

Planning and Land Use Committee Report For the Meeting of June 25, 2015

To:

Planning and Land Use Committee

Date:

June 2, 2015

From:

Murray G. Miller, Senior Heritage Planner

Subject:

Heritage Alteration Permit Application Nos. 00198, 00199 and 00200 for

521, 539 and 545 Superior Street

RECOMMENDATION

Staff recommend that the Committee forward this report to Council and that Council consider the following motion:

"That Council authorize the issuance of Heritage Alteration Permit Applications Nos. 00198, 00199 and 00200 for 521, 539 and 545 Superior Street, respectively, in accordance with:

- Plans date stamped February 18, 2015.
- 2. Development meeting all Zoning Regulation Bylaw requirements.
- Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Assistant Director, Community Planning, prior to the issuance of a Building Permit."

LEGISLATIVE AUTHORITY

In accordance with sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations regarding three Heritage Alteration Permit Applications for the Heritage-Registered houses (presently located at 521, 539 and 545 Superior Street) to be relocated to 580, 588 and 584 Michigan Street, respectively.

The following points were considered in assessing this application:

- general consistency with the Official Community Plan (OCP)
- consistency with the Standards and Guidelines for the Conservation of Historic Places in Canada

BACKGROUND

At its meeting on September 11, 2014, Council authorized the issuance of Heritage Alteration Permit Nos. 00184, 00187 and 00185, for 521, 539 and 545 Superior Street, for the relocation of the Jameson, John and Black Residences, respectively, subject to specified conditions being met prior to the issuance of Building Permits. Those conditions have now been met.

On May 14, 2015, Council considered the designation of three Heritage-Registered houses presently located at 521, 539 and 545 Superior Street (to be relocated to 580, 588 and 584 Michigan Street) in accordance with the applicant's relocation schedule dated April 23, 2015, and in accordance with Council's September 11, 2014 motion:

- 1. That Council consider giving first and second reading of the Heritage Designation Bylaws; and
- That Council consider delaying the advancement of the Heritage Designation Bylaws to a Public Hearing until the legal descriptions of the new receiver sites have been provided.

The rehabilitation of the three houses will occur after the houses have been relocated. The relocation of the houses to their new foundations is scheduled to begin in October 2015. The applications associated with this report are being advanced to Council well ahead of the relocation of the houses so that all approvals regarding the relocation, designation and rehabilitation may be considered having regard to the applicant's amended construction schedule.

Description of Proposal

The proposal outlined in Heritage Alteration Permit No. 00198 is to rehabilitate the house presently located at 521 Superior Street (after its relocation to 580 Michigan Street) and will involve the construction of new concrete footings on the receiver site with brick reclaimed from the existing foundations for use as a veneer to the new foundation walls that are visible above grade; new storm windows that are compatible with the character of the place; alteration of rear and side window/door openings in order to accommodate relocated windows and a new exit door; additions to the existing guardrails and constructing a new steel fire escape to comply with the Building Code; repairs to the exterior wood shingles; and the reconstruction of chimneys that are proposed to be removed to accommodate the relocation of the house.

The scope of the proposed work outlined in Heritage Alteration Permit No. 00199, for the Heritage-Registered property presently located at 539 Superior Street (to be relocated to 588 Michigan Street) is similar to that proposed for 521 Superior Street, except that the work does not involve dismantling of chimneys, the removal of wood fire escapes, additional doors for exiting or a rear porch.

The scope of the proposed work outlined in Heritage Alteration Permit No. 00200, for the Heritage-Registered property presently located at 545 Superior Street (to be relocated to 584 Michigan Street) is similar to that proposed for 521 Superior Street.

The scope of the proposed work for the three buildings is more particularly described in the plans prepared by Keay Cecco Architecture Ltd., date stamped February 18, 2015, and in the applicant's letter, date stamped February 18, 2015.

ANALYSIS

The following sections provide a summary of the application's consistency with the relevant City policies and guidelines.

Official Community Plan

The proposed development outlined in the applications is consistent with the OCP because it contributes to the goal of protecting and celebrating Victoria's cultural and natural heritage resources. In addition, a key strategic direction of James Bay would be met by the rehabilitation of these properties for a compatible use.

Standards and Guidelines for the Conservation of Historic Places in Canada (As applicable to all three buildings)

Exterior Walls

The proposal includes the repair of the exterior wood shingles and reusing reclaimed brick on the new concrete foundation walls. This will conserve and reinstate important character-defining elements of the building's exterior and is consistent with the Standards and Guidelines where it recommends designing a new addition in a manner that preserves the character-defining exterior walls of the historic building.

Doors and Windows

The rehabilitation of existing wood windows and the construction of new storm windows that are compatible with the character of the place will significantly improve the thermal performance of the exterior envelope and is consistent with the Standards and Guidelines where it recommends designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

Roof

Undertaking repairs to the roofs and rebuilding the chimneys above the roofline will reinstate an important character-defining element that is consistent with the Standards and Guidelines where it recommends repairing a roof assembly, including its functional and decorative elements, by using a minimal intervention approach.

Codes

Alterations to existing guardrail to rear and side openings and the construction of a new exit stair in order to comply with the Building Code is consistent with the Standards and Guidelines where it recommends complying with health, safety and security requirements in a manner that conserves the heritage value of the exterior wall assembly and minimizes impact on its character-defining elements.

CONCLUSIONS

These applications to rehabilitate the three houses are consistent with the Standards and Guidelines in relation to exterior walls, doors and windows, roof elements and compliance with building codes. Staff therefore recommends that the Council consider supporting the applications subject to the conditions outlined in this report.

ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application Nos. 00198, 00199 and 00200 for the properties presently located at 521, 539 and 545 Superior Street, to be relocated to 580, 588 and 584 Michigan Street, respectively.

Respectfully submitted,

Murray G. Miller Senior Heritage Planner Community Planning Division Andu Hhoder

Andrea Hudson
Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:

Jason Johnson

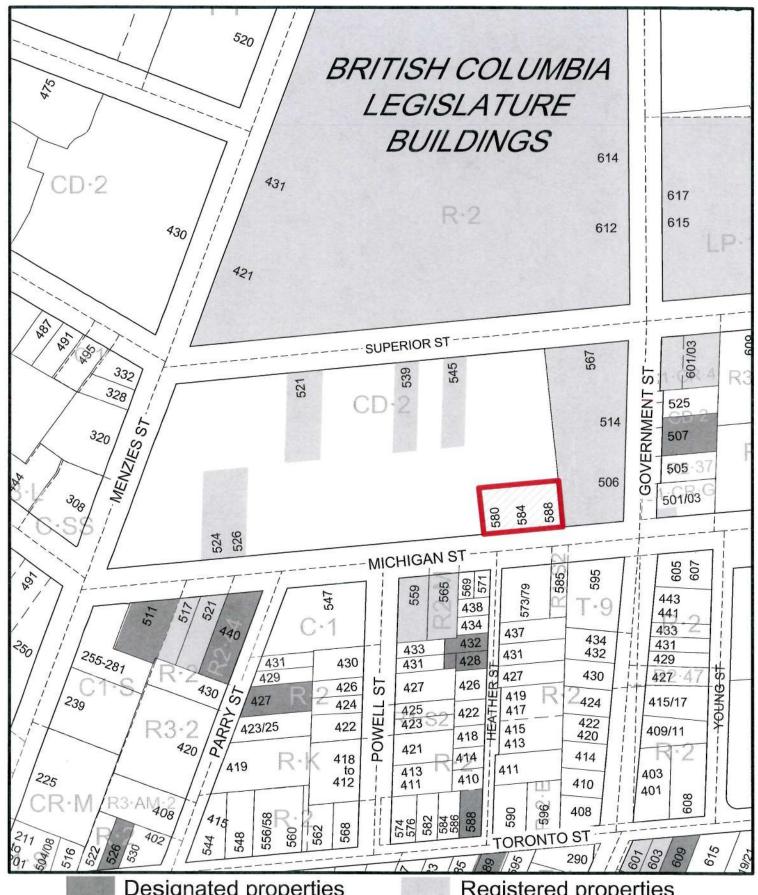
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List of Attachments

- Subject map
- Relocation map
- Aerial photograph
- Plans dated February 18, 2015
- Letters from the owner, date stamped February 18, 2015.



Designated properties

Registered properties

521, 539 and 545 Superior Street (Will be 580, 584 & 588 Michigan Street)

Heritage Alteration Permits #00198, 00199 & 00200 Heritage Designation Permits #00000145, 00146 & 00147





RELOCATION SITE PLAN



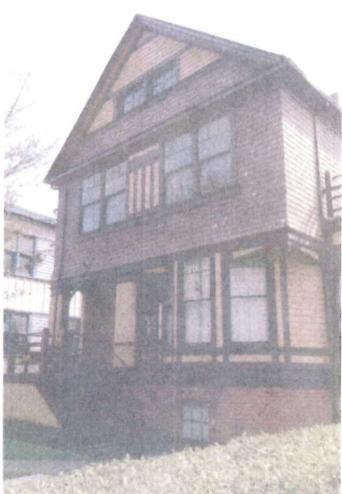


521, 539 and 545 Superior Street (Will be 580, 584 & 588 Michigan Street)

Heritage Alteration Permits #00198, 00199 & 00200 Heritage Designation Permits #00000145, 00146 & 00147



CAPITAL PARK - HERITAGE BUILDINGS 521 SUPERIOR BUILDING



ARCHITECTURAL: KEAY CECCO ARCHITECTURE LTD. CONTACT: JOHN KEAY
Phone: 250,382,3823
Email: john@kcarchitecture,ca

A0.0 TITLE SHEET A1.0 SITE PLAN

A1.0 STE PLAN
A2.0 PHOTOGRAPHS
A2.1 PHOTOGRAPHS
A3.0 DEMO PLANS - BASEMENT / MAIN
A3.1 DEMO PLANS - 2ND / TOP
A4.0 RENO PLANS - BASEMENT / MAIN
A4.1 RENO PLANS - 2ND / TOP
A5.0 ELEVATIONS

A5.1 ELEVATIONS A6.0 SECTIONS A7.0 DETAILS A7.1 STAIR DETAILS READ JONES CHRISTOFFERSEN CONTACT: LEON PLETT Phone: 250.386,7794 Email: lplett@rjc.ca

S1 PRELIMINARY DRAWINGS

WSP CANADA INC. CONTACT: CRAIG HARRISON & PAUL TIMMINS Phone: 250.384,5510

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APPLIED ENGINEERING SOLUTIONS LTD, CONTACT: JAY SINGH Phone: 250,381,6121

GENERAL NOTES

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WSP CANADA INC.
CONTACT: STEPHEN CHILDS
Phone: 250,384,5510
Email: stephen.childs@wspgro

CO1 SITE SERVICING PLAN

Email: fv@qhl.ca ATTACHED REPORT

CODE CONSULTANT: GHL CONSULTANTS LTD.

