



Planning and Land Use Committee Report

For the Meeting of May 28, 2015

To: Planning and Land Use Committee **Date:** May 14, 2015

From: Murray G. Miller, Senior Heritage Planner, Community Planning

Subject: Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent

RECOMMENDATION

Staff recommend that the Committee forward this report to Council and that Council consider the following motions:

"That Council consider referring Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent to the Heritage Advisory Panel for the meeting of June 9, 2015, for feedback on the proposed exterior alterations and additions to the Heritage-Registered property."

Following consideration of the Zoning Regulation Bylaw Amendment pertaining to Rezoning Application No. 00468 for 1070 Joan Crescent:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent, subject to the applicant providing seismic strengthening details of the existing chimneys prior to the Public Hearing for the Rezoning Application in accordance with:

1. Revised drawings date stamped May 11, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of staff."

LEGISLATIVE AUTHORITY

In accordance with Sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including:

- a. conditions respecting the sequencing and timing of construction;
- b. conditions respecting the character of the alteration or action to be authorized, including landscaping, siting, form, exterior design and finish of buildings and structures security;

- c. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present the Planning and Land Use Committee with information, analysis and recommendations for Heritage Alteration Permit Application No. 00195 for the property located at 1070 Joan Crescent. The proposal is to convert the existing Heritage-Registered residence to a Visitor Centre for the Craigdarroch Castle Society. The proposal includes the construction of an addition and the relocation of the existing garage for use as a Tea House.

Rezoning Application No. 00468 for consideration of new land uses associated with the proposed Visitor Centre will be considered by Council concurrently with Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

The following points were considered in assessing this Application:

- consistency with the *Official Community Plan* (2012)
- consistency with the *Rockland Neighbourhood Plan* (1987).

The proposed development is consistent with relevant City policies and the *Rockland Neighbourhood Plan*. Staff recommend that Council authorize Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

BACKGROUND

Description of Proposal

The Heritage-Registered property abuts the Heritage-Designated Craigdarroch Castle to the immediate south and opposite Joan Crescent from several Heritage-Registered/Designated properties, in an area that is predominantly in the R1-A Zone, Rockland Single Family Dwelling District.

The proposal is to convert the existing Heritage-Registered residence to a Visitor Centre for the Craigdarroch Castle Society and substantially reinstate the character of the place as it would have appeared in 1913. The proposal includes the construction of an addition to facilitate the transition from the Castle to the Visitor Centre to provide visitor centre services and the relocation of the existing garage for use as a Tea House.

Rezoning Application No. 00468 will be considered by Council concurrently with Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

ANALYSIS

The following sections provide a summary of the Application's consistency with the relevant City policies, regulations and guidelines.

Official Community Plan

The proposal is consistent with *Official Community Plan* (OCP) policies that support new additions that conserve and enhance heritage property, the *Standards and Guidelines for the Conservation of Historic Places in Canada* and OCP policies that seek to maintain views of Craigdarroch Castle from the public realm.

In addition, the proposal is consistent with the Rockland Strategic Directions that include the conservation of historic architectural and landscape character of the neighbourhood and supporting the maintenance of existing dwellings through sensitive infill.

Development Permit Area 15C: Intensive Residential - Rockland

The proposed development is consistent with the objectives of the Development Permit Area where it aims to retain the large-lot character of Rockland.

The Development Permit Area guidelines to be considered in assessing the proposal are the *Advisory Design Guidelines for Buildings, Signs and Awnings* (1981) and *Standards and Guidelines for the Conservation of Historic Places in Canada* (the "Standards and Guidelines"). A summary of the Application's consistency with these Guidelines is provided below.

Advisory Design Guidelines for Buildings, Signs and Awnings

The proposal is consistent with the above Guidelines where they encourage new construction to complement flanking heritage buildings in areas where they predominate and where attractive streetscape, architectural and landscape features of the immediate area are identified and acknowledged.

