



Planning and Land Use Committee Report

For the Meeting of May 28

To: Planning and Land Use Committee **Date:** May 14, 2015

From: Helen Cain, Senior Planner, Development Services Division

Subject: Rezoning Application No. 00468 for 1070 Joan Crescent

RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00468 for 1070 Joan Crescent, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Referral of Rezoning Application No. 00468 to the Heritage Advisory Panel, concurrent with Heritage Alteration Permit Application No. 00195.
2. Registration of an Easement and a Section 219 Covenant to secure access to 10 vehicle parking stalls and one bicycle rack on the property at 1048-1050 Joan Crescent, to the satisfaction of staff.
3. Provision of an updated Arborist Report on the condition of the existing trees on the property at 1048-1050 Joan Crescent to the satisfaction of staff and, if necessary, a landscaping security for replacement trees, prior to the issuance of a Building Permit.

LEGISLATIVE AUTHORITY

In accordance with Section 903(c) of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1070 Joan Crescent. The proposal is to rezone from the R1-A Zone (Rockland Single Family Dwelling District) to a site-specific zone to permit a Heritage-Registered house and an original garage to be used as a cultural facility with commercial exhibits, multi-purpose spaces, administration offices, a tea room and a gift shop.

Specifically, the applicant, Craigdarroch Castle Society, is proposing to use the property at 1070 Joan Crescent, which the Society owns, as a visitor centre for the castle museum and relocate its offices to the new facility to enable more space within the museum to be open to the public. The garage would also be moved from its current location next to the west side of the house to the southeast part of the site where it would be converted into a tea room with an outdoor patio.

The following points were considered in assessing this Application:

- The proposal is consistent with the *Official Community Plan*, which enables public facilities, public assembly and recreational uses in all Urban Place Designations and has policies to encourage the conservation and adaptive reuse of heritage properties.
- The proposal is consistent with policies in the *Rockland Neighbourhood Plan 1987* that support heritage conservation and the retention of mature trees and historic landscaping.
- A reduction to Schedule C - Parking Requirements would be necessary to facilitate this proposal. The potential effects of the reduced parking requirements can be mitigated through an Easement and a Section 219 Covenant to secure access to 10 stalls on the Craigdarroch Castle parking lot for the new uses located at 1070 Joan Crescent.

BACKGROUND

Description of Proposal

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1070 Joan Crescent. The proposal is to rezone from the R1-A Zone (Rockland Single Family Dwelling District) to a site-specific zone to permit a Heritage-Registered house with a new addition and an original garage to be used as a cultural facility with commercial exhibits, multi-purpose spaces, administration offices, a tea room and a gift shop.

Specifically, the applicant, Craigdarroch Castle Society, is proposing to use the property at 1070 Joan Crescent, which the Society owns, as a visitor centre for the castle museum and relocate its offices to the new facility to enable more spaces within the museum to be open to the public. The garage would also be moved from its location along the west elevation of the house to the southeast section of the site where it would be converted into a tea room with an outdoor patio. The proposal includes one parking space on the subject site and 10 parking stalls on the Craigdarroch Castle site, which has a surplus of 10 stalls that are not required to comply with the parking standards that apply to the museum. Additionally, a new bicycle rack would be installed on the Craigdarroch Castle lot. Access to the 10 parking stalls and the bicycle rack would be secured through an Easement and a Section 219 Covenant in the City's favour.

The following changes from the standard zone are being proposed and would be accommodated in the new zone:

- change in use from a single family dwelling converted to a multiple dwelling to a cultural facility with commercial exhibits and public assembly space with ancillary offices, retail and food preparation and sales
- reduction from Schedule C requirements for a total of 24 vehicle parking stalls for the cultural facility and ancillary uses to one parking stall
- access to vehicle parking spaces on the adjacent lot.

Sustainability Features

The applicant has not identified any sustainability features associated with this proposal.

Active Transportation Impacts

This Application proposes the following features which support active transportation:

- one new bicycle rack on the property at 1048-1050 Joan Crescent
- one existing bicycle rack, located next to the proposed new bicycle rack.

Land Use Context

The area is characterized by single family dwellings and houses converted to multiple dwellings. Craigdarroch Castle is adjacent to the south with low-rise apartment buildings and Central Middle School located within walking distance (200m) along Fort Street.

Existing Site Development and Development Potential

The site is presently a house, constructed in 1913, that has been converted to a multiple dwelling.

Under the current R1-A Zone, the property could be converted to a kindergarten, a rest home, boarding house or rooming house or developed as a public building, a single family dwelling, attached dwellings (townhouse) or semi-attached dwellings (duplex).

Data Table

The following data table compares the proposal with the existing R1-A Zone. An asterisk is used to identify where the proposal is less stringent than the existing Zone. A double asterisk is used to identify existing non-conforming conditions.

Zoning Criteria	Proposal	Zone Standard R1-A
Site area (m ²) - minimum	1040	230
Density (Floor Space Ratio) - maximum	0.44:1	n/a
Total floor area (m ²) - maximum	462.44 (including new addition and garage/tea house)*	130.00
Lot width (m) - minimum	37.77	7.50
Height (m) - maximum	8.50**	7.60
Storeys - maximum	2.50	2.50
Site coverage % - maximum	32.30	40.00
Setbacks (m) - minimum		
Front (Joan Crescent)	8.54**	10.50
Rear (southwest corner)	0*	9.50
Side (south)	0*	3.00
Side (west)	2.48**	3.00
Parking - minimum	1	20 ¹
Bicycle parking spaces (minimum)	6	6

Zoning Criteria	Proposal	Zone Standard R1-A
Tea Room (Relocated Garage)		
Location	Front yard*	Rear yard
Height (m) - maximum	2.94	3.50
Storeys	1	1
Setbacks (m) - minimum		
Front (Joan Crescent)	9.70	0.60
Rear (southwest corner)	17.86	0.60
Side (south)	7.80	0.60
Side (west)	15.90	n/a
Separation space from main building (m) minimum	2.15*	2.40

* public assembly: 5 stalls; tea room: 6 stalls; commercial exhibit: 4 stalls; retail: 2 stalls; office: 3 stall.

2.1 Relevant History

2.1.1 Heritage Property

The existing house located at 1070 Joan Crescent, built in 1913, is a Heritage-Registered property with an original garage. All design-related aspects of the proposal for an addition to the house and its adaptive reuse as a visitor centre for Craigdarroch Castle, and the relocation and adaptation of the garage as a tea room are addressed in the staff report on the concurrent Heritage Alteration Permit Application.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applicant has consulted with the Rockland CALUC at a Community Meeting held on November 5, 2014. Letters dated January 19, 2015, and November 24, 2014, are attached to this report.

ANALYSIS

Official Community Plan

The proposal is consistent with the land use policies in the *Official Community Plan, 2012* (OCP), including the designation of the property as Traditional Residential and, in particular, Policy 6.4 which supports and enables community services, public facilities and assembly throughout the City. Additionally, adaptive reuse of 1070 Joan Crescent as a visitor centre for Craigdarroch Castle would align with OCP policies related to heritage, arts and cultural spaces.

Regulatory Considerations

Based on the *Zoning Regulation Bylaw*, the proposal would require 20 vehicle parking spaces and one bicycle rack but site constraints and the proposed location of the tea room in the front yard would permit only one stall near to the current location of the existing garage. However, the applicant is proposing to secure access to 10 surplus stalls on the Craigdarroch Castle parking lot which has 23 stalls, whereas 13 stalls are adequate to comply with the parking standards for the museum uses.

OCP Policy 7.11 provides overall direction to consider an array of parking management strategies including reduced parking requirements where appropriate. Additionally, the applicant has provided observational data on the level of use of the Castle parking lot and this indicates that the available parking stalls are underused. Accordingly, the proposal to provide access to 10 parking stalls and one new bicycle rack on the adjacent lot secured through an Easement and a Section 219 Covenant in the City's favour, is reasonable.

Rockland Neighbourhood Plan

The proposal is consistent with the *Rockland Neighbourhood Plan, 1987*, which emphasizes heritage conservation generally and the retention of historic landscape character and mature trees on private lands, where possible, while accommodating new infill. The proposal would remove a mature apple tree on the subject site and aims to retain all existing trees along the shared north property boundary of the Craigdarroch Castle lot, consistent with the recommendations in a Third-Party Arborist Report (attached). However, the applicant has indicated that the condition of one of these trees would be further investigated at the construction stage. The staff recommendation provided for Council's consideration, includes a condition to provide an Arborist Report on the tree root network and, if necessary, provide the security for replacement trees, prior to the issuance of a Building Permit.

CONCLUSIONS

The proposal for adaptive reuse of the Heritage-Registered house and garage at 1070 Joan Crescent as a visitor centre and tea room facility for Craigdarroch Castle, the adjacent property, is consistent with OCP policies to support heritage conservation and cultural facilities in all areas of the City. Additionally, the rezoning concept is consistent with policies to preserve the architectural heritage and historic landscape character within the Rockland neighbourhood. The request to reduce the parking requirements in a new zone is recommended for Council's consideration as supportable, subject to the registration of an Easement and a Section 219 Covenant to secure access to 10 spaces on the Castle parking lot, for the use of 1070 Joan Crescent.

ALTERNATE MOTION

That Council decline Rezoning Application No. 00468 for the property located at 1070 Joan Crescent.

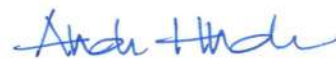
Respectfully submitted,



Helen Cain
Senior Planner
Development Services
Division



Alison Meyer, Assistant Director
Sustainable Planning and
Community Development
Department



Andrea Hudson
Acting Director
Sustainable Planning and
Community Development

Report accepted and recommended by the City Manager:



Jason Johnson

Date:

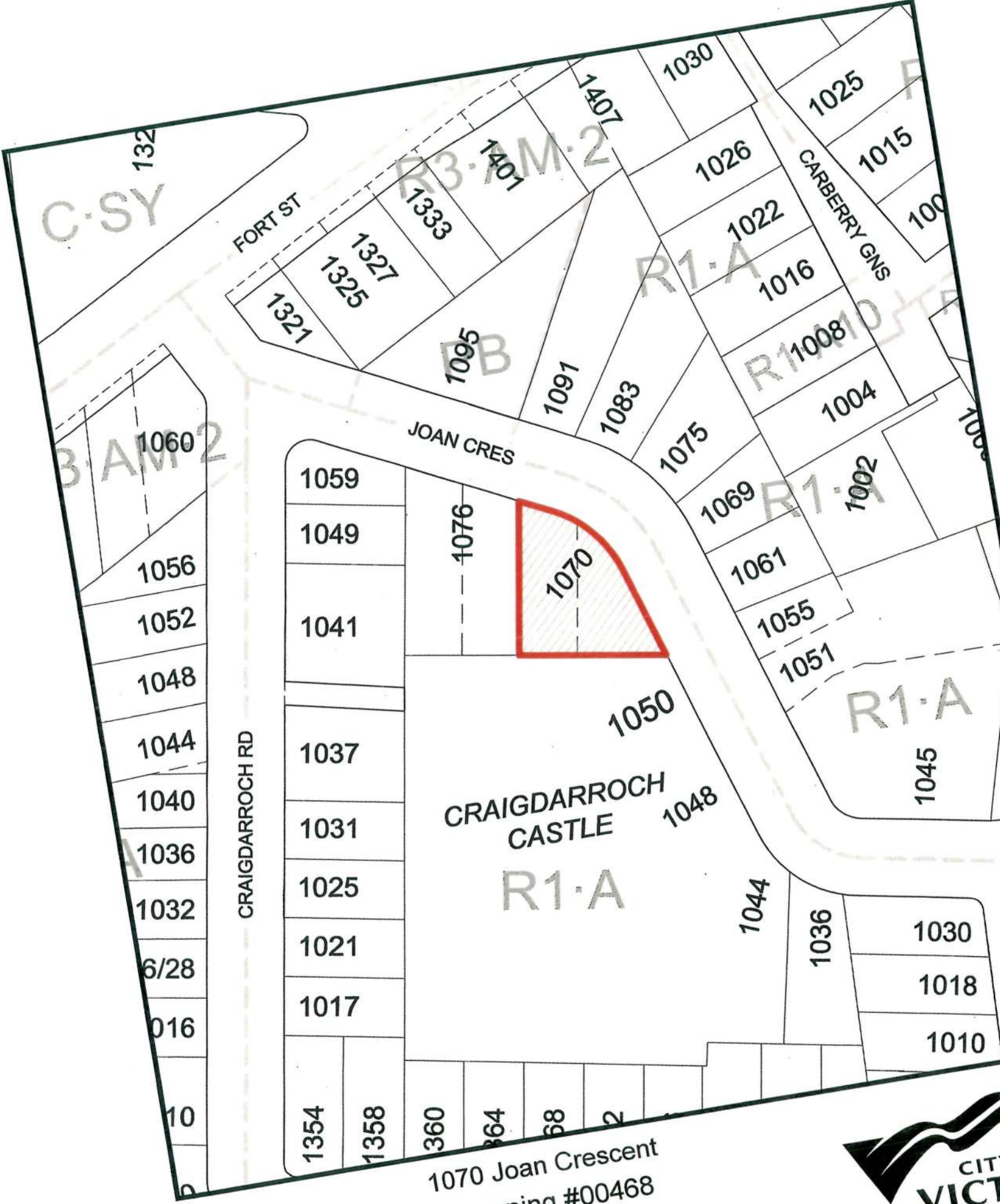
May 20, 2015

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List of Attachments

- Zoning map
- Aerial map
- Letters from John Hughes for Craigdarroch Castle Historical Museum Society stamped April 7, 2015, and December 16, 2014
- Plans for Rezoning Application No. 00468 and Heritage Alteration Permit Application No. 00195 stamped May 11, 2015
- Craigdarroch Castle Parking Review stamped December 16, 2014
- Arborist Report from Talbot McKenzie & Associates stamped April 7, 2015
- Letters from Rockland Community Association stamped January 19, 2015, and November 24, 2014.



1070 Joan Crescent
Rezoning #00468
Bylaw #





1070 Joan Crescent
Rezoning #00468
Bylaw #





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CANADA'S CASTLE

April 7, 2015

The City of Victoria
Attention: Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6



RE: 1070 Joan Crescent revised proposal for Rezoning and Heritage Alteration Application.

In response to the Application Review Summary dated Wednesday, January 14, 2015, we are pleased to submit our revised proposal for the above noted development. The subject of this letter is to provide an itemized update and clarification of new information on the proposal and should be reviewed in conjunction with the revised, bubbled drawings.

Specifically, the conditions to be met prior to the Planning and Land Use Committee are:

1. Further consideration of the voluntary designation of the heritage property.

Heritage designation will not be pursued at this time.

2. Please identify the vehicle and bicycle requirements for all proposed uses.

Vehicle calculations have been revised on A1.01, per Schedule C and in conjunction with comments from staff review on the Zoning Plan Check sheet.

Bicycle requirements have been clarified on A1.01.

3. Please confirm whether the proposed finished floor level of the proposed Visitor's Centre Addition could be lowered sufficiently to impact the extent of ramps inside the addition – as this could enhance the relationship between the proposed addition and the hipped roof of the existing residence to the north.

The upper floor level of the addition has been located to provide an accessible entry and transition from the Castle porte-cochere level to the main level of the Visitor Centre. The interior ramping will serve to organize queuing large groups of guests before ticketing and Visitor Centre services.

4. *Please provide a detailed relocation plan for the existing garage/proposed Tea House.*

The intent is to relocate the superstructure of the existing garage in its entirety. The existing foundation is not reusable and the garage will be placed on a new concrete foundation. The slope of the wood framing is to be retained and new framing will be filled in for connection to the new foundation. Special consideration will be taken to ensure the slope is represented for interpretive purposes. Additional detail of the garage is provided on sheets A3.10 & A3.11.

5. *Please reconsider the appearance and detail of the north face of the proposed Visitor's Centre addition, having regard to the character and appearance of the existing garage at this location.*

Appearance of the north elevation has been considered and revised to accommodate a proposed garbage enclosure at the end of the driveway. The enclosure is to be in keeping with the proposed addition, with shingle and stone cladding and discrete wood doors. In addition, a proposed green space has been shown in the upper driveway with a path for the roll out bins to be brought to the street while loading is retained at the northern portion of the driveway. A suitable tree is to be planted and will be visible from the large openings in the west wall of the residence.

6. *Please complete the elevation drawings, depicting the existing garage.*

Additional details are provided on sheets A3.10 & A3.11.

7. *Please reconsider the treatment of the lower portion of the exterior wall for the proposed relocated garage so as to be more in-keeping with its existing/historic character.*

The stone foundation originally proposed has been deleted and shingle cladding is to extend to top of the new concrete foundation, which will have limited visibility.

8. *Please provide the findings of the Envelope Review.*

This work has not been engaged to date. The existing house is occupied by tenants. The intent is to retain and restore existing materials wherever possible. Replacement will only occur as a result of finding deterioration beyond repair.

9. *Please provide a condition assessment for historic materials that are proposed to be replaced.*

A condition assessment has been performed with participation from Heritage Consultant, Stuart Stark. Additional sheets A3.06 – A3.11 for condition assessment details are provided.

10. Please consider the seismic strengthening of the existing stone chimneys.

The chimneys will be seismically strengthened/restrained as required, the scope of which will be delineated as part of the Building Permit application process.

11. Please revise the Statement of Significance so that it is consistent with the Canadian Register of Historic Places Writing Statements of Significance and reflects the relevant themes set out in the Victoria Heritage Thematic Framework.

Revised Statement of Significance provided. Interior and exterior provided as two (2) separate documents.

12. The proposed class 2 bicycle parking obstructing the driveway must be relocated on the site and must include a minimum of 6 stalls. At least 50% of these stalls should be horizontal. A 2.0m driveway width is not appropriate.

The bicycle parking has been deleted from the driveway location and relocated next to the existing bicycle location at the porte cochere level. A new 6 stall (horizontal) rack is to be provided similar to the existing rack. Preference is to group bicycle parking to allow clear visibility of location and not restrict access to new work or impede landscaped grounds. The existing driveway is existing/non-conforming; specifically, its functionality relies on the informal access "shared" between the site and the adjacent property to the west.

13. The proposed rezoning and potential increase in density for this property may contribute to an overtaxing of the sanitary sewer system.

An inventory of existing plumbing fixtures and proposed fixtures has been provided on A1.01, clarifying a reduction of fixtures associated with the proposal.

14. An arborist report will be required detailing the impacts of the proposal on the existing trees on the subject property, as well as neighbouring property (1050 Joan Crescent). The arborist report is to detail construction impacts and the proposal and the mitigation measures required to successfully retain the trees as indicated.

Arborist report attached for reference.

15. Given the unique nature of applying current codes to existing buildings of historical importance it is preferred that code compliance is achieved by involving inspections staff early in the process. It has been noted that sprinklers will be installed throughout but the exiting looks like it will be something that requires consideration. A code approach should be submitted to initiate discussion regarding code conformance.

The alterations and restoration to the existing building will be governed by Division A – Appendix A, Section A-1.1.1.1.(1) Application to Existing Buildings. Due consideration will be taken to ensure fire, life, and safety systems meet the intent of current Code compliance where practical, while placing sensitivity in preserving historical elements and character. Both the existing building and the proposed addition will be sprinklered, and the addition will be constructed to meet all current Code requirements.