LANDSCAPE ARCHITECT: PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. CONTACT: GRANT BRUMPTON Phone: 604,639,5218 CONTACT: FRANKIE VICTOR

> LDP 1.00 PRECEDENT IMAGES LDP 1.01 MATERIALS AND GRADING SITE PLAN

INTERIOR DESIGNER: KYLA BIDGOOD INTERIOR DESIGN CONTACT: KYLA BIDGOOD Phone: 250,589,0852

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- CAPITAL PARK -HERITAGE HOUSES

521 Superior Street, Victoria, BC

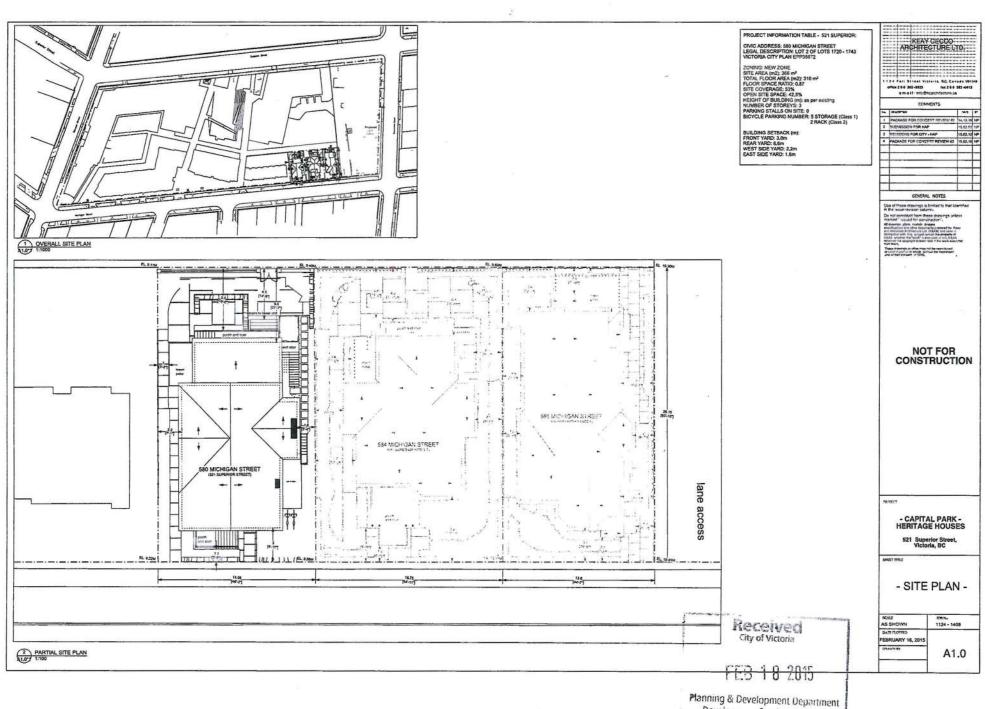
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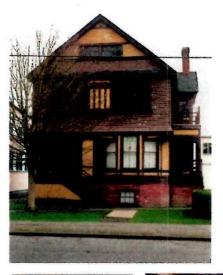
HERITAGE CONSULTANT: DONALD LUXTON AND ASSOCIATES INC. Phone: 604,688,1216

CONSERVATION PLAN - JANUARY 2015





Development Services Division























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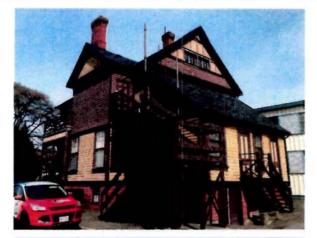
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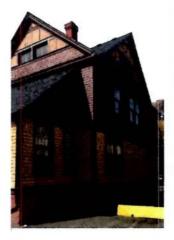






















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- CAPITAL PARK -HERITAGE HOUSES