Standards and Guidelines for the Conservation of Historic Places in Canada

The proposal is consistent with the above Standards where they recommend that heritage values and character-defining elements be conserved when creating any new additions and that new work be physically and visually compatible with, subordinate to and distinguishable from the historic place.

The proposal is consistent with the above Guidelines where they recommend removing a non-character-defining feature of the building's exterior form, reinstating the building's exterior form from the restoration period based on documentary and physical evidence, and designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

Local Area Plans

The proposal is consistent with the *Rockland Neighbourhood Plan* (1987) where it encourages the conservation, maintenance and enhancement of heritage properties, where exterior changes and additions to heritage properties are in keeping with their heritage character.

CONCLUSIONS

The proposed development is consistent with relevant City policies and the *Rockland Neighbourhood Plan*. A key OCP policy also encourages that continued consideration be given to tools available under legislation to protect heritage property including designation. Staff

acknowledge that while the applicant noted in their letter that heritage designation was being considered by the Craigdarroch Castle Society in support of the Heritage Alteration Permit (and that such a designation would be consistent with the OCP), the applicant is not requesting that the residence be designated at this time. Staff recommend that Council authorize Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

ALTERNATE MOTION

That Council decline Heritage Alteration Application No. 00195 for 1070 Joan Crescent.


Respectfully submitted,

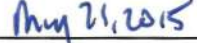


Murray G. Miller
Senior Heritage Planner
Community Planning Division



Andrea Hudson
Acting Director
Sustainable Planning and
Community Development Department

Report accepted and recommended by the City Manager:  _____ Jason Johnson

Date:  _____

MGM:aw

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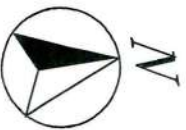
List of Attachments

- Subject map
- Aerial photograph
- Revised drawings date stamped May 11, 2015
- Statement of Significance (Exterior)
- Letters from Applicant dated December 16, 2014, and April 7, 2015.

Heritage Alteration Permit #00195
1070 Joan Crescent

Designated

Registered





1070 Joan Crescent

Heritage Alteration Permit #00195



1070 JOAN CRESCENT ALTERATIONS & PROPOSED VISITOR CENTRE

APPLICATION FOR REZONING & HERITAGE ALTERATION

LEGAL DESCRIPTION

LOT 128, PLAN M198, SECTION 74 &
LOT 127, PLAN M198, SECTION 74 VICTORIA (LAND DISTRICT)



Looking North West From Potts Corner

APPLICANT

CHRISTIANITY CASTLE SOCIETY
1050 JOAN CRESCENT
VICTORIA, BC V8S 3L5
250-592-5323
CONTACT: JOHN HUGHES, EXECUTIVE DIRECTOR

