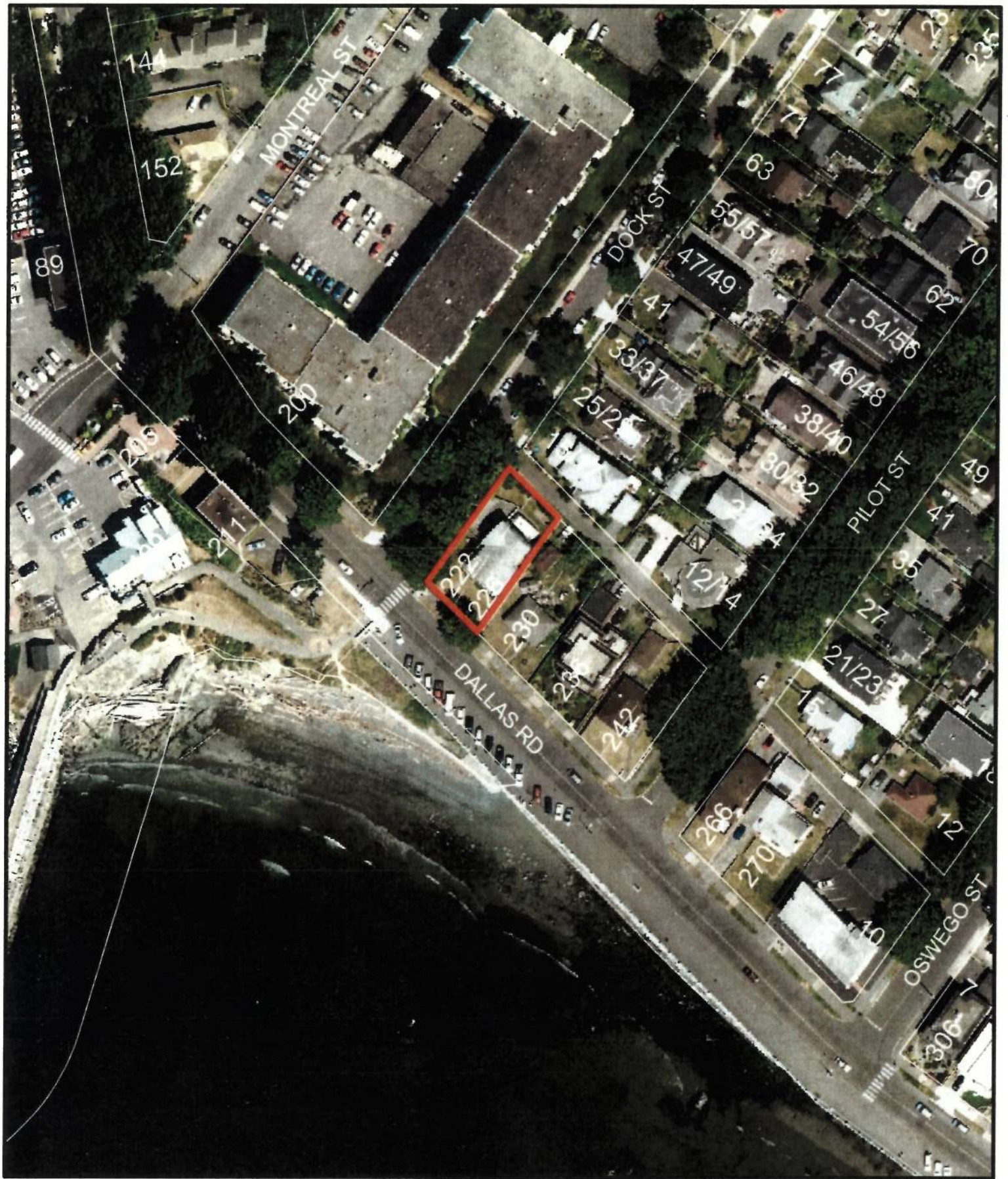


Designated



Registered





222 & 226 Dallas Road

Heritage Alteration Permit #00205 & #00206



CAPITAL PARK - HERITAGE BUILDINGS

226 DALLAS ROAD (524 MICHIGAN BUILDING)



ARCHITECTURAL:
KEAY CECCO ARCHITECTURE LTD.
CONTACT: JOHN KEAY
Phone: 250.382.3823
Email: john@keaycecco.com

A0.0 TITLE SHEET
A1.0 SITE PLAN
A2.0 PHOTOGRAPHS
A3.0 DEMO PLANS
A4.0 RENO PLANS
A5.0 ELEVATIONS
A6.0 SECTIONS
A6.1 GARAGE
A7.0 DETAILS

STRUCTURAL:
READ JONES CHRISTOFFERSEN
CONTACT: LEON PLETT
Phone: 250.384.7784
Email: lplett@rjc.ca

S101, 2, 3, 4, 5
GENERAL NOTES AND
TYPICAL DETAILS
S201 FOUNDATION AND MAIN
FLOOR FRAMING PLANS
WITH SECOND FLOOR OVER
S202 SECOND FLOOR WITH ROOF
OVER & GARAGE PLANS
S301 SECTIONS AND DETAILS

MECHANICAL:
WSP CANADA INC.
CONTACT: PAUL TIMMINS & MIKE DEAN
Phone: 250.384.5510
Email: paul.timmins@wspgroup.com

M001 LEGEND & DRAWING LIST
M100 PLUMBING FLOOR PLANS
M101 PLUMBING DETAILS & GARAGE
M102 PLUMBING SCHEMATICS
M200 HVAC FLOOR PLANS
M201 HVAC DETAILS

ELECTRICAL:
APPLIED ENGINEERING SOLUTIONS LTD.
CONTACT: JAY SINGH
Phone: 250.381.6121
Email: jlsingh@appliedengineering.ca

E100 SITE PLAN, DETAILS & LEGEND
E200 ELECTRICAL LAYOUT
E300 SPECIFICATIONS

CIVIL:
WSP CANADA INC.
CONTACT: STEPHEN CHILDS
Phone: 250.384.5510
Email: stephen.childs@wspgroup.com

C01 SITE SERVICING PLAN

CODE CONSULTANT:
GHL CONSULTANTS LTD.
CONTACT: FRANKIE VICTOR
Phone: 604.688.4449
Email: fv@ghl.ca

ATTACHED LETTER

LANDSCAPE:
CHRISTIAN BARNARD LAND STUDIO
CONTACT: CHRISTIAN BARNARD
Phone: 250.589.3033
Email: info@christianbarnard.ca

L1 TREE PROTECTION PLAN
L2 SITE PLAN
L3 SPECIFICATIONS

INTERIOR DESIGNER:
KYLA BIDGOOD INTERIOR DESIGN
CONTACT: KYLA BIDGOOD
Phone: 250.589.0852
Email: kyle@kylabidgood.com

ID-1.00 SCHEDULES & SPECIFICATIONS
ID-1.01 SCHEDULES & SPECIFICATIONS
ID-2.00 FLOOR PLANS
ID-3.00 RCP
ID-4.00 KITCHEN FLOOR PLANS & ELEV.
ID-4.01 KITCHEN FLOOR PLANS & ELEV.
ID-4.02 WIC FLOOR PLANS & ELEV.
ID-5.03 STAIRS & LIVING ROOM ELEV.
ID-5.04 STAIRS & LIVING ROOM ELEV.
ID-6.00 KITCHEN SECTIONS
ID-6.01 BATHROOM SECTIONS
ID-6.02 BATHROOM SECTIONS
ID-7.00 DETAILS

HERITAGE CONSULTANT:
DONALD LUXTON AND ASSOCIATES INC.
CONTACT: DONALD LUXTON
Phone: 604.688.1216
Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015



KEAY CECCO ARCHITECTURE LTD.																			
<p>10-1000 STREET, VICTORIA, BC V8N 1C6 PHONE: 250.382.3823 WWW.KEAYCECCO.COM</p>																			
<p>COMMENTS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>2015-08-18</td> <td>ALP</td> </tr> <tr> <td>2.</td> <td>2015-08-18</td> <td>ALP</td> </tr> <tr> <td>3.</td> <td>2015-08-18</td> <td>ALP</td> </tr> <tr> <td>4.</td> <td>2015-08-18</td> <td>ALP</td> </tr> <tr> <td>5.</td> <td>2015-08-18</td> <td>ALP</td> </tr> </tbody> </table>		NO.	DATE	BY	1.	2015-08-18	ALP	2.	2015-08-18	ALP	3.	2015-08-18	ALP	4.	2015-08-18	ALP	5.	2015-08-18	ALP
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5.	2015-08-18	ALP																	
<p>GENERAL NOTES</p> <p>Use of these drawings is limited to that identified in the introduction column.</p> <p>Do not construct from these drawings unless marked "Issued for construction".</p> <p>All drawings, plans, sections, elevations, and details are the property of KCA. No part of this drawing may be reproduced or used in part or in whole, without the expressed and written consent of KCA.</p>																			
<p>PROPERTY</p> <p>- CAPITAL PARK - HERITAGE HOUSES</p> <p>226 Dallas Road (524 Michigan Building) Victoria, BC</p>																			
<p>SHEET TITLE</p> <p>- TITLE SHEET -</p>																			
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DATE PLOTTED	AUGUST 18, 2015																		
DESIGNED BY	NP / JK																		
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1 CONTEXT SITE PHOTO
Scale: NTS

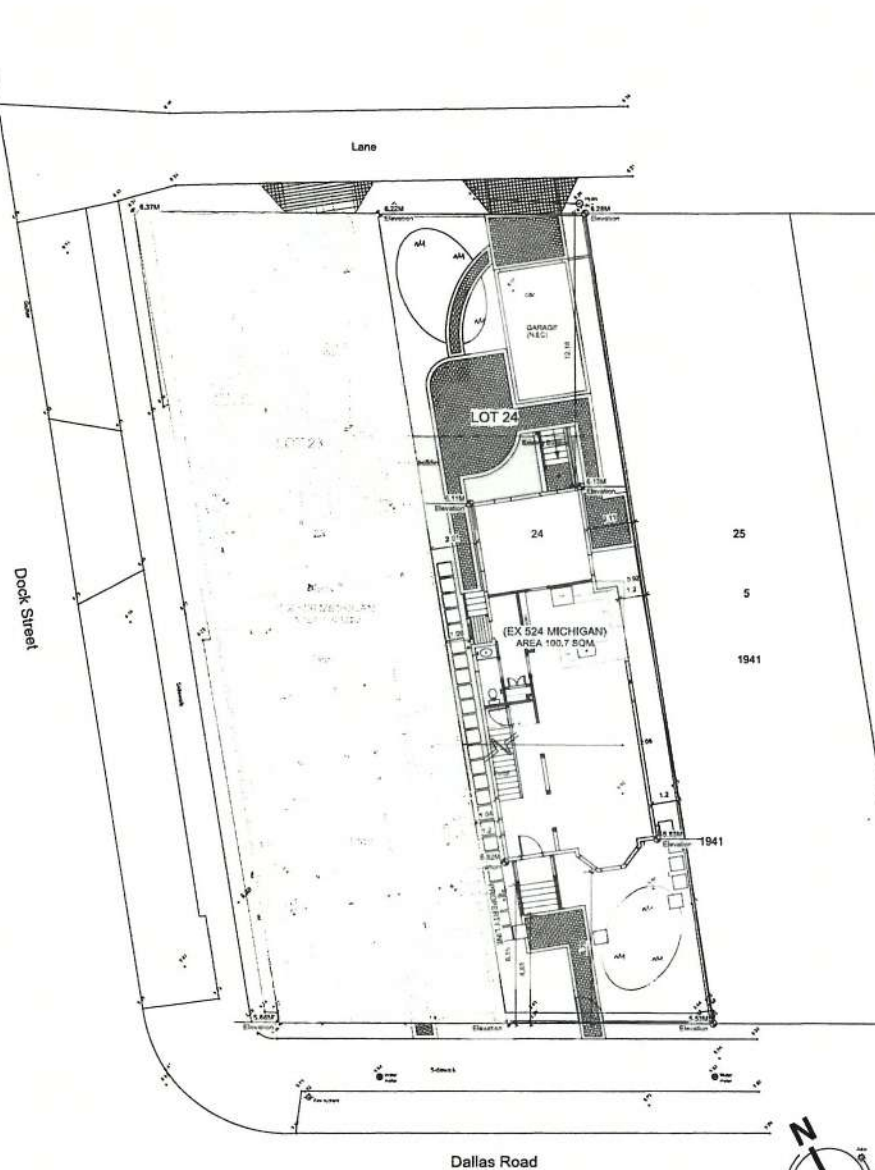
PROJECT INFORMATION TABLE:

1. OWNER: SOUTH BLOCK DEVELOPMENT CORPORATION
2. STREET ADDRESS: 225 DALLAS ROAD
3. LEGAL DESCRIPTION: LOT 24, BLOCK 5, SECTION 28, BECKLEY PARK, VICTORIA, PLAN 1941
4. ARCHITECT: KEAY CECCO ARCHITECTURE LTD, (250) 382-3823
john@keaycecoarchitecture.com
5. PRESENT ZONING: EXISTING: R2 (R1-B)
6. SITE AREA: LOT 24: 334.5 SQM 3600 SQFT, EXISTING NON CONFORMING
7. SITE COVERAGE: PERMITTED 40% LOT 24: 30%
8. TOTAL FLOOR AREA: HOUSE: 189.5 SQM, MAXIMUM PERMITTED 300 SQM
GARAGE: 17.6 SQM
9. FLOOR SPACE RATIO: 0.57
10. AVERAGE GRADE: 5.9%
11. HEIGHT: 8.8M, MAXIMUM PERMITTED 7.6M
12. NUMBER OF UNITS: 1
13. NUMBER OF STOREYS: 2
14. SETBACKS ZONING STANDARD
FRONT: 6.75M 7.2M (EXCEPT STAIRS AND PORCH)
FRONT PORCH: 6.15M
FRONT STAIRS: 4.85M
EAST SIDE: 1.2 M 1.5 M MIN
REAR: 12.18 M 7.5 MIN
WEST SIDE: 1.04 M TOTAL 4.5
15. OPEN SPACE: A3
16. PARKING PROVIDED: 1 CAR
17. BICYCLE PARKING: 3

Received
City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division



2 SITE PLAN
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANTING LIST

KEAY CECCO
ARCHITECTURE LTD
1122 FARM STREET VICTORIA, BC CANADA V8P 1P6
office 250 382-3823
email info@keaycecoarchitecture.com

NO.	DESCRIPTION	DATE	BY
1.	PREP SUBMISSION	JAN 2015	JP
2.	REVISIONS TO HAP SUBMISSION	JAN 2015	JP
3.	REVISIONS TO HAP SUBMISSION	JAN 2015	JP
4.	REVISIONS TO HAP SUBMISSION	JULY 2015	JP
5.	SUBMISSION FOR BLDG PERMIT	NOV 2015	JP
6.	REVISIONS TO HAP SUBMISSION	AUG 2016	JP

GENERAL NOTES
Use of these drawings is limited to that identified in the accompanying contract.
Do not construct from these drawings unless written consent is obtained from the architect.
All dimensions, clearances, heights, and setbacks are shown on these drawings and shall be used in conjunction with the project. The architect is not responsible for the accuracy of the information provided by the owner or other sources.
These drawings are for information only and are not to be used for construction without the approval of the architect and the City of Victoria.



PROJECT
- CAPITAL PARK -
HERITAGE HOUSES
225 Dallas Road
(224 Michigan Building)
Victoria, BC

SHEET TITLE
CONTEXT
AND
SITE PLAN

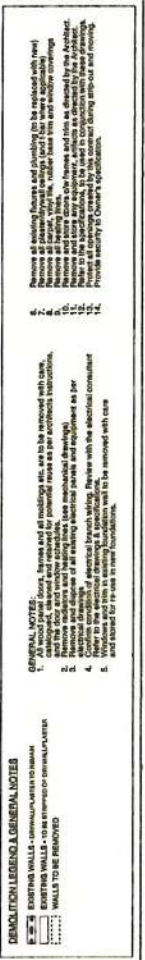
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KEATY CECOCO ARCHITECTURE LTD. 1150 FORT STREET, VICTORIA, B.C. V8W 2E1 TEL: 251-1111 FAX: 251-1111																									
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GENERAL NOTES Use of these drawings is limited to that identified in the accompanying schedule. Do not construct from these drawings unless marked "Issued for construction". All drawings, plans, models, designs, specifications and other documents prepared by Keaty Cecoco Architecture Ltd. are the property of Keaty Cecoco Architecture Ltd. and shall remain the property of Keaty Cecoco Architecture Ltd. until the project is completed. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Keaty Cecoco Architecture Ltd.																									
PROPERTY - CAPITAL PARK - HERITAGE HOUSES 225 Dallas Road 5251 Morgan Building Victoria, BC																									
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DATE PLOTTED AUGUST 18, 2015	SCALE A2.0																								
DRAWN BY																									

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 City of Victoria
 AUG 18 2015
 Planning & Development Department
 Development Services Division



COMMENTS		
NO.	DESCRIPTION	DATE
1.	REVISIONS TO HUP SUBMISSION	2016-10-10
2.	REVISIONS TO HUP SUBMISSION	2016-10-10
3.	REVISIONS TO DETAILS	2016-10-10
4.	REVISIONS TO BUILDING PERMIT	2016-10-10
5.	REVISIONS TO HUP SUBMISSION	2016-10-10

GENERAL NOTES

Use of these drawings is limited to that identified in the accompanying schedule.

Do not construct from these drawings unless marked "ready for construction".

All design, plans, sections, details, specifications and other documents prepared by the architect shall be read in conjunction with the program of work and the contract documents. The architect shall be responsible for the accuracy of the drawings and the contract documents.

General notes shall be read in conjunction with the program of work and the contract documents.

RENOVATION LEGEND & GENERAL NOTES

RENOVATION LEGEND:

- EXTERIOR WALLS - STAYING, SEE STRUCTURAL DRAWINGS FOR DETAILS
- NEW CONCRETE FOUNDATION WALLS
- NEW INTERIOR WALL
- REFER TO DOOR / WINDOW SCHEDULE
- EXHAUST FAN
- WALL CAP FOR VENTING
- DROPPED CEILING FOR SERVICES

GENERAL NOTES:

- Existing mechanical equipment in basement to be retained for re-use as directed by the mechanical consultant (see mechanical drawings).
- All wood door, frames and all moldings etc. are to be removed with care, cleaned and retained for potential reuse as per architect's instruction.
- Remove all existing electrical services. Install new underground electrical (see electrical drawings).
- Confirm conditions of electrical branch wiring. Refer to the electrical drawings & specifications.
- Window re-installed. Refurbish window and frame as required. Install with laminated or tempered glass on interior face.
- Remove and inventory window moldings, baseboards and other trim. Store in a secure location for re-installation.

PROJECT:

- CAPITAL PARK - HERITAGE HOUSES

228 Dallas Road
1020 Milligan Building
Victoria, BC

PROJECT TITLE:

- RENO PLANS - BASEMENT, MAIN & UPPER FLOOR PLANS

SCALE:

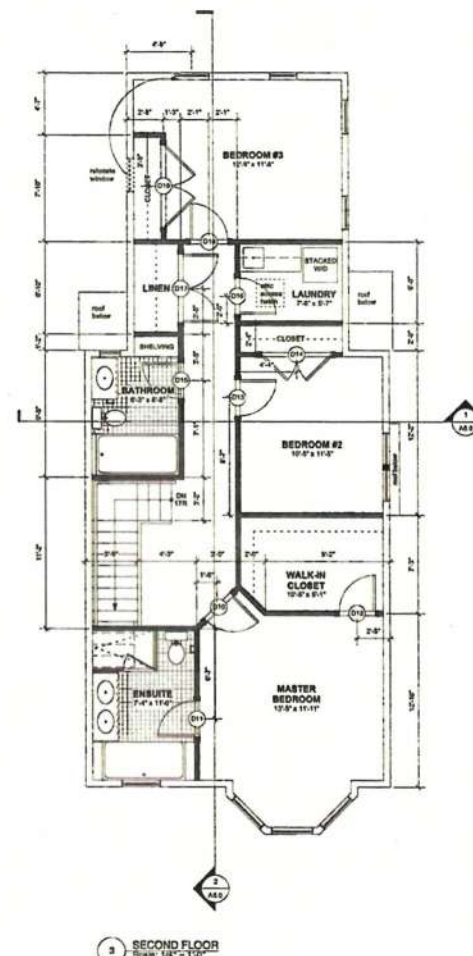
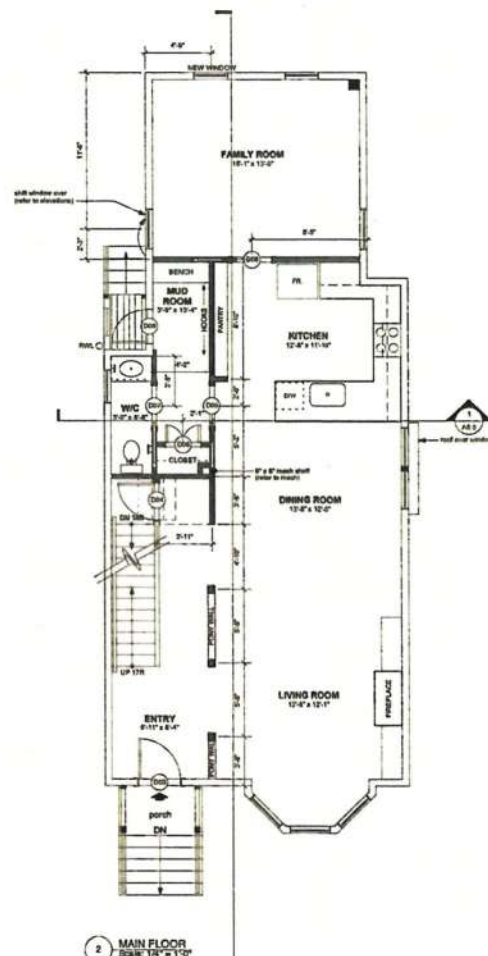
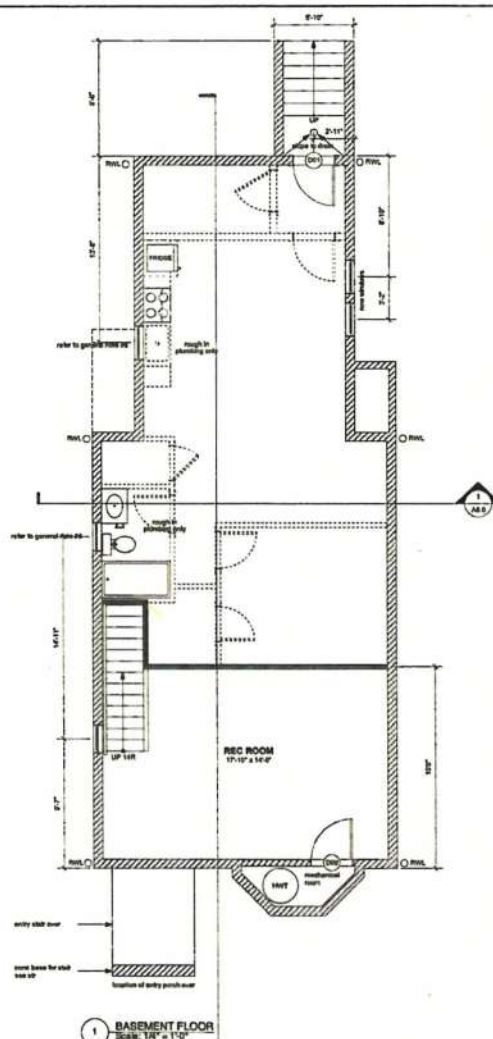
AS SHOWN 1/8" = 1'-0"

DATE PLOTTED:

AUGUST 18, 2015

DRAWN BY:

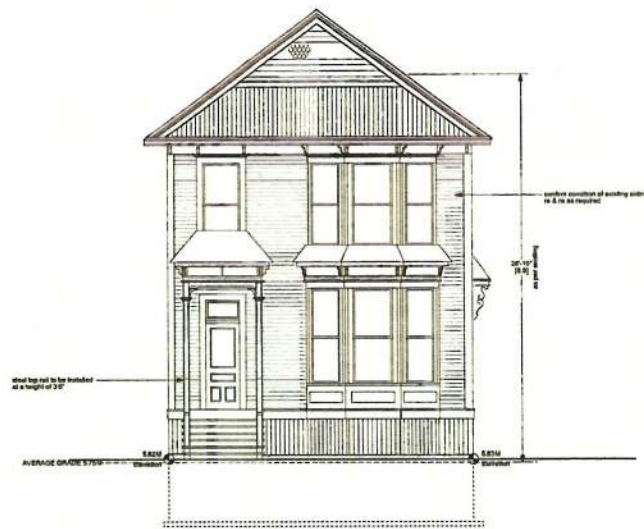
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City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division



1 South Elevation
Scale: 1/4" = 1'-0"



2 North Elevation
Scale: 1/4" = 1'-0"

KEAY CECCO
ARCHITECTURE LTD.
1540 COURT STREET - VICTORIA, B.C. V8M 1G6
TEL: 250-383-2822
WWW.KCARCHITECTURE.COM

COMMENTS		
No.	DESCRIPTION	DATE
1.	HAP SUBMISSION	APR 15/15
2.	REVISIONS TO HAP SUBMISSION	JUL 20/15
3.	REVISIONS TO DETAILS	JUL 20/15
4.	SUBMIT FOR BUILDING PERMIT	AUG 4/15
5.	REVISIONS TO HAP SUBMISSION	AUG 19/15

GENERAL NOTES

Use of these drawings is limited to that identified in the instruction to submit.

Do not construct from these drawings unless marked "Issued for construction".

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PROJECT

- CAPITAL PARK -
HERITAGE HOUSES

228 Dallas Road
2000 Morgan Building
Victoria, BC

SHEET TITLE

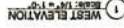
- ELEVATIONS -
NORTH & SOUTH

SCALE	DATE
AS SHOWN	11/24 - 10/17
DATE PLOTTED	
AUGUST 18, 2015	
DRAWN BY	
	A5.0

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City of Victoria

AUG 18 2015

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Development Services Division



2004/05

GENERAL NOTES

COMMENTS	
----------	--

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ARCHITECTURE LTD

KEY CECCO ARCHITECTURE LTD.

1000 HIGH STREET, VICTORIA, B.C. V8W 2G8
TEL: 250-383-2880
WWW.KEYCECCOARCHITECTURE.COM

COMMENTS	
NO.	DESCRIPTION
1.	APP SUBMISSION
2.	REVISIONS TO APP SUBMISSION
3.	REVISIONS TO DETAILS
4.	SUBMIT FOR BUILDING PERMIT
5.	REVISIONS TO APP SUBMISSION

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PROJECT

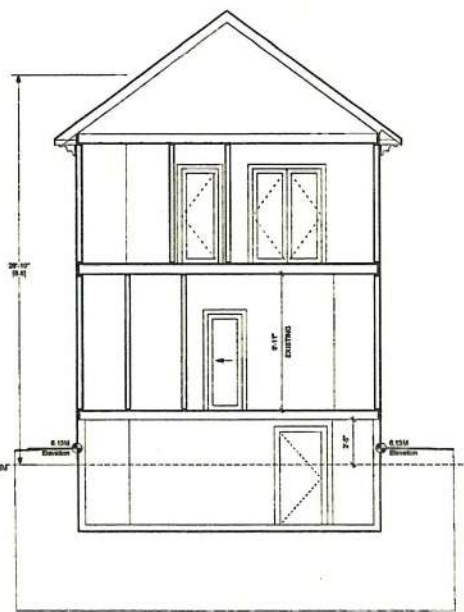
**- CAPITAL PARK -
HERITAGE HOUSES**

225 Dallas Road
201 Morgan Road
Victoria, BC

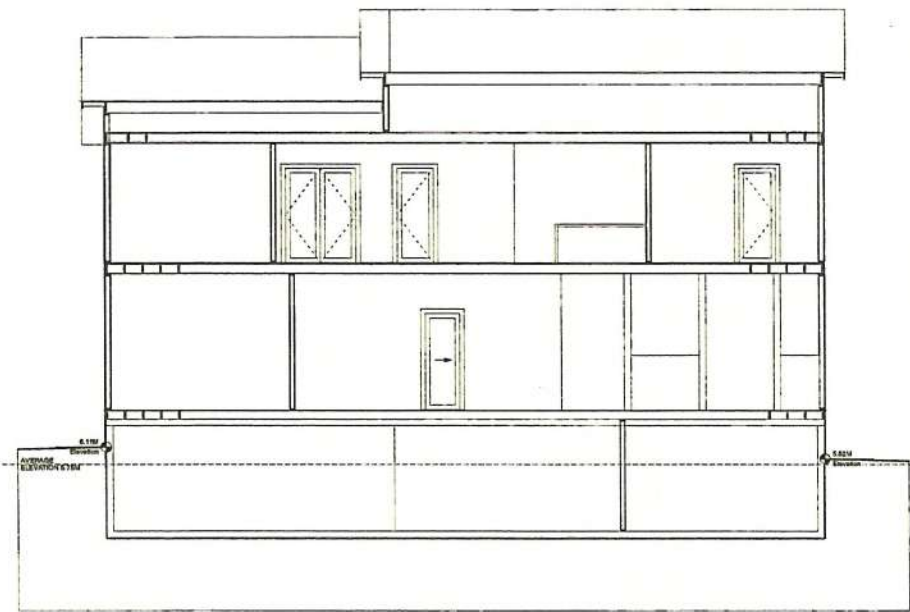
WEST TITLE

- SECTIONS -

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DATE RATED	AUGUST 18, 2015
DRAWN BY	A6.0



1 SECTION - A
Scale: 1/4" = 1'-0"

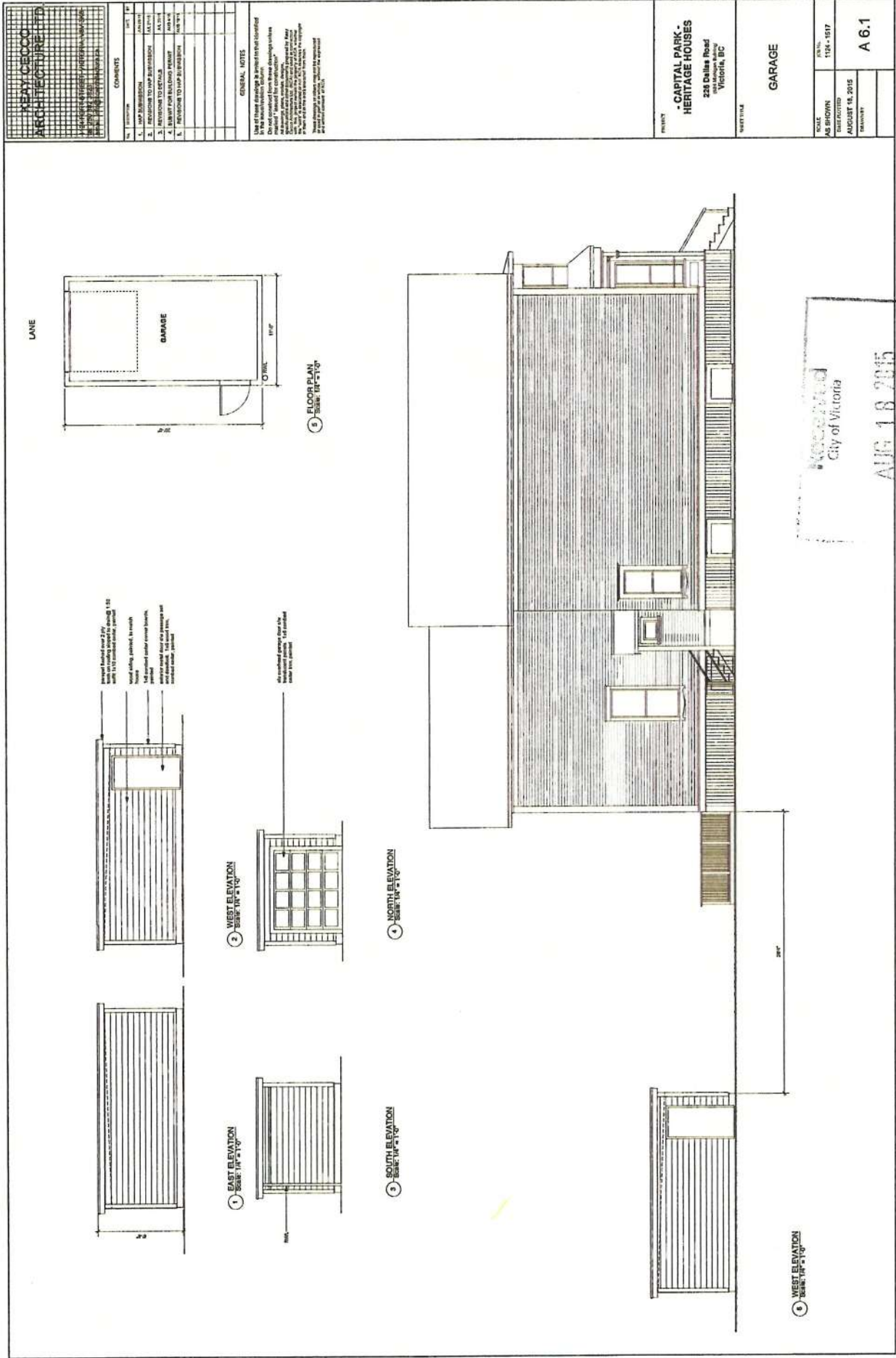


2 SECTION - B
Scale: 1/4" = 1'-0"

Received
City of Victoria

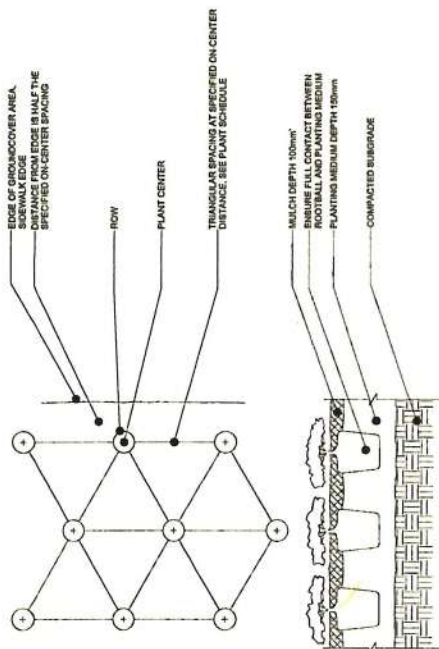
AUG 18 2015

Planning & Development Department
Development Services Division

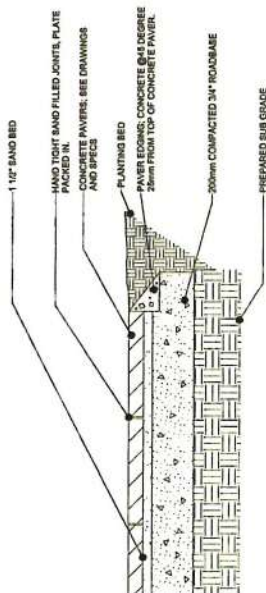


City of Victoria
Planning & Development Department
Development Services Division

AUG 18 2015



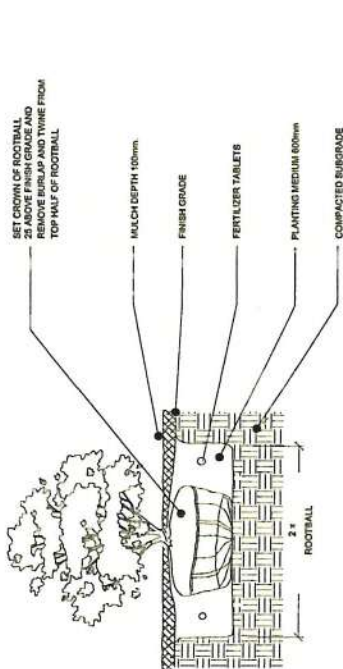
5 GROUND COVER PLANTING TYP.