Additional comments have been made in the Application Review, Zoning Plan Check and are noted as follows:

- a) Lot Width & Setbacks: New sheet A1.05 provided and setbacks revised in the Project Information Table on A0.00.
- b) Vehicle & Bicycle Parking: Revised and clarified in item 2 listed above.
- c) Garage Detail: New sheet A3.10 & A3.11 provided.

Additional refinements have been made to the drawing set and are noted in the attached “Revisions to Rezoning Submission” list. This involves restoring the building to the original 1913 form and character which includes the removal of a later washroom addition on the east façade, return to original paint colours, and restoring materials such as metal roofing and leaded glass windows in locations noted.

We trust that the above responses to the Application Review Summary further support the proposal for this sensitive, neighbourhood-scaled building. We welcome the opportunity to appear before the Planning and Land Use Committee and to continue our work with staff to realize this important project.

Sincerely,



John Hughes, Executive Director
Craigdarroch Castle Historical Museum Society

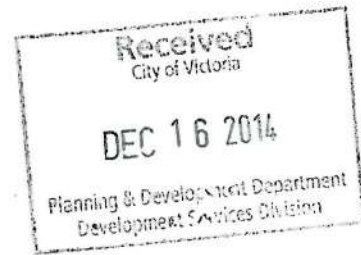


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CANADA'S CASTLE

December 16, 2014

The City of Victoria
Attention: Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6



RE: 1070 Joan Crescent, Rezoning and Heritage Alteration Permit Application

In December 2012, Directors and Staff undertook a review of the Craigdarroch Castle Historical Museum Society's presentation plan that was originally developed in 2003. A room-by-room examination of the interpretative space inside Craigdarroch Castle was conducted in order to better understand its current use and how the remaining spaces should be incorporated into the visitor experience. The Society's mission is to preserve Craigdarroch Castle and bring its stories to life so the questions asked during this review were whether we could tell additional stories exclusively in the digital realm or could we continue to develop new content in the Castle while working around the existing offices and workshop? If not, then should we remove these operational activities to a Visitor Center and dedicate the Castle spaces to our mission?

As a museum with a National Historic Site designation we are constantly challenged to remain relevant to our visitors while preserving the Castle. In January 2013, with this in mind, the Board of Directors came to the conclusion that the best place for our stories to reside is inside the Castle and approved an updated presentation plan recommending removal of operational activities from the Castle. One of the driving factors behind this decision was the number one request of visitors that they be able to see what a period kitchen looked like. At this time the gift shop inhabits the rooms that were the kitchen and scullery and our lunchroom is in what was the Dunsmuir's pantry. These are important rooms that visitors have told us would add value to their experience and the Society plans to focus restoration and interpretation efforts on these as soon as we've relocated our operational activities. There are also new galleries to be developed in the rooms occupied by our Registrar, Curator and Visitor Service personnel.

In November 2013 Christine Lintott Architect was engaged to determine how the Society might develop a visitor centre on the property located at 1070 Joan Crescent. Over the last 12 months Christine and I, in consultation with staff and the Board of Directors have developed a comprehensive plan for developing this property. As we progressed with our planning we took time to have informal conversations with City of Victoria staff and the Rockland Neighbourhood Association Land Use Committee, culminating recently in hosting a formal CALUC meeting on November 5, 2014.

Description of Proposal

The proposal seeks to retain the existing residence and convert the use to that of a Visitor Centre for the Craigdarroch Castle Society. The residence is listed on the City of Victoria's Heritage Registry and as such the proposed conversion will be in keeping with those character defining elements defined by Heritage Consultant, Stuart Stark, in the attached Statement of Significance. A modest addition is proposed to the south and southwest corner of the residence, which will replace the various porches and external stairs that served the previous conversion of the residence to multiple suites. The proposed addition will comply with the Standards and Guidelines for the Conservation of Historic Places in Canada. The proposal will rezone the existing R1-A zoned site to a site specific zone to support the proposed uses. A concurrent Heritage Alteration Permit will also be required.

Government Policies

The proposed conversion of the 1070 Joan Crescent residence is consistent with the goals of Placemaking – Urban Design and Heritage in the City of Victoria's Official Community Plan. Specifically,

- "cultural and natural heritage resources are protected and celebrated";
- "that heritage property is conserved as resources with value for present and future generations";
- "maintain views of identified heritage landmark building from the public realm through careful consideration of new development within a 90m or 180m radius";
- "conserve and enhance the heritage value, character and special features of...individual properties";
- "continue to support new additions that conserve and enhance heritage property, as consistent with the National Standards and Guidelines for the Conservation of Historic Places in Canada".

With respect to the Neighbourhood Directions for Rockland, Section 21 of the OCP, the proposal is consistent with the strategic directions which seek to "continue to conserve the historic architectural and landscape character of the neighbourhood", and "support the maintenance of existing dwellings and large lot character through sensitive infill that preserves green space and estate features."

Project Benefits and Amenities

The proposal, as noted above, facilitates the further development of interpretive spaces within the Castle proper by hosting administrative and ancillary uses and activities that are currently housed within. The heritage restoration of key spaces within the Castle has a broader benefit to the community in celebrating this heritage landmark.

The sensitive conversion of the heritage residence at 1070 Joan Crescent to host new uses, which are publicly accessible, furthers the inventory of heritage value in the Rockland neighbourhood. The proposed uses reside within the Castle already, with the exception of the addition of a seasonal tea hut, which is intended to supplement the offerings for visitors to the site, as well as serving the immediate neighbourhood.

Need and Demand

The proposal alleviates the challenges of hosting ancillary uses and administrative space within the Castle proper. The addition ensures accessibility to interpretive installations and provides for visitor

support including storage of bags and access to washrooms. An enhanced visitor experience allows for better management of visitor flow through the Castle.

In addition, the proposal provides an opportunity to offer accessible interpretive experiences within 1070 Joan Crescent, for visitors who are challenged to navigate the Castle proper. The residence will also supply much needed archival storage of historic fixtures and fittings, which are seasonally installed in the Castle.

Neighbourhood

The proposed conversion and addition is consistent with Part 2 of the Rockland Neighbourhood Plan. Specifically,

- “properties of heritage character and merit should be conserved, maintained and enhanced”;
- “...man-made...landscape features such as rock outcrops, stone walls...should be retained”;
- “neighbourhood views should be maintained, particularly public views towards buildings of architectural and heritage merit.”
- “the architectural character of new development should complement nearby heritage sites”;
- “the institutional, and semi-institutional land uses in Rockland contribute greatly to the neighbourhood’s character and should be supported”.

Impacts

The proposed conversion and addition complements the activities of Craigdarroch Castle and enhances the visitor experience. The intended consequence is that the flow through activities of Castle visitation will be more streamlined which should further reduce visitation impact to the surrounding neighbourhood. The conversion of this registered property solidifies its continued role in the neighbourhood as a character property, securing it from less compatible development proposals in the future.

Design and Development Permit Guidelines

The proposal will conform to the intent of the referenced applicable guidelines for DPA 15C: Intensive Residential – Rockland, generally, with respect to retention of the existing character building. It is notable that in this instance, a Heritage Alteration Permit is required and that the Statement of Significance is the foundation for considering specific form and character. The Standards and Guidelines for the Conservation of Historic Places in Canada is referenced with respect to the proposed addition.

Safety and Security

The proposal acknowledges key CPTED principles. The existing building on its site promotes natural surveillance. Walkways, fencing, lighting and signage promote movement to and from the building’s entrances, creating strong connections to the street, overlook and visibility. The public realm is clearly delineated through paving treatments, connectivity, and building placement, reinforcing ownership/control thereby discouraging nuisance behavior. As a complementary use to Craigdarroch Castle, and its continued use as an attraction, the proposal will be assured of quality maintenance and upkeep, thereby discouraging negative activity.

Transportation

The proposed conversion and addition of 1070 Joan Crescent, in conjunction with Craigdarroch Castle proper, exceeds the minimum vehicle parking standards of Schedule C with the existing parking provided on the Castle grounds, a total of 24 spaces. An inventory of the uses and the attributable demand is provided below:

Parking Calculations per Schedule C

Craigdarroch Castle (Lot A) – Commercial Exhibit

4 spaces or

1 space/232m² of lot area = 13 spaces

1070 Joan Crescent

Retail 1 space/37.5m² = 2 spaces

Office 1 space/65m² = 3 spaces

Commercial Exhibit 4 spaces or

1 Space/232m² of lot area = 5 spaces

Patio 1 space/5 seats = 6 spaces

(Assumed 30 seats)

Gross Total – minimum required 19 spaces to maximum required 29 spaces

In addition, the proposal meets the bicycle parking standards of Schedule C with provisions for both staff and visitors.

The proposal seeks to enhance the current pedestrian experience by more overtly denoting entrance for visitors to the historic precinct, providing greater accessibility and visibility.

Heritage

The existing residence, as noted above, is a registered property on the City of Victoria's Heritage Registry. The Craigdarroch Castle society is considering seeking designation of the property as part of the overall proposal for Rezoning and support of the Heritage Alteration Permit.

Summary

The proposed conversion and addition to the 1070 Joan Crescent residence represents a sensitive, complementary project within the Rockland Neighbourhood. Support of the proposal will aid in furthering the core activities of the Craigdarroch Castle society in expanding the interpretive installations within the Castle proper. The conversion itself represents an excellent opportunity to further the Society's preservation activities and to celebrate another one of the neighbourhood's assets.

Sincerely,



John Hughes, Executive Director
Craigdarroch Castle Historical Museum Society

1070 JOAN CRESCENT ALTERATIONS & PROPOSED VISITOR CENTRE

APPLICATION FOR REZONING & HERITAGE ALTERATION

LEGAL DESCRIPTION

LOT 128, PLAN VV984, SECTION 74 B
LOT 127, PLAN VV984, SECTION 74 VICTORIA LAND DISTRICT



APPLICANT

CRAIGDARROCH CASTLE SOCIETY
1050 JOAN CRESCENT
VICTORIA, BC V8S 3L5
250.590.5323
CONTACT: JOHN HUGHES, EXECUTIVE DIRECTOR

CONSULTANTS

CHRISTINE LINTOTT ARCHITECT
UNIT 1 - 864 QUEEN'S AVENUE
VICTORIA, BC V8T 1M5
250.384.2969
CONTACT: CHRISTINE LINTOTT

BRAD CUNNING LAND SURVEYING INC.
407 SWIFT STREET
VICTORIA, BC V8W 3S2
250.351.2257
CONTACT: BRAD CUNNING

BUILDING CODE INFORMATION

BUILDING CLASSIFICATION:
BCBC 2012 (2015)
A1.3.1.1 (1) APPLICATION TO EXISTING BUILDING
AND PART 9
GROUP D, BUSINESS AND PERSONAL SERVICES OCCUPANCY &
GROUP E, MERCANTILE OCCUPANCY

BUILDING HEIGHT: 2 1/2 STOREYS
BUILDING AREA: 261.63 SQ.M. (INCLUDES EXISTING & PROPOSED ADDITIONS)
CONSTRUCTION TYPE: COMBUSTIBLE
CLADDING TYPE: SPRINKLERED
COMBUSTIBLE & NON-COMBUSTIBLE: YES, AND BEING INSTALLED AT EXISTING

REZONING PROJECT INFORMATION TABLE

	ALLOWABLE IN ZONE	EXISTING CONDITION	PROPOSED
ZONING	R1-A	R1-A	SITE SPECIFIC
SITE AREA	1040 SQ.M.	1040 SQ.M.	1040 SQ.M.
TOTAL FLOOR AREA	386.95	463.07	463.07
FLOOR SPACE RATIO	0.371	0.445	0.445
SITE COVERAGE	40%	23.6%	32.6%
OPEN SITE SPACE	66%	58.3%	58.3%
HEIGHT OF BUILDING	11m	9.32m	8.35m
NUMBER OF STOREYS	2 1/2 STOREYS	2 1/2 STOREYS	UNCHANGED
PARKING SPACES ON SITE	5 PER SCHEDULE C	1	24 (SEE A1.01)
BICYCLE PARKING	12 PER SCHEDULE C	0	MIN. 6 TOTAL REQ'D (DIVIDED EQUALLY BETWEEN CLASS 1 & 2)
BUILDING SETBACKS			
FRONT YARD (NORTH & EAST)	10.5m	8.54m	8.54m UNCHANGED
REAR YARD (SOUTH WEST CORNER)	9.5m	3.93m	0m
SIDE YARD (SOUTH)	3.0m	7.28m	0m
SIDE YARD (WEST)	3.0m	2.48m	2.48m UNCHANGED

TOTAL FLOOR AREA CALCULATION

LEVEL 1	273.30 SQ.M.
LEVEL 2	129.74 SQ.M.
LEVEL 3	60.13 SQ.M.
TOTAL	463.07 SQ.M.

FLOOR SPACE RATIO

TOTAL FLOOR AREA	463.07 SQ.M.
LOT AREA	1040 SQ.M.
RATIO	0.445

HEIGHT LOWERED IN RESULT OF REMOVAL OF WEST GARAGE, RECALCULATED HEIGHT TO EXISTING NORTH SIDEWALK TAKEN FROM SITE MEASUREMENTS. EXACT TO BE CONFIRMED BY SURVEYOR

SITE COVERAGE

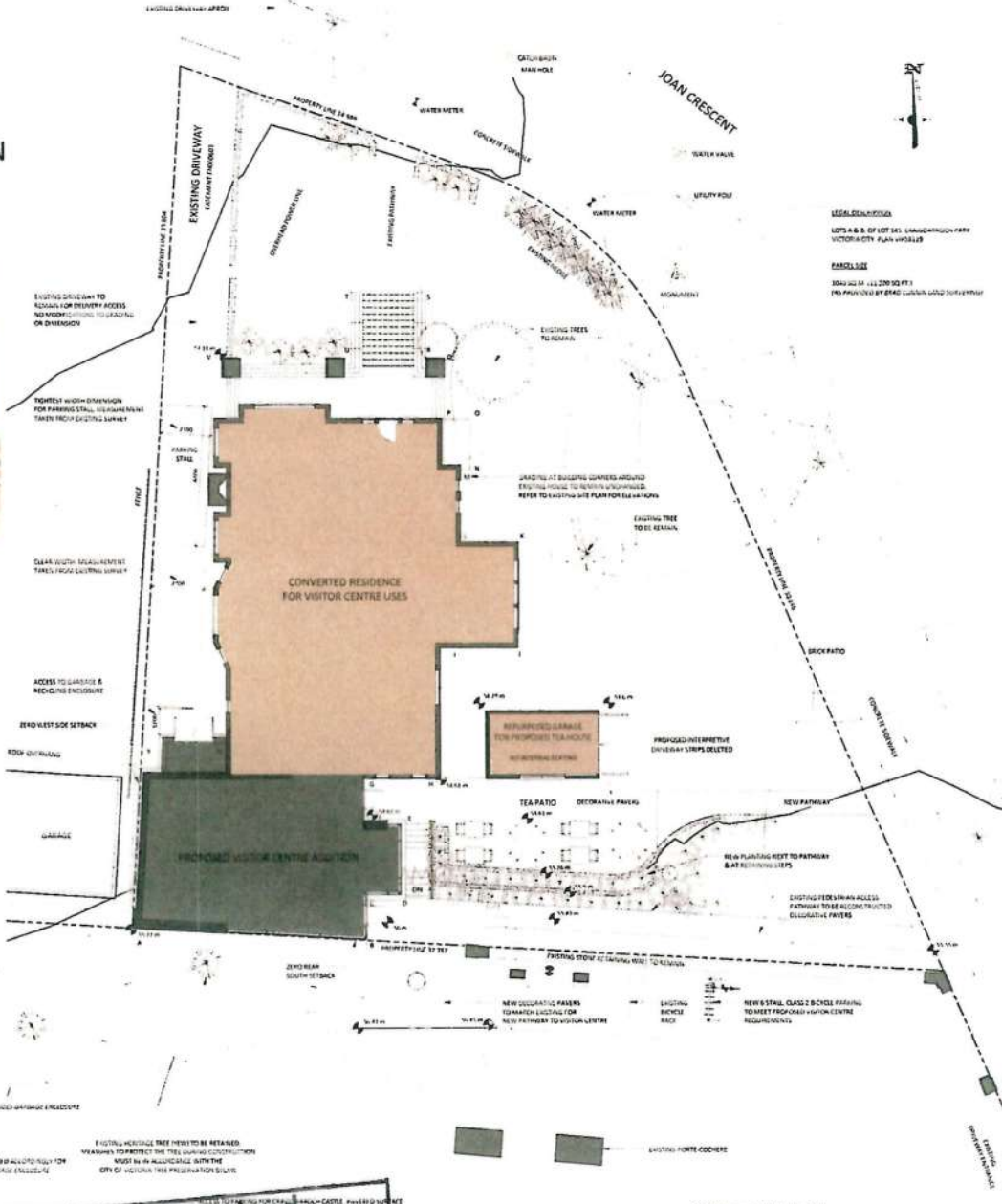
AREA (MEASURED TO OUTSIDE FACE OF BUILDING & STRUCTURES)

GARAGE/TEA HOUSE STRUCTURE	16.17 SQ.M.
EXISTING RESIDENCE	231.60 SQ.M.
PROPOSED ADDITION	95.30 SQ.M.
TOTAL STRUCTURES	342.97 SQ.M.
LOT AREA	1040 SQ.M.
RATIO	32.6%

OPEN SITE SPACE

TOTAL STRUCTURES	342.97 SQ.M.
DRIVEWAY	94.99 SQ.M.
TOTAL	437.96 SQ.M.

1040 SQ.M. (LOT AREA) - 437.96 (TOTAL ABOVE) = 602.04 SQ.M. (OPEN SITE SPACE)
RATIO: 602.04 / 1040 = 0.578 = 57.8%



CHRISTINE LINTOTT
ARCHITECT

Issue Date
Issued & Heritage Alteration December 12, 2014

Revision No. Date
Revision 1 December 12, 2014

1. Retention of eypress tree at driveway to proposed Visitor Centre.
Date revision from Christine Lintott Architect

2. March 31, 2015
A1.02

Relocation of bicycle parking from driveway to proposed visitor centre.
Location of eypress tree at driveway to proposed Visitor Centre.

Addition of garage enclosure at end of north driveway and green space along upper fence.

A1.01 Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Calculations of proposed exterior elevations revised to match original illustration

A3.05 - A3.09 New sheets added for Construction Assessment

A3.10 & A3.11 - New sheets added for proposed garage/enclosure Tea House details and construction Assessment

A3.11 - Proposed colour directions added

3. May 8, 2015
A1.00

Landscaping area removed from existing driveway to ensure parking stall is maintained. Calculations revised in Project Table.