CONSULTANTS

ARCHITECTURAL

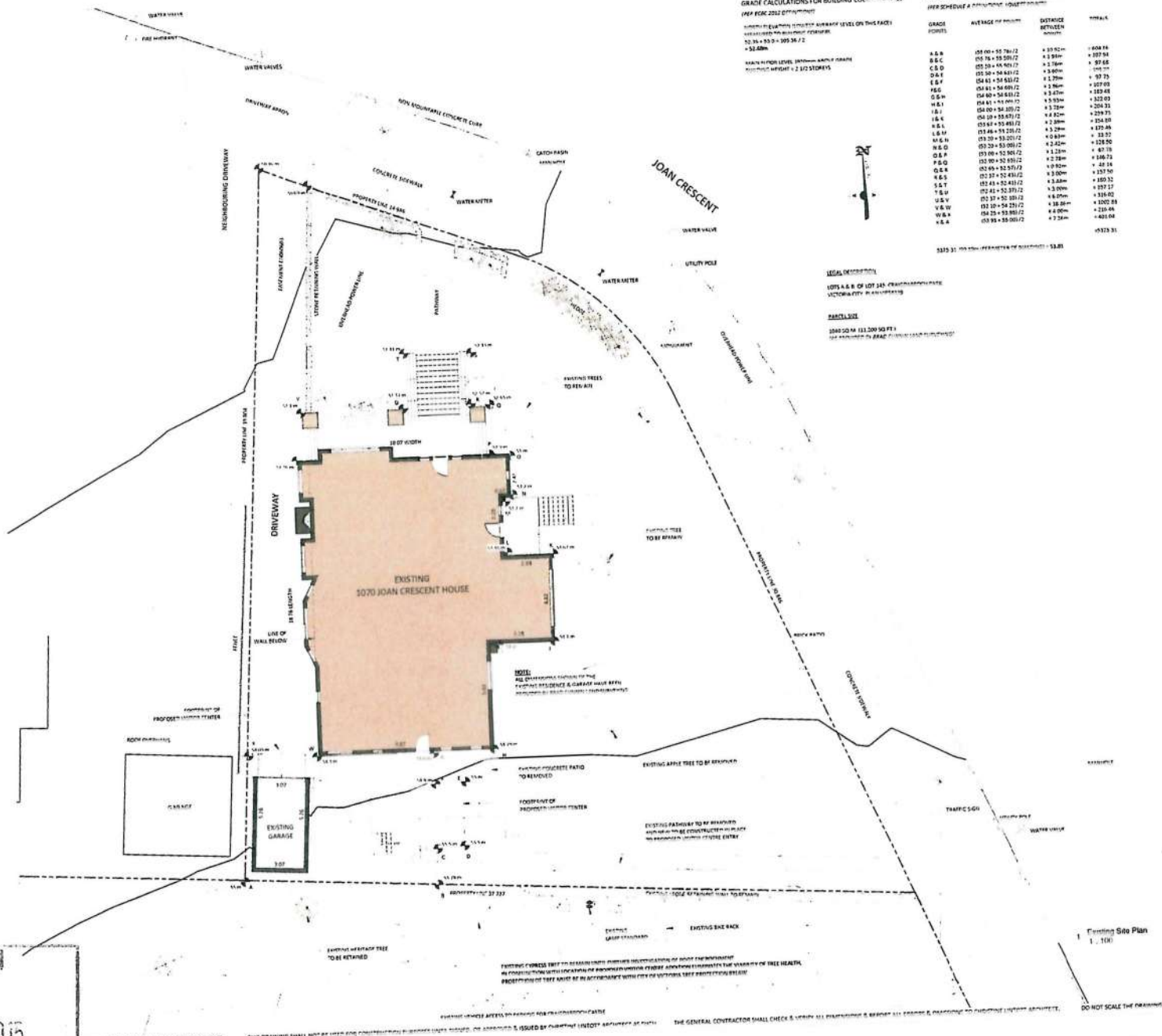
SURVEYOR

CHRISTINE LINTOTT ARCHITECT
UNIT 1 - 864 QUEEN'S AVENUE
VICTORIA, BC V8T 1M5
250-384-1969
CONTACT: CHRISTINE LINTOTT

BRAD CUNNING SURVEYING INC.
487 SWIFT STREET
VICTORIA, BC V8W 1S2
250-383-2257
CONTACT: BRAD CUNNING

BUILDING CODE INFORMATION

BUILDING CLASSIFICATION:
BCE 2012 EDITION
ALL 1.1.1 (3) APPLICATION TO EXISTING BUILDINGS
AND PART 5
GROUP 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 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CHRISTINE LINTOTT ARCHITECT

Issue Date
Revision E November 12, 2014
Description: Heritage Alteration

Revision 50 Date
Description: November 12, 2014

1
Retention of cypress tree at workshop to Proposed Visitor Centre
Only revision from Previous Revision

2
A0 00
Retention of cypress tree at workshop to Proposed Visitor Centre
Only revision from Previous Revision

3
A0 00
Retention of cypress tree at workshop to Proposed Visitor Centre
Only revision from Previous Revision

A1 01
Vehicle & Bicycle Parking Calculations revised

A1 02
Proposed street elevations updated to reflect changes

A1 05
New sheet added for the top width & setback calculations

A1 01-A1 05
Colors of proposed exterior elevations updated to match proposed appearance