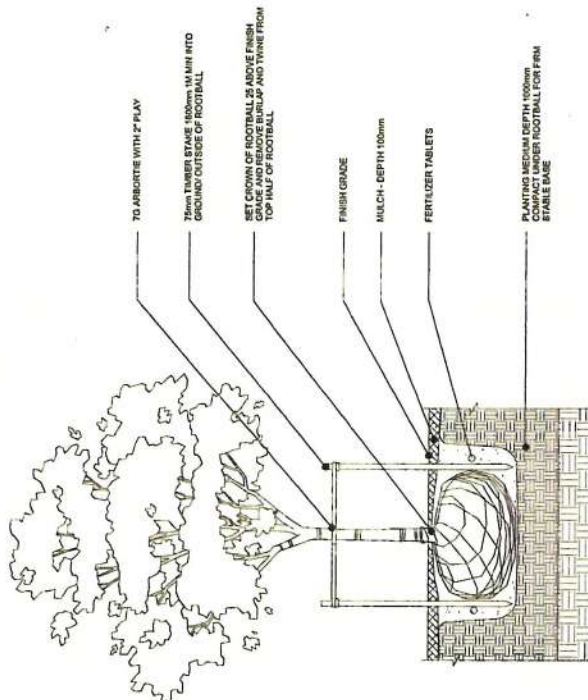
4 UNIT PAVER TYP.



3 LAYEN ON GRADE TWO



2 SHRUB PLANTING TYP.



1 TREE PLANTING ON GRADE

City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division

CAPITAL PARK - HERITAGE BUILDINGS

222 DALLAS ROAD (526 MICHIGAN BUILDING)



ARCHITECTURAL:
KEY & CECOCO ARCHITECTURE LTD.
CONTACT: JOHN KEAY
Phone: 250.382.3823
Email: john@keycecoarchitecture.ca

A0.0 TITLE SHEET
A1.0 SITE PLAN
A2.0 PHOTOGRAPHS
A3.0 DEMO PLANS
A4.0 RENO PLANS
A5.0 ELEVATIONS
A6.0 SECTIONS
A6.1 GARAGE
A7.0 DETAILS

STRUCTURAL:
READ JONES CHRISTOFFERSEN
CONTACT: LEON PLETT
Phone: 250.386.7784
Email: lplett@rjc.ca

S101, 2, 3, 4, 5
GENERAL NOTES AND
TYPICAL DETAILS
S201 FOUNDATION AND MAIN
FLOOR FRAMING PLANS
WITH SECOND FLOOR OVER
S202 SECOND FLOOR WITH THIRD
FLOOR FRAMING WITH ROOF
OVER
S203 GARAGE FOUNDATION & MAIN
FLOOR WITH ROOF FRAMING
OVER
S301 SECTIONS AND DETAILS

MECHANICAL:
WSP CANADA INC.
CONTACT: PAUL TIMMINS & MIKE DEAN
Phone: 250.384.5610
Email: paul.timmins@wspgroup.com

M001 LEGEND & DRAWING LIST
M100 PLUMBING FLOOR PLANS
M101 PLUMBING DETAILS & GARAGE
M102 PLUMBING SCHEMATICS
M200 HVAC FLOOR PLANS
M201 HVAC DETAILS

ELECTRICAL:
APPLIED ENGINEERING SOLUTIONS LTD.
CONTACT: JAY SINGH
Phone: 250.381.8121
Email: jsingh@appliedengineering.ca

E100 SITE PLAN, DETAILS & LEGEND
E200 ELECTRICAL LAYOUT
E300 SPECIFICATIONS

CIVIL:
WSP CANADA INC.
CONTACT: STEPHEN CHILDS
Phone: 250.384.5510
Email: stephen.childs@wspgroup.com

C02 SITE SERVICES PLAN

CODE CONSULTANT:
GHL CONSULTANTS LTD.
CONTACT: FRANKIE VICTOR
Phone: 604.689.4449
Email: fv@ghl.ca

ATTACHED LETTER

LANDSCAPE:
CHRISTIAN BARNARD LAND STUDIO
CONTACT: CHRISTIAN BARNARD
Phone: 250.889.3033
Email: info@christianbarnard.ca

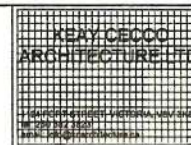
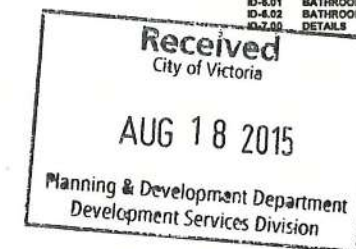
L1 TREE PROTECTION PLAN
L2 SITE PLAN
L3 SPECIFICATIONS

INTERIOR DESIGNER:
KYLE BIDGOOD INTERIOR DESIGN
CONTACT: KYLE BIDGOOD
Phone: 250.589.0852
Email: kyle@kylabidgood.com

ID-1.00 SCHEDULES & SPECIFICATIONS
ID-1.01 SCHEDULES & SPECIFICATIONS
ID-2.00 FLOOR PLANS
ID-3.00 RCP
ID-5.00 KITCHEN FLOOR PLANS & ELEV.
ID-5.01 WIC FLOOR PLANS & ELEV.
ID-5.02 WIC FLOOR PLANS & ELEV.
ID-5.03 STAIRS & LIVING ROOM ELEV.
ID-5.04 STAIRS & LIVING ROOM ELEV.
ID-6.00 KITCHEN SECTIONS
ID-6.01 BATHROOM SECTIONS
ID-6.02 BATHROOM SECTIONS
ID-7.00 DETAILS

HERITAGE CONSULTANT:
DONALD LUXTON AND ASSOCIATES INC.
CONTACT: DONALD LUXTON
Phone: 604.888.1216
Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015



COMMENTS		
NO.	DESCRIPTION	DAYS
1.	HWP SUBMISSION	2015-01-11
2.	REVISIONS TO HWP SUBMISSION	2015-01-11
3.	REVISIONS TO DETAILS	2015-01-11
4.	SUBMISSION FOR BIDDING PERMIT	2015-01-11
5.	REVISIONS TO HWP SUBMISSION	2015-01-11

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- CAPITAL PARK - HERITAGE HOUSES
222 Dallas Road
108 Heritage Building
Victoria, BC

PROJECT TITLE

- TITLE SHEET -

SCALE	DWG NO.
AS SHOWN	1124 - 1517
DATE PLOTTED	
AUGUST 18, 2015	
DRAWN BY	
HP/JJK	
	A0.0



KEY CECOCO ARCHITECTURE LTD. 1400 WEST 10TH AVENUE, SUITE 100 VICTORIA, BC V8M 2K6 TEL: (250) 383-1111 FAX: (250) 383-1112																									
COMMENTS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>HWP SUBMISSION</td> <td>AUG 18 15</td> <td></td> </tr> <tr> <td>2.</td> <td>REVISIONS TO HWP SUBMISSION</td> <td>AUG 20 15</td> <td></td> </tr> <tr> <td>3.</td> <td>REVISIONS TO DETAILS</td> <td>JUL 22 15</td> <td></td> </tr> <tr> <td>4.</td> <td>SUBMISSION FOR BLDG PERMIT</td> <td>JUL 24 15</td> <td></td> </tr> <tr> <td>5.</td> <td>REVISIONS TO HWP SUBMISSION</td> <td>AUG 10 15</td> <td></td> </tr> </tbody> </table>		NO.	DESCRIPTION	DATE	BY	1.	HWP SUBMISSION	AUG 18 15		2.	REVISIONS TO HWP SUBMISSION	AUG 20 15		3.	REVISIONS TO DETAILS	JUL 22 15		4.	SUBMISSION FOR BLDG PERMIT	JUL 24 15		5.	REVISIONS TO HWP SUBMISSION	AUG 10 15	
NO.	DESCRIPTION	DATE	BY																						
1.	HWP SUBMISSION	AUG 18 15																							
2.	REVISIONS TO HWP SUBMISSION	AUG 20 15																							
3.	REVISIONS TO DETAILS	JUL 22 15																							
4.	SUBMISSION FOR BLDG PERMIT	JUL 24 15																							
5.	REVISIONS TO HWP SUBMISSION	AUG 10 15																							
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PROJECT - CAPITAL PARK - HERITAGE HOUSES 222 Dallas Road 1008 Michigan Building Victoria, BC																									
WEST TITLE 526 MICHIGAN PHOTOGRAPHS																									
SCALE AS SHOWN DATE PLOTTED AUGUST 18, 2015 DRAWN BY	FOR TA 1:24 - 1:17 A2.0																								

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City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division

COMMENTS			
NO.	DESCRIPTION	DATE	BY
1.	HAP SUBMISSION	JAN 10/16	
2.	REVISIONS TO HAP SUBMISSION	JAN 10/16	
3.	REVISIONS TO DETAILS	JAN 10/16	
4.	SUBMISSION FOR BLO PERMIT	FEB 24/16	
5.	REVISIONS TO HAP SUBMISSION	MAR 10/16	

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PROJECT

**- CAPITAL PARK -
HERITAGE HOUSES**

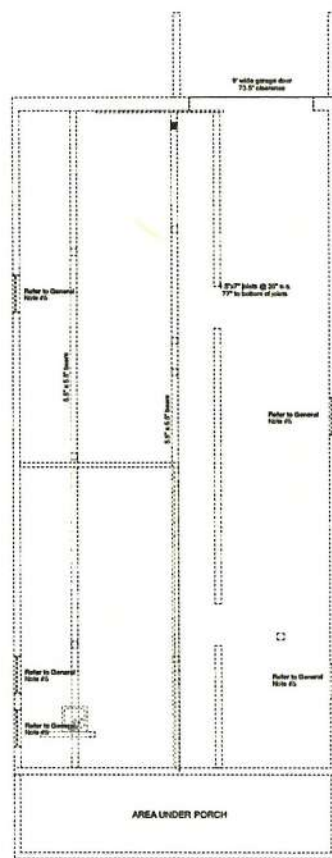
222 Dallas Road
Old Mudgeon Station
Victoria, BC

NOTES

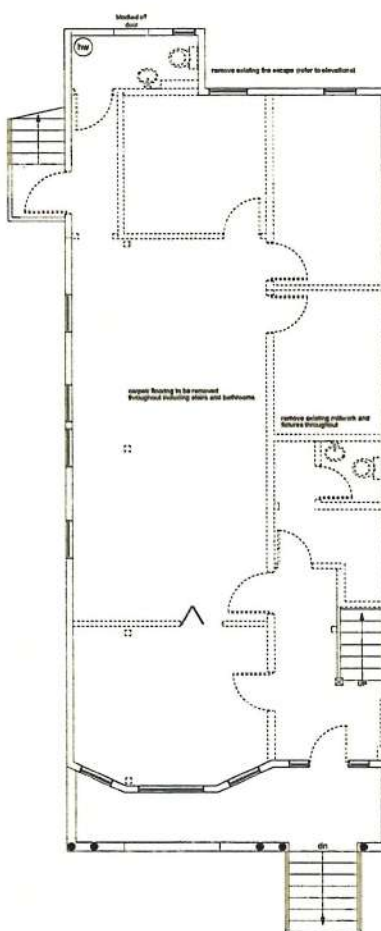
**- DEMO PLANS -
BASEMENT, MAIN, SECOND
& TOP FLOOR PLANS**

SCALE AS SHOWN	DATE 11/24 - 15/17
DATE PLOTTED AUGUST 18, 2015	
DRAWN BY	

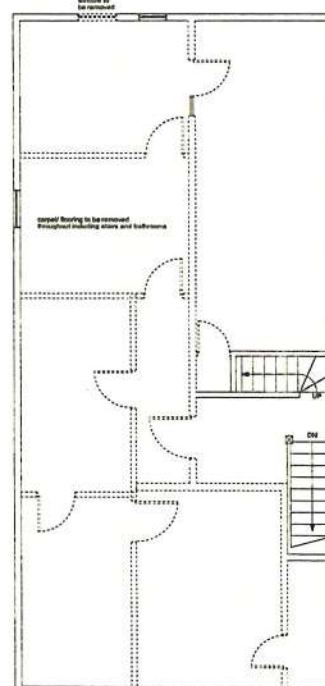
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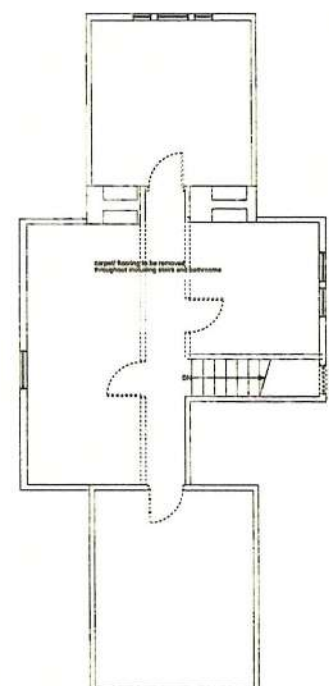
1 BASEMENT FLOOR
Scale: 1/4" = 1'-0"