A3.10 Project Information Table provided for Tea House to include setbacks, elevation and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Cover Sheet /
Tree Removal & Retention Plan

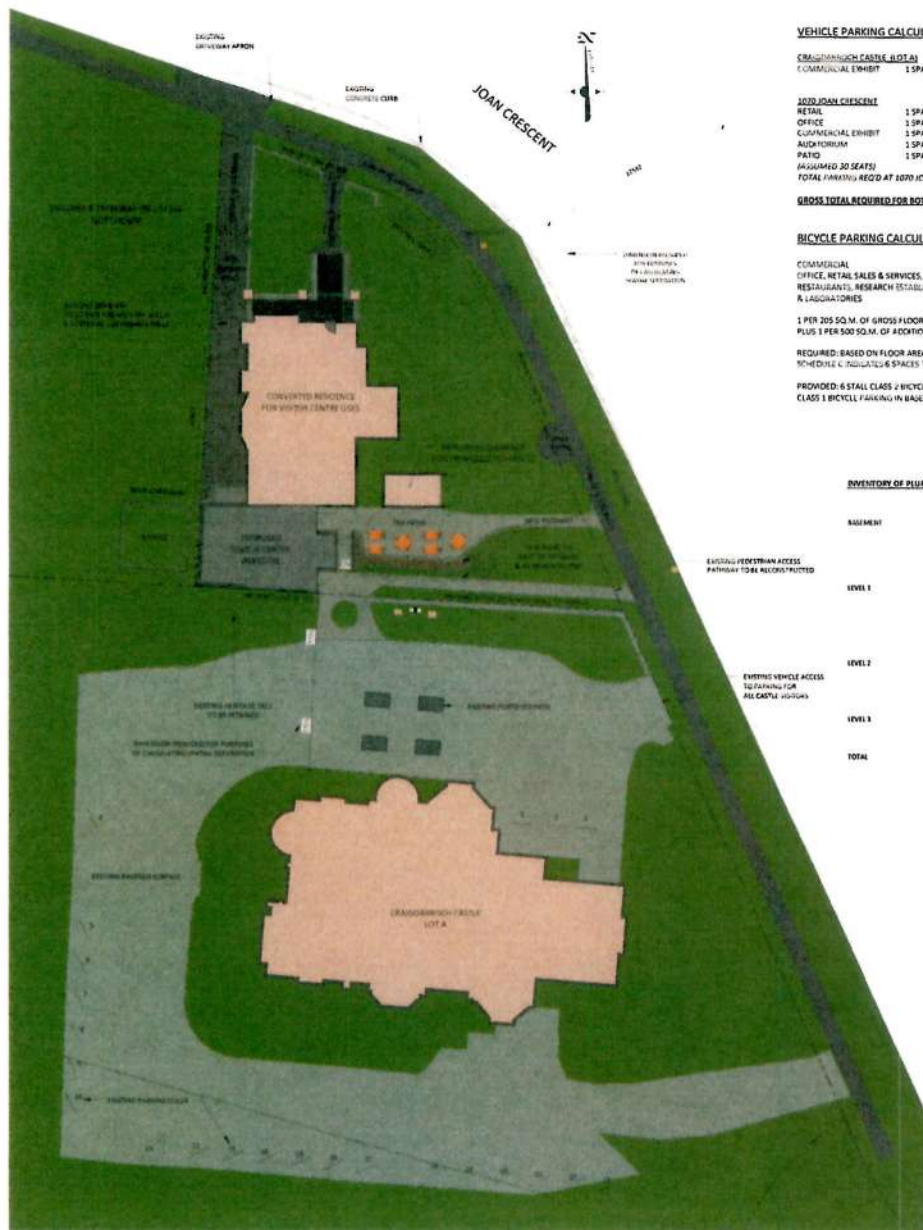
Date 5/8/2015 9:58:37 AM
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Checked by CL

A0.00

Scale 1:100

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VEHICLE PARKING CALCULATIONS PER SCHEDULE C

CRAIGHDARROCH CASTLE (LOT A)			
COMMERCIAL EXHIBIT	1 SPACE/213m ² OF LOT AREA		= 13 SPACES
1070 JOAN CRESCENT			
RETAIL	1 SPACE/87.5m ²		= 2 SPACES
OFFICE	1 SPACE/85m ²		= 3 SPACES
COMMERCIAL EXHIBIT	1 SPACE/232m ² OF LOT AREA		= 4 SPACES
AUDITORIUM	1 SPACE/4m ² OF ASSEMBLY AREA		= 5 SPACES
PATIO	1 SPACE/5 SEATS		= 5 SPACES
AUGMENTED 30 SEATS			= 5 SPACES
TOTAL PARKING REQ'D AT 1070 JOAN CRESCENT			= 20 SPACES
GROSS TOTAL REQUIRED FOR BOTH LOTS			= 33 SPACES

BICYCLE PARKING CALCULATIONS PER SCHEDULE C

COMMERCIAL
OFFICE, RETAIL SALES & SERVICES,
RESTAURANTS, RESEARCH ESTABLISHMENTS,
& LABORATORIES

1 PER 205 SQ. M. OF GROSS FLOOR AREA FOR THE 1ST 5000 SQ. M.,
PLUS 1 PER 500 SQ. M. OF ADDITIONAL FLOOR AREA

REQUIRED: BASED ON FLOOR AREA, 2 SPACES ARE CALCULATED
WHEREIN 1 INDICATES 6 SPACES TO BE PROVIDED AT MINIMUM

PROVIDED: 6 STALL CLASS 2 BICYCLE PARKING SHOWN ON A3.00
CLASS 1 BICYCLE PARKING IN BAYLEIGH

INVENTORY OF PLUMBING FIXTURES

	EXISTING	PROPOSED
BASEMENT	1 LAUNDRY SINK 2 BATHROOMS 1 WATER CLOSET 1 SHOWER	
LEVEL 1	3 KITCHENSINKS 3 BATHROOMS 3 WATER CLOSETS 2 BATHS	4 WATER CLOSETS 2 LAVATORIES 1 URINAL
LEVEL 2	2 KITCHENSINKS 2 BATHROOMS 2 WATER CLOSETS 2 BATHS	
LEVEL 3	2 WATER CLOSETS 2 LAVATORIES 2 BATHS	1 WATER CLOSET 1 LAVATORY
TOTAL	32	10



2 Existing Context Plan
1: 500



3 Proposed Context Plan
1: 500

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Development Services Division

Overall Site Context
1: 200

CHRISTINE LINTOTT ARCHITECT

Issue Date
Revising & Date
Heritage Attribution

Revision No. Description Date

1. December 12, 2014
Retention of express tree at driveway to
Proposed Visitor Centre
Under revision from Community Meeting

2. March 31, 2015

A2.00
Relocation of bicycle parking from driveway
to end of driveway at end of form
Addition of garbage enclosure at end of form
driveway and green space along upper fence.

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to
reflect revisions

A1.05 - New sheet added for lot width &
setback calculations

A3.01-A3.04 - Copies of proposed exterior
elevations revised to match original character.

A3.05 - A3.09
New sheets added for Construction Assessment

A3.10 & A3.11 - New sheets added for
repurposed garage/repurposed Tea House
details and conditions Assessment

A3.11 - Proposed colour scheme added

3. May 8, 2015

A3.00
Landscape area removed from existing
driveway to ensure parking stall is maintained.
Calculations revised in Project Table

A3.10
Project information Table provided for
Tea House to include setbacks, separation
and height.

Consultant

**Craighdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent,
Victoria, BC

Site Context Plans

Date 5/8/2015 9:59:37 AM
Drawn by NF
Checked by CL

A1.01

Scale As indicated



EXISTING & PROPOSED FRONT STREET ELEVATION
NO CHANGE FROM THIS VIEWPOINT



EXISTING STREET ELEVATION LOOKING SOUTH EAST



PROPOSED STREET ELEVATION LOOKING SOUTH EAST



EXISTING STREET ELEVATION LOOKING WEST



PROPOSED STREET ELEVATION LOOKING WEST

CHRISTINE LINTOTT
ARCHITECT

1007-1014 Queen Street, Suite 101, Victoria, BC V8V 2P2
Phone: 250-383-1881
Email: christine@clintott.com

Issue	Date
Rezoning & Heritage Allocation	December 12, 2014

Revision No.	Description	Date
1.	revision of express tree at walkway to proposed Visitor Centre City revision from Community Meeting	December 12, 2014

Revision No.	Description	Date
2.	AD 00 Relocation of private parking from driveway Creation of interpretive driveway steps in front of Tea House Addition of garbage enclosure at end of north driveway and green space along outer fence.	March 31, 2015

A1.01
Vehicle & Driveway Calculations Revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for wall width & setback clarifications

A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character

A3.06 - A3.09
New sheets added for Landmarks Assessment

A3.10 & A3.11 - New sheets added for: re-proposed garage/proposed Tea House details and Landmarks Assessment

A3.11 - Proposed Colour Selections added

Revision No.	Description	Date
3.	AD 00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table.	May 8, 2015

A3.10
Project Information table provides for: re-proposed garage/proposed Tea House details and Landmarks Assessment

Consultant

Craigdarroch Castle
Proposed Visitor Centre

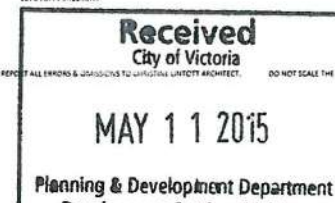
At 1070 Joan Crescent,
Victoria, BC

Context Street Elevations

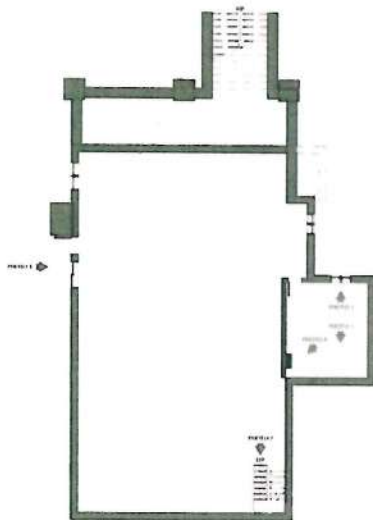
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5/8/2015 9:59:39 AM	KL	CL

A1.04

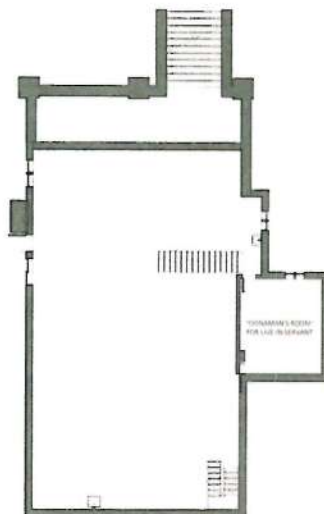
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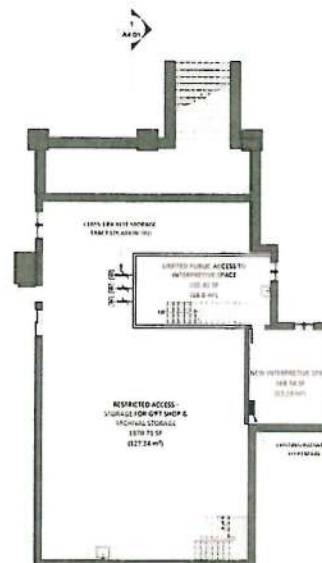




1 Existing Basement Plan
1:100



2 Historic Basement Plan
1:100



3 Basement Proposed Plan
1:100

CHRISTINE LINTOTT
ARCHITECT

Issue Date
Revising & December 12, 2014
Heritage Association

Revision No. Date
Description

1. December 12, 2014
Retention of cypress tree at walkway to
Proposed Visitor Centre
Only revision from Community Meeting

2. March 31, 2015
A2.02
Revised of bicycle parking from driveway
Location of interpretive driveway steps in
front of Tea House
Addition of garbage enclosure at end of north
driveway and green table along upper fence.

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to
reflect revisions

A1.05 - New sheet added for up north &
setback calculations

A3.01-A3.04 - Colours of proposed exterior
elevations revised to match original character

A1.06 - A3.09
New sheets added for Landmarks Assessment

A3.10 & A3.11 - New sheets added for
reproposed garage/proposed Tea House
design and Landmarks Assessment

A3.11 - Proposed colour selections added

3. May 8, 2015
A2.02
Landscaping area removed from existing
driveway to ensure parking stalls is maintained.
Calculations revised in Project Table

A3.10
Project information table provided for
Tea House to include setbacks, separation
and height.

Consultant



PHOTO 1
ENTRANCE DOWN TO BASEMENT
FROM REAR DRIVEWAY



PHOTO 2
INTERIOR STAIR TO MAIN FLOOR



PHOTO 3
VIEWING OF CHINA ROOM & KITCHEN



PHOTO 4
CHINA ROOM WITH ORIGINAL FURNITURE & LUGGAGE BAKES AND CUPBREADS
AND A PHYSICAL CAST IRON STOVE BUILT INTO THE WALL
Image courtesy of Christy Stone



PHOTO 5
CHINA ROOM WITH ORIGINAL FURNITURE & LUGGAGE BAKES AND CUPBREADS
AND A PHYSICAL CAST IRON STOVE BUILT INTO THE WALL
Image courtesy of Christy Stone

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Basement Floor Plans (Existing,
Historic & Proposed)

Date 5/8/2015 9:59:42 AM
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A2.00

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**Craigdarroch Castle
Proposed Visitor Centre**

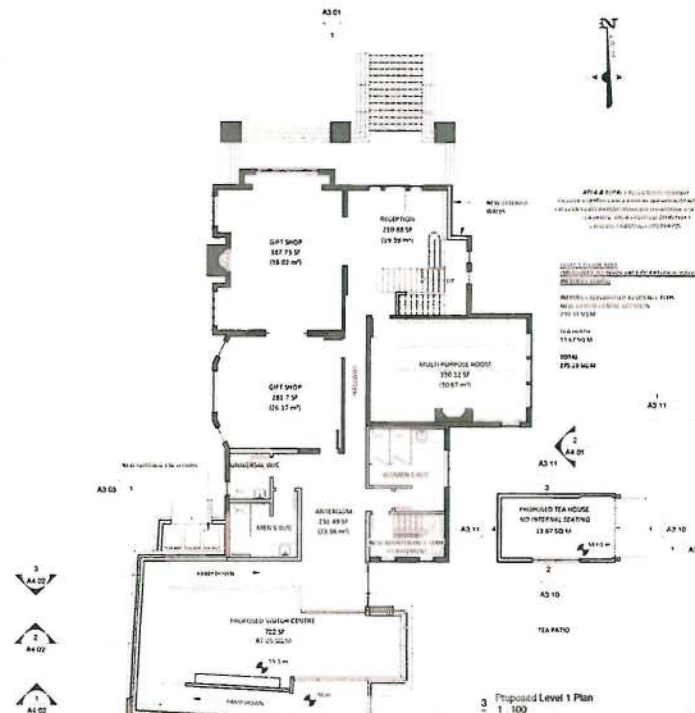
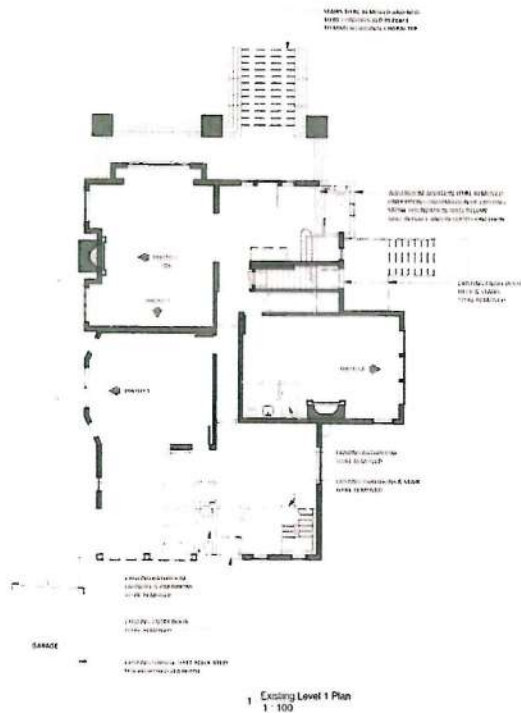
At 1070 Joan Crescent,
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**Level 1 Floor Plans (Existing,
Historic & Proposed)**

Date: 5/8/2015 9:59:44 AM
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A2.01

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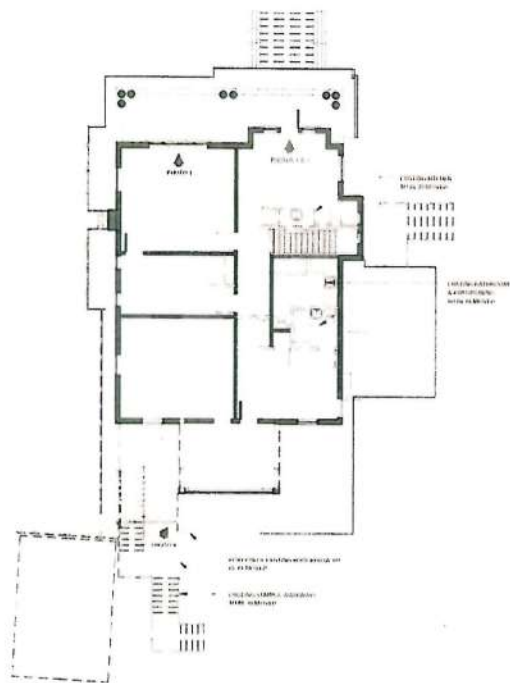
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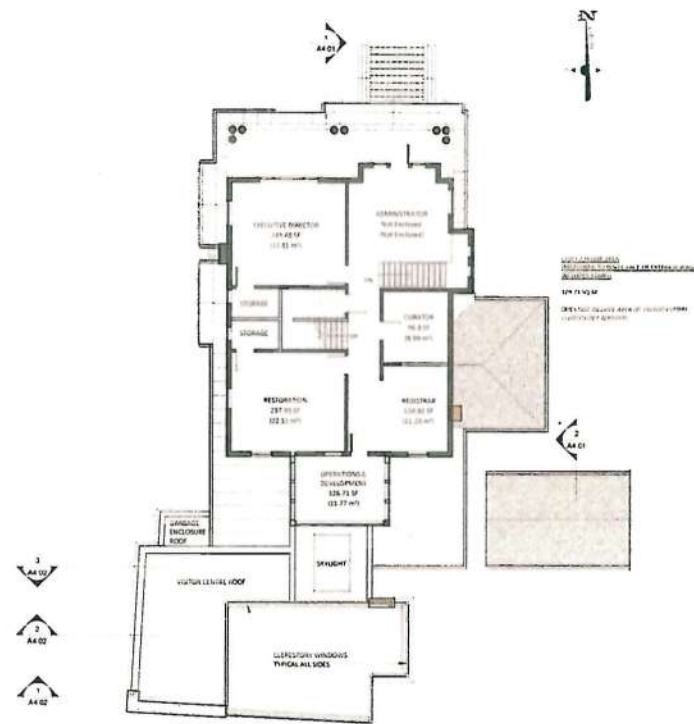
Planning & Development Department



1 Existing Level 2 Plan
1:100



2 Historic Level 2 Plan
1:100



3 Proposed Level 2 Plan
1:100

CHARACTER PHOTOGRAPHS



PHOTO 1
FRONT WINDOWS WITH STAINED GLASS
looking out onto the street



PHOTO 2 & 3
PORCH DOOR & WINDOWS WITH STAINED GLASS
looking out onto the street

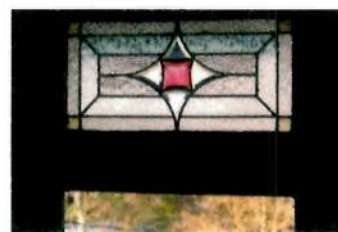


PHOTO 4



PHOTO 5

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Level 2 Floor Plans (Existing,
Historic & Proposed)