A3 06 - A3 09
New sheets added for Foundation Assessment

A3 10 & A3 11
New sheets added for required gaspenned Tea House details and Foundation Assessment

A3 11
Proposed Floor Plateform added

3
A3 00
Landscape plan revised from existing details to ensure parking area is maintained
Calculations revised in Project Table

A3 10
Project Information Table updated for Tea House to include setbacks, separation and height

Project Name

Craigdarroch Castle Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Existing Site Plan

Scale 1:100

Due Date 5/6/2015 10:00 AM
Prepared By RSP, NS
Checked By CL

A1.02

Scale 1:100

Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

SITE PLAN OF:
LOTS A & B OF LOT 145, CRAIGDARROCH
PARK, VICTORIA CITY. PLAN VIF58119

B.C. LAND SURVEYORS SITE PLAN OF:

LOTS A & B OF LOT 145, CRAIGDARROCH
PARK, VICTORIA CITY. PLAN VIF58119

LEGEND

1. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119
 2. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119
 3. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119
 4. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119
 5. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119
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 99. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119
 100. Lot 145, Craigdarroch Park, Victoria City, Plan VIF58119

CHRISTINE LINTOTT ARCHITECT

Issue: Heritage Alteration
 Date: December 12, 2014

Revision No: 1
 Description: Proposed Visitor Centre

1. Retention of cypress tree at north side
 Proposed Visitor Centre
 Only revision from Commission, Alteration

2. March 31, 2015

A0.00
 Retention of cypress tree at north side
 Retention of cypress tree at north side
 Addition of garage enclosure at end of north driveway and green space along upper fence

A1.01
 Vehicle & Bicycle Parking Calculations updated

A1.02 - Proposed street elevations updated to reflect requirement

A1.05 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Colours of proposed exterior elevations required to match original character

A3.06 - A3.09
 New sheets added for Commission Assessment

A3.10 & A3.11 - New sheets added for requirement development: Tea House details and Commission Assessment

A3.11 - Proposed Colour Selections added

3. May 8, 2015

A0.00
 Landscaping area removed from parking driveway to ensure parking stall is maintained
 Calculations revised in Project Table

A3.10
 Project Information Table provided for Tea House to include setbacks, separation and height

Consultant

**Craigdarroch Castle
 Proposed Visitor Centre**

At 1070 Joan Crescent
 Victoria BC

Site Survey

Date: 5/8/2015 10:08:40 AM
 Drawn by: RSP, NP
 Checked by: CL

A1.03

Scale: As indicated

**Received
 City of Victoria**

MAY 11 2015

**Planning & Development Department
 Development Services Division**

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EXISTING & PROPOSED FRONT STREET ELEVATION
ADD CHANGES FROM THIS INFORMATION

CHRISTINE LINTOTT ARCHITECT

1070 JOAN CRESCENT, VICTORIA, BC
V8N 2G1

Issue Date
Revising 8 December 12, 2014
Mechanism Alteration

Revision No Description Date

1 December 12, 2014
Presentation of cypress tree at north side to Proposed Visitor Centre
Only elevation from Community Assessment

2 March 31, 2015
A2.00 Generation of a high level working from Community Assessment of cypress tree at north side in front of Tea House
Addition of garden enclosure at end of north driveway and green space along upper fence

A1.01 Vehicle & Bicycle Parking Calculations revised

A1.04 Proposed street elevations revised to reflect required

A1.05 - New sheet added for top width & setback calculations

A3.01-A3.04 - Colours of proposed exterior elevations revised to match relevant materials

A3.05 - A3.09 New sheets added for Foundation Assessment

A3.10 & A3.11 - New sheets added for recommended grade/retentioned Tea House details and Foundation Assessment

A3.11 Proposed Colour Selections added

3 May 8, 2015
A2.00 Landscape area removed from existing driveway to ensure parking tags is maintained
Calculations revised in Report Table