2 MAIN FLOOR
Scale: 1/4" = 1'-0"



3 SECOND FLOOR
Scale: 1/4" = 1'-0"



4 TOP FLOOR
Scale: 1/4" = 1'-0"

DEMOLITION LEGEND & GENERAL NOTES

- EXISTING WALLS - GYPSUM PLASTER TO REMAIN
- EXISTING WALLS - TO BE STRIPPED OF GYPSUM PLASTER AND THE STUDS AND WINDOW SCHEDULES
- WALLS TO BE REMOVED
- REFER TO DOOR SCHEDULE

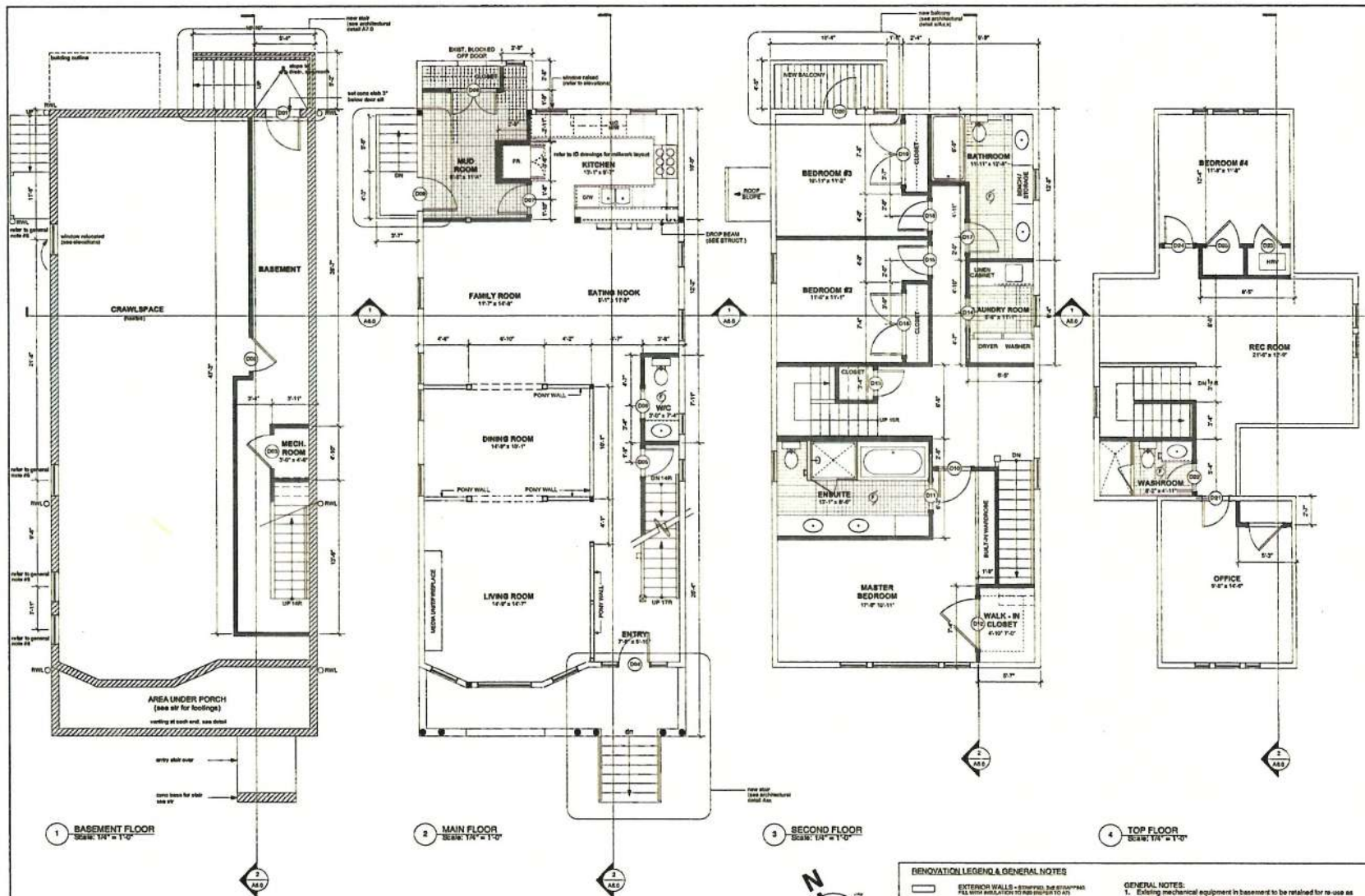
GENERAL NOTES:

1. All wood panel doors, frames and all moldings etc. are to be removed with care, catalogued, cleared and retained for potential reuse as per architect's instructions, and the studs and window schedules.
2. Remove radiators and heating lines (see mechanical drawings)
3. Remove and dispose of all existing electrical panels and equipment as per electrical drawings
4. Confirm removal of electrical branch wiring. Review with the electrical consultant. Refer to the electrical drawings & specifications.
5. Windows and trim in existing foundation wall to be removed with care and stored for re-use in new foundation.
6. Remove all existing fixtures and plumbing (to be replaced with new)
7. Remove all plaster/mortar ceilings (and floor where applicable)
8. Remove all carpet, vinyl tile, rubber base trim and window coverings
9. Remove all ceiling lines.
10. Remove and store any equipment, artifacts as directed by the Architect.
11. Refer to the specifications. It is to be used in conjunction with these drawings.
12. Protect all openings created by this contract during strip-out and moving.
13. Provide security to Owner's specification.

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Development Services Division



KEY: CECOCO
ARCHITECTURE LTD.
 100-115 HIGHWAY 10
 VANCOUVER, BC V6P 6E6
 TEL: 604-271-1111
 FAX: 604-271-1112

COMMENTS	
1. JWP SUBMISSION	JAN 11/11
2. REVISIONS TO JWP SUBMISSION	APR 10/11
3. REVISIONS TO DETAILS	JUL 10/11
4. SUBMISSION FOR BLDG PERMIT	AUG 10/11
5. REVISIONS TO JWP SUBMISSION	FEB 10/11

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PROJECT
- CAPITAL PARK - HERITAGE HOUSES
 222 Dallas Road
 1005 Midway Building
 Victoria, BC

RENO PLANS - BASEMENT, MAIN, SECOND & TOP FLOOR PLANS

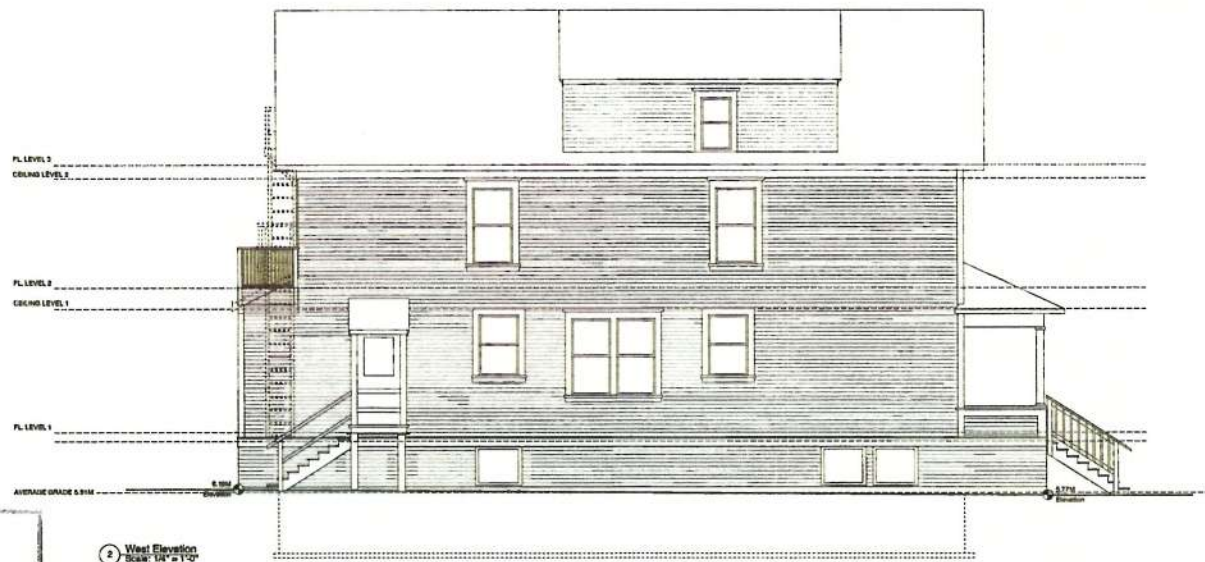
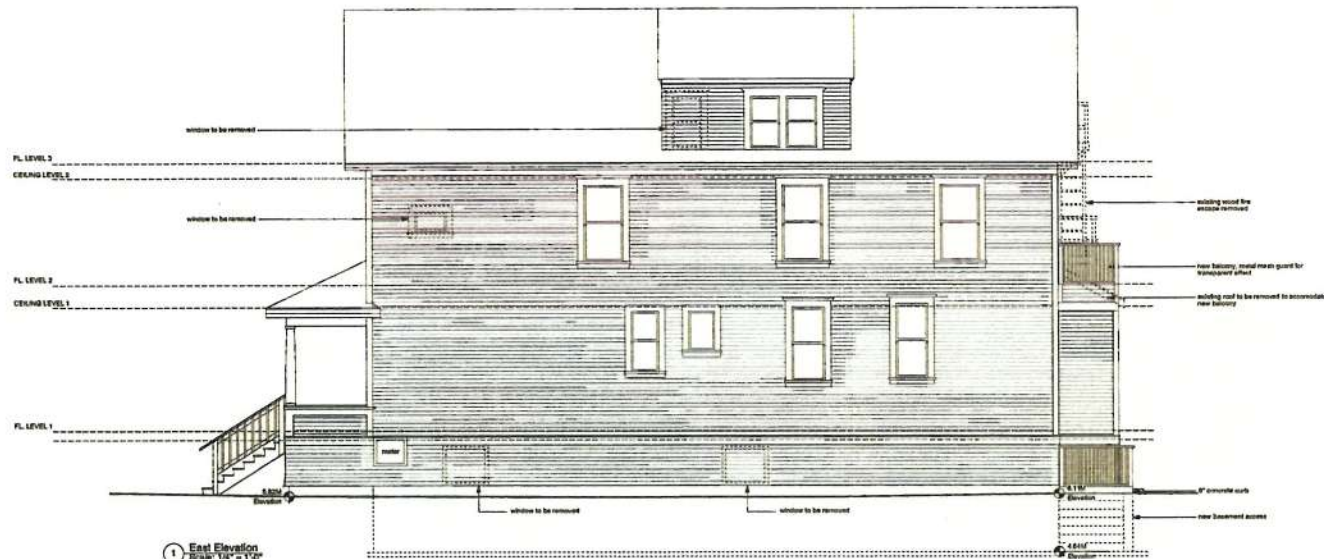
SCALE AS SHOWN	DATE 1124 - 1517
DATE PLOTTED AUGUST 18, 2015	
DRAWN BY	