Date: 5/8/2015 9:59:47 AM
Drawn by: RSP, NF
Checked by: CL

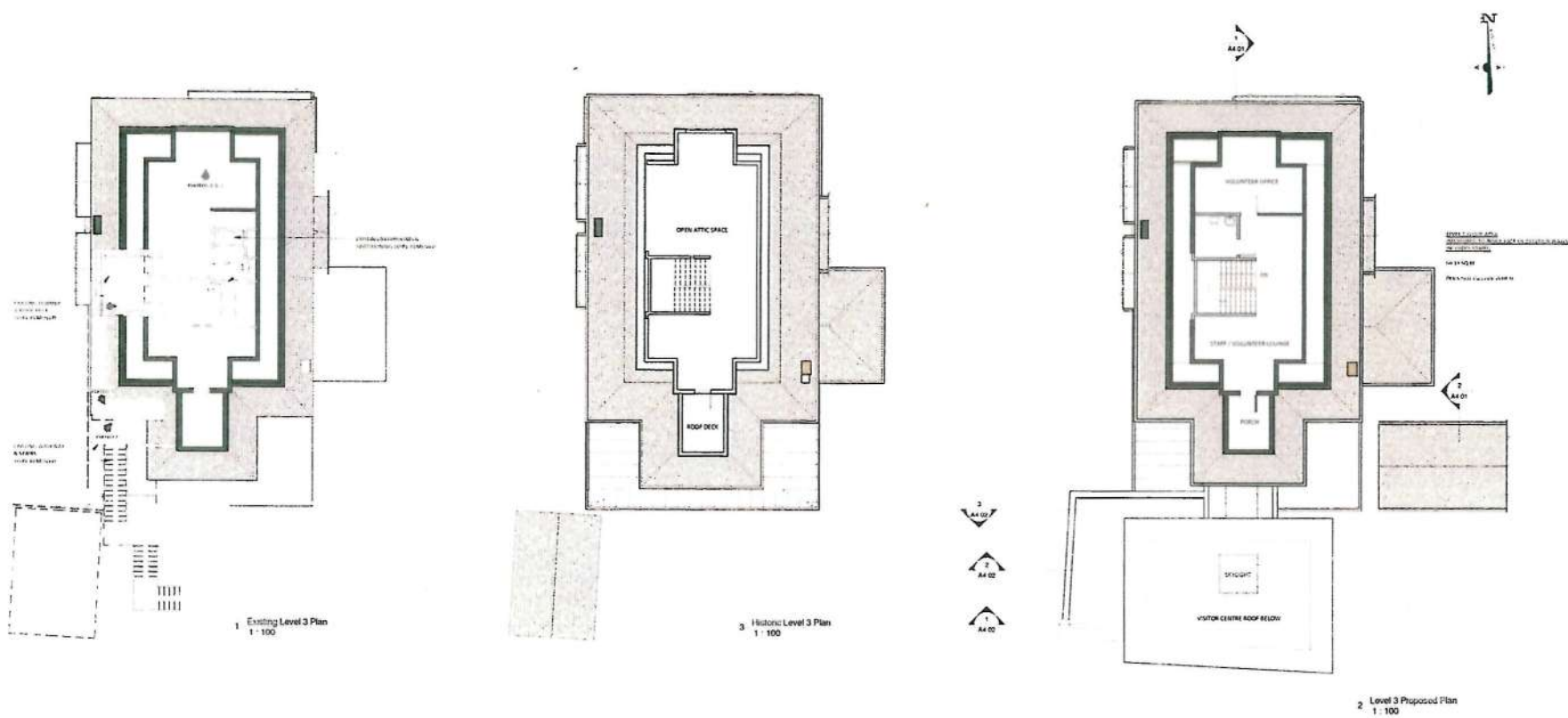
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City of Victoria

MAY 11 2015

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Development Services Division



Issue	Date
Revising & Heritage Alteration	December 12, 2014
Revision No.	Date
1	December 12, 2014
Attention of City staff & walkway to Proposed Visitor Centre	
Only revision from Community Meeting	
2	March 31, 2015
A0.00	Relocation of bicycle parking from driveway
Deletion of interpretive driveway strips in front of Tea House	
Addition of garage enclosure at end of north driveway and green space along upper fence	
A1.01	Vehicle & bicycle parking calculations revised
A1.04	Proposed street elevations updated to reflect revisions
A1.05	New sheet added for lot width & setback calculations
A3.01-A3.04	Colours of proposed exterior elevations revised to match original character
A3.05 - A3.09	New sheets added for Landmarks Assessment
A3.10 & A3.11	New sheets added for reinterpreted garage/porch/Tea House details and Landmarks Assessment
A3.11	Proposed colour selections added
3	May 8, 2015
A0.00	Landmark line removed from existing driveway to ensure parking stall is maintained
Calculations revised in Project Table	
A3.10	Project information Table provided for Tea House to include setbacks, separation and height
Consultant	



PHOTO1
ROOF DETAIL



PHOTO2
EXISTING ROOF CONDITION



PHOTO3
EXISTING ROOF DETAIL



PHOTO4
INTERIOR NORTH AND CENTRAL STAIR



PHOTO5
INTERIOR SOUTH AND CENTRAL STAIR

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent
Victoria, BC

Level 3 Floor Plans (Existing,
Historic & Proposed)

Date: 5/8/2015 9:59:09 AM
Drawn by: RSP, NF
Checked by: CL

A2.03
Scale: 1:100

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City of Victoria
MAY 11 2015
Planning & Development Department
Development Services Division

Issue: December 12, 2014
Revising & Heritage Alteration

Revision No. Description Date

1. December 12, 2014
Retention of egress tree at walkway to proposed Visitor Centre
Only revision from Community Meeting

2. March 31, 2015
A2.00
Reduction of bicycle parking from driveway.
Deletion of interpretive driveway strips in front of Tea House.
Addition of garbage enclosure at end of north driveway and green space along upper fence

A1.01 Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character

A3.05 - A3.09 New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for proposed garage/junction Tea House details and Conditions Assessment

A3.11 - Proposed colour selections added

3. May 6, 2015

A0.00
Landscape area removed from existing driveway to ensure parking stalls maintained
Calculations revised in Project Table

A3.10
Project Information Table updated for Tea House to include setbacks, elevation and height

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

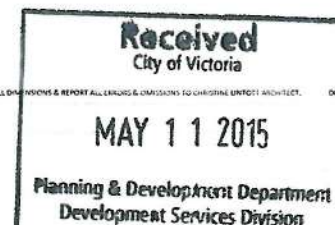
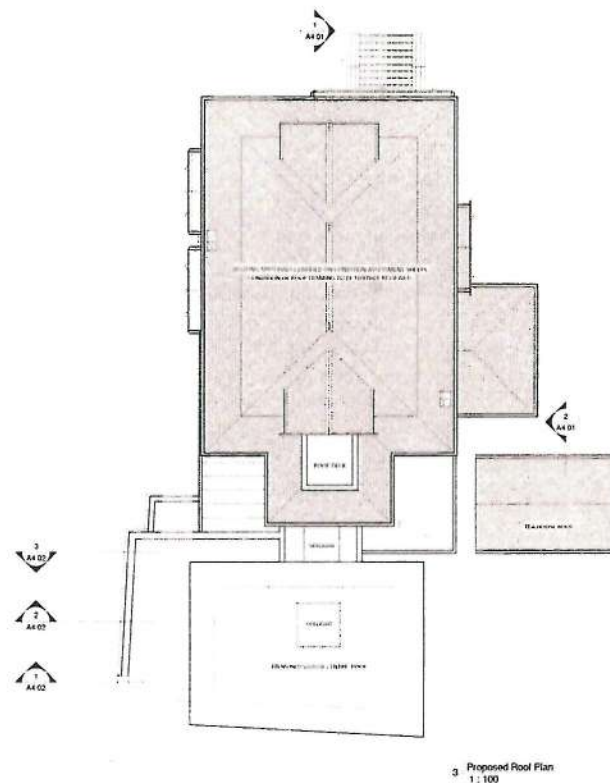
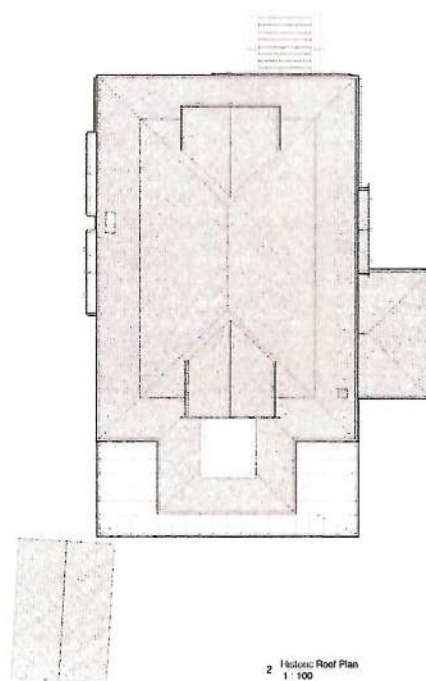
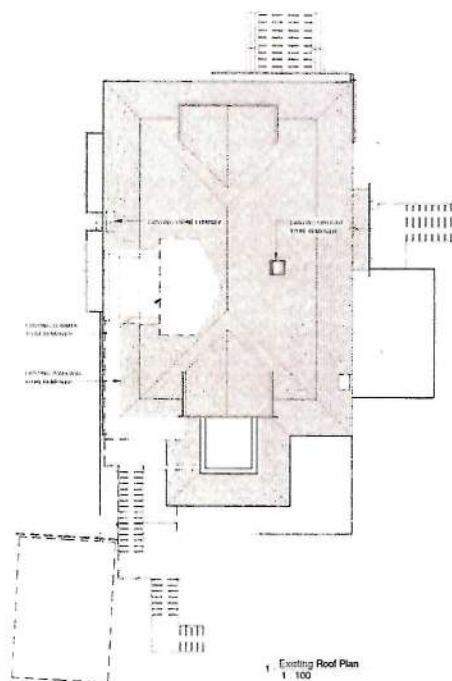
At 1070 Joan Crescent
Victoria, BC

Roof Plans (Existing, Historic & Proposed)

Date: 5/8/2015 9:59:51 AM
Drawn by: BP, AP
Checked by: CL

A2.04

Scale: 1:100



Issue: December 12, 2014
Revising & Revising Alteration

Revision No. Description Date
1. Retention of cypress tree at walkway to Proposed Visitor Centre
Late revision from Community Meeting March 31, 2015

2. A2.00 Reclamation of bicycle parking from driveway
Deletion of interpretive driveway station in front of Tea House
Addition of garbage enclosure at end of north driveway and green space along upper terrace

A3.01 Vehicle & bicycle parking calculations revised

A3.04 - Proposed street elevations updated to reflect revisions

A3.05 - New sheet added for lot width & setback calculations

A3.06-A3.08 - Corners of proposed exterior elevations revised to match original character

A3.09 - New sheets added for conditions Assessment

A3.10 & A3.11 - New sheets added for re-proposed garage/proposed Tea House details and conditions Assessment

A3.11 - Proposed Culinary Selections added

3. May 8, 2015

A3.00 Landscape area removed from existing driveway to ensure parking stall is maintained
Calculations revised in project table

A3.10 Project information table provided for Tea House to include setbacks, separation and height

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent,
Victoria, BC

**3D Floor Plans
Birdseye View From West**

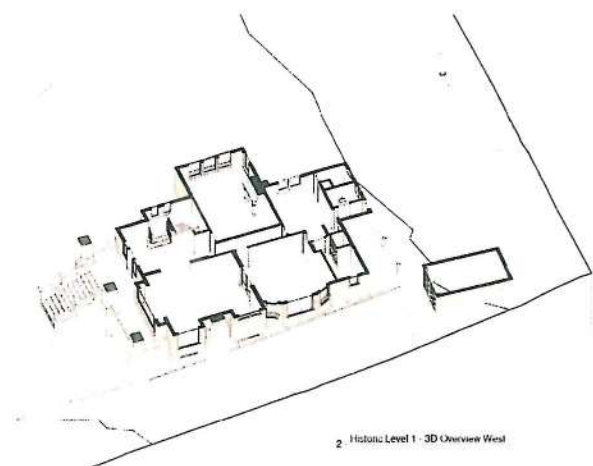
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A2.05

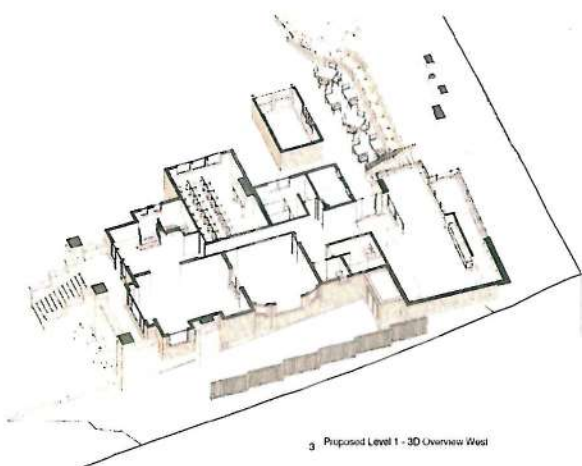
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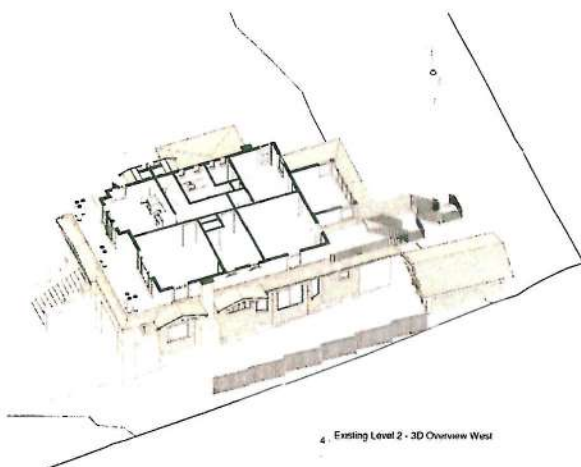
1 Existing Level 1 - 3D Overview West



2 Historic Level 1 - 3D Overview West



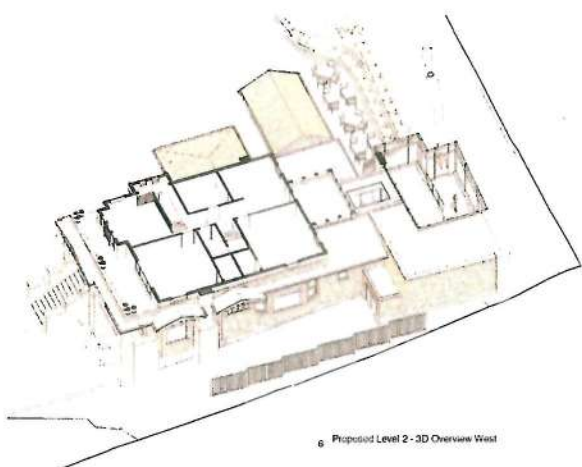
3 Proposed Level 1 - 3D Overview West



4 Existing Level 2 - 3D Overview West



5 Historic Level 2 - 3D Overview West



6 Proposed Level 2 - 3D Overview West

Received
City of Victoria
MAY 11 2015
Planning & Development Department
Development Services Division

1. Retention of Cypress tree at walkway to Proposed Visitor Centre
City review from Community Meeting December 12, 2014

2. March 31, 2015
A1.02 Relocation of bicycle parking from driveway.
Deletion of interpretive driveway strips in front of Tea House
Addition of garbage enclosure at end of north driveway and green space along upper fence.

A1.01 Vehicle & bicycle parking calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A2.01 A3.04 - Details of proposed exterior elevations revised to match original character

A1.06 A3.09 New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for proposed geotechnical Tea House details and Conditions Assessment

A3.11 - Proposed colour selections added

3 May 8, 2015
A2.02 Unusable area removed from existing driveway to ensure parking staff is maintained. Calculations revised in Project Table.

A3.10 Project Information Table provided for Tea House to include setbacks, separation and height

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent
Victoria, BC

**3D Floor Plans
Birdseye View**

Date: 5/8/2015 10:00:40 AM
Drawn by: RJP, BP
Checked by: CL

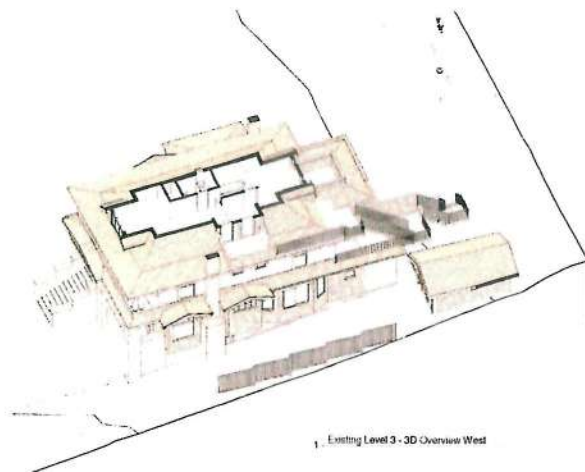
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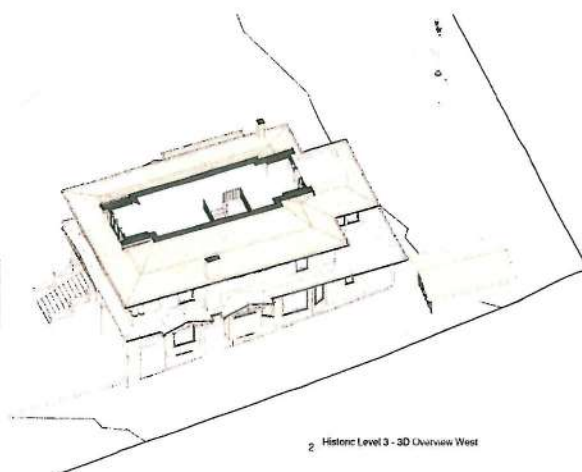
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MAY 11 2015

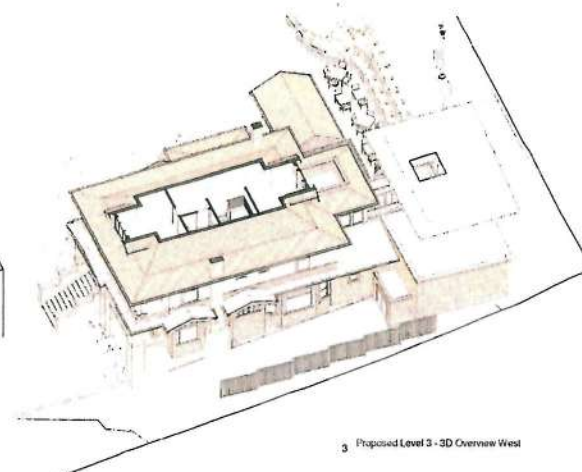
**Planning & Development Department
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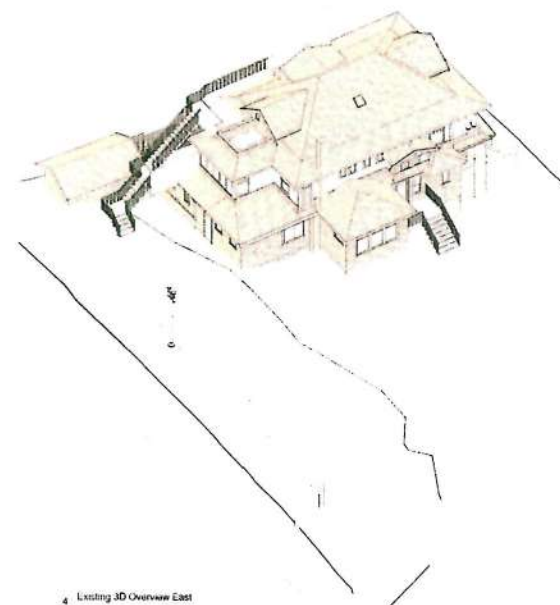
1 Existing Level 3 - 3D Overview West