A3.10 Present Information Table presented for Tea House to include setbacks, separation and height

Consultant



EXISTING STREET ELEVATION LOOKING SOUTH EAST



PROPOSED STREET ELEVATION LOOKING SOUTH EAST



EXISTING STREET ELEVATION LOOKING WEST



PROPOSED STREET ELEVATION LOOKING WEST

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Context Street Elevations

Date 5/8/2015 10:00:01 AM
Prepared By JLF
Checked By CL

A1.04

Scale

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MAY 11 2015

Planning & Development Services Division

Revision No	Date
Description	

2 March 31, 2015
AD.00

A1.01
Vehicle & Bicycle Parking Distribution revised

A1.05 - New sheet added for lot width & setback information

A3.06 - A3.09
New sheets added for Credit - Assessment

A3.11 - Primed Colour Selections - solid

AD 00
Landscape area removed from existing

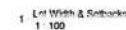
A3.10
Project Interchange Table modified for
Tea House to include setbacks, separation

Paracelsus 1993)

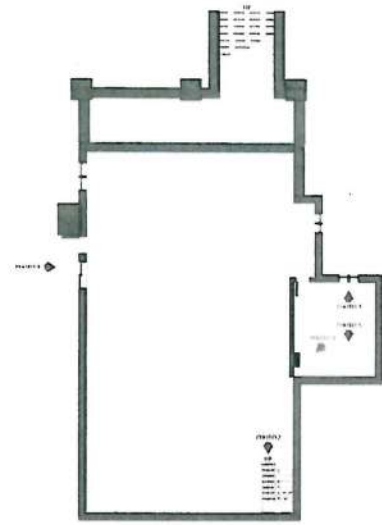
At 1070 Joan Crescent
Vintoria, BC

Date: 5/8/2015 10:08:52 AM
 Created By: NE
 Checked by: CL

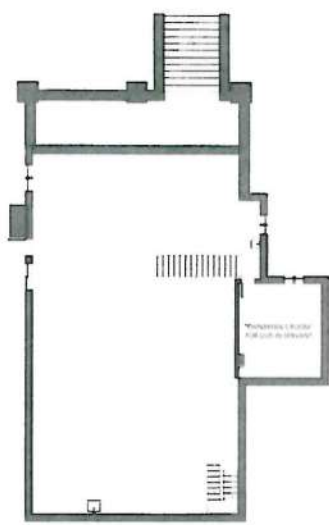
Scale 1-100



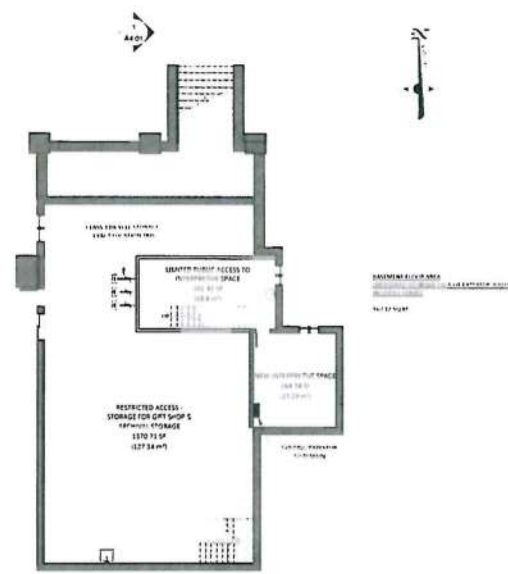
Planning & Development Department
Development Services Division



1 - Existing Basement Plan
 1:100



2 - Historic Basement Plan
 1:100



3 - Basement Proposed Plan
 1:100



PHOTO 1
 ENTRANCE DOWN TO BASEMENT FROM WEST DRIVEWAY



PHOTO 2
 APPROXIMATE VIEW TO BASEMENT



PHOTO 3
 VIEWPOINT IN 'CHINA ROOM'