A4.0

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 City of Victoria

AUG 18 2015

Planning & Development Department
 Development Services Division



KEAY CECOCO
ARCHITECTURE LTD.
1101 HURON STREET, VICTORIA, B.C. V8W 2M8
TEL: 250-383-1501
WWW.KCARCHITECTURE.COM

COMMENTS		
NO.	DESCRIPTION	DATE
1.	NOT SUBMITTED	JAN 15/15
2.	REVISIONS TO HAP SUBMISSION	APR 15/15
3.	REVISIONS TO DETAILS	JUL 20/15
4.	SUBMISSION FOR BLDG PERMIT	AUG 14/15
5.	REVISIONS TO HAP SUBMISSION	AUG 15/15

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PROJECT
- CAPITAL PARK -
HERITAGE HOUSES
222 Dallas Road
1025 Morgan Building
Victoria, BC

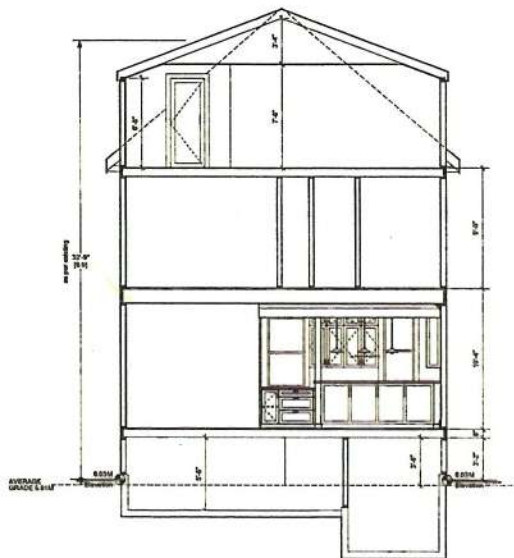
PROJECT TITLE
- ELEVATIONS -
EAST & WEST

SCALE AS SHOWN	DATE PLOTTED AUGUST 18, 2015	DRW No. 1124 - 1517
DESIGNER		A5.1

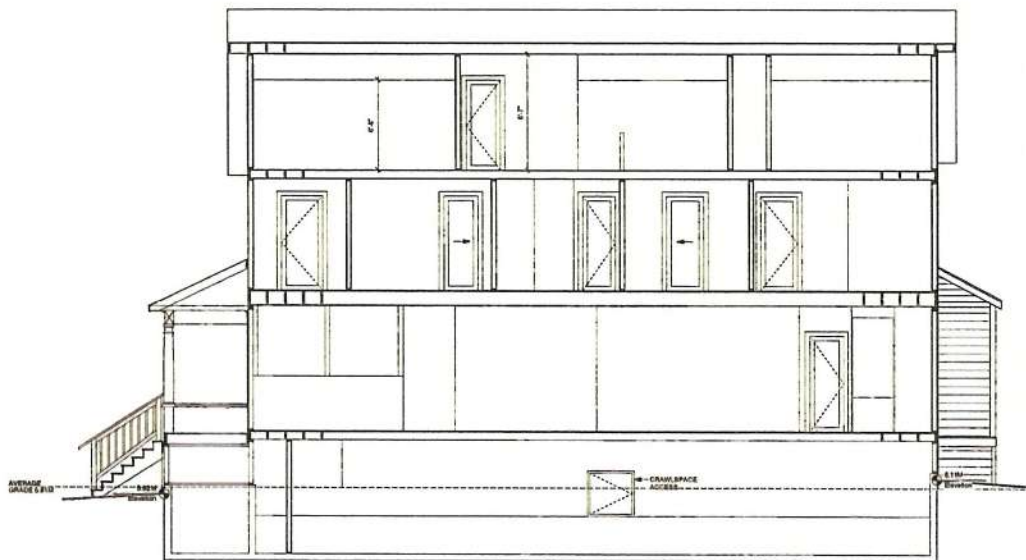
Received
City of Victoria

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Planning & Development Department
Development Services Division



1 SECTION - A
Scale: 1/4" = 1'-0"



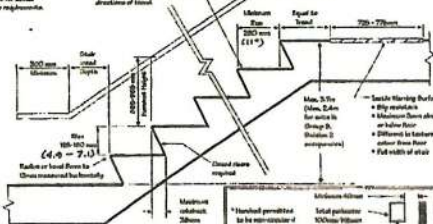
2 SECTION - B
Scale: 1/4" = 1'-0"

Typical Stair & Handrail Details (NTS)

- Treads & risers should be uniform in a flight.
- Uniform voids between treads and nosings, they are not allowed to cross.
- Uniform nosings at stairs to 200mm maximum vertically from nosing edge.
- Refer to 2.3.4.6.4 (b) for structural requirements for handrails.
- Refer to Building Code for actual nosing and complete requirements.

Handrail 500mm clearance minimum above stair, maintaining clear 10mm (minimum clearance) for required width 1000mm.

Handrail clear surface with nosing leading edge vertical or alternative pattern of leading edge, usually approved from both directions of travel.



Graham Harmsworth Ltd & Associates Ltd
Residential architectural services, including design, construction administration and project management.

3 TYPICAL STAIR & HANDRAIL DETAIL
Scale: 1" = 1'-0"

KEAY CECCO
ARCHITECTURE LTD

1000 WEST STREET, VICTORIA, BC V8W 2E6
TEL: 250-383-2500
WWW.KCARCHITECTURE.COM

COMMENTS		
No.	DESCRIPTION	DATE
1.	RAP SUBMISSION	APR 15/15
2.	REVISIONS TO RAP SUBMISSION	JUL 20/15
3.	REVISIONS TO DETAILS	JUL 20/15
4.	SUBMISSION FOR BLDG PERMIT	AUG 10/15
5.	REVISIONS TO RAP SUBMISSION	AUG 10/15

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PROJECT
**- CAPITAL PARK -
HERITAGE HOUSES**
222 Dallas Road
1000 St-James Building
Victoria, BC

SHEET TITLE
**SECTIONS
&
STAIR DETAIL**

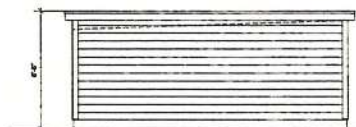
SCALE
AS SHOWN
DATE PLOTTED
AUGUST 18, 2015
DRAWN BY

A 6.0

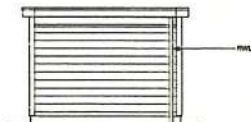
Received
City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division



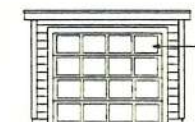
1 EAST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 Scale: 1/4" = 1'-0"
WEST ELEVATION



4 NORTH ELEVATION
Scale: 1/4" = 1'-0"

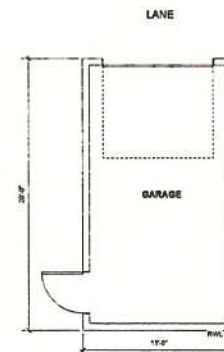
perpet finished over 2 yrs
with an existing support to show 1 ft
with 1/2" corded roller, painted

wood siding, painted, to south
house

1/2" corded roller corner boards,
painted

adhesive metal door and passage
and door, 1/2" corded roller,
painted

also overhead garage door and
horizontal panels, 1/2" corded
roller line, painted



5 FLOOR PLAN
Scale: 1/4" = 1'-0"



6 West Elevation
Scale: 1/4" = 1'-0"

KEY: CECOCO
ARCHITECTURE LTD.
1140 PETER STREET, VICTORIA, BC V8M 1A1
TEL: 250-383-1111
WWW.CECOCOARCHITECTURE.COM

COMMENTS		
No.	Description	Date
1.	HAP SUBMISSION	AUG 10/15
2.	REVISIONS TO HAP SUBMISSION	JUL 20/15
3.	REVISIONS TO DETAILS	JUL 20/15
4.	SUBMISSION FOR BLDG PERMIT	AUG 10/15
5.	REVISIONS TO HAP SUBMISSION	AUG 10/15

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PROJECT

- CAPITAL PARK -
HERITAGE HOUSES

222 Dallas Road
Victoria, BC

SHOOT TITLE

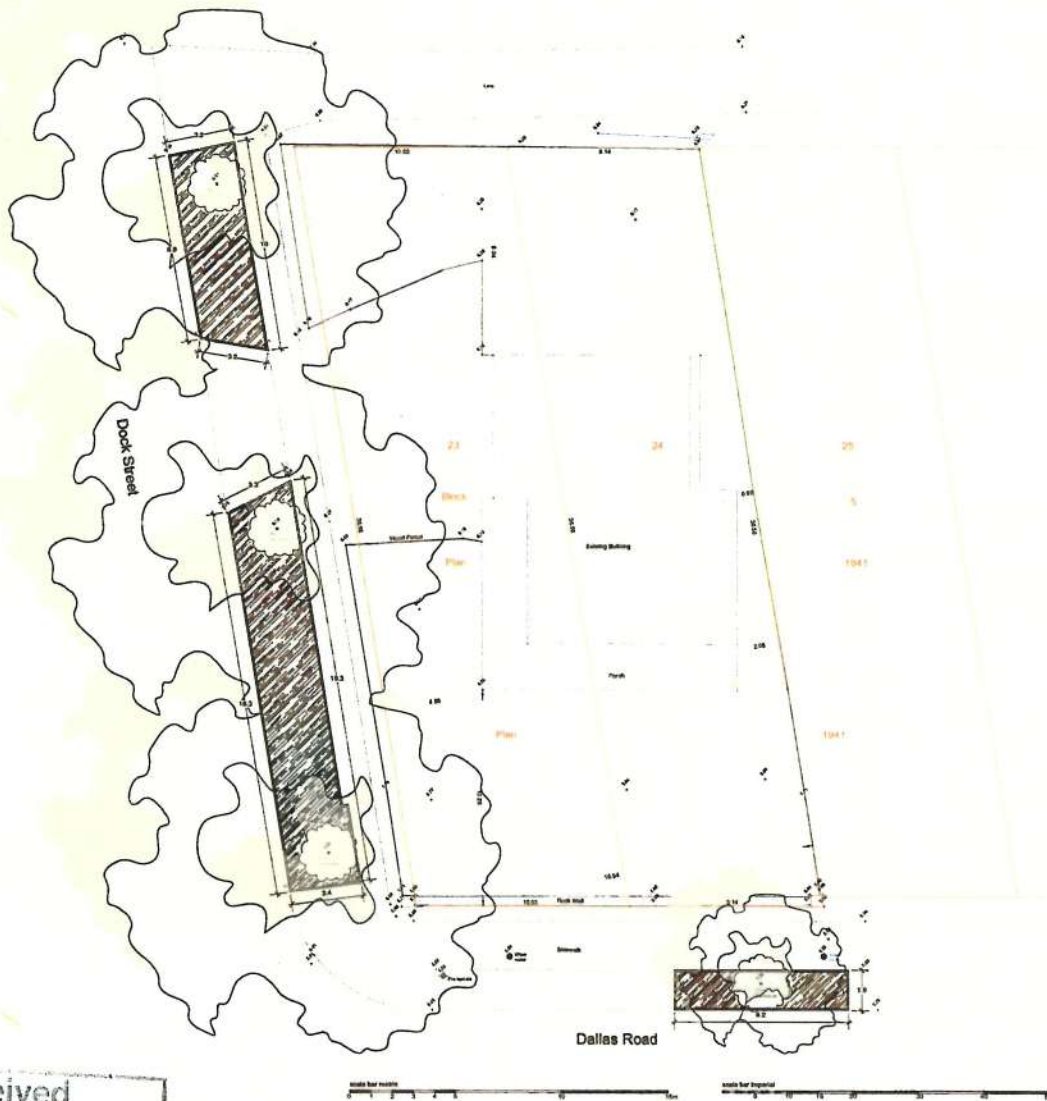
GARAGE

SCALE	1/4" = 1'-0"
AS SHOWN	1/2" = 1'-0"
DATE PLOTTED	AUGUST 18, 2015
DRAWN BY	A 6.1

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City of Victoria

AUG 18 2015

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Development Services Division