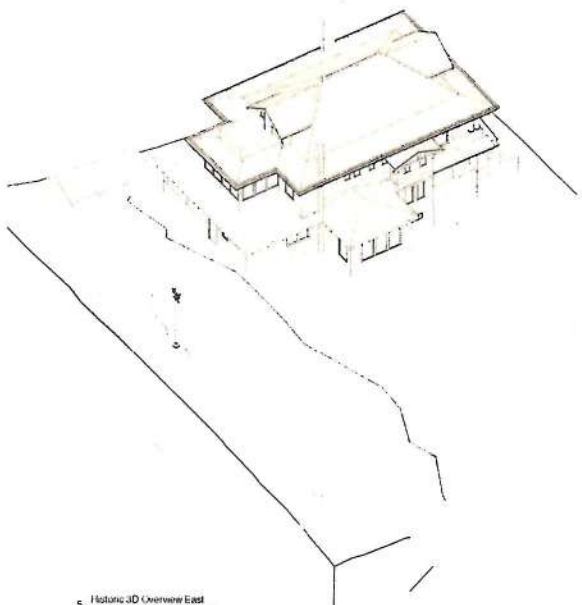
2 Historic Level 3 - 3D Overview West



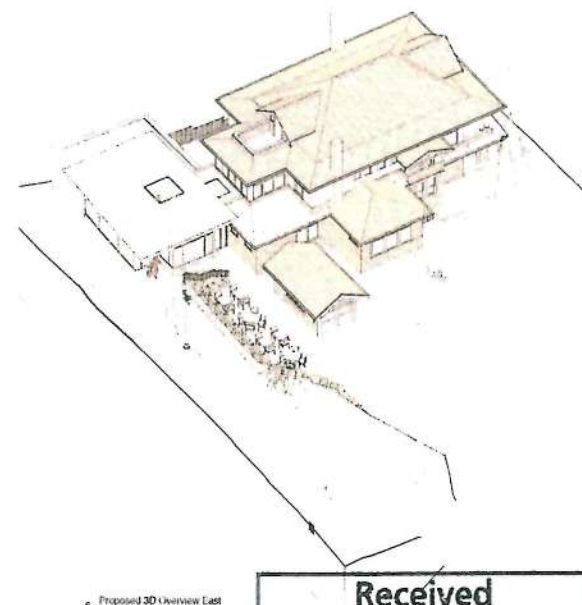
3 Proposed Level 3 - 3D Overview West



4 Existing 3D Overview East



5 Historic 3D Overview East




6 Proposed 3D Overview East

A photograph of a traditional Chinese pavilion with a tiled roof, surrounded by trees and a stone wall. The pavilion is situated behind a low stone wall, and there are trees and foliage around it. The image is somewhat faded and has a vintage feel.

FRONT ELEVATION SHOWING GRANITE STONE FOUNDATIONS & PILLARS



MODERN BRACKETS AT EAVES AND ARTS & CRAFT STYLE GABLE

 Improvements at Mount Vista

The original front retaining stone wall at the sidewalk, and the garden stairs.

FRONT ENTRY DOOR AT MAIN FLOOR
(Major - connecting all levels)



COLLECTING AT SECOND FLOOR FRONT PORCH



Existing North Elevation
1:50



2. Proposed North Elevation
1.50

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Issue	Date
Restoring & Heritage Alterations	December 12, 2014

Revision No	Date
Description	

1. December 12, 2014
Retention of cypress tree at walkway to
Proposed Visitor Centre
Only revision from Community Advisory

2. March 31, 2015
40.00

- Relocation of bicycle parking from driveway
- Deletion of interpretive driveway strips in front of Tea House
- Addition of garbage enclosure at end of north

A1.01

A1.04 - Proposed street elevations updated to

At 05 - New sheet added for lot width &

A3.03, A3.04 - Collection of personal expenses

Revised to match original character

A3.06 + A3.09
New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea house details and Condition Assessment

A3.11 - Proposed Colour Selections added

3. May 8, 2015
40 00

Landscape area removed from existing driveway to ensure parking stall is maintained.
Landscape revised in Project Table

A3.10
Project identification: Table containing list

Tea House to include setbacks, separation and height.

Consultant	
------------	--

Craigdarroch Castle
Proposed Visitor Centre

Proposed Visitor Centre

At 1070 San Crescent,
Victoria, BC

North Exterior Elevations

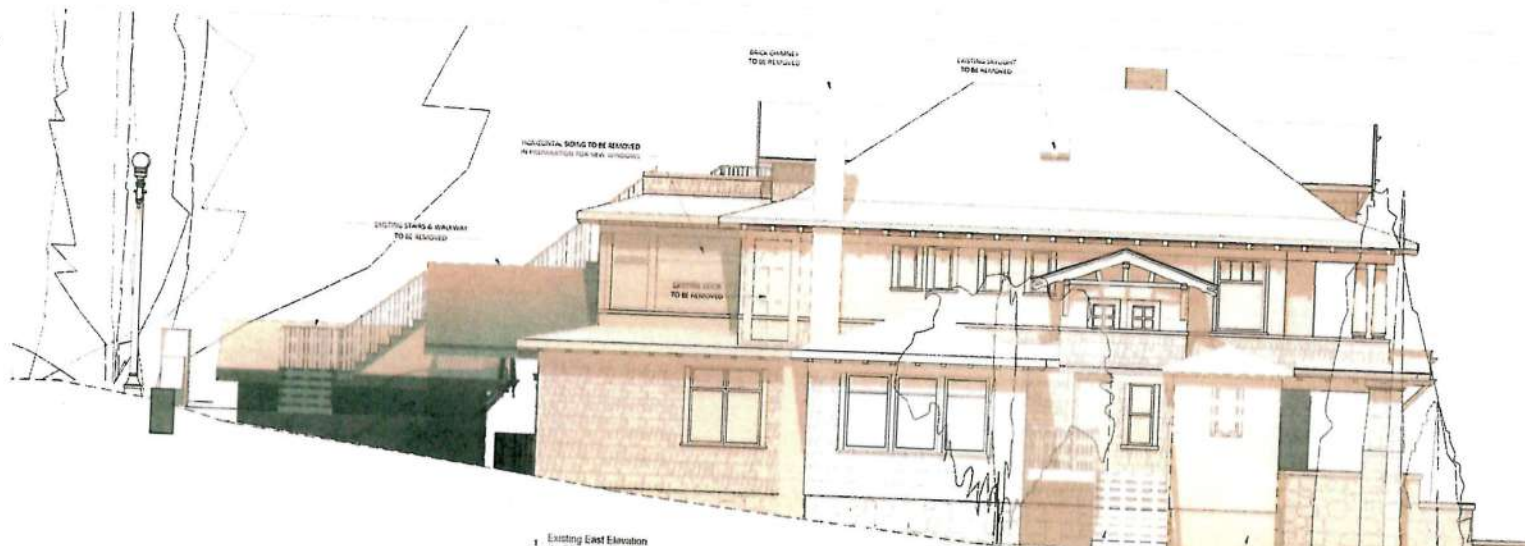
NORTH EXTERIOR ELEVATIONS

Date 5/8/2015 10:00:49 AM

Drawn By _____ RSP, NF
Classified By _____ CL

A3.01

Scale 1:50



Existing East Elevation
1:50

ROOF FINALS & RIDGE LAPS TO BE RESTORED
AT UPPER GABLE ROOF & UPPER LEVELS

EXTERIOR GLAZING TO BE RESTORED
TO MATCH EXISTING EAST STUDIO
SUNLIGHT STUDIOS
TO BE RESTORED

STONE CHIMNEY
TO BE RESTORED

EXISTING ENTRY DOOR
DECK & STAIRS TO BE RESTORED

WASHINGTON ADDITION
TO BE REMOVED

ROOF
HORIZONTAL
FAIR

Roof Peak
63840

Level 3
60541

Level 2
57607

Level 1
54610

Zoning Grade
53810

Roof Peak
63840

Level 3
60541

Level 2
57607

Level 1
54610

CHRISTINE LINTOTT ARCHITECT

Issue	Date	
Revising & Heritage Alteration	December 12, 2014	
Revision No.	Description	Date
1	Revising of upper floor at walkway to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	March 31, 2015	
A0.00	Reduction of bicycle parking from driveway of Teahouse Addition of decorative driveway strips from front of Teahouse Definition of garage entrance at end of north driveway and green street along upper terrace	
A1.01	Vehicle & Bicycle Parking Calculations revised	
A1.04	Proposed street elevations updated to reflect revisions	
A1.05	New street added for lot width & setbacks calculations	
A3.01-A3.04	Columns of proposed exterior elevations revised to match original character	
A3.05 - A3.09	New sheets added for Conditions Assessment	
A3.10 & A3.11	New sheets added for proposed upper level Tea House details and Conditions Assessment	
A3.11	Proposed colour selections added	
3	AD 00	May 8, 2015
A3.10	Proposed upper level Tea House details and conditions assessment	
A3.11	Proposed upper level Tea House details and conditions assessment	



Proposed East Elevation
1:50

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

East Exterior Elevations

CHARACTER DEFINING ELEMENTS

The character of the house is its simple wood frame with its existing veranda of half-timbered floor joists and its original leaded glass windows.

Start Date



LEADED GLASS WINDOWS TO BE RETAINED



VERANDA TO BE RELOCATED & REFINISHED IN TIMBER



EAST ENTRY & STAIRS TO BE RESTORED



ARTS & CRAFT STYLE GABLE TO BE RESTORED

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THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & DISCREPANCIES TO CHRISTINE LINTOTT ARCHITECT.

Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

5/8/2015 10:01:13 AM
RSP: MF
CL
A3.02
1:50

Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

CHRISTINE LINTOTT
ARCHITECT

Issue: Revision No. 1
Description: Heritage Alteration
Date: December 12, 2014

1. Retention of express tree at walkway to proposed Visitor Centre
City revision from community meeting

2. AD-00 Renovation of historic parking from driveway
Removal of inappropriate driveway strips in front of Tea House
Addition of garbage enclosure at end of north driveway and green space along upper fence.

A1.01 Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A1.01-A3.01 - Colours of proposed exterior elevations revised to match original character

A3.01-A3.09 New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for re-surveyed garage/proposed Tea House details and Conditions Assessment

A3.11 - Proposed colour selections added

3. AD-00 Landscape area removed from existing driveway to ensure parking stall is maintained. Calculations revised in project table

A3.10 Project Information table provided for Tea House to include setbacks, orientation and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

West Exterior Elevations

Date: 5/8/2015 10:01:41 AM
Prepared By: RSP, RP
Checked By: CL

A3.03

Scale: 1:50



1 Existing West Elevation
1:50



2 Proposed West Elevation
1:50

CHARACTER DEFINING ELEMENTS

The original detailed drawing of all building features adding to the time of construction including porches, interior staircase, gables, windows, and rooflines.

As the historic exterior building material is to be retained, including the granite foundations, porch columns, porch walls, and chimney, interior is to be retained, and new glass added to the building structure.

The original and new exterior glass windows is to be retained and new glass added.

CHARACTER PHOTOGRAPHS



STONE GRANITE STONE CHIMNEY & CEDAR SHINGLE CLADDING

ARTS & CRAFT STYLE GABLE WITH LEADED GLASS WINDOWS

GRANITE STONE FOUNDATION, PILLAR & CHIMNEY

CEDAR SHINGLE CLADDING AND ROUGH CAST STUCCO ABOVE

CHARACTER PHOTOGRAPHS



WOODEN BRACKETS AT EAVES



CEDAR SHINGLE CLADDING



VIEW LOOKING FROM SOUTHEAST
THROUGH EXISTING TEA HOUSE



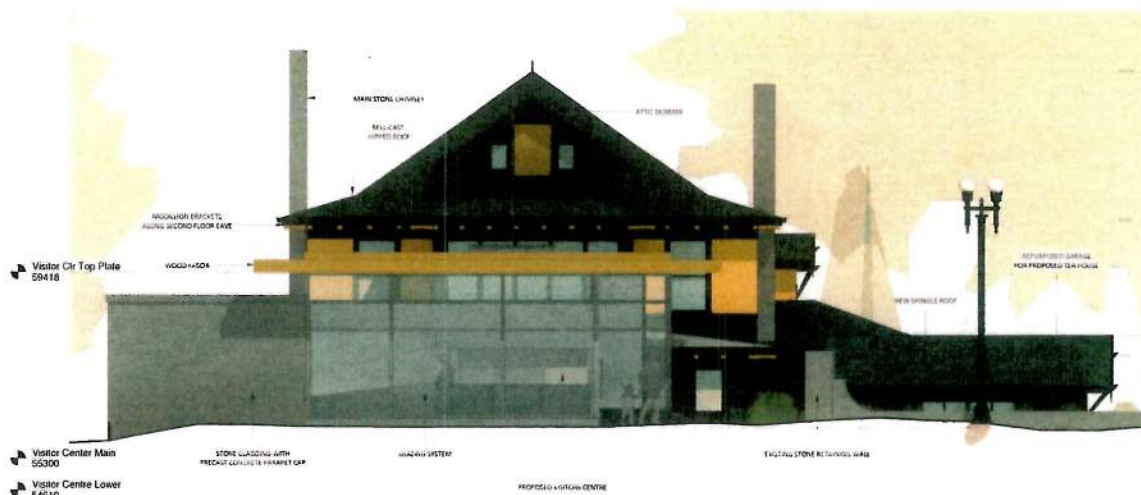
EXISTING SOUTH STAIRS &
BRACKETS TO BE REMOVED



EXISTING EXTERIOR
STONE WALL



1. Existing South Elevation
1:50



2. Proposed South Elevation
1:50

CHRISTINE LINTOTT
ARCHITECT

Issue Date
Revising & Heritage Alteration December 12, 2014

Revision No. Description Date

1. December 12, 2014
Retention of express tree at walkway to Proposed Visitor Centre
Only revision from Community Meeting

2. March 31, 2015
A3.00
Reclamation of driveway parking from driveway
Creation of interpretive driveway strips in front of Tea House
Addition of garbage enclosure at end of north driveway and green space along upper terrace

A1.01
Vehicle & bicycle parking calculations revised

A3.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback clarifications

A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character

A3.05 - A3.09
New sheets added for conditions Assessment

A3.10 & A3.11 - New sheets added for repositioned garage/unexcavated Tea House details and Conditions Assessment

A3.11 - Proposed colour selections added

3. May 8, 2015
A3.00
Landscape area removed from building driveway to remove parking area is maintained
Calculations revised in Project Table

A3.10
Project Information Table provided for Tea House to include setbacks, separation and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

South Exterior Elevations

Drawn 5/8/2015 10:01:58 AM
Checked by
Checked by

A3.04

Scale 1:50



NORTH & WEST ELEVATIONS ARE NOT SHOWN
NO CHANGES TO PERCENTAGE OF OPENINGS, EXISTING CONDITIONS

CHRISTINE LINTOTT ARCHITECT

10170 Jean Crescent, Victoria, BC V8W 2E1
Tel: 250-383-1111 Fax: 250-383-1112
www.christinelintott.com

Issue Date
Reopening & Heritage Alteration December 12, 2014

Revision No. Date
Description

1. December 12, 2014
Retention of cypress tree at walkway to
Providence Visitor Centre
Only revision from Community Meeting

2. March 31, 2015
A0.00
Simulation of bicycle parking from driveway
Deletion of interpretive driveway steps in
front of Tea House
Addition of garbage enclosure at end of north
driveway and green space along upper fence.

A1.01
Vehicle & Bicycle Parking Calculations revised
A1.02 - Proposed street elevations updated to
reflect revisions

A1.03 - New sheet added for lot width &
setback calculations

A3.01-A3.04 - Colours of proposed exterior
materials revised to match original character

A3.05 - A3.09
New sheets added for Landmarks Assessment

A3.10 & A3.11 - New sheets added for
Proposed Heritage-altered Tea House
details and Landmarks Assessment

A3.11 - Proposed Urban Situations added
3. May 8, 2015

A0.00
Landscape area removed from existing
driveway temporary parking area is maintained
Calculations revised in Project Table

A3.10
Project Information Table provided for
Tea House to include setbacks, separation
and height

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

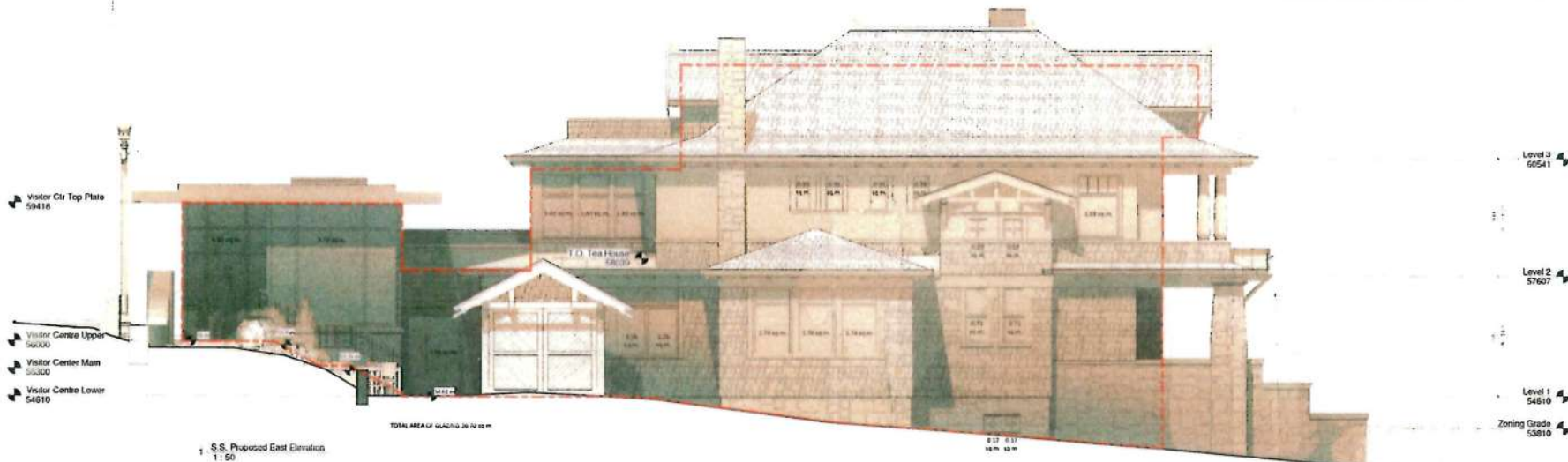
At 1070 Jean Crescent,
Victoria, BC

Spatial Separation Calculations

Date: 5/8/2015 10:02:21 AM
Drawn by: Auditor
Checked by: Checker

A3.05

1:50



IN ACCORDANCE WITH TABLE 9.10.14.4-A

EAST SPATIAL SEPARATION

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE
LIMITING DISTANCE 160.62 sq.m.
17.5m
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED 50% (business & personal services at 17.5m)
55% (residential at 17.5m)
ACTUAL AREA OF UNPROTECTED OPENINGS 21.8%