PHOTO 4
 CHINA ROOM WITH ORIGINAL 'CHINA' & GROUND WALLS AND CEILING AND A TYPICAL CARPENTRY WALL BUILT ABOVE THE FLOOR



PHOTO 5
 PARALLEL ROOMS

CHARACTER PHOTOGRAPHS

**Craigdarroch Castle
 Proposed Visitor Centre**

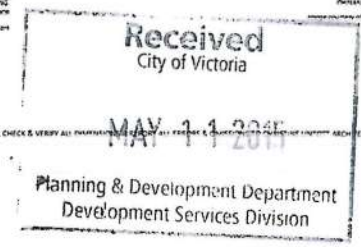
At 1070 Joan Crescent,
 Victoria, BC

**Basement Floor Plans (Existing,
 Historic & Proposed)**

Date: 5/8/2015 10:05:54 AM
 Drawn by: RSP, NF
 Checked by: CL

A2.00

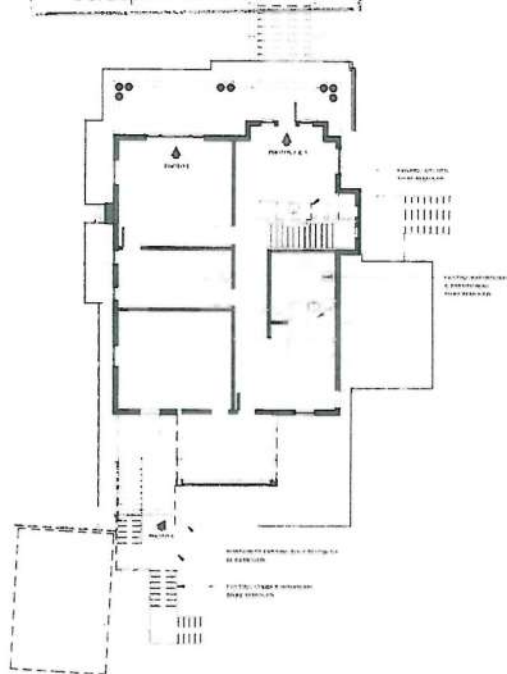
Scale: 1:100



Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division



1 Existing Level 2 Plan
1:100



2 Historic Level 2 Plan
1:100



3 Proposed Level 2 Plan
1:100



CHRISTINE LINTOTT
ARCHITECT

Issue Date
Revision 12, 2014
Revision No. Description Date
1. Revision of Cypress Tree 12, 2014
2. Revision of Cypress Tree 12, 2014
3. Revision of Cypress Tree 12, 2014
4. Revision of Cypress Tree 12, 2014
5. Revision of Cypress Tree 12, 2014
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99. Revision of Cypress Tree 12, 2014
100. Revision of Cypress Tree 12, 2014

CHARACTER PHOTOGRAPHS



PHOTO 1
INTERIOR VIEW OF EXISTING BUILDING



PHOTO 2
EXTERIOR VIEW OF EXISTING BUILDING

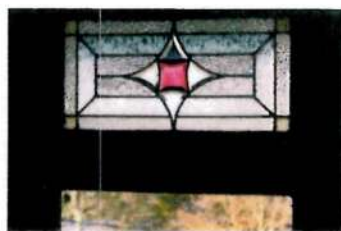


PHOTO 3
STAINED GLASS WINDOW



PHOTO 4
EXTERIOR VIEW OF PROPOSED BUILDING

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Level 2 Floor Plans (Existing,
Historic & Proposed)