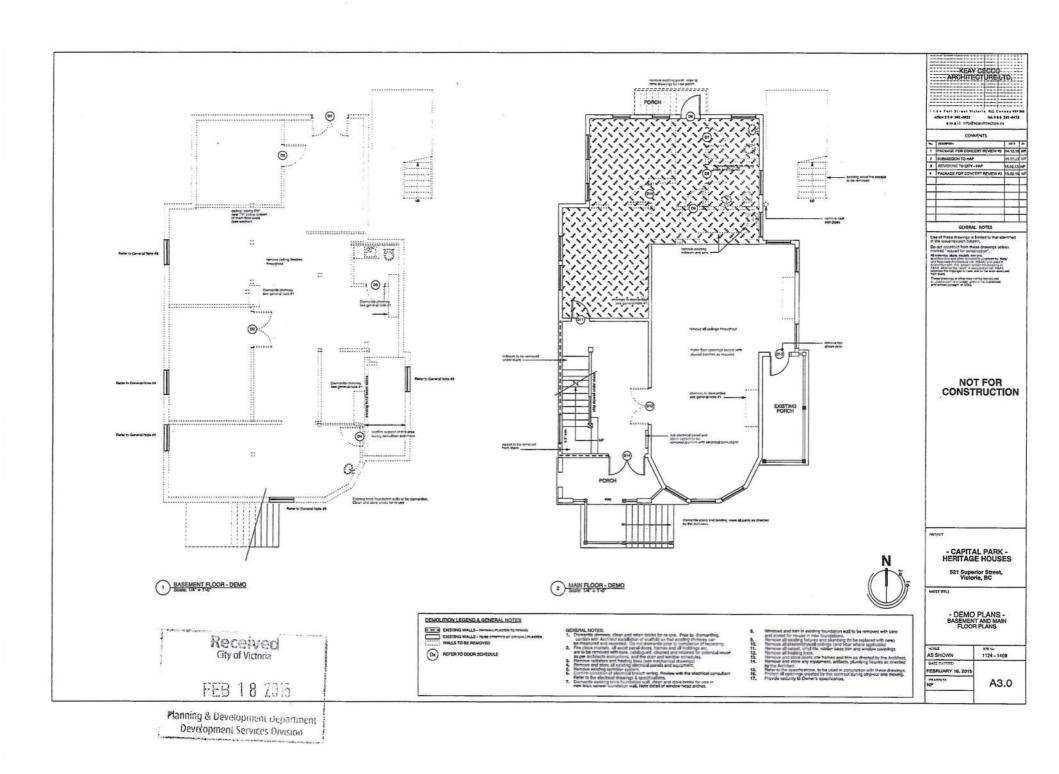
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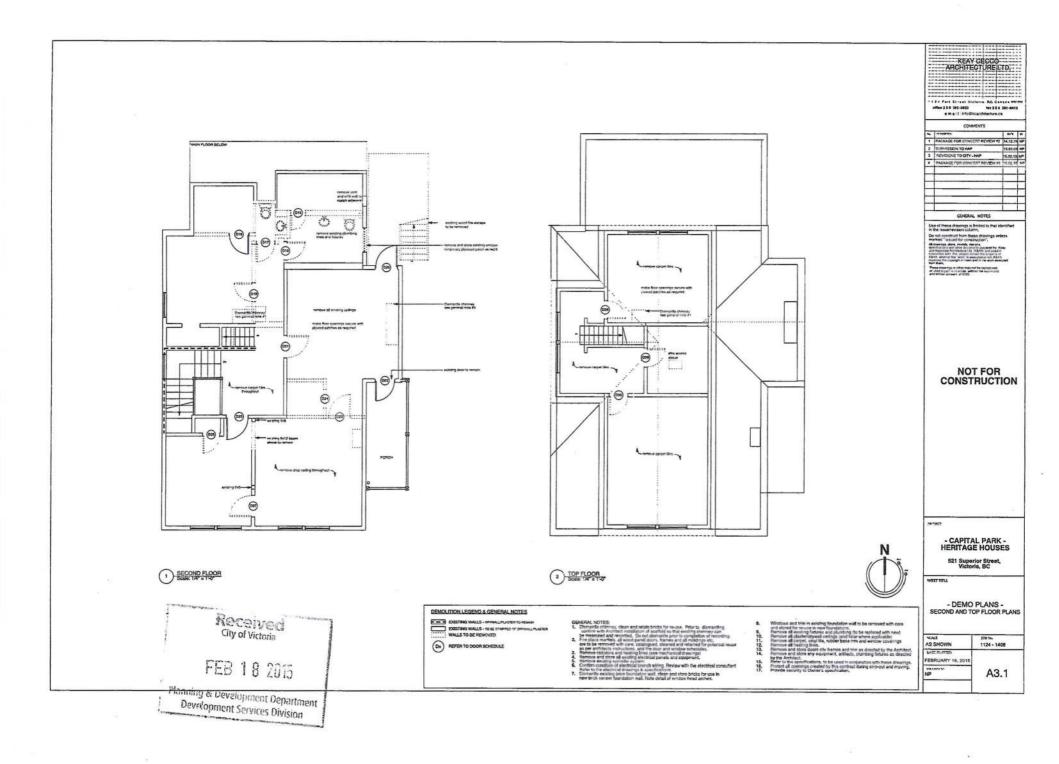
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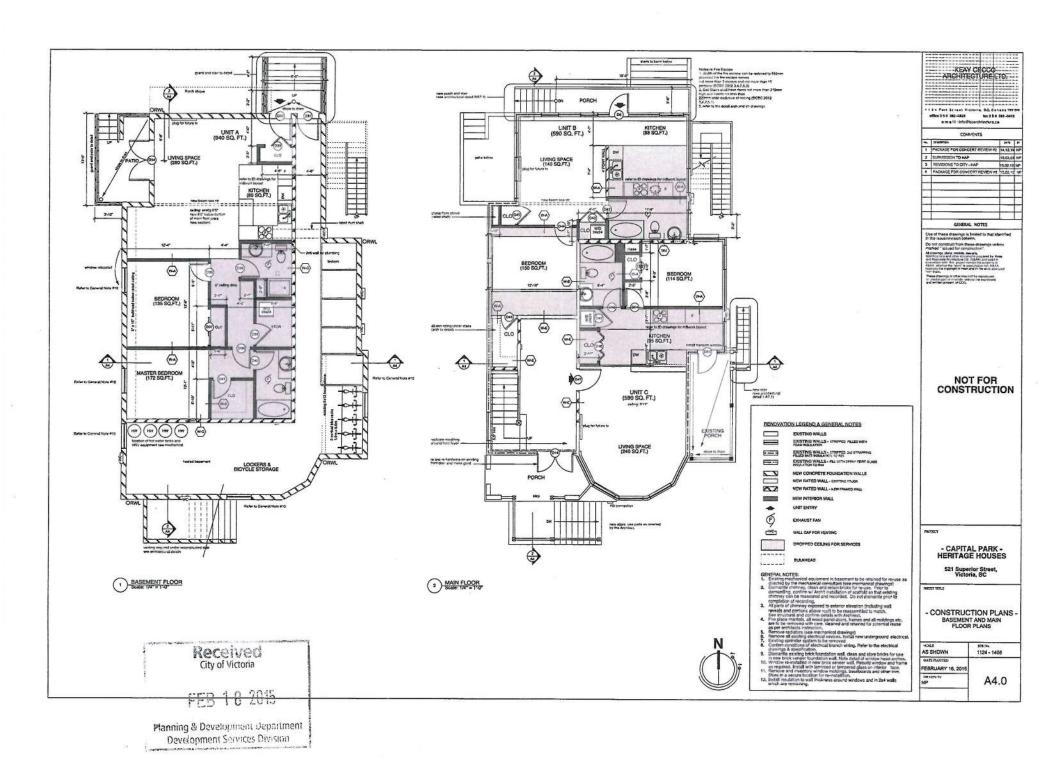
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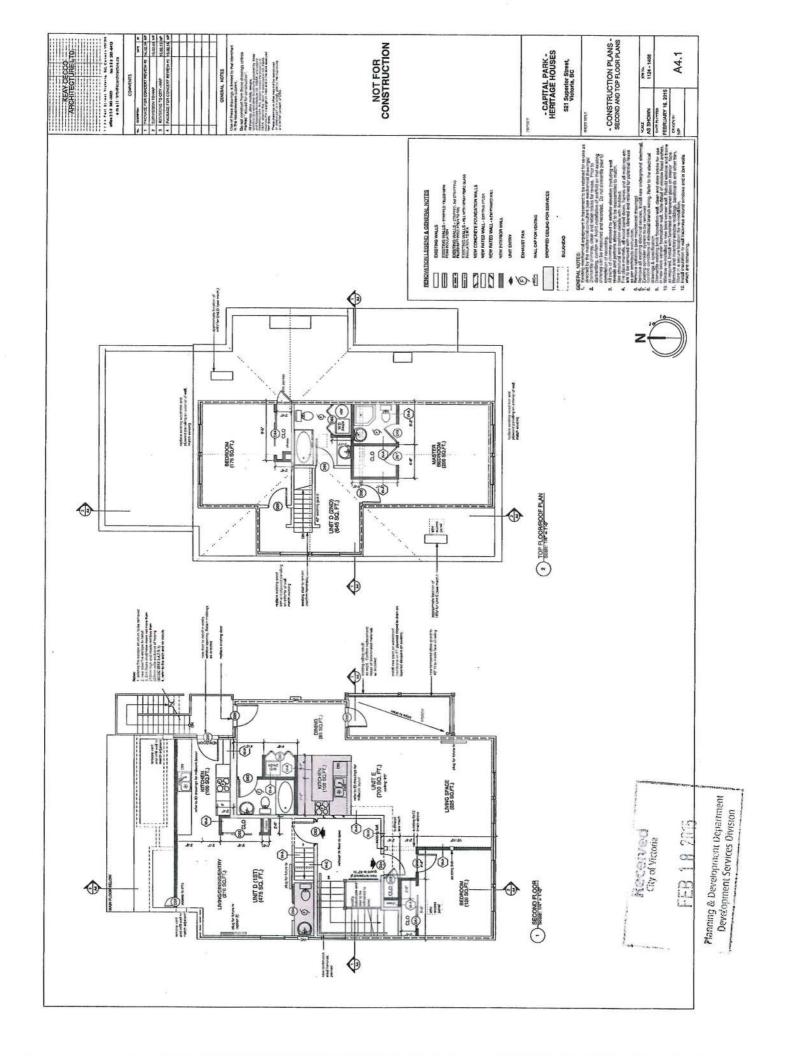
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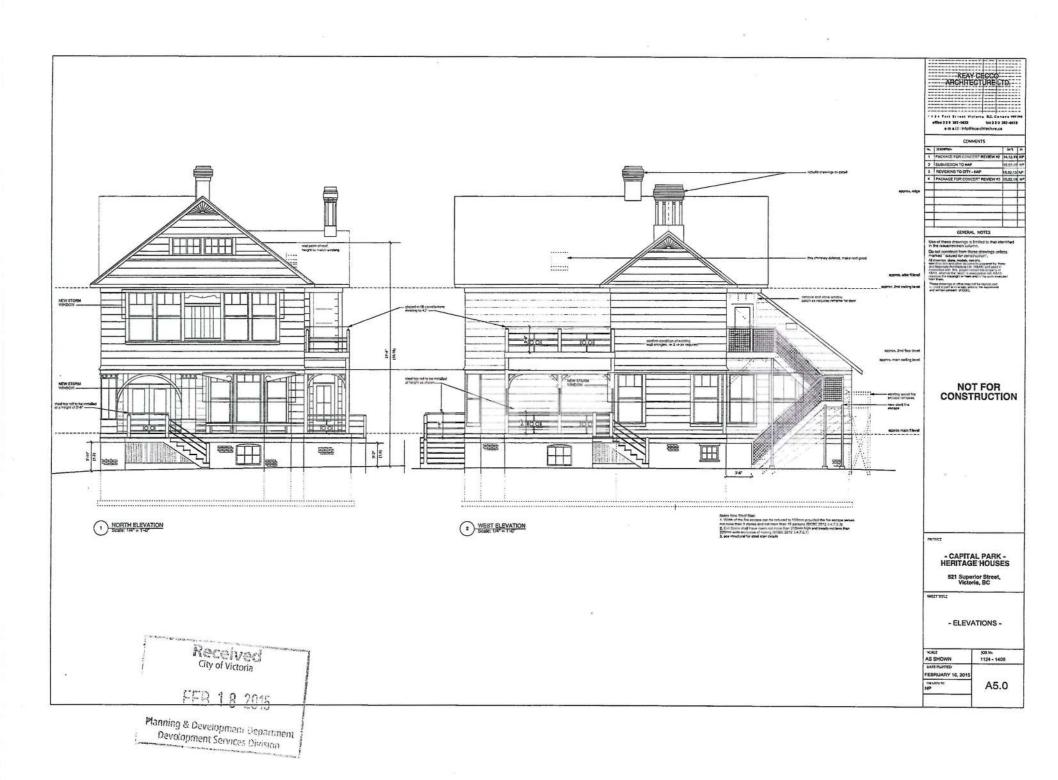
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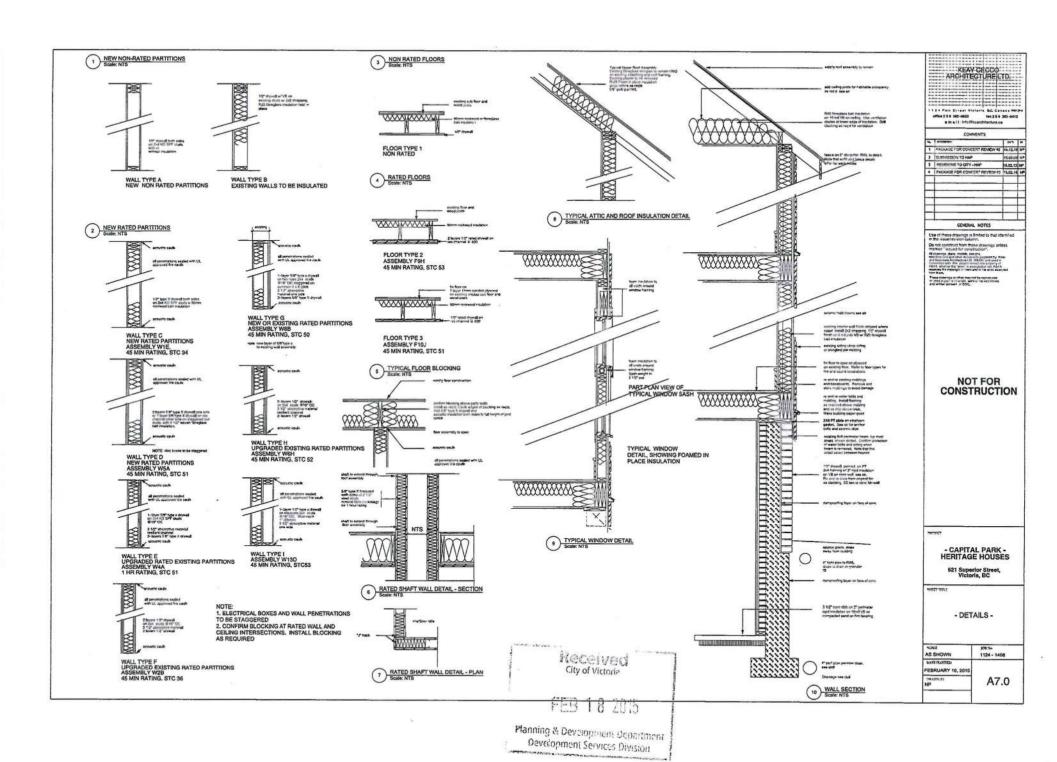


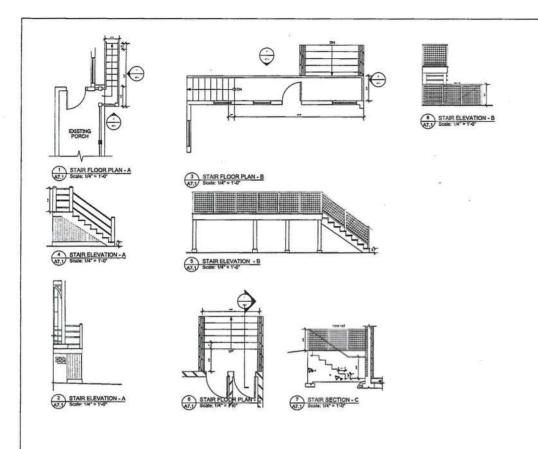














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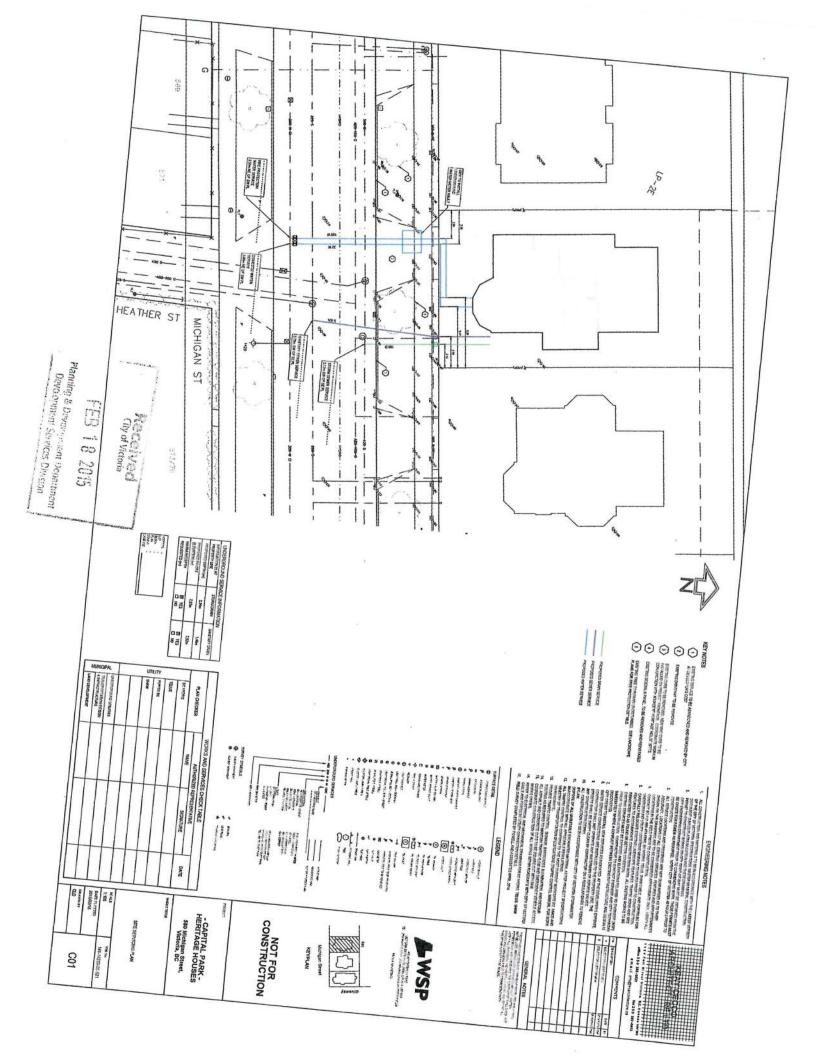
- CAPITAL PARK -HERITAGE HOUSES