CONSTRUCTION REQUIREMENTS

MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED >50 to <170 (residential)
MINIMUM REQUIRED FIRE RESISTANCE RATING 1 HOUR
TYPE OF CONSTRUCTION REQUIRED COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING REQUIRED COMBUSTIBLE OR NON-COMBUSTIBLE

SOUTH SPATIAL SEPARATION

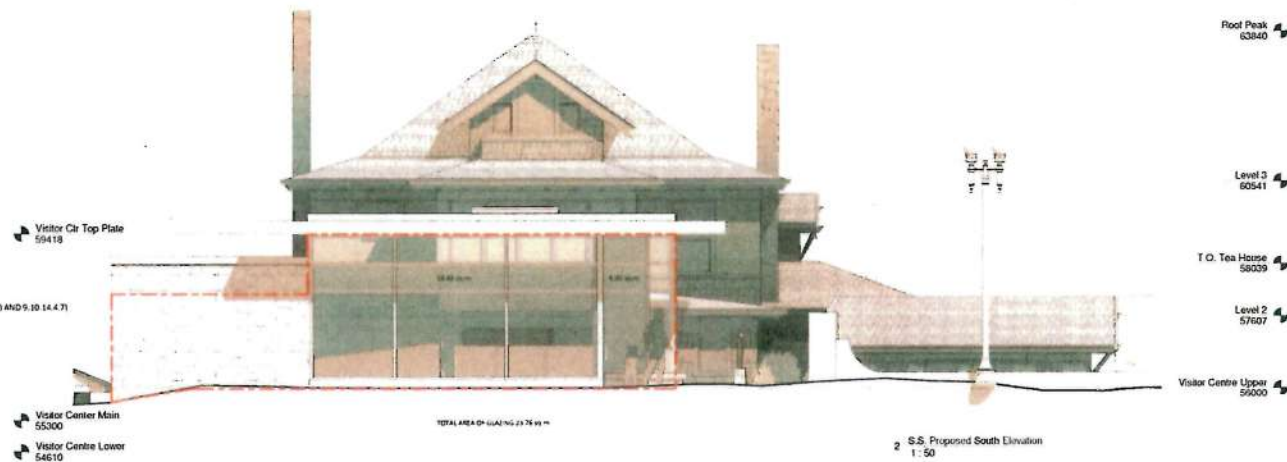
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE
LIMITING DISTANCE 37.31 sq.m.
7.5m
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED 92.25% (business & personal services at 7.5m)
54.25% (residential at 7.5m)
100% ALLOWABLE AS PER ARTICLES 9.10.14.4.1 (c) AND 9.10.14.4.7)
ACTUAL AREA OF UNPROTECTED OPENINGS 64%

CONSTRUCTION REQUIREMENTS

MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED >50 to <100 (residential)
MINIMUM REQUIRED FIRE RESISTANCE RATING 1 HOUR
TYPE OF CONSTRUCTION REQUIRED COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING REQUIRED COMBUSTIBLE OR NON-COMBUSTIBLE

ARTICLE 9.10.14.4.3(i)
WHERE THE LIMITING DISTANCE IS NOT LESS THAN 3.2 m, BE EQUAL TO OR LESS THAN
IF THE LIMITING DISTANCE SQUARED FOR RESIDENTIAL OCCUPANCIES, BUSINESS AND PERSONAL SERVICES OCCUPANCIES AND
LOW-HAZARD INDUSTRIAL OCCUPANCIES, AND
IF HALF THE LIMITING DISTANCE SQUARED FOR MERCANTILE OCCUPANCIES AND MEDIUM-HAZARD INDUSTRIAL OCCUPANCIES

ARTICLE 9.10.14.4.7)
WHERE THE BUILDING IS UTILIZED, THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS SHALL BE NOT MORE
THAN TWICE THE AREA DETERMINED ACCORDING TO SENTENCE (i), PROVIDED ALL ROOMS, INCLUDING CLOSETS AND BATHROOMS,
THAT ARE ADJACENT TO THE EXPOSING BUILDING FACE AND THAT HAVE UNPROTECTED OPENINGS ARE SPRINKLERED, NOTWITHSTANDING
ANY EXEMPTIONS IN THE SPRINKLER STANDARDS REFERENCED IN ARTICLE 3.2.5.12.

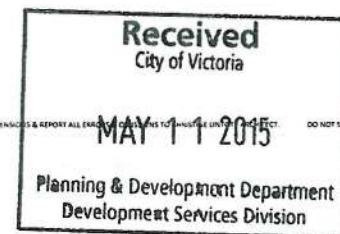


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WEST WALL OF MAIN ENTRANCE STAIR
SIGNIFICANT CRACKING IN STONE MASONRY
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH
PAINT TO BE REMOVED FROM MAIN PORCH & FRONT ENTRY CONCRETE CAPS OVER STONE
CAPS TO REMAIN UNPAINTED



MAIN ENTRANCE STAIR
WOODEN STEPS TO BE RECONSTRUCTED
NEW STEPS TO BE CONSTRUCTED FROM PAIRED 20mm MATERIAL WITH SINGLE GAP,
AND INTEGRAL BOLLARDS. PAINTWORK TO BE FROM BELOW BY BRACKETS
RESTORATION OF NEW FRONT STEPS TO BE MORE IN KEEPING WITH ORIGINAL DETAIL



EAST WALL OF MAIN ENTRANCE STAIR
CRACKING IN STONE MASONRY
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH



MAIN ENTRANCE

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS
FOR LONG TERM DURABILITY AND MAINTENANCE,
TYPICAL ALL GABLE BEAMS
DOWNPOUT ON FRONT TO BE RELOCATED WHEN ALL NEW PROVIDED
ALL NEW DOWNPOUTS TO BE ROUND TYPICAL OF ORIGINAL CHARACTER
MAIN PORCH
UPPER FRONT PORCH TO BE RESTORED
GLAZING & DOOR TO BE REMOVED



SECOND FLOOR PORCH CEILING

ALL EXTERIOR MATERIALS TO BE PAINTED NEW
EXISTING TO BE STRIPPED TYPICAL THROUGHOUT
CONFIRM ORIGINAL COLOUR BEHIND GABLE
BEFORE FINAL PAINTING



PORCH CEILING IN DECENT CONDITION
MOISTURE FROM ABOVE HAS SEPARATED 'KENTEX' PAINT OFF THE CEILING
CEILING TO BE REPAIRED AND RESTORED AS REQUIRED

SECOND FLOOR PORCH CEILING



UPPER GABLE
MAINTENANCE TO BE PERFORMED AS REQUIRED



NORTH ELEVATION CONTEXT PHOTO



NORTH ELEVATION CONTEXT PHOTO

GENERAL NOTE:
KENTEX EXTERIOR PAINT FAILING SUBSTANTIALLY
IN SOME INSTANCES LARGE PANELS OF PAINT ARE PEELING OFF
PROPOSAL IS TO STRIP KENTEX PAINT OFF AND
REPAINT ENTIRE HOUSE IN COLOUR UNITS TO MATCH ORIGINAL CHARACTER.
WORK MAY BE COMPLETED AS FUNDING BECOMES AVAILABLE
ROOFING IN POOR CONDITION. NEW WORKING TO BE COMPLETED.
SEE CONDITION ASSESSMENT SHEETS AND ELEVATIONS FOR QUANTIFICATION OF MATERIALS
ROOF CRESTING TO BE RESTORED ON UPPER MAIN ROOF ONLY WITH
FINIALS AT EACH END OF MAIN ROOF RIDGE AND THE TOP OF THE FRONT AND REAR GABLES



CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Reforming & Heritage Alteration	December 12, 2014

Revision No	Date
Description	

1. December 12, 2014

Retention of cypress tree at walkway to proposed Visitor Centre
Only revision from Community Meeting

2 March 31, 2015

AD 00
Relocation of bicycle parking from driveway.
Deletion of interpretive driveway stiles in
front of Tea House.
Addition of garbage enclosure at end of North
driveway and green space along upper terrace.

A1.01

A1.04 - Proposed street elevations updated to reflect revisions.

A1.05 - New sheet added for lot width & setback calculations.

A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character

A3.06 - A3.09
New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment

A3.11 - Proposed colour selections added

3 May 8, 2015

Notes:
Landscaping area removed from existing driveway to ensure parking stall is maintained.
Calculations revised in Project Table.

A3.10
Project information table provided for
Tex House to include setbacks, separation
and height.

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

West Elevation - Conditions Assessment

Date	5/8/2015 10:02:22 AM
Drawn By	NS
Issued By	C

A3.07

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[illegible]

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Received

MAY 11 2015

Planning & Development Department

UPPER GABLE AND DECK WALL TO BE MAINTAINED.
WORK TO INCLUDE: SHIPPIPS AND NEW PAINT

SUITE DOOR TO BE REMOVED AND RESTORED
WITH WINDOW AND WALL CLADDING
TYPICAL OF ORIGINAL CHARACTER

PORTION OF LOWER ROOF TO BE REMOVED
FOR CONNECTION OF PROPOSED ADDITION



SOUTH ELEVATION CONTEXT PHOTO

PORTION OF LOWER ROOF TO BE RETAINED
STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED TO CORRECT SAGGING
ROOFING MATERIAL TO BE RESTORED TO ROLLED METAL TO MATCH ORIGINAL CHARACTER



SOUTH ELEVATION
ENTRANCE AND WALL/ROOF TO WEST TO BE REMOVED
FOR CONNECTION OF PROPOSED ADDITION



UPPER SUNROOM
EXISTING DOUBLE HUNG WINDOWS TO BE MAINTAINED



HISTORIC SITTING ROOM
EXISTING DOUBLE HUNG WINDOW TO BE REMOVED AND RESTORED
WITH WINDOW TYPICAL OF ORIGINAL CHARACTER
WINDOW TO MATCH OPPOSITE SIDE



SOUTH EAST CORNER CONDITION
EXTERIOR IN GOOD CONDITION, WALL CLADDING & ROOF TO BE MAINTAINED



BRICK CHIMNEY (NOT ORIGINAL)
CHIMNEY LEAVING
BRICK CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE
TYPICAL OF ORIGINAL CHARACTER



DET. TRANSCOM WINDOW
WINDOW TO BE RESTORED TO INCLUDE LEADED GLASS
TYPICAL OF ORIGINAL CHARACTER

**CHRISTINE LINTOTT
ARCHITECT**

1070 Joan Crescent, Victoria, BC
V8M 1J2
www.christinelintott.com
info@christinelintott.com

Issue Date
Issued By: December 12, 2014
Heritage Association

Revision No. Description Date

1. December 12, 2014
Retention of cypress tree at driveway to
Proposed Visitor Centre
City review from Community Meeting

2. March 31, 2015
A1.00
Relocation of bicycle parking from driveway.
Location of interpretive driveway strip in
front of Tea House
Addition of garbage enclosure at end of north
driveway and green space along upper fence.

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to
reflect revisions

A1.05 - New sheet added for ice warn &
sidewalk calculations

A3.01 - A3.04 - Colours of proposed exterior
elevations revised to match original character

A3.06 - A3.09
New sheets added for Landmarks Assessment

A3.10 & A3.11 - New sheets added for
reproposed Garages/Proposed Tea House
detens and Landmarks Assessment

A3.11 - Proposed colour selections added

3. May 8, 2015
A3.20
Landscape area removed from existing
driveway to ensure parking staff is maintained
Calculations revised in Project Table.

A3.10
Project Information Table provided for
Tea House to include setbacks, orientation
and height.

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent,
Victoria, BC

**South Elevation - Conditions
Assessment**

Date: 5/8/2015 10:02:23 AM
Drawn by: NF
Checked by: CL

A3.08

Scale





PARTIAL EAST ELEVATION

HISTORIC WINDOWS
HORIZONTAL SASH TO BE REMOVED
ADDITIONAL NEW WINDOWS TO BE RESTORED
TYPICAL OF ORIGINAL CHARACTER OF BUILDING



HISTORIC KITCHEN WINDOWS
LEADED GLASS IN GOOD CONDITION
WINDOWS TO BE RESTORED TO THE NORTH
STRUCTURAL REPAIR AND STRENGTHENING TO BE PROVIDED



HISTORIC KITCHEN WINDOWS
WINDOWS IN GOOD CONDITION
WORK TO INCLUDE STRIPPING AND NEW PAINT



PARTIAL EAST ELEVATION CONTENT PHOTO
COURTESY OF STUART STARK



SECOND FLOOR HISTORIC SITTING ROOM
DOOR TO BE RESTORED
WALL CLADDING AND HORIZONTAL TRIM TO BE RESTORED



BRICK WORK (NOT WINDOWS)
BRICK CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE
TYPICAL OF ORIGINAL CHARACTER



PARTIAL EAST UPPER FLOOR

UPPER ROOF TO BE REPLACED
WITH NEW SHINGLES

LOWER ROOF OVER DIN PORTAL ONLY
TO BE REPLACED WITH NEW SHINGLES



EAST STAIRWELL GABLE

WINDOW DESTRUCTION
CONDITION TO BE REVIEWED
IN FURTHER DETAIL

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS
FOR LONG TERM DURABILITY AND MAINTENANCE



NORTH EAST CORNER
STAIRS & DECK TO BE REMOVED
WALL CLADDING TO BE RESTORED

DOOR TO BE REMOVED AND RESTORED WITH
WINDOW. BOTH WINDOWS AT THIS LEVEL
TO BE RESTORED WITH LEADED GLASS TO BE
IN KEEPING WITH ORIGINAL WINDOW ABOVE.
WALL CLADDING RESTORED AS REQUIRED

LATER ADDITION OF WINDOW (NOT ORIGINAL)
FOUNDATION SAGGING.
ADDITION TO BE REMOVED IN ENTIRETY.
WALL CLADDING TO BE RESTORED
AT ORIGINAL PLANE OF EXTERIOR.
POTENTIAL FOR ADDITIONAL WINDOW
TO MATCH ONE ABOVE OR SIMILAR.

REMOVAL OF ADDITION TO PROCEED ONLY
UPON CONFIRMATION OF EXISTING STONE
FOUNDATION WALL BEHIND IS IN PLACE
AND IN GOOD CONDITION.
IF STONE WALL IS NOT IN PLACE OR
NOT IN GOOD CONDITION,
ADDITION IS NOT TO BE REMOVED.

ALL BASEMENT WINDOWS IN GOOD CONDITION
WORK TO INCLUDE STRIPPING & NEW PAINT

WINDOWS TO HAVE DIRECT EXPOSURE UPON
REMOVAL OF EXTERIOR STAIR & DECK



LOWER FLOOR STAIR ADDITION



BASEMENT WINDOWS IN NEW ACCESS TO INTERPRETIVE SPACE



UPPER FLOOR STAIRWELL



BASEMENT WINDOWS IN NEW ACCESS TO INTERPRETIVE SPACE

CONCRETE PAD, STAIRS & PATH
TO BE REMOVED
LANDSCAPE TO BE RESTORED IN PLACE

ONE UPPER WINDOW & TWO NEW LOWER
WINDOWS IN STAIRWELL TO BE RESTORED
WITH LEADED GLASS TO BE IN KEEPING
WITH ORIGINAL LEADED GLASS WINDOW
STILL IN PLACE. UNUSUAL OF WINDOWS
HAD WINDING VINE PATTERN THROUGH
EACH.

STONE FOUNDATION IN GOOD CONDITION
REPAIRING AS REQUIRED



CHRISTINE LINTOTT
ARCHITECT

Issue Date
Resolving & December 12, 2014
Heritage Alteration

Revision No. Date
1 December 12, 2014
2 March 31, 2015

1. Revision of express tree at 10175 1st Avenue for Proposed Visitor Centre
2. Revision of express tree at 10175 1st Avenue for Proposed Visitor Centre
3. Revision of express tree at 10175 1st Avenue for Proposed Visitor Centre

A1.01. Vehicle & Bicycle Parking Calculations revised
A1.04. Proposed street elevations updated to reflect revisions

A1.05. New street added for lot width & setback calculations

A2.01-A3.04. Colours of proposed exterior elevations revised to match original character

A3.06 - A3.09. New street added for Landmarks Assessment

A3.10 & A3.11. New street added for proposed garage/paved area House details and Landmarks Assessment

A3.11. Proposed visitor spectrum added

3 May 6, 2015
A3.02. Landscape area removed from existing driveway to ensure parking staff is maintained. Calculations revised in Project Table

A3.10. Project Information Table updated for Tea house to include setbacks, separation and height

Consultants

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

East Elevation - Conditions
Assessment

Date 5/8/2015 10:02:23 AM
Drawn by NF
Checked by CL

A3.09

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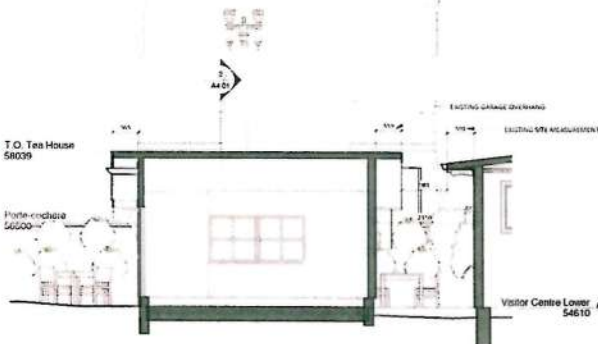
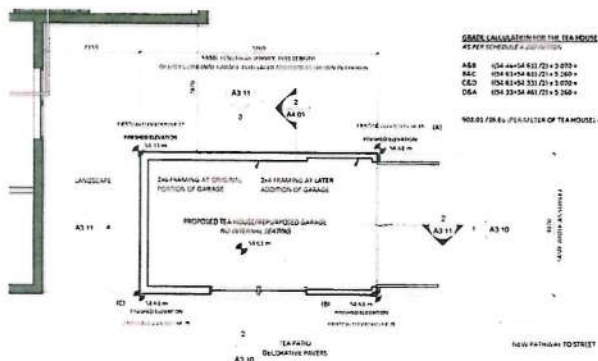
DO NOT SCALE THIS DRAWING.