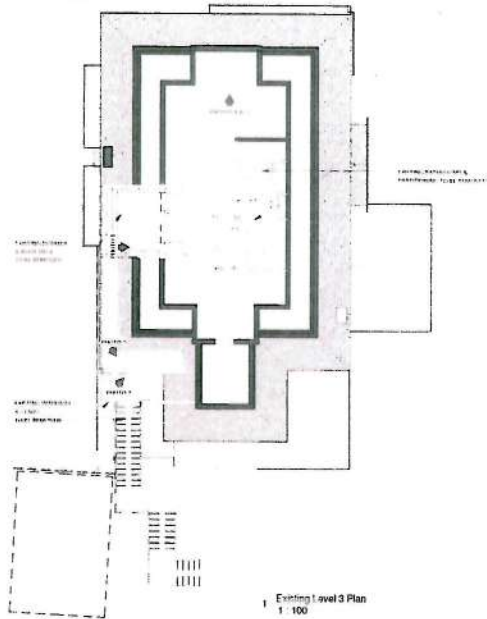
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Prepared By: RSP, NF
Checked By: CL

A2.02

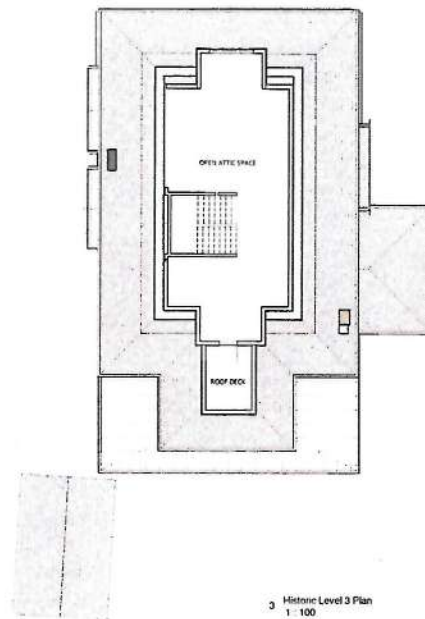
Received
City of Victoria

MAY 11 2015

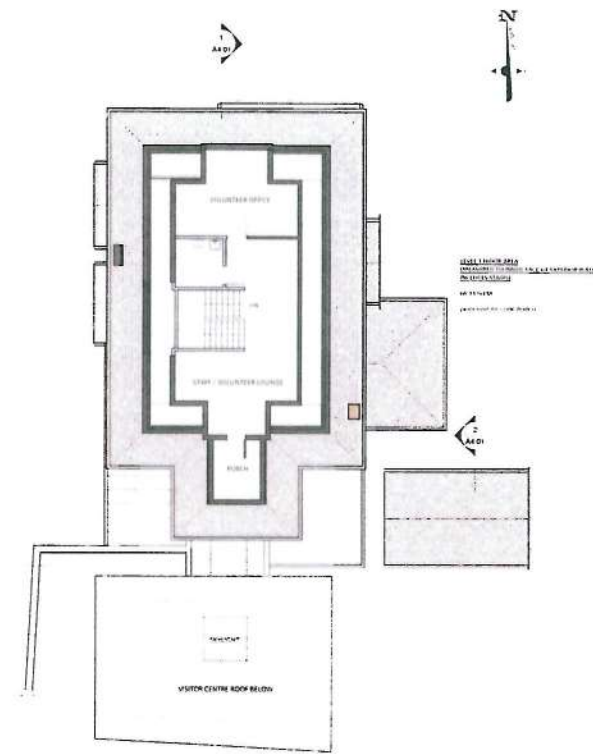
Planning & Development Department
Development Services Division



1 Existing Level 3 Plan
1:100



3 Historic Level 3 Plan
1:100



2 Level 3 Proposed Plan
1:100

CHRISTINE
LINTOTT
ARCHITECT

Issue: 12, 2014
Recurring & Heritage Alteration

Revision No: 12, 2014
Description: 12, 2014

1. Revisions of Express Time at website to Proposed Visitor Centre Only (includes for Community, Heritage)

March 31, 2015

A2.00 Revisions of Express Time at website to Proposed Visitor Centre Only (includes for Community, Heritage)

A2.01 Vehicle & Bicycle Parking Calculations updated to reflect assessment

A2.02 - Environment Street alterations updated to reflect assessment

A2.03 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Calculations of proposed exterior elevations revised to reflect proposed character