TREE PROTECTION AREA

NOTE: MUNICIPAL ANNOTATION TO DEFINE FINAL TREE PROTECTION AREA, FOR CITY TREE PROTECTION SPECIFICATIONS REFER TO ATTACHED SUBDIVISION & DEVELOPMENT SERVICES BY-LAW SCHEDULE 8 SUPPLEMENTARY DETAIL DRAWINGS SD 11 & SD 12.
ORIGINAL SURVEY PROVIDED BY J.E. ANDERSON AND ASSOCIATES
VICTORIA BC S80 727 2814
P.L.F. 2006 APRIL 18/15

EXISTING TREE DATA

TREE TOTALS (WITHIN WORKING BOUNDARY) - 8
PRE-EXISTING TREES TO BE RETAINED - 8
PRE-EXISTING TREES TO BE REMOVED - 0
ADJACENT TREES WITHIN WORKING BOUNDARY - 14 LULUS SPECIES

LEGEND

TREE PROTECTION AREA EXTENT OF FENCING



DUMP AND SHADOW LINE OF TREE CANOPY ESTIMATED BY DESIGNER



EXISTING STREET TREE CONDITIONS



SOUTHEAST VIEW DALLAS ROAD + DOOK ROAD



SOUTHWEST VIEW TOWARDS DALLAS ROAD

CHRISTIAN BARNARD
land X studio

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Victoria BC V8W 0C2
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L. 250.559.3033
www.christianbarnard.ca

DISCLAIMER: THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CHRISTIAN BARNARD. TO BE USED FOR THE PROJECT AND NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

Rev.	Date	Describe	By

REVISIONS

- ①
- ②
- ③
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CONSENT NOTICE
Drawings of existing facilities are, to present, representations based on information and data provided by the City of Victoria. The City of Victoria does not warrant the accuracy or completeness of the information and data provided. The City of Victoria is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The City of Victoria is not responsible for any damages or losses arising from the use of the drawings. The City of Victoria is not responsible for any damages or losses arising from the use of the drawings.

PROJECT TITLE:
Capital Park Heritage Houses
222-228 Dallas Road
524 + 526 Michigan Street Buildings
Victoria BC

DATE:
August 17, 2015
SCALE:
1:500
DRAWN BY:
CB
CHECKED BY:
S

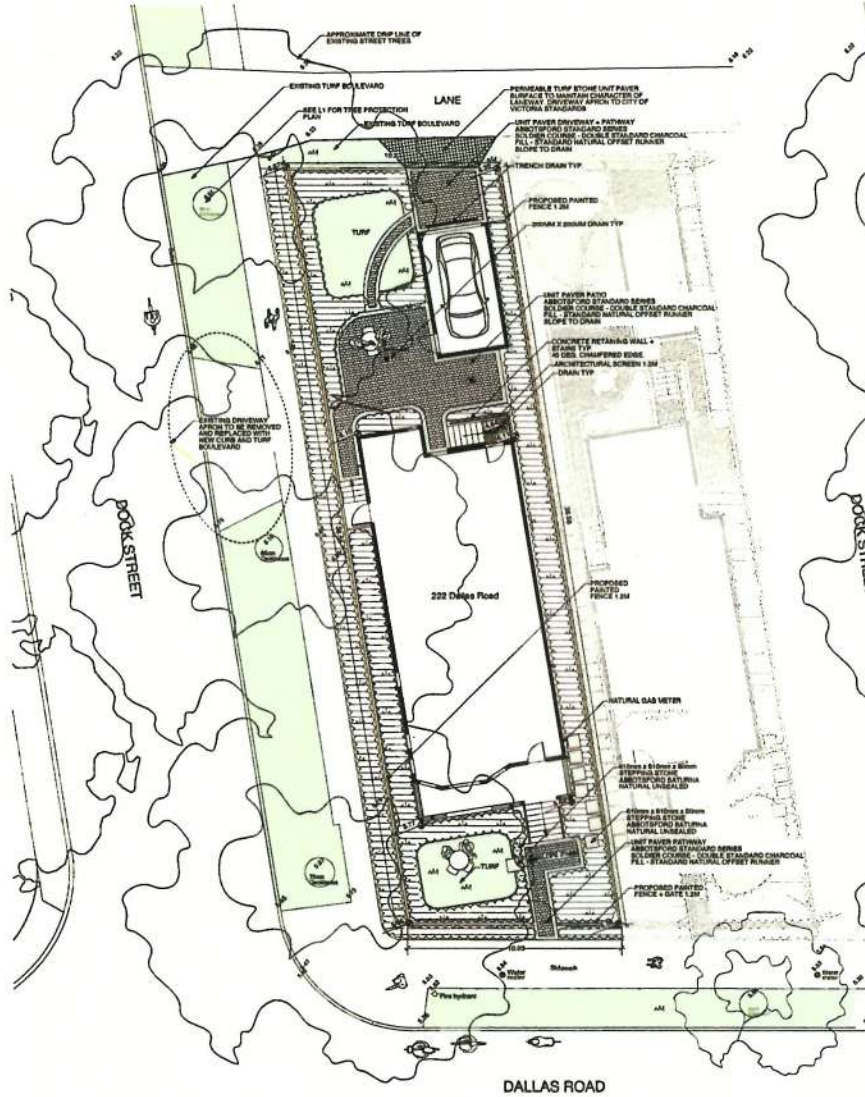
TREE PROTECTION
DALLAS ROAD

L1

Received
City of Victoria

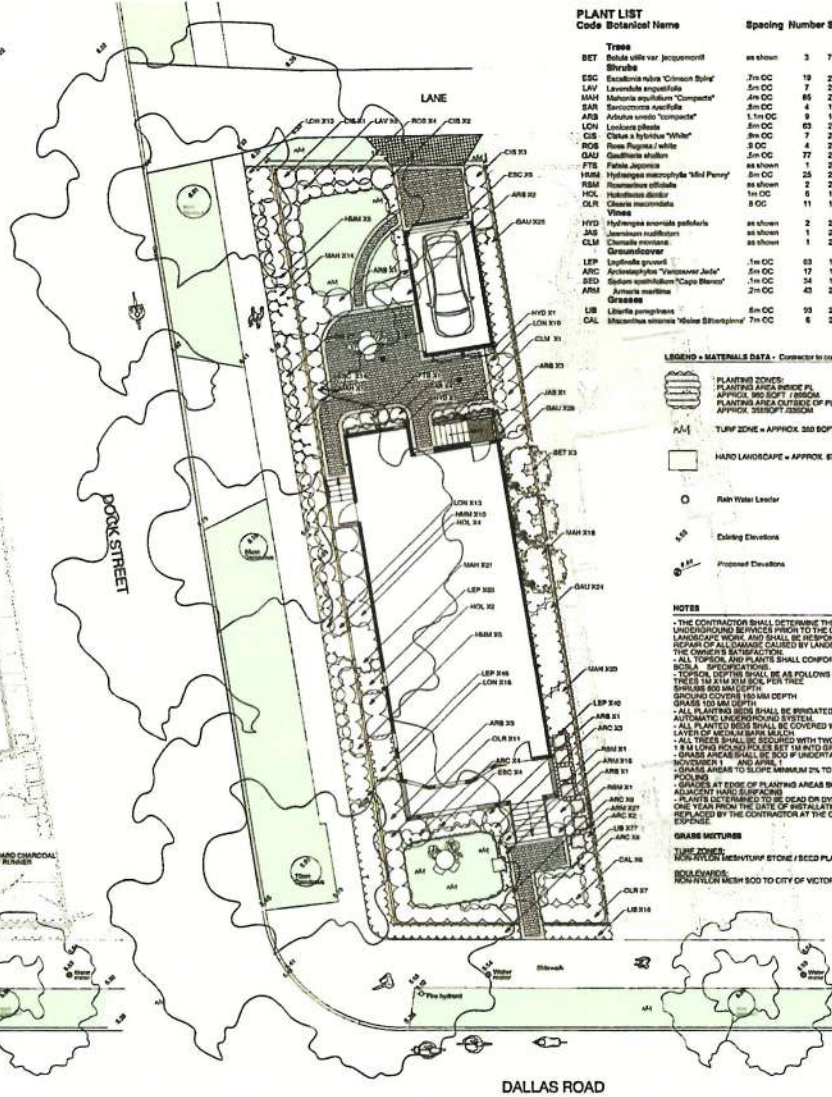
AUG 18 2015

Planning & Development Department
Development Services Division



L1 - Site Plan

scale for roads
0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100



L1 - Planting Strategy

scale for roads
0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

PLANT LIST Code Botanical Name

Code	Botanical Name	Spacing	Number	Scheduled Size
BET	Betula utilis var. Jacquemontii	as shown	3	7 cm cal
ESC	Euonymus alatus 'Crimson Spine'	7m OC	19	27 cm pot
LAV	Lavandula angustifolia	5m OC	7	27 cm pot
MAH	Malva sylvestris 'Compass'	5m OC	85	27 cm pot
SAR	Salix rosmarinifolia	5m OC	4	1m 9b
ARB	Arbutus unedo 'Torreana'	1.1m OC	9	2m 9b
LOH	Lonicera xylosteum	5m OC	63	27 cm pot
CIS	Citrus x hybridus 'White'	5m OC	7	27 cm pot
ROS	Rosa rugosa 'Laure'	5m OC	1	27 cm pot
GAU	Gaultheria shallon	5m OC	77	27 cm pot
FTS	Fuchsia japonica	as shown	1	27 cm pot
HYD	Hydrangea macrophylla 'Misty Morn'	5m OC	25	27 cm pot
ROS	Rosa rugosa 'Laure'	as shown	2	27 cm pot
HYD	Hydrangea macrophylla 'Misty Morn'	as shown	8	1.2m
CLR	Clivia miniata	5m OC	11	1.2m
HYD	Hydrangea macrophylla 'Misty Morn'	as shown	2	21 cm pot
JAS	Jasminum nudiflorum	as shown	1	21 cm pot
CLM	Chamaecrista	as shown	1	21 cm pot
LEP	Leptochloa gracilis	1m OC	83	12 cm pot
ARC	Archibutea 'Pinnatifida'	5m OC	17	12 cm pot
SSD	Styphelia tetrandra 'Cape Blanco'	1m OC	24	10 cm pot
ARM	Artemisia arbuscula	2m OC	43	27 cm pot
LIB	Libertia prostrata	5m OC	38	27 cm pot
CLM	Chamaecrista	7m OC	8	27 cm pot

LEGEND - MATERIALS DATA - Contractor to confirm on site

	PLANTING ZONES: PLANTING AREA INSIDE PL APPROX. 900 SOFT / 380CM
	PLANTING AREA OUTSIDE OF PL APPROX. 3300 SOFT / 380CM
	TURF ZONE - APPROX. 330 SOFT / 380CM
	HARD LANDSCAPE - APPROX. 870 SOFT / 380CM
	Rain Water Leader
	Existing Elevations
	Proposed Elevations

NOTES

THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO THE COMMENCEMENT OF LANDSCAPE WORK AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO SUCH SERVICES CAUSED BY LANDSCAPE WORK TO THE OWNER'S SATISFACTION.

ALL PLANTING SHALL CONFORM TO BCNTA / BCSA SPECIFICATIONS.

TOPSOIL DEPTH SHALL BE AS FOLLOWS:

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CHRISTIAN BARNARD
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w: christianbarnard.ca

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These designs and plans are not to be used for any other project without the written consent of the designer.