521 Superior St Victoria, BC

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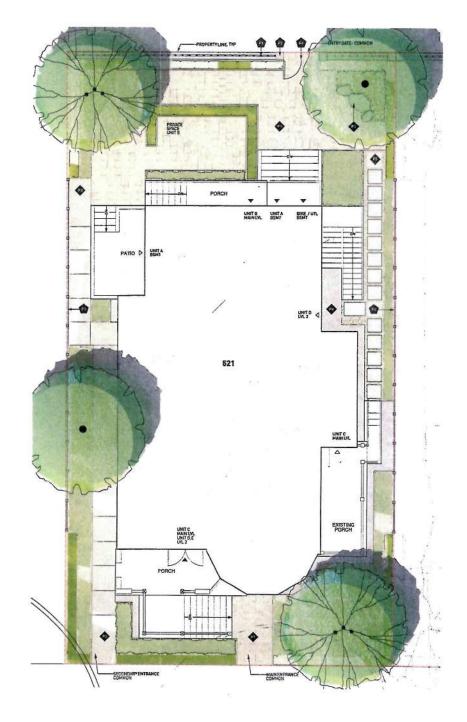
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ø	GRANTEPILASTER
•	6"TIMBER FENCE
•	ENTRY GATE







Capital Park Heritage Buildings Victoria, BC

MATERIALS PLAN

521 SUPERIOR STREET



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City of Victoria

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CAPITAL PARK - HERITAGE BUILDINGS 539 SUPERIOR BUILDING

* CONSULTANTS NOT IN HAP SUBMISSION GREYED OUT

ARCHITECTURAL: KEAY CECCO ARCHITECTURE LTD. CONTACT: JOHN KEAY Phone: 250.382.3823 Email: john@kcarchitecture.ca

A0.0 TITLE SHEET A1.0 SITE PLAN

A2.0 PHOTOGRAPHS
A3.0 DEMO PLANS - BASEMENT / MAIN
A4.0 RENO PLANS - BASEMENT / MAIN
A5.0 ELEVATIONS & STAIR DETAILS

STRUCTURAL: READ JONES CHRISTOFFERSEN CONTACT: LEON PLETT Phone: 250,386,7794 Email: Iplett@rjc.ca

S1 PRELIMINARY DRAWINGS

MECHANICAL: WSP CANADA INC, CONTACT: CRAIG HARRISON & PAUL TIMMINS Phone: 250,384,5510
Email: craig.harrison@wspgroup.com

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APPLIED ENGINEERING SOLUTIONS LTD. CONTACT: JAY SINGH

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CIVIL: WSP CANADA INC. CONTACT: STEPHEN CHILDS

C01 SITE SERVICING PLAN

CODE CONSULTANT: GHL CONSULTANTS LTD. CONTACT: FRANKIE VICTOR

ATTACHED REPORT

LANDSCAPE ARCHITECT: PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. CONTACT: GRANT BRUMPTON Phone: 604,639,5218

LDP 1.00 PRECEDNET IMAGES LDP 1.01 MATERIALS AND GRADING SITE PLAN

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- CAPITAL PARK -HERITAGE HOUSES

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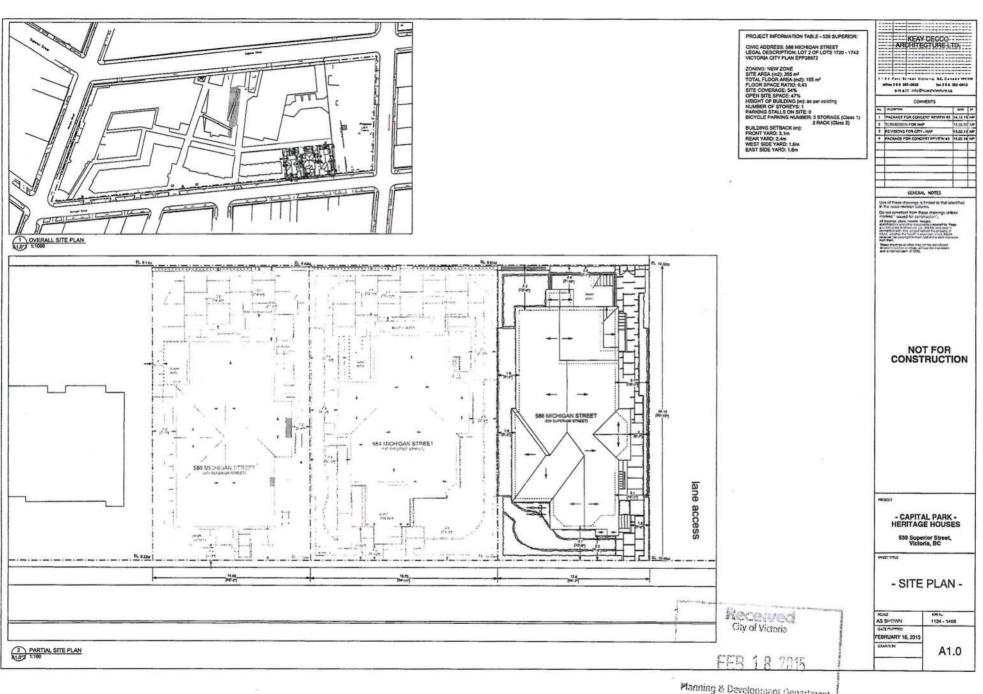
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HERITAGE CONSULTANT: DONALD LUXTON AND ASSOCIATES INC. CONTACT: DONALD LUXTON

CONSERVATION PLAN - JANUARY 2015





















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SOUTH ELEVATION









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Manning & Development Department Development Services Division