Scale

Received
City of Victoria

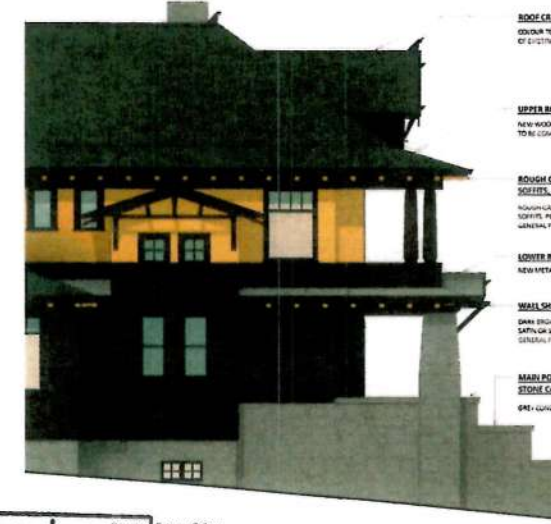
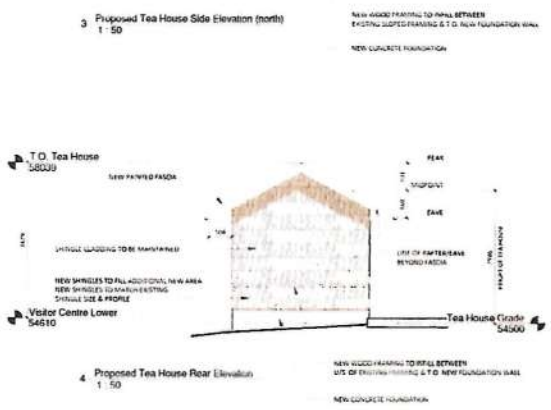
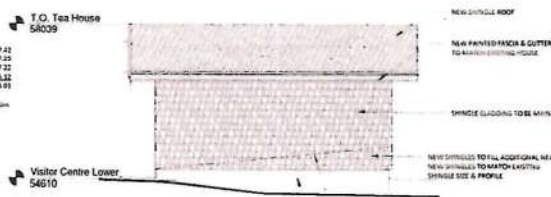
MAY 11 2015

Planning & Development Department



PROPOSED TEA HOUSE PROJECT DATA

FLOOR AREA	13.5 SQ.M. (MEASURED TO INSIDE OF FINISHING, IS APPROXIMATE DUE TO CHANGE IN FINISHING DIMENSION)
HEIGHT OF BUILDING	3.429m FROM FLOOR LEVEL (TO MATCH HEIGHT OF EXISTING GARAGE, NO CHANGE) 4.229m FROM FINISHING GRADE CALCULATED (58039-53930)
NUMBER OF STOREYS	1
DISTANCE BETWEEN BUILDINGS	2.15m (NEAR WEST) 2.87m (SIDE NORTH)
BUILDING SETBACKS	SEE SHEET A1.05



Received
City of Victoria
MAY 11 2015
Planning & Development Department
Development Services Division

CHRISTINE LINTOTT ARCHITECT

Revised By: [Signature]
Date: December 12, 2014

Revision No. [Blank]
Description: [Blank]

Date: December 12, 2014

1. Extension of eypress tree at walkway to
Fragrant Water Centre
Only revision from community meeting

Date: March 31, 2015

2. Relocation of bicycle parking from driveway
junction or interpretive driveway steps in
front of Tea House
Addition of garbage enclosure at end of north
driveway and green space using upper fence

A1.01 Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to
reflect revisions

A1.05 - New sheet added for lot width &
setback calculations

A3.01-A3.04 - Layouts of proposed exterior
elevations revised to match original character

A3.06 - A3.09
New sheets added for Landmarks Assessment

A3.10 & A3.11 - New sheets added for
revised garage/proposed Tea House
design and Landmarks Assessment

A3.11 - Proposed colour selections added

Date: May 8, 2015

3. Landscaping area removed from existing
driveway to ensure parking staff is maintained.
Calculations, revised in Project Table

A3.10
Project Information Table provided for
Tea House to include setbacks, separation
and height

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent,
Victoria, BC

**Garage/Proposed Tea House -
Conditions Assessment &
Details**

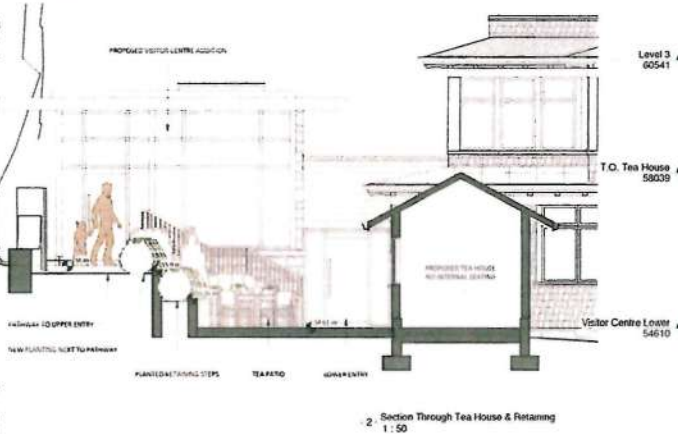
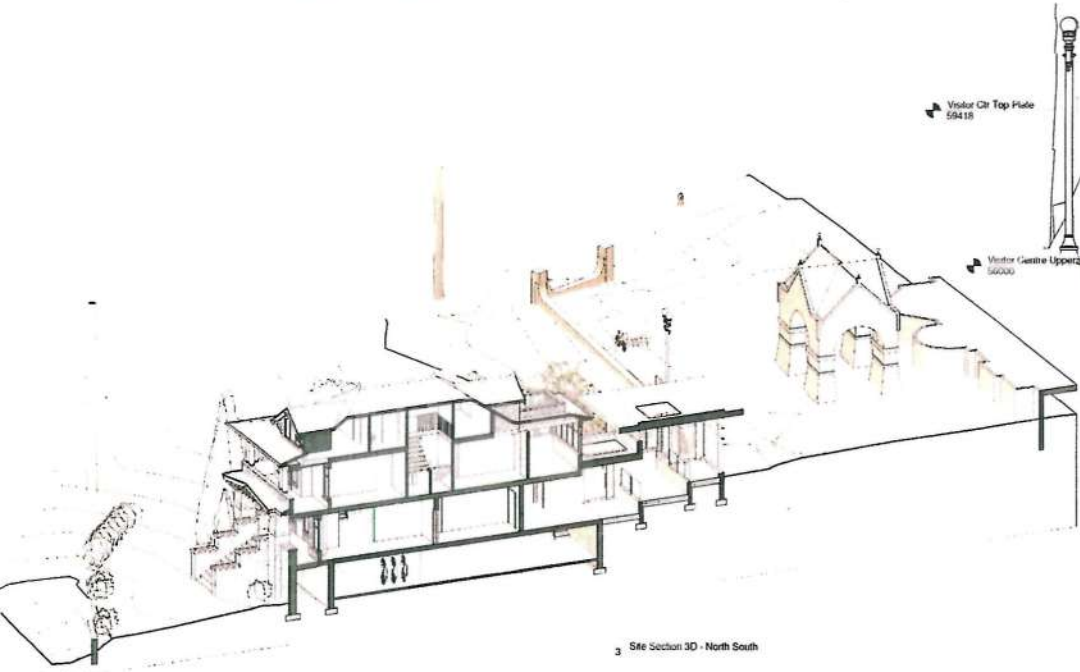
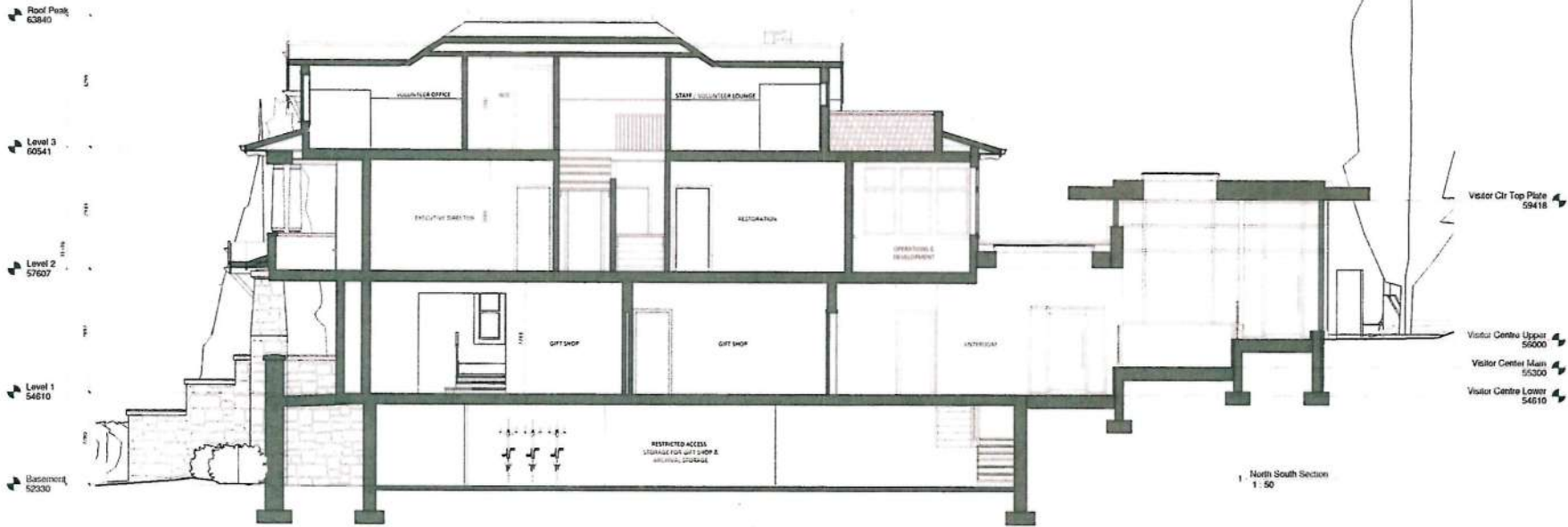
Date: 5/8/2015 10:02:36 AM

Drawn By: [Signature]

Checked By: [Signature]

Scale: 1:50

A3.11



Received
City of Victoria

MAY 11 2015
Planning & Development Department
Development Services Division

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Esplanade, Victoria, BC

Building Sections

Date: 5/8/2015 10:02:43 AM
Drawn by: REP, AF
Checked by: CL

A4.01

Roof Peak
53840

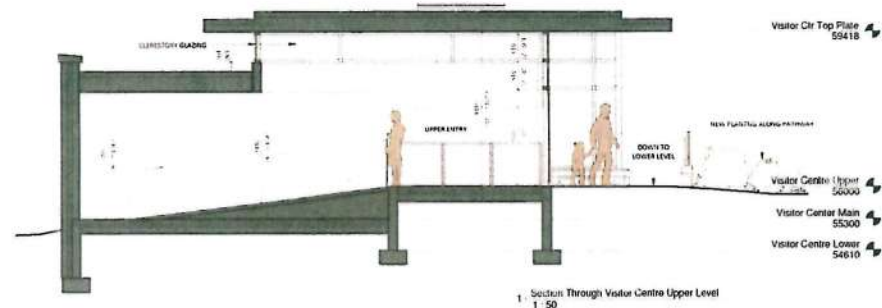
Level 3
60541

Visitor Ctr Top Plate
59418

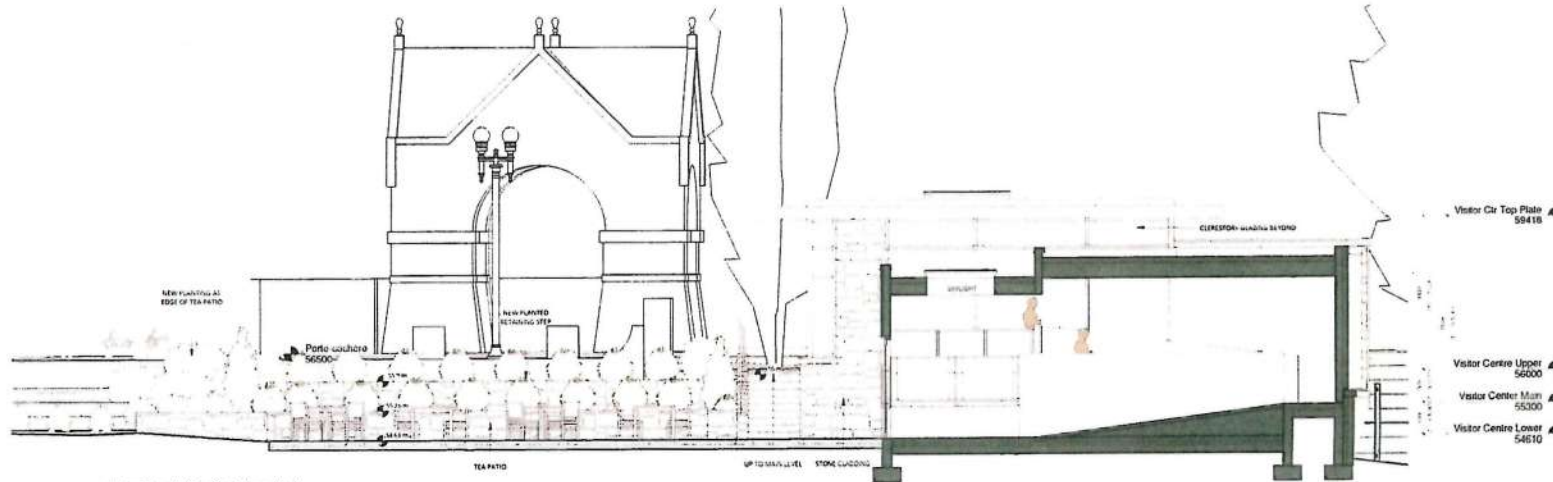
Level 2
57607

Visitor Center Main
55300

2 Section Through Visitor Centre Main Level
1:50



1 Section Through Visitor Centre Upper Level
1:50



3 Section Through Visitor Centre Lower Level
1:50

CHRISTINE
LINTOTT
ARCHITECT

Issue Date
Resolving & Message Alteration December 12, 2014

Revision No. Date
1 December 12, 2014

2. Retention of cypress tree at driveway to Proposed Visitor Centre
until removal from community, missing

3. March 11, 2015

A0.00 Retention of cypress tree from driveway
Retention of interpretive driveway strip in
front of Tea House

A1.01 Vehicle & Bicycle Parking calculations revised

A1.04 Proposed street elevations updated to
reflect revisions

A1.05 New sheet added for lot width &
setback calculations

A3.01-A3.04 Calculations of proposed exterior
enclosures revised to match original character

A3.06 - A3.09 New sheets added for Construction Assessment

A3.10 & A3.11 New sheets added for
reproposed garage/porch/tea house
details and construction Assessment

A3.11 Proposed Colour Selections added

3 May 8, 2015

A3.00 Landscape area removed from existing
driveway to ensure parking stall is maintained
calculations revised in Project Table

A3.10 Project Information Table updated for
Tea House to include setbacks, vegetation
and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Building Sections

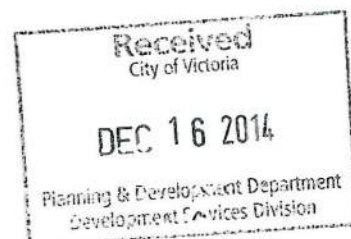
Date 5/8/2015 10:02:47 AM
Drawn by REP, JLF
Checked by CL

A4.02

Scale 1:50

Craigdarroch Castle Parking review
23 spaces checked randomly each day

Month	Daily Operating Hours	Evening Use Special Events	Notes	Month	Daily Operating Hours	Evening Use Special Events	Notes	Month	Daily Operating Hours	Evening Use Special Events	Notes
October	Average # of Empty spaces	Average # of Empty spaces	Notes	November	Average # of Empty spaces	Average # of Empty spaces	Notes	December	Average # of Empty spaces	Average # of Empty spaces	Notes
1	8			1	14			1	9	7	Private event
2	12			2	Not Checked			2	14		
3	9			3	17			3	16	Lot Full	Member's Night
4	7			4	13			4	9		
5	not checked			5	12			5	12	2	Private Function and Theatre Program
6	11			6	14			6	Not Checked		
7	13			7	15			7	11		
8	10			8	10			8	7		
9	6			9	Not Checked			9	8		
10	11			10	11			10	12		
11	not checked			11	Closed for film shoot						
12	7			12	14						
13	14			13	15						
14	12			14	10						
15	12			15	14						
16				16	Not Checked						
17	8			17	16						
18	9			18	16						
19	not checked			19	14						
20	11			20	15	Lot Full	Educational Speaker				
21	15			21	16						
22	10			22	12						
23	Closed for film shoot	Lot Full	Halloween film festival	23	Not Checked						
24	Closed for film shoot	Lot Full	Halloween film festival	24	18						
25	Closed for film shoot	Lot Full	Halloween film festival	25	11						
26	Closed for film shoot			26	14						
27	Closed for film shoot			27	14						
28	Closed for film shoot			28	17						
29	Closed for film shoot			29	12						
30	8	Lot Full	Halloween film festival	30	Not Checked						
31	14	Lot Full	Halloween film festival								





Talbot Mackenzie & Associates

Consulting Arborists



March 12, 2015

Christine Lintott Architect
Unit 1 – 864 Queens Avenue
Victoria, BC V8T 1M5

Attention: Nicole Fitzgerald

Re: 1070 Joan Crescent – Proposed Visitor Centre Addition

Assignment: To review the plans for the proposed visitor centre addition at 1070 Joan Crescent and comment on how it may impact the existing trees on the property. Provide recommendations for mitigating any impacts the proposal may have on those trees deemed suitable to retain.

Methodology: As part of our assignment, we inventoried only the trees that have the potential to be impacted by the proposed addition and related construction activity. There are a number of other trees on the property, that we were not asked to examine that we feel can be successfully isolated from any proposed construction activity by installing barrier fencing at the time of construction. The trees that were examined were tagged and details regarding their species, current health and structural characteristics are listed in the attached spreadsheet.

Observations: After reviewing the plans provided, we anticipate that it will be necessary to remove apple tree #296, but feel that Chamaecyparis #311 and Yew #297 can be retained, providing their critical root zones can be adequately protected during the construction process. It will likely be necessary to prune both of these trees in order to provide clearance and access to the new buildings being constructed, but we do not feel this pruning will have a significant impact on the health or structure of either of the trees. We anticipate that there will be some excavation required within their critical root zones, but feel that it should be possible to minimize any excavation and achieve the necessary grades to facilitate the required construction activity by following the recommendations below.

Anticipated impacts:

Yew tree #297: We anticipate that there will some minor clearance pruning required for the proposed building clearance and working room.

..../2

Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
Ph: (250) 479-8733 ~ Fax: (250) 479-7050
Email: treehelp@telus.net

Where the proposed new foundation intersects the critical root zone of the tree there is an existing grade change and a shed that we anticipate has already restricted root growth in this area. Providing the excavation for any additional working room or cut slopes can be minimized in this area, we anticipate that the proposed foundation excavation can be achieved without having a significant impact on the tree.

Chamaecyparis tree #311: We anticipate that there will be pruning necessary to raise the canopy of the tree both for pedestrian access and for the proposed building clearance. The proposed foundation excavation will encroach into a portion the tree's critical root zone, but providing the remaining portion of its critical root zone can be adequately protected, we do not feel it will have a significant impact on the health or stability of the tree. There is a proposed walkway into the new building that surrounds the base of the tree and will cover a significant portion of the tree's critical root zone. Providing the walkway can be constructed over the existing grades with only minimal excavation, using floating permeable construction techniques, we feel that any potential impacts from the walkway can be successfully mitigated.