REVISIONS

No.	Date	Revised	By
1	June 20, 2015	222 + 228 2nd floor plan	CB
2	Aug. 17, 2015	222 + 228 2nd floor plan	CB

LEGAL DESCRIPTION

SECTION 28

222 DALLAS ROAD, VICTORIA, PLAN 1841

222 DALLAS ROAD, VICTORIA, PLAN 1841

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Received
City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division

PROJECT TITLE:
Capital Park Marquee Houses
222 Dallas Road
(524 Morgan Building)
Victoria BC

DATE:
August 11, 2015

SCALE:
1:100

Drawn By:
CB

Checked By:
CB

SHEET TITLE:
SITE PLAN +
LANDSCAPE

SHEET NO.:
1 OF 2

PROJECT NO.:
222 DALLAS ROAD

PROJECT LOCATION:
222 DALLAS ROAD
(524 Morgan Building)
Victoria BC

PROJECT DATE:
August 11, 2015

PROJECT SCALE:
1:100

PROJECT DRAWN BY:
CB

PROJECT CHECKED BY:
CB

South Block Development Corporation

3350 Douglas St. - Suite 100
Victoria, BC V8Z 3L1
Phone: 250 475-0338
Fax: 250 475-0339

August 17, 2015

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6



Attention: Mayor and Council

Re: Heritage Alteration Permit for 524 Michigan Street being relocated to 226 Dallas Road

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 524 Michigan Street within the lands known as South Block in James Bay. This house, along with 526 Michigan Street is being relocated and rehabilitated as committed to as part of the Capital Park redevelopment. This house was the subject of a previous application HAP 00188 which approved in concept the rehabilitation plan and the relocation of this home to a suitable site within James Bay. This application is consistent with the principles outlined in the previous application.

Since acquiring the Capital Park lands in the spring of 2014, South Block Development Corporation has been actively seeking out a receiver site for 524 and 526 Michigan Street in James Bay. After discussions with several land owners in James Bay and consultation with the Senior Heritage Planner, South Block Development Corporation has entered into an agreement to acquire a site at 224 Dallas Road that we feel would be an excellent receiver site for the two homes.

224 Dallas Road consists of two legal lots, one for each heritage home. No changes to either legal parcel are contemplated. A house originally constructed in the 1950's and added on to in the 1980's and during several other renovations spans both lots. The house is not deemed to be architecturally significant or of high quality. The house would be removed to facilitate the redevelopment of the property with the two heritage houses. The existing house will be offered by Nickel Brothers to anyone wishing to pay for its moving costs in an effort to retain it. Failing this the house would be demolished and materials reused, recycled and disposed of as appropriate.

This application contemplates relocating the house currently located at 524 Michigan Street to what would become 226 Dallas Road. 524 Michigan Street is currently vacant and the interior has been significantly altered and most recently used as a post disaster training facility. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. This application contemplates placing the house on a new foundation with a full height basement, fully rehabilitating the exterior in a historically sensitive manner as outlined in the enclosed Heritage Conservation Plan, upgrading thermal, seismic and structural performance, and completely renovating and rebuilding the interior to finish it as a custom single family home.

To facilitate the relocation and adaptive reuse some alterations will need to be made to the exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

1. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. Tongue and groove siding will be installed on the foundation as per the existing detail. There will be a new basement access point and two additional windows added on the east façade.
2. It is proposed that two windows will be relocated, two windows on the basement level will be removed, three windows will be added and one new window will be placed in an existing opening. Where new windows are added they will be replicas of the originals. The balance of the windows will be rebuilt with the original materials and storm windows added as appropriate.
3. The fire escape on the west side of the house will be removed.
4. The siding, trim and exterior finishes will be repaired and replaced with like materials as required and the houses will be painted using a historically appropriate colour palette.
5. Guard rails will be added to stairs and porches as required by Code.
6. Should the roof require replacement it will be done in line with what is suggested in the heritage conservation plan.

For further reference enclosed is the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The constraints imposed by the existing physical massing of the heritage house and the dimensions of the receiver lot necessitate a number of variances as follows:

1. A height variance is requested to accommodate the height of the existing heritage structure and preserve the existing relationship to grade as is consistent with heritage conservation principles. The proposed height is 8.8 meters, compared to an allowable height of 7.6 meters. This height variance would be required to accommodate this heritage house in any residential lot in James Bay. Enclosed please find a Shadow Analysis at the solstices and equinoxes comparing the shadow impact of the existing condition on the site, what would be permitted on the site under the existing zoning and the proposed development.
2. The east side yard setback is proposed at 1.2 meters compared to the 1.5 meter minimum contemplated in the zone. This is a larger setback than the current non-conforming 0.92 meter setback on the site.
3. The west side yard setback is proposed at 1.04 meters compared to the 1.5 meter minimum contemplated in the zone. The combined side yard setback is 2.24 meters compared to the 4.5 meter requirement. While the gap between the two heritage houses is narrow, this represents a new view corridor from 15/17 Dock Street as the house currently located on the site spans the interior lot line. The most significant impact of this variance is on the adjacent heritage house. This was done intentionally to minimize intrusions into the setbacks on the outer edges of the property which would have a greater impact on the existing neighbours. Please note an easement of 0.16 meters on the east side of 222 Dallas Road is proposed to provide 226 Dallas Road with the required 1.2 meter setback for code.
4. The front yard setback is proposed at 6.75 meters for the house, compared to 7.5 meters contemplated in the zone, 6.15 meters from the front porch compared to 5.9 meters contemplated in the zone and 4.83 meters for the front stairs compared to 5 meters contemplated in the zone. This will blend the setbacks between 222 Dallas Road and the neighbor at 230 Dallas Road.

Our application package also includes perspective drawings from Dallas Road, Dock Street and the existing laneway comparing the existing condition, a massing model of what would be permitted under the zoning as well as our proposal to illustrate the impact of the variances we are seeking.

In response to feedback received from neighbours and the community the landscape plan contemplates low height landscaping that will not block views from 15/17 Dock Street, the relocation plan contemplates loading the houses onto the site in a manner that permits the retention of existing boulevard trees, access off of the existing lane was designed with consideration given to providing safe access and visibility and dimensioning parking in a

way that discourages parking in a manner that intrudes on the laneway and discussions have also been had with the City about creating additional residential parking on Dock Street adjacent to 222 Dallas Road.

Please note a heritage designation application for this home has been submitted to the City of Victoria and subject to approval would be issued when the 524 Michigan Street is relocated to 226 Dallas Road.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

A handwritten signature in black ink, appearing to read 'Karen Jawl', written in a cursive style.

Per:
Karen Jawl

South Block Development Corporation

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Received
City of Victoria

AUG 20 2015

Manning & Development Department
Development Services Division

August 17, 2015

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Attention: Mayor and Council

Re: Heritage Alteration Permit for 526 Michigan Street being relocated to 222 Dallas Road

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 526 Michigan Street within the lands known as South Block in James Bay. This house, along with 524 Michigan Street is being relocated and rehabilitated as committed to as part of the Capital Park redevelopment. This house was the subject of a previous application HAP 00189 which approved in concept the rehabilitation plan and the relocation of this home to a suitable site within James Bay. This application is consistent with the principles outlined in the previous application.

Since acquiring the Capital Park lands in the spring of 2014, South Block Development Corporation has been actively seeking out a receiver site for 524 and 526 Michigan Street in James Bay. After discussions with several land owners in James Bay and consultation with the Senior Heritage Planner, South Block Development Corporation has entered into an agreement to acquire a site at 224 Dallas Road that we feel would be an excellent receiver site for the two homes.

224 Dallas Road consists of two legal lots, one for each heritage home. No changes to either legal parcel are contemplated. A house originally constructed in the 1950's and added on to in the 1980's and during several other renovations spans both lots. The house is not deemed to be architecturally significant or of high quality. The house would be removed to facilitate the redevelopment of the property with the two heritage houses. The existing house will be offered by Nickel Brothers to anyone wishing to pay for its moving costs in an effort to retain it. Failing this the house would be demolished and materials reused, recycled and disposed of as appropriate.

This application contemplates relocating the house currently located at 526 Michigan Street to what would become 222 Dallas Road. 526 Michigan Street is currently vacant and the interior has been significantly altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. This application contemplates placing the house on a new foundation, fully rehabilitating the exterior in a historically sensitive manner as outlined in the enclosed Heritage Conservation Plan, upgrading thermal, seismic and structural performance, and completely renovating and rebuilding the interior to finish it as a custom single family home.

To facilitate the relocation and adaptive reuse some alterations will need to be made to the exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

1. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. Tongue groove siding will be installed on the foundation as per the existing detail. There will be a new basement access point.

2. It is proposed one new window at the rear of the house will be added with the sill to match the window adjacent to accommodate kitchen cabinets, one window will be relocated in the basement, two windows in the basement and one on the top floor will be removed and one window will be replaced with a door to provide exiting as required by code. Where new windows are added they will be replicas of the originals. The balance of the windows will be rebuilt with the original materials and storm windows added as appropriate.
3. The existing door at the rear of the house will be removed and replaced with siding consistent with the balance of the house.
4. The siding, trim and exterior finishes will be repaired and replaced with like materials as required and the houses will be painted using a historically appropriate colour palette.
5. Guard rails will be added to stairs and porches as required by Code.
6. Should the roof require replacement it will be done in line with what is suggested in the heritage conservation plan.
7. A new balcony will be added on the rear of the house as required by Code and will be designed in a historically sensitive manner.

For further reference enclosed is the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The constraints imposed by the existing physical massing of the heritage house and the dimensions of the receiver lot necessitate a number of variances as follows:

1. A height variance is requested to accommodate the height of the existing heritage structure and preserve the existing relationship to grade as is consistent with heritage conservation principles. The proposed height is 9.9 meters, compared to an allowable height of 7.6 meters and 2.5 storeys, compared to the 2 storeys permitted. This height variance would be required to accommodate this heritage house in any residential lot in James Bay. Enclosed please find a Shadow Analysis at the solstices and equinoxes comparing the shadow impact of the existing condition on the site, what would be permitted on the site under the existing zoning, and the proposed development.
2. The west side yard setback is proposed at 1.32 meters compared to the 3.5 meter minimum contemplated in the zone. A consequence of this is the impact on the south west view corridor of the neighbor to the North at 15 Dock Street. The South/West view cone from 15 Dock Street is 5% smaller than would be permitted under the zoning. The north/south siting of this house was carefully studied to minimize the impact on this view cone.
3. The east side yard setback is proposed at 1.36 meters compared to the 1.5 meter minimum contemplated in the zone. The combined side yard setback is 2.68 meters compared to the 4.5 meter requirement. While the gap between the two heritage houses is narrow, this represents a new view corridor from 15/17 Dock Street as the house currently located on the site spans the interior lot line. The most significant impact of this variance is on the adjacent heritage house. This was done intentionally to minimize intrusions into the setbacks on the outer edges of the property which would have a greater impact on the existing neighbours. Please note an easement of 0.16 meters on the east side of 222 Dallas Road is proposed to provide 226 Dallas Road with the required 1.2 meter setback for code.
4. The front yard setback is proposed at 6.45 meters for the house, compared to 7.5 meters contemplated in the zone, 4.94 meters for the porch compared to 5.9 meters contemplated in the zone, and 3.91 meters for the front stairs compared to 5 meters contemplated in the zone. Siting the house further forward on the lot helps mitigate the impact on the view cone to the water from 15 Dock Street.

Our application package also includes perspective drawings from Dallas Road, Dock Street and the existing laneway comparing the existing condition, a massing model of what would be permitted under the zoning as well as our proposal to illustrate the impact of the variances we are seeking.

In response to feedback received from neighbours and the community the landscape plan contemplates low height landscaping that will not block views from 15/17 Dock Street, the relocation plan contemplates loading the houses onto the site in a manner that permits the retention of existing boulevard trees, access off of the existing lane was designed with consideration given to providing safe access and visibility and dimensioning parking in a way that discourages parking in a manner that intrudes on the laneway and discussions have also been had with the City about creating additional residential parking on Dock Street adjacent to 222 Dallas Road.

Please note a heritage designation application for this home has been submitted to the City of Victoria and subject to approval would be issued when the 526 Michigan Street is relocated to 222 Dallas Road.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

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