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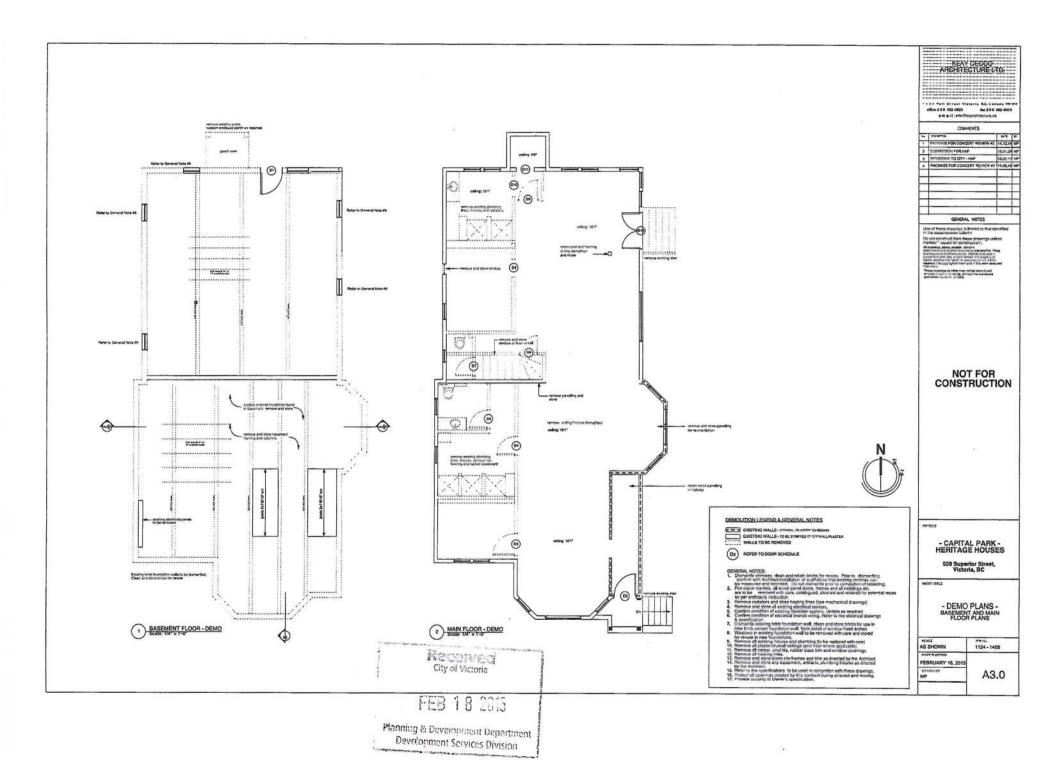
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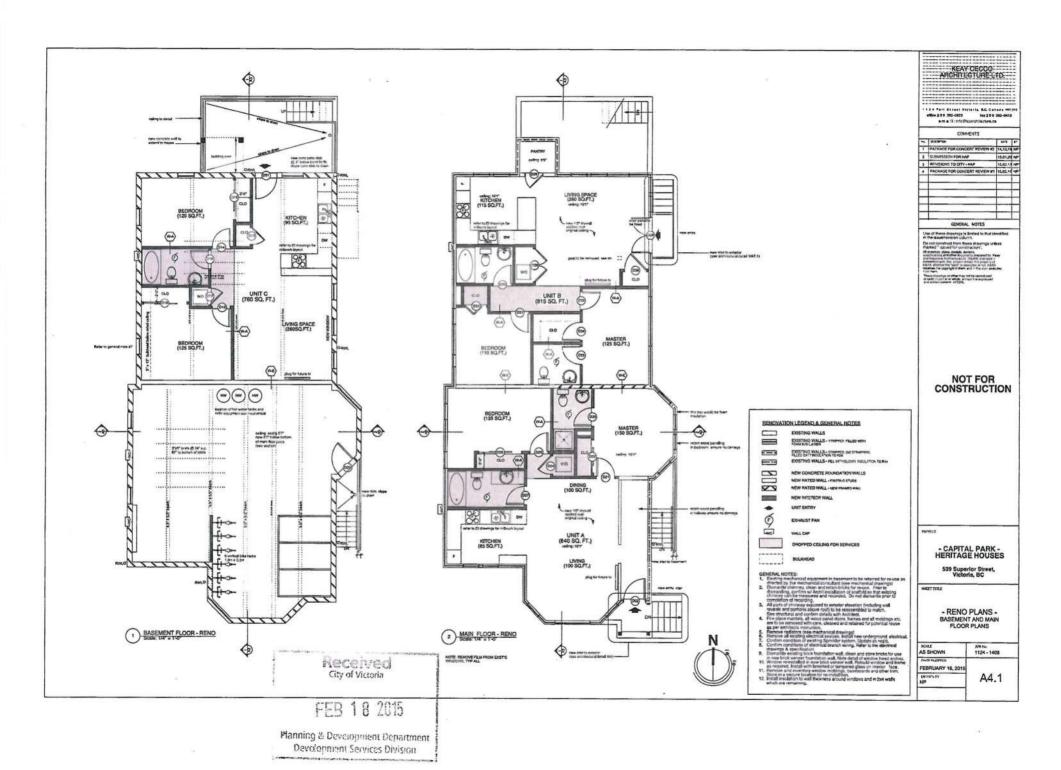
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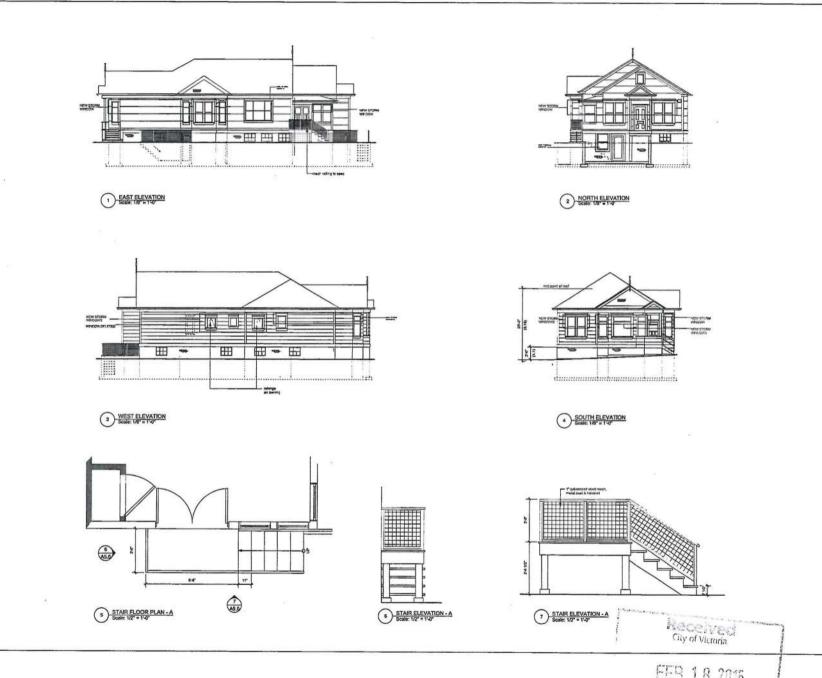
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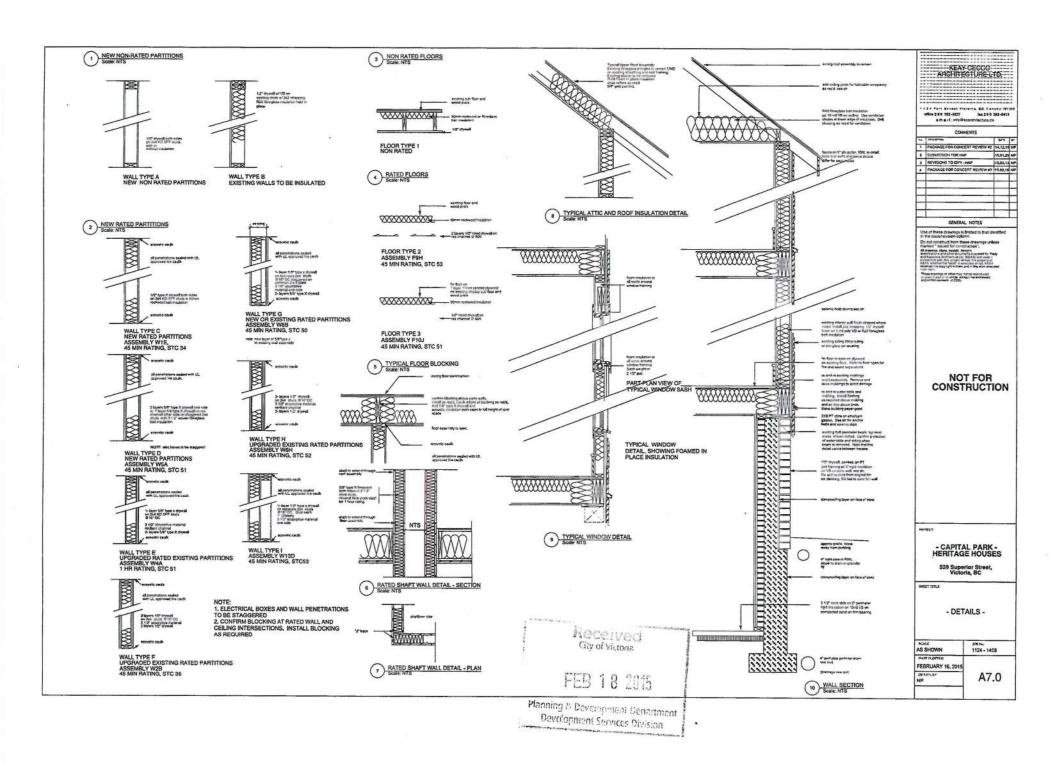
- CAPITAL PARK -HERITAGE HOUSES

ELEVATIONS & STAIR DETAILS

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Planning & Development Department Development Services Division

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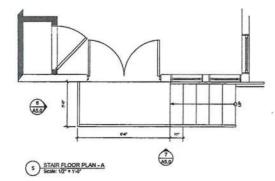
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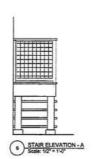
GENERAL NOTES

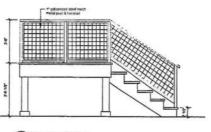
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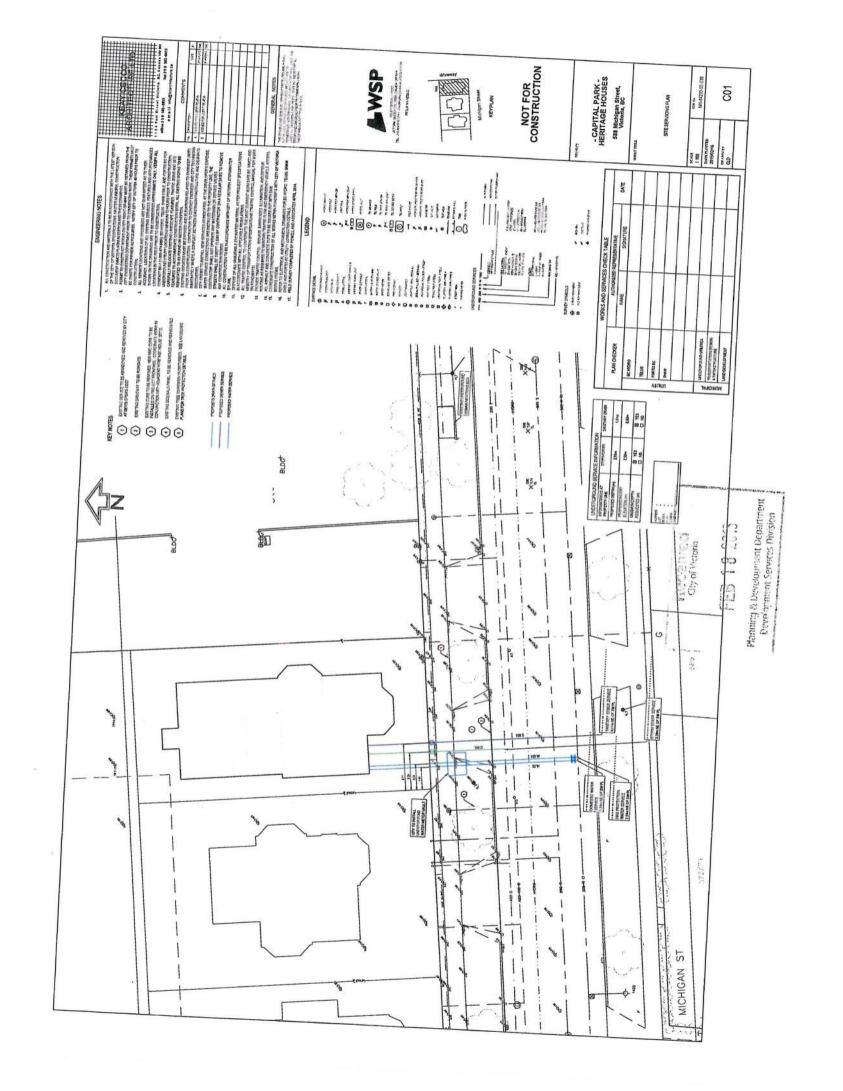
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- CAPITAL PARK -HERITAGE HOUSES

539 Superior Street, Victoria, BC

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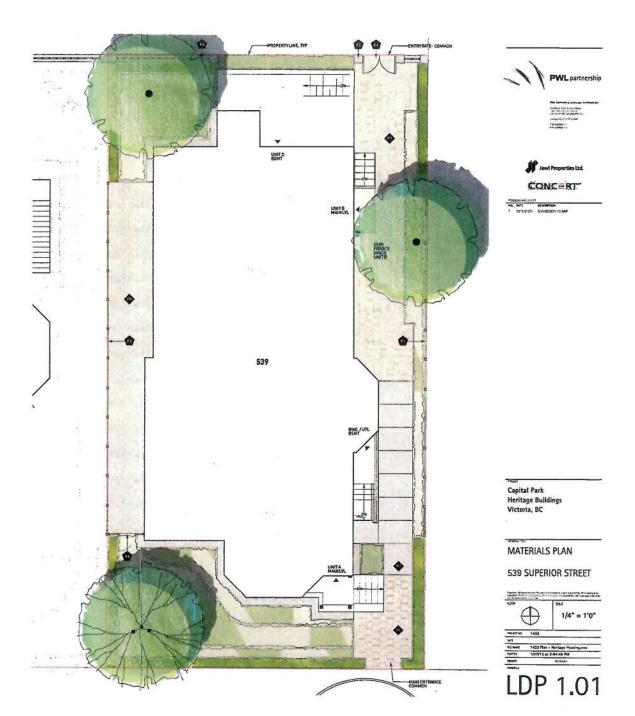


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CAPITAL PARK - HERITAGE BUILDINGS 545 SUPERIOR STREET



KEAY CECCO ARCHITECTURE LTD. CONTACT: JOHN KEAY Phone: 250.382.3823 Email: John@kcarchite

A0.0 TITLE SHEET A1.0 SITE PLAN

A2.0 PHOTOGRAPHS
A2.1 PHOTOGRAPHS
A3.0 DEMO PLANS - BASEMENT / MAIN A3.1 DEMO PLANS - BASEMENT / MAIN A3.1 DEMO PLANS - 2ND / TOP A4.0 RENO PLANS - BASEMENT / MAIN A4.1 RENO PLANS - 2ND / TOP A5.0 ELEVATIONS

A5.1 ELEVATIONS A6.0 SECTIONS

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READ JONES CHRISTOFFERSEN

S1 PRELIMINARY DRAWINGS

WSP CANADA INC.