Recommendations:

- **Barrier fencing:** Protect the remaining portions of the trees critical root zone with barrier fencing. The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing (see attached diagram). The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.
- **Mulch layer or plywood over heavy traffic areas:** In portions of the trees critical root zones where there will be heavy foot traffic anticipated throughout the construction phase of the project, we recommend that a layer of wood chip horticultural much or plywood be installed to reduce compaction.
- **Excavation for footings:** We recommend that the excavation for the footings be carried out with a combination of hand digging and machinery under the direction of the project arborist. Any small roots that are in direct conflict with the footing locations, must be pruned back to sound tissue to encourage new root growth. In the unlikely event that any significant roots are encountered, their location must be reviewed with the project arborist and it may be required that they be left intact and bridged over by the proposed new footings.

- **Concrete work:** Provisions must be made to ensure that no concrete wash or left over concrete material is allowed to wash into the root zone of the trees. This may involve using plastic or tarps or similar methods to temporarily isolate the root zones of the trees from any of the concrete installation or finishing work.
- **Servicing:** The location of any proposed new underground or aboveground services were not defined or reviewed prior to the preparation of this report. Where possible these services should be located where they do not conflict with the critical root zones or the canopy spread of trees that are designated for retention on this property. The project arborist must supervise excavation for any underground services that encroach within the critical root zones of trees that are to be retained on the lots or the municipal frontages.
- **Canopy /Building conflicts:** We recommend that any pruning for building and pedestrian clearances be completed by an ISA certified arborist. We do not anticipate that any required pruning will have a significant impact on either the health or stability of the trees to be retained.
- **Hardscape and pathway within critical root zones:** In order to minimize any impacts the proposed pathway around Chamaecyparis #311 may have on the tree, we recommend that it be installed using floating, permeable techniques (see attached specifications).
 1. Excavate for the required sidewalk surface, under the supervision of an ISA Certified Arborist.
 2. Excavation for the area around the root structures with an airspade or by hydro excavation to bearing layer of soil.
 3. Backfill the area around the roots with coarse sand or a structural soil mix.
 4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the sidewalk.
 5. Construct a base layer and permeable sidewalk surface over Geotextile layer to required grade.
- **Offsite work:** The plans that were reviewed did not show any off site work, eg road widening or sidewalks or any upgrades or improvements to the existing municipal infrastructure.
- **Work Area and Material Storage:** It is important that the issue of storage of excavated soil, construction material, and site parking be reviewed prior to the start of construction; where possible, these activities should be kept outside of the critical root zones of the trees that are to be retained. If there is insufficient room for onsite storage and working room, the arborist must determine a suitable working area within the critical root zone, and outline methods of mitigating the associated impacts (i.e. mulch layer, bridging etc).

- **Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - Locating the barrier fencing
 - Reviewing the report with the project foreman or site supervisor
 - Locating work zones, where required
 - Supervising excavation for the building driveway and service footprints
 - Reviewing and advising of any pruning requirements for building clearances.
- **Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any demolition, site clearing or other construction activity occurs.

Please do not hesitate to call us at 250-479-8733 should you have any further questions. Thank you.

Yours truly,
Talbot Mackenzie & Associates



Graham Mackenzie & Tom Talbot
ISA Certified, & Consulting Arborists

Encl. 1-page tree resource, 1-page site plans, 1-page barrier fencing specifications, 1-page floating permeable pathway specifications.

Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve the health and structure of individual trees or group of trees, or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an arborist to identify every flaw or condition that could result in failure nor can he/she guarantee that the tree will remain healthy and free of risk.

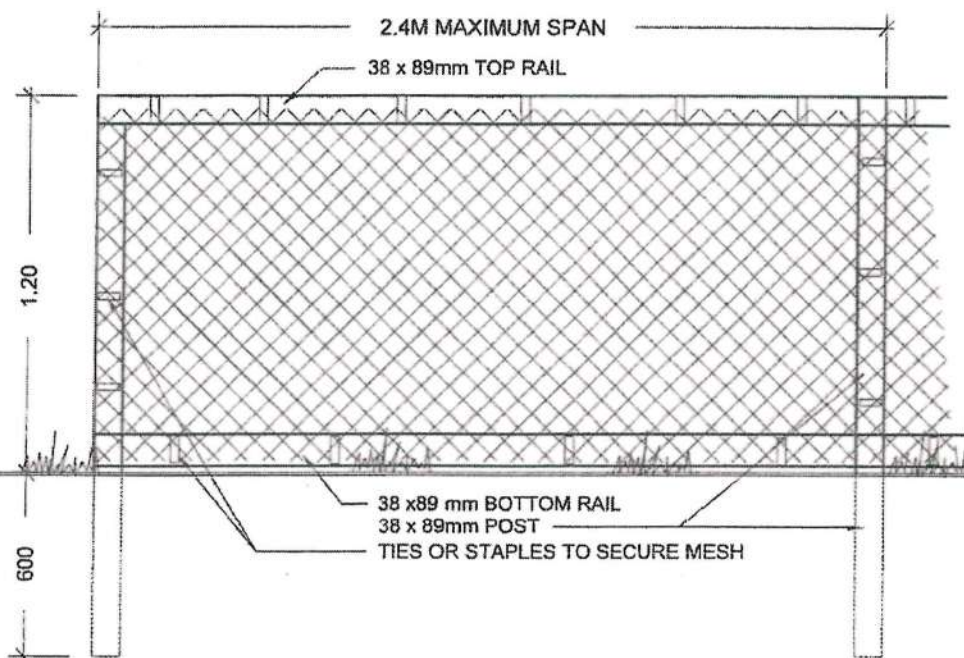
Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
Ph: (250) 479-8733 ~ Fax: (250) 479-7050
Email: treehelp@telus.net

**Tree Resource
1070 Joan Crescent**

Page 1

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown/ Spread (m)</i>	<i>Condition/ Health</i>	<i>Condition/ Structure</i>	<i>Relative tolerance</i>	<i>Remarks/Recommendations</i>
0296	30	3.5	Apple	8.0	Fair	Fair	Moderate	Measured below crotch, old pruning wounds with some associated decay.
311	52	6.0	Chamaecyparis	8.0	Good	Fair	Moderate	Recent basal wound, end-weighted.
0297	50	7.0	Yew	14.0	Good	Fair	Moderate	Measured below crotch, multiple stems.



TREE PROTECTION FENCING
 FENCE WILL BE CONSTRUCTED USING
 38 X 89 mm (2"X4") WOOD FRAME:
 TOP, BOTTOM AND POSTS. *
 USE ORANGE SNOW-FENCING MESH AND
 SECURE TO THE WOOD FRAME WITH
 "ZIP" TIES OR GALVANIZED STAPLES

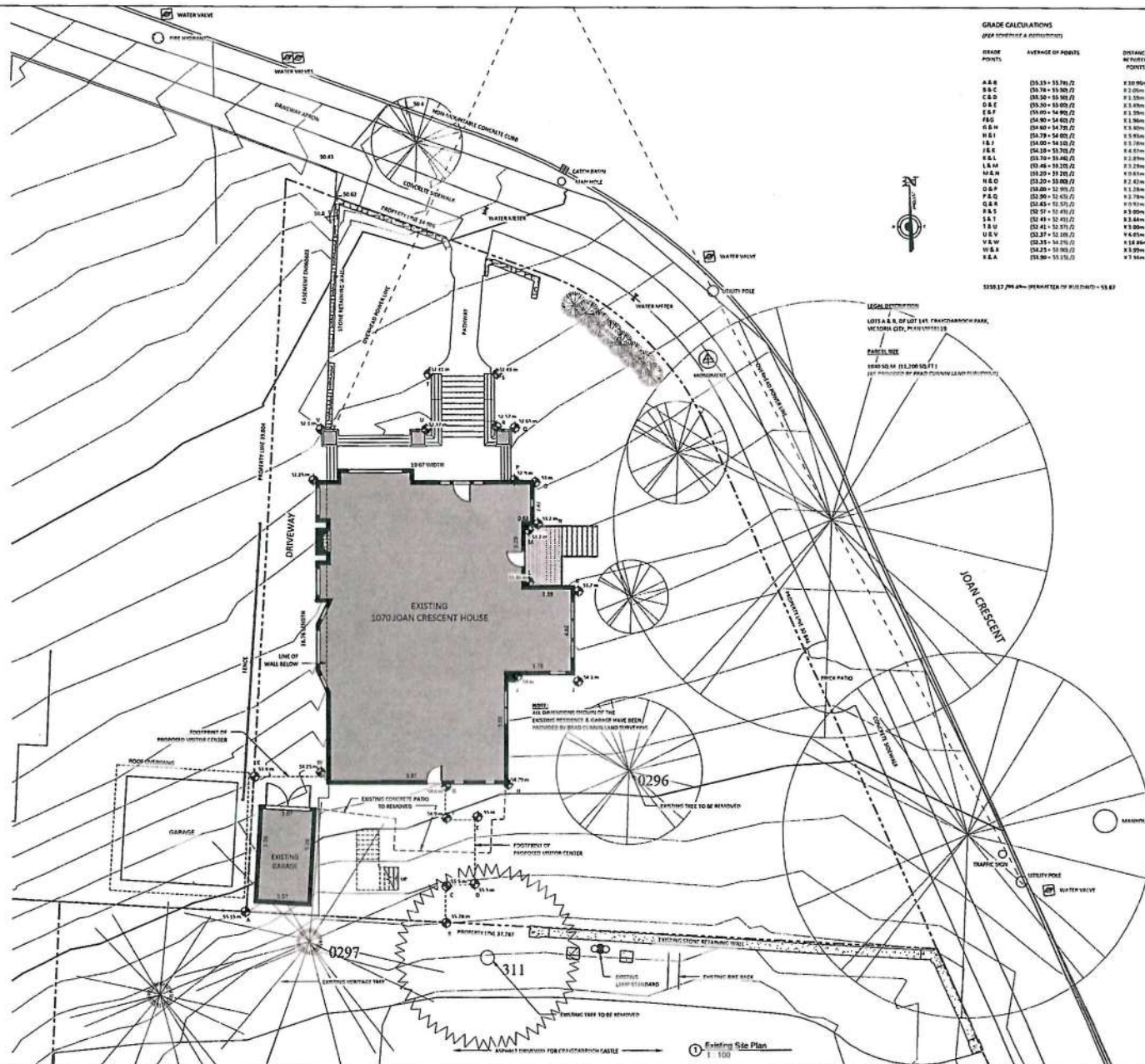
* IN ROCKY AREAS, METAL POSTS (T-BAR
 OR REBAR) DRILLED INTO ROCK WILL BE
 ACCEPTED

DETAIL NAME:

TREE PROTECTION FENCING

DATE: Oct 30/07
 DRAWN: DM
 APP'D. RR
 SCALE: N.T.S.

E105
 DRAWING



GRADE CALCULATIONS
(DATA SOURCES: A & B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)

GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN POINTS	TOTALS
A & B	(35.15 + 35.70) / 2	1.10 m	+ 687.00
B & C	(35.70 + 35.30) / 2	1.10 m	+ 114.00
C & D	(35.30 + 35.30) / 2	1.10 m	+ 88.25
D & E	(35.30 + 35.00) / 2	1.10 m	+ 130.00
E & F	(35.00 + 34.90) / 2	1.10 m	+ 87.27
F & G	(34.90 + 34.40) / 2	1.10 m	+ 107.25
G & H	(34.40 + 34.70) / 2	1.10 m	+ 185.96
H & I	(34.70 + 34.00) / 2	1.10 m	+ 122.56
I & J	(34.00 + 34.10) / 2	1.10 m	+ 206.25
J & K	(34.10 + 35.70) / 2	1.10 m	+ 239.00
K & L	(35.70 + 35.40) / 2	1.10 m	+ 154.61
L & M	(35.40 + 35.10) / 2	1.10 m	+ 175.48
M & N	(35.10 + 35.10) / 2	1.10 m	+ 15.31
N & O	(35.10 + 35.00) / 2	1.10 m	+ 125.56
O & P	(35.00 + 35.00) / 2	1.10 m	+ 67.78
P & Q	(35.00 + 35.10) / 2	1.10 m	+ 146.71
Q & R	(35.10 + 35.70) / 2	1.10 m	+ 48.14
R & S	(35.70 + 35.40) / 2	1.10 m	+ 157.50
S & T	(35.40 + 35.10) / 2	1.10 m	+ 180.22
T & U	(35.10 + 35.10) / 2	1.10 m	+ 137.17
U & V	(35.10 + 35.10) / 2	1.10 m	+ 156.02
V & W	(35.10 + 34.70) / 2	1.10 m	+ 180.24
W & X	(34.70 + 35.00) / 2	1.10 m	+ 115.76
X & Y	(35.00 + 35.10) / 2	1.10 m	+ 401.20
Y & Z	(35.10 + 35.10) / 2	1.10 m	+ 5528.17

5528.17 TOTALS - PERMITS FOR MOUNTAIN - 55.87

CHRISTINE LINTOTT ARCHITECT

12 517 Mount Pleasant Victoria, VIC 3187 Tel: 959 531 1203
 Email: christine@clintott.com.au christine@clintott.com.au

Issue	Date
Bankland Neighbourhood Association CALLU Meeting	Nov. 5, 2014

Revision	No.	Description	Date

Consultant

**Craigdarroch Castle
Proposed Visitor
Centre**

1070 Joan Crescent,
Victoria VIC

Existing Site Plan

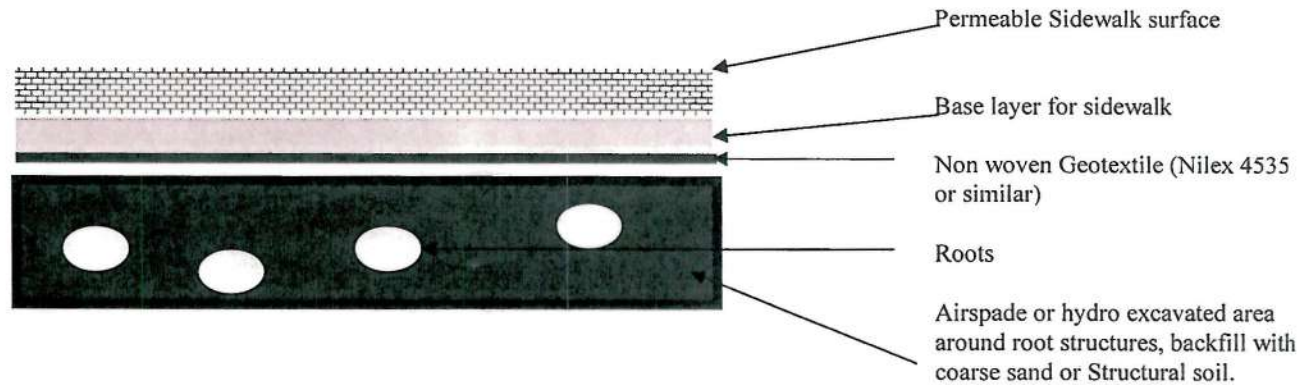
Project number	CLA 12-24
Date	10/12/2014 9:54:54 AM
Drawn by	RSP, NF
Checked by	CL

A1.02

Scale 1:100

THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR BE USED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED, SEALED, AND STAMPED BY A REGISTERED ARCHITECT AS SUCH. THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECT. DO NOT SCALE THE DRAWING.

Diagram – Permeable sidewalk crossing over Critical Root Zone

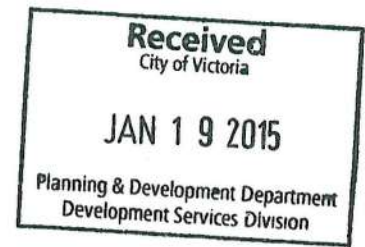


Specifications for permeable sidewalk crossing over critical root zone

1. Excavate for the required sidewalk surface, under the supervision of an ISA Certified Arborist.
2. Excavation for area around root structures with an Airspade or by Hydro Excavation to bearing layer of soil.
3. Backfill area around roots with coarse sand or a structural soil mix
4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the sidewalk.
5. Construct base layer and permeable sidewalk surface over Geotextile layer to required grade.



ROCKLAND NEIGHBOURHOOD ASSOCIATION



January 18, 2015

Mayor and Council
Planning & Development
City of Victoria

Re: Rezoning Application for 1070 Joan Crescent

Further to my letter of November 22, 2014, on this topic, I am pleased to acknowledge that a key concern raised by the Rockland Neighbourhood Association (RNA) has been addressed in a subsequent modification to the design of the Proposed Visitor Centre Addition that allows for the retention of the previously threatened mature cypress tree on the Craigdarroch Castle property. The RNA is gratified that its voice and those of the neighbours attending the November 5th community meeting were heard on this issue.

The RNA would, however, draw the City's attention to Major Recommendation 1.1 of the Rockland Neighbourhood Plan in regard to the requested rezoning of the subject property to Site Specific. While we remain supportive of the Craigdarroch enterprise and its proposed adaptive reuse of the 1070 property, the RNA foresees vulnerability in the requested rezoning to a defining characteristic of the Rockland neighbourhood. Should the subject property ever be sold off by Craigdarroch or in any way become detached from that heritage enterprise, the RNA, in upholding the values of the Neighbourhood Plan, strongly urges Mayor and Council to ensure that the subject property automatically revert to its original R1-A designation.

Sincerely,

Janet Simpson,
President, Rockland Neighbourhood Association



ROCKLAND NEIGHBOURHOOD ASSOCIATION



November 22, 2014

Mayor and Council
Planning & Development Departments
City of Victoria

Re: Rezoning Application: 1070 Joan Crescent

The community meeting regarding the subject rezoning application was held on Wednesday, November 5th, 2014. Fifteen neighbours attended and one email with additional comments was received subsequently.

Attendees expressed the following:

- General support for the proposed adaptive reuse of property and intended restoration of the registered heritage home to close to its original configuration and character.
- Heightened sensitivity to increased demand for on-street parking and encroachment by tour bus operators.
- Concern that proposed "tea house" and patio will increase noise level and loss of privacy for nearby neighbours.
- Inquiry as to hours of operation for "tea house" and the intended products for sale when same might be available from nearby competing local merchants.
- Concerns for the neighbouring Franciscan Friary regarding a) possible impact of service traffic using immediately adjacent driveway and b) increase in level of ambient lighting.
- Objection to removal of significant cypress tree on Craigdarroch property to accommodate wheelchair access to proposed Visitor Centre Addition.
- Inquiry as to plans for mitigating flight-hazard for birds posed by proposed large areas of plate glass.
- Inquiry as to whether 1044 Joan Crescent, also owned by Craigdarroch, might similarly be re-purposed.

The conservation, maintenance and enhancement of the heritage building, in keeping with tenets of the RNA Plan and of benefit to the neighbourhood, might otherwise lend support for the rezoning application, yet the case for rezoning to Site Specific is unconvincing. Furthermore, attending heritage consultant, Stuart Stark, in explaining the architectural style of the proposed Visitor Centre Addition, stated that the presence or even later removal of such an addition must not affect the heritage building it adjoins. If the institution of Craigdarroch retains its R1-A designation, why should not this ancillary property be permitted to do the same?

Retention of tree canopy is another core value of the RNA Plan; sacrifice of the cypress tree to facilitate provision of wheelchair access is to be deplored, especially considering that the Castle itself is an unsuitable venue for those with mobility challenges. Another loss will be the mature apple tree on the 1070 property to make way for the proposed re-siting of the old garage and its reincarnation as a "tea house."

Sincerely,
Janet Simpson,
President, Rockland Neighbourhood Association