LEGEND & DRAWING LIST
545 - PLUMBING MAIN FLOOR & SECOND FLOOR
545 - PLUMBING THIRD FLOOR
545 - HVAC BASEMENTA MAIN FLR
545 - HVAC SECOND FLR & THIRD FLR 545 - HVAC DETAILS 545 - FP BASEMENT & MAIN FLOOR 545 - FP SECOND FLOOR & THIRD FLOOR 545 - FP DETAILS

APPLIED ENGINEERING SOLUTIONS LTD. CONTACT: JAY SING

GENERAL NOTES

KEAY CECCO ARCHITEGTURE LTD.

effer 2 6 0 282-0833 (bz 25 0 362-0613 e m a i 1 into@lecarchiscours.ca

PACKAGE FOR CONCERT REVIEW #2 14.12.19 NO

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Use of these drawings is limited to that identified in the newsylvarian column. risks sharing the start of the act of the act of the start and the start

> NOT FOR CONSTRUCTION

CIVIL: WSP CANADA INC. CONTACT: STEPHEN CHILDS Phone: 250.384,5510 Email: stephen.childs@

CO1 SITE SERVICING PLAN

CODE CONSULTANT GHL CONSULTANTS LTD. CONTACT: FRANKIE VICTOR Phone: 604.689.4449 Emall: fv@ghl.ca

ATTACHED REPORT

LANDSCAPE ARCHITECT: PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. CONTACT: GRANT BRUMPTON Phone: 604,639,5218

LDP 1.00 PRECEDENT IMAGES LDP 1.01 MATERIALS AND GRADING SITE PLAN

INTERIOR DESIGNER: KYLA BIDGOOD INTERIOR DESIGN CONTACT: KYLA BIDGOOD Phone: 250,589,0852

ID-3,12b

545 - BASEMENT FLOOR PLAN & RCP 545 - MANN FLOOR PLAN & RCP 545 - UPPER FLOOR PLAN & RCP 545 - ATTIC FLOOR PLAN & RCP 545 - MIT & KITCHEN FLOOR PLAN 545 UNIT & KITCHEN FLOOR PLAN ID-1.08 ID-1.09 ID-1.10 ID-3.09a ID-3.10a ID-3.10a ID-3,11a

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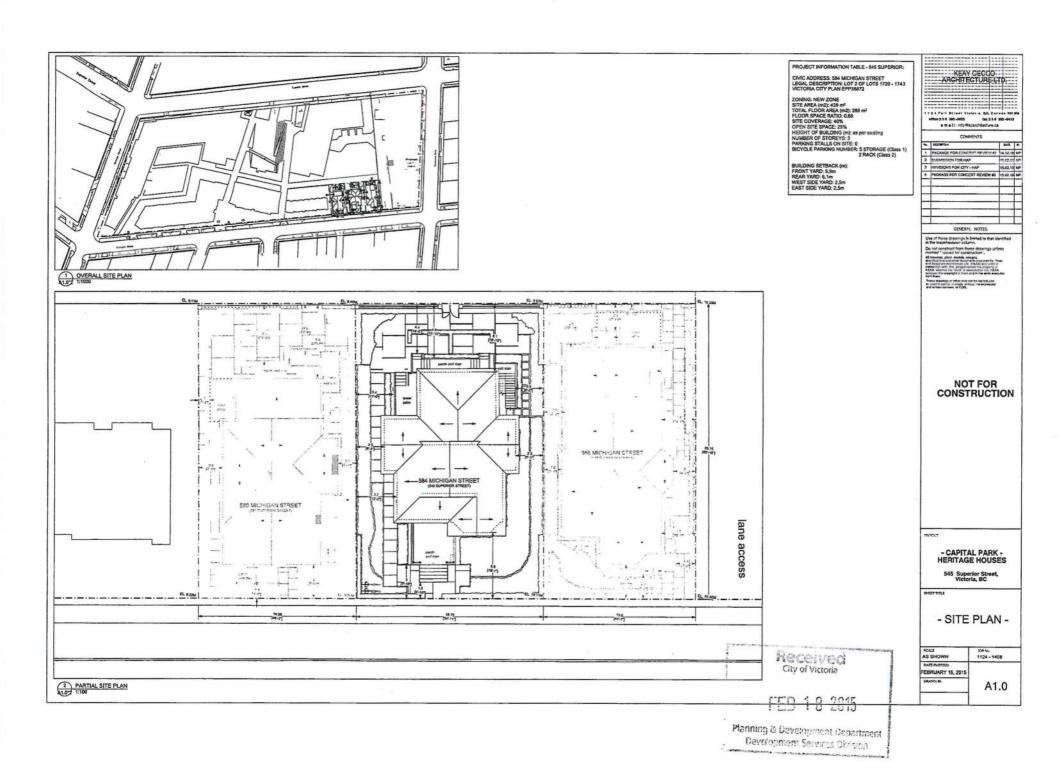
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105 No. 1124 - 1408 AS SHOWN DATE PLOTTED FEBRUARY 16, 201 A0.0

HERITAGE CONSULTANT: DONALD LUXTON AND ASSOCIATES INC. CONTACT: DONALD LUXTON Phone: 604,688,1216

CONSERVATION PLAN - JANUARY 2015

Original Submission Received Date: February 18/15

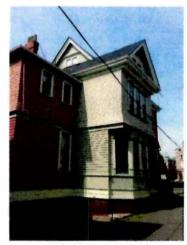




































EAST ELEVATION







NORTH ELEVATION AND FRONT HALL



BASEMENT DETAILS

- CAPITAL PARK -HERITAGE HOUSES

545 Superior Street, Victoria, BC

PHOTOGRAPHS

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FEBRUARY 16, 2015	
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- CAPITAL PARK -HERITAGE HOUSES

KEAY CECCO ARCHITECTURE LTD.

COMMENTS

545 Superior Street, Victoria, BC

PHOTOGRAPHS

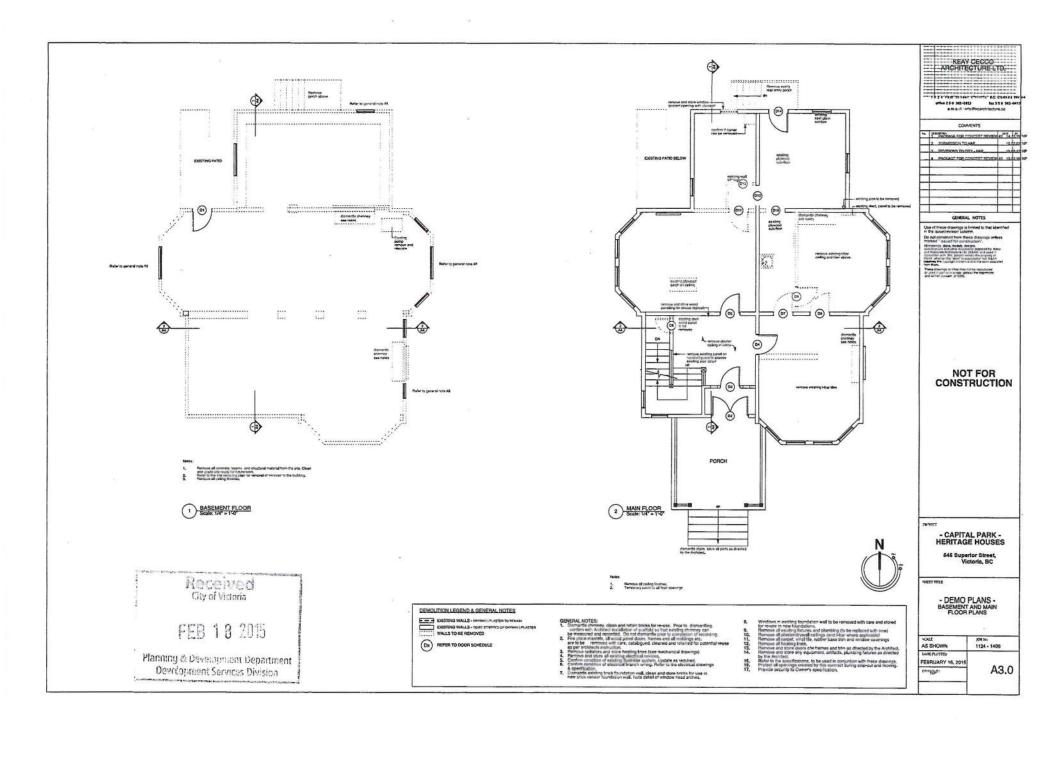
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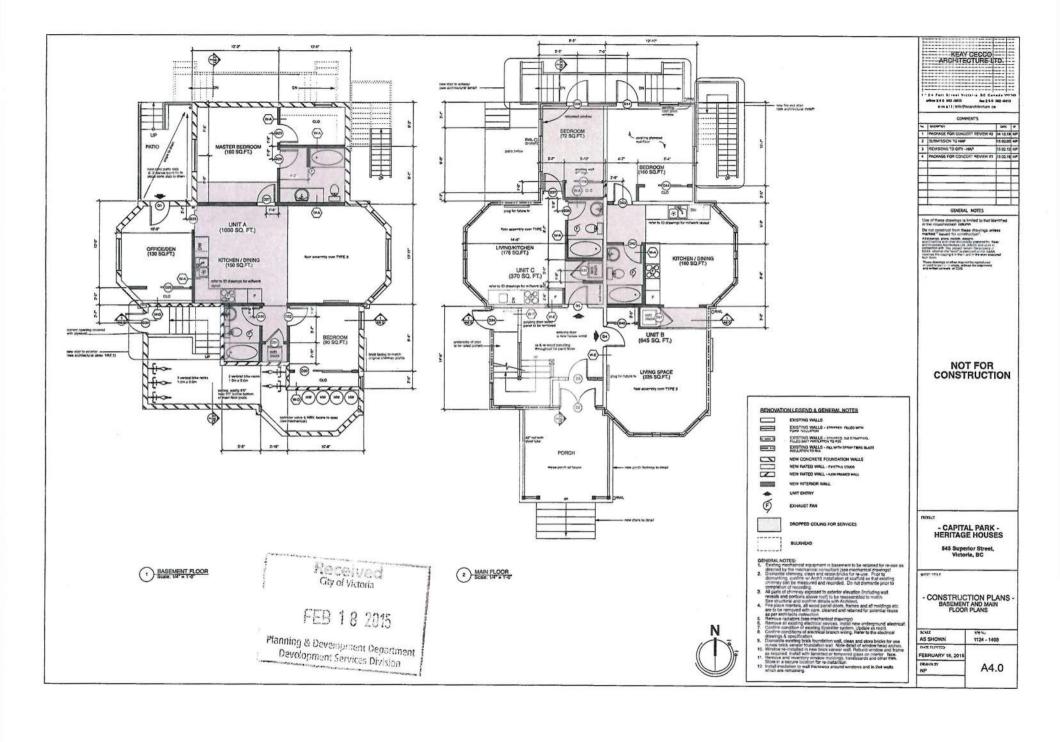
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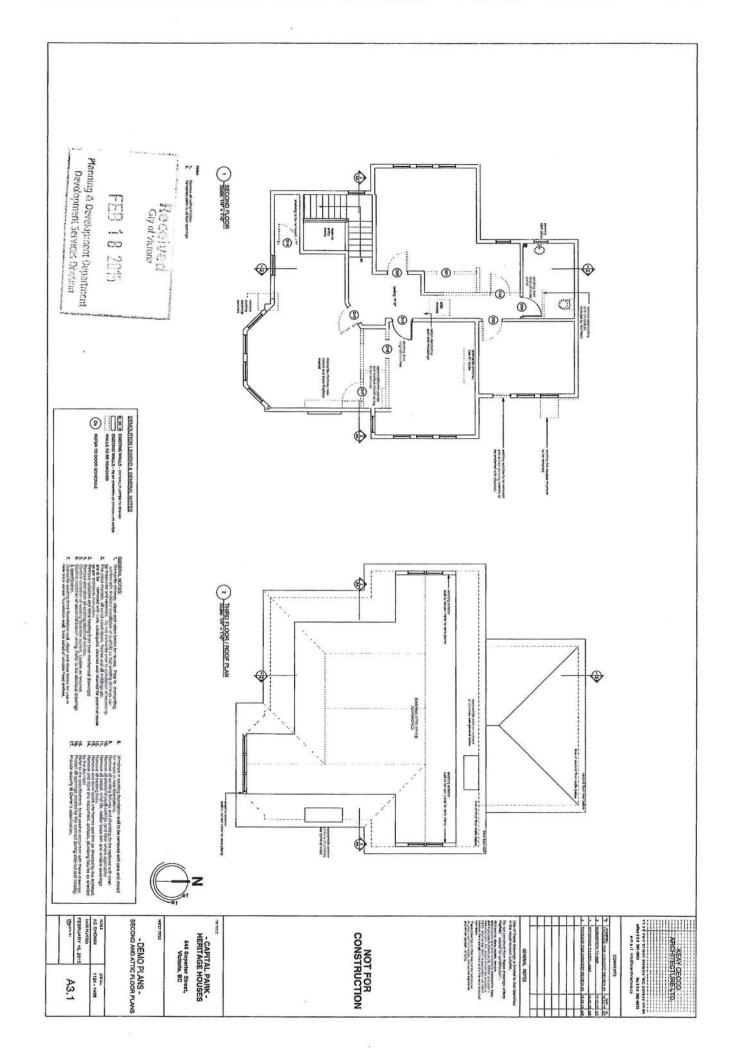
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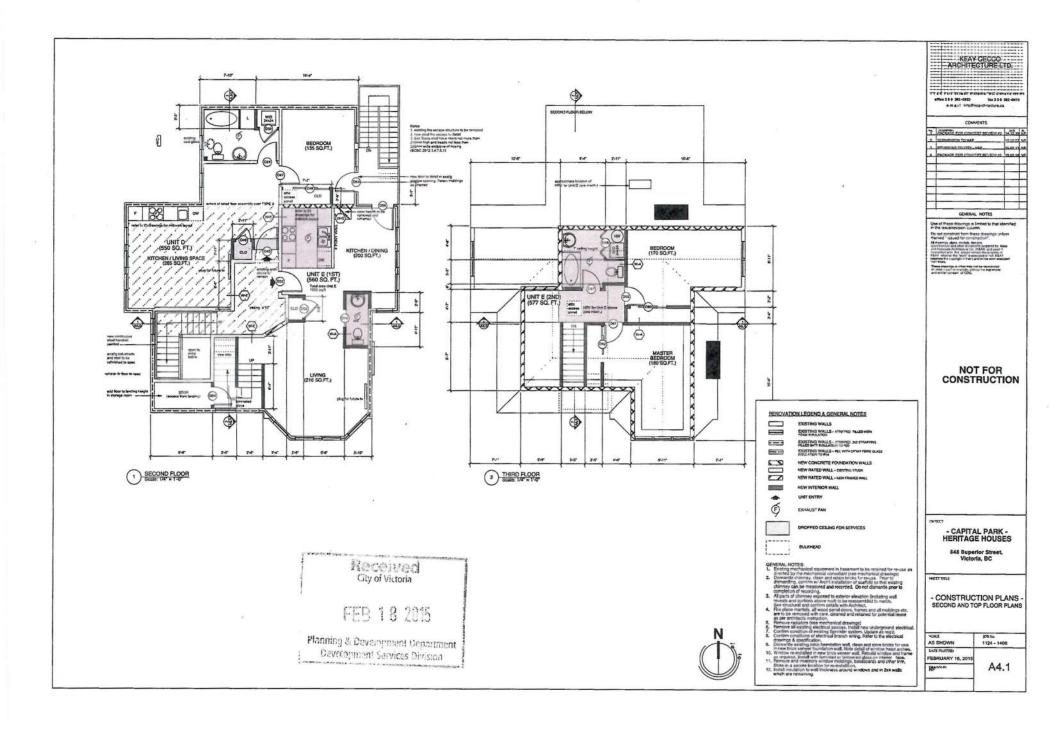
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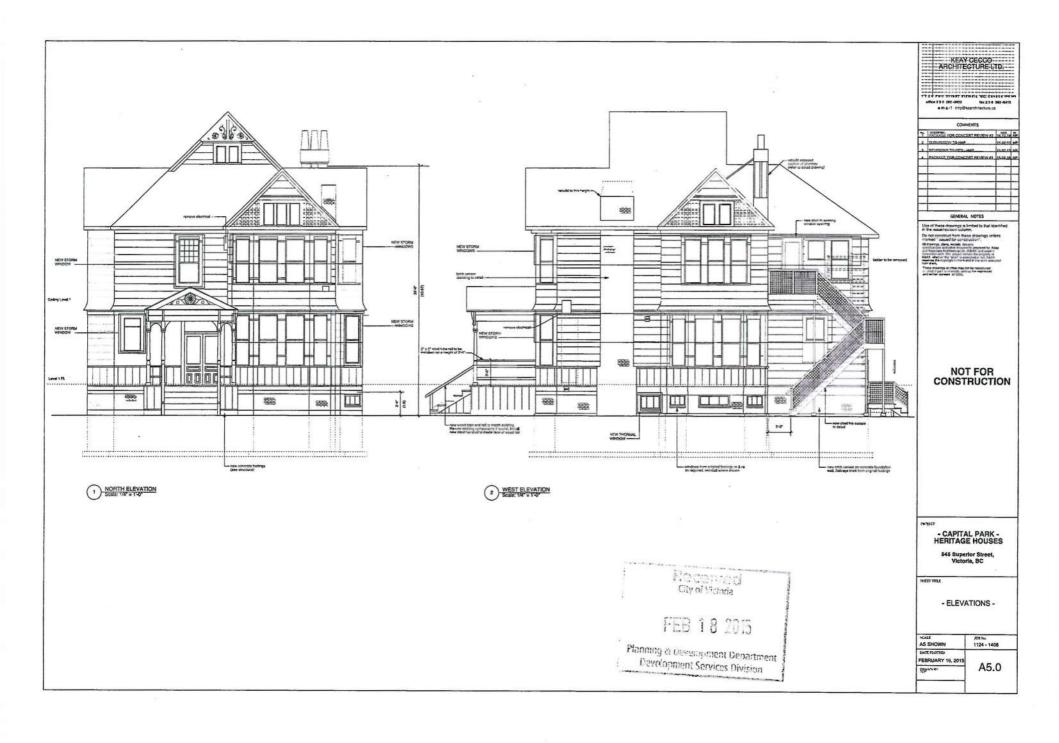
SOUTH ELEVATION





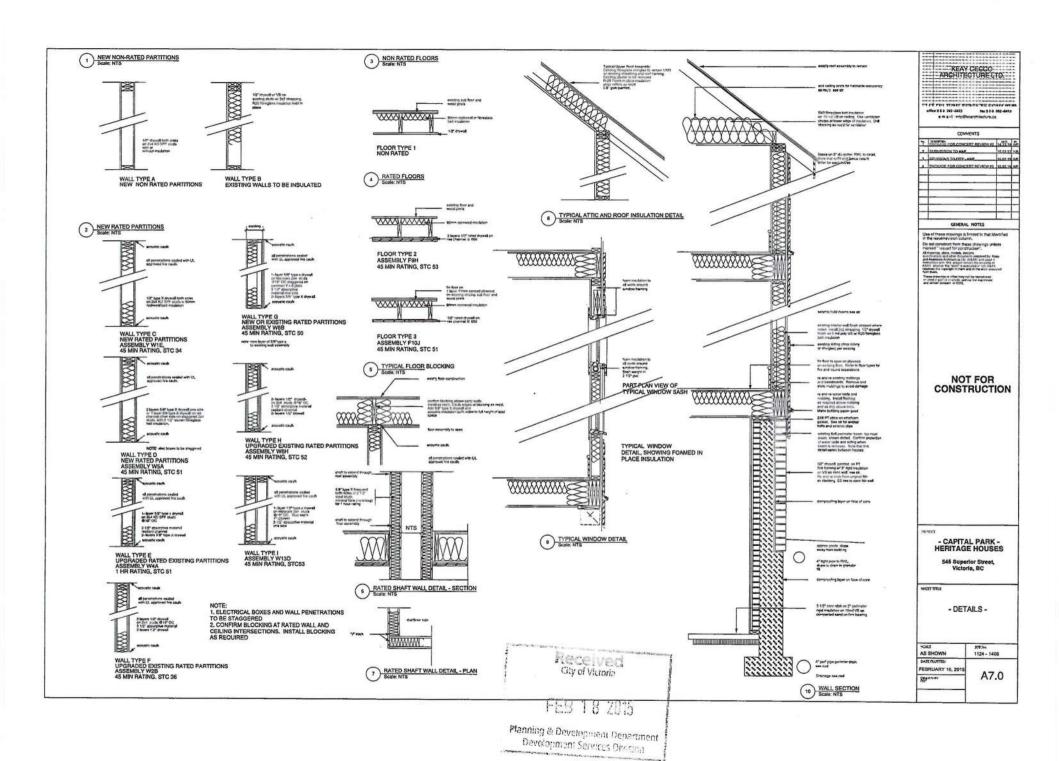


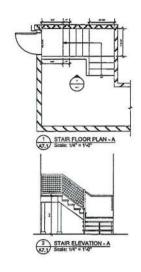


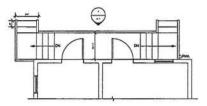




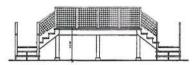








3 STAIR FLOOR PLAN - B A7.1 Scale: 1/4" = 1'-0"



STAIR ELEVATION - B

hece ved City of Victoria

FEB 18 2015

Planning & Development Denortment Development Services Division

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office 2 5 8 382-3833	fax 2 6 0 282-0413
email irin@sc	architecture CE
email irfo@ko	carchitectura.ca

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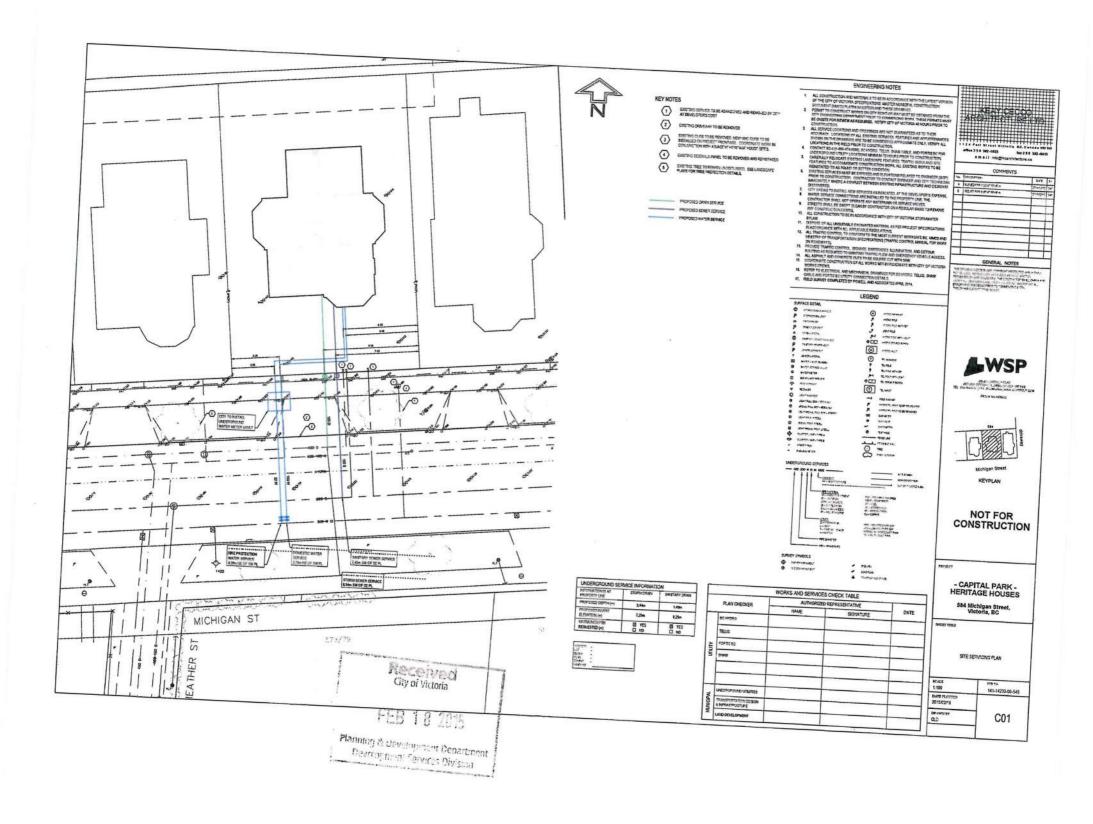
NOT FOR CONSTRUCTION

- CAPITAL PARK -HERITAGE HOUSES

545 Superior Street, Victoria, BC

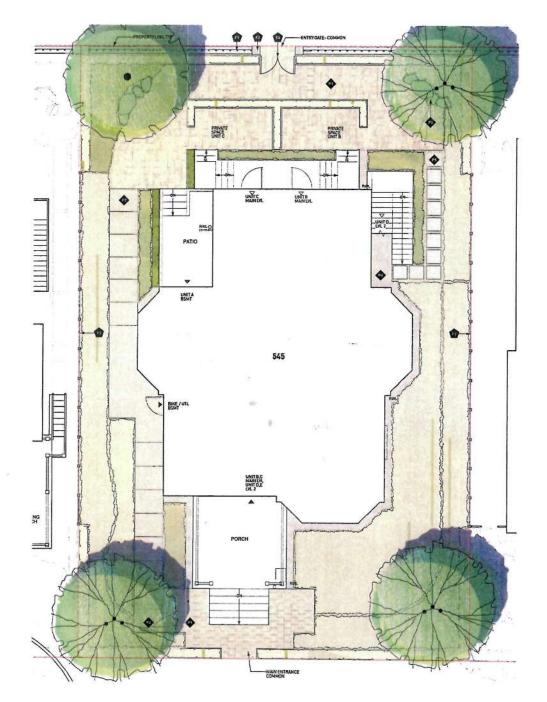
- STAIRS DETAILS -

WALE	108 No.
AS SHOWN	1124 - 1408
DATE PLOTTED	
PEBRUARY 16, 2015	
Menser	A7.1



0.000	NG LEGEND
KEY	DESCRIPTION
Ф	UNIT PAVERS
Ф	CIPCONCRETEWINEDUMSANDBLASTFINISH
•	BCULDERS
Ф	GRANULAR SURFACING
A	STEPPINGSTONES +

FURN	NISHING LEGEND
KEY	DESCRIPTION
ø	2'SRANITEWALL WISLACKMETAL PICKETFENCING
ŵ	GRANITE PILASTER
Ø	4' TIMBER FENCE
ŵ	ENTRY GATE







Capital Park Heritage Buildings Victoria, BC

MATERIALS PLAN

545 SUPERIOR STREET

1/4" = 1'0"

LDP 1.01

Received City of Victoria

FEB 18 2015

Planning & Development Department Development Services Division

South Block Development Corporation

3350 Douglas St. - Suite 100 Victoria, BC V8Z 3L1 Phone: 250 475-0338 Fax: 250 475-0339

> Received City of Victoria

FEB 18 2015

Planning & Development Department Development Services Division

January 19, 2015

City of Victoria 1 Centennial Square Victoria, BC V8W 1P6

Attention: Mayor and Council

Re: Heritage Alteration Permit for 521 Superior Street

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 521 Superior Street within the lands known as South Block in James Bay. This house, along with two others, are being relocated and rehabilitated as part of the comprehensive Capital Park development. This house was the subject of a previous application HAP 00184 which approved in concept the rehabilitation plan and the relocation plan for this home to 580 Michigan Street. Through this application we are seeking approval for the required alterations that will facilitate the relocation, repurposing and rehabilitation of this home.

As background information we have enclosed the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The most recent tenant in the building was a branch of the Canadian Legion and the interior has been significantly altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. Once relocated it is proposed that the home will be converted into five residential rental suites and the thermal, acoustic, seismic, and structural performance improved while maintaining the historic elements to the greatest extent possible.

To facilitate the relocation and adaptive reuse some alterations will need to be made to exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

- i. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. The brick from the existing foundation will be re-used as a veneer over the new concrete footings. The exterior brick details, including windows, will be replicated. There will be new basement access points.
- The siding, trim and exterior finishes will be repaired and replaced with like materials as required.
- iii. The houses will be painted using a historically appropriate colour palate.
- iv. The chimneys will be documented and dismantled prior to the move. The exposed sections will be rebuilt with a brick face on a wood frame.
- v. The existing wood fire escape will be removed and replaced with a re-designed metal fire escape.
- vi. Additional exterior doors will be added as required for exiting by Code.
- vii. A stair will be added to the west side porch as required by Code.
- Guard rails will be added to stairs and porches as required by Code.
- ix. The rear porch will be reconstructed.
- x. The existing windows will be rebuilt with the original materials and storm windows added as appropriate.

South Block Development Corporation has submitted a rezoning application to the City (No. 00457) for the South Block lands which includes the receiver site for 521 Superior Street. The rezoning contemplates 521 Superior Street, relocated to 580 Michigan Street, being converted into five residential rental suites.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

Per:

Karen Jawl

South Block Development Corporation

Heritage Alteration Permit for 539 Superior Street

3350 Douglas St. - Suite 100 Victoria, BC V8Z 3L1 Phone: 250 475-0338

Fax: 250 475-0338

January 19, 2015

Re:

City of Victoria 1 Centennial Square Victoria, BC V8W 1P6

Attention: Mayor and Council

Received
City of Victoria

FEB 1 8 2015

Planning & Development Department Development Services Division

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 539 Superior Street within the lands known as South Block in James Bay. This house, along with two others, are being relocated and rehabilitated as part of the comprehensive Capital Park development. This house was the subject of a previous application HAP 00187 which approved in concept the rehabilitation plan and the relocation plan for this home to 588 Michigan Street. Through this application we are seeking approval for the required alterations that will facilitate the relocation, repurposing and rehabilitation of this home.

As background information we have enclosed the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The house is currently in use as a fitness facility and the interior has been altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. Once relocated it is proposed that the home will be converted into three residential rental suites and the thermal, acoustic, seismic, and structural performance improved while maintaining the historic elements to the greatest extent possible.

To facilitate the relocation and adaptive reuse some alterations will need to be made to exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

- i. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. The brick from the existing foundation will be re-used as a veneer over the new concrete footings. The exterior brick details, including windows, will be replicated. There will be new basement access points.
- ii. The siding, trim and exterior finishes will be repaired and replaced with like materials as required.
- The houses will be painted using a historically appropriate colour palate.
- iv. The side porch will be reconstructed and stairs will be added as required by Code.
- v. Guard rails will be added to stairs and porches as required by Code.
- vi. The existing windows will be rebuilt with the original materials and storm windows added as appropriate.

South Block Development Corporation has submitted a rezoning application to the City (No. 00457) for the South Block lands which includes the receiver site for 539 Superior Street. The rezoning contemplates 539 Superior Street, relocated to 588 Michigan Street, being converted into three residential rental suites.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

Per:

Karen Jawl

South Block Development Corporation

3350 Douglas St. - Suite 100 Victoria, BC V8Z 3L1 Phone: 250 475-0338 Fax: 250 475-0339

January 19, 2015

Re:

City of Victoria 1 Centennial Square Victoria, BC V8W 1P6

Attention: Mayor and Council

Heritage Alteration Permit for 545 Superior Street

Received City of Victoria

FEB 1 8 2015

Planning & Development Department **Development Services Division**

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 545 Superior Street within the lands known as South Block in James Bay. This house, along with two others, are being relocated and rehabilitated as part of the comprehensive Capital Park development. This house was the subject of a previous application HAP 00185 which approved in concept the rehabilitation plan and the relocation plan for this home to 584 Michigan Street. Through this application we are seeking approval for the required alterations that will facilitate the relocation, repurposing and rehabilitation of this home.

As background information we have enclosed the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The house was previously in use as office space and the interior has been altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. Once relocated it is proposed that the home will be converted into five residential rental suites and the thermal, acoustic, seismic, and structural performance improved while maintaining the historic elements to the greatest extent possible. 17.6

To facilitate the relocation and adaptive reuse some alterations will need to be made to exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

- i. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. The brick from the existing foundation will be re-used as a veneer over the new concrete footings. The exterior brick details, including windows, will be replicated. There will be new basement access points.
- ii. The siding, trim and exterior finishes will be repaired and replaced with like materials as required.
- The houses will be painted using a historically appropriate colour palate. iii.
- The chimneys will be documented and dismantled prior to the move. The exposed sections will be iv. rebuilt with a brick face on a wood frame.
- ٧. The existing wood fire escape will be removed and replaced with a re-designed metal fire escape.
- vi. Additional exterior doors will be added as required for exiting by Code.
- vii. The rear porch will be reconstructed.
- viii. Guard rails will be added to stairs and porches as required by Code.
- The existing windows will be rebuilt with the original materials and storm windows added as ix. appropriate.

South Block Development Corporation has submitted a rezoning application to the City (No. 00457) for the South Block lands which includes the receiver site for 545 Superior Street. The rezoning contemplates 545 Superior Street, relocated to 584 Michigan Street, being converted into five residential rental suites.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

Per:

Karen Jawl