A3.05 - A3.09 New sheets added for Conditions Assessment

A3.10 & A3.11 New sheets added for proposed proposed Tea House details and Conditions Assessment

A3.12 - Revised Colour Selection added

3. May 8, 2015
A3.00 Revisions of Express Time at website to Proposed Visitor Centre Only (includes for Community, Heritage)

A3.10 Project Information Table added for Tea House to include setbacks, separation and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Jean Crescent,
Victoria, BC

Level 3 Floor Plans (Existing,
Historic & Proposed)

Date: 9/8/2015 10:09:01 AM
Prepared by: RSP, MF
Checked by: CL

A2.03

Scale: 1:100

CHARACTER PHOTOGRAPHS



PHOTO 1
EXTERIOR VIEW



PHOTO 2
EXTERIOR VIEW



PHOTO 3
EXTERIOR VIEW



PHOTO 4
INTERIOR VIEW



PHOTO 5
INTERIOR VIEW

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Issue Date
Reasoning & Heritage Alteration November 11, 2014

Revision No. Description Date

1 Retention of cypress tree at northern end of Tea House
Proposed Visitor Centre
Only revision from Commissioned Drawing
November 11, 2014

2 A4.01
A4.02
Ratification of historic marking from drawing
Deletion of infrastructure drawing from front of Tea House
Addition of entrance enclosure at end of north driveway and main entrance along upper fence
March 31, 2015

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.02
Proposed street elevations updated to reflect revisions

A1.03 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Colours of proposed exterior elevations revised to match existing character

A3.05 - A3.09
New sheets added for Foundation Assessment

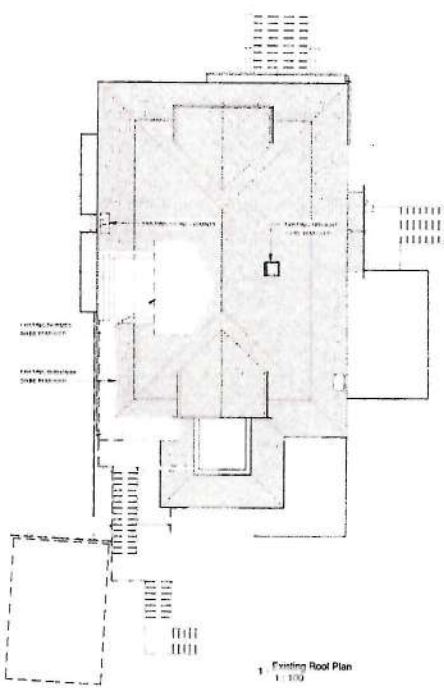
A3.10 & A3.11
New sheets added for recommended landscape/Tea House details and Foundation Assessment

A3.11 - Proposed Colour Scheme added

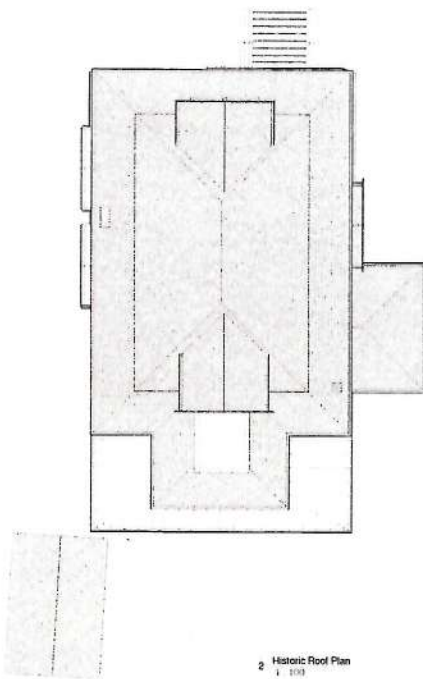
3 May 8, 2015
A4.00
Landscape area removed from existing drawing to highlight parking stall is maintenance
Calculations required in Project Table

A3.10
Project Information Table provided for Tea House to include setbacks, separation and height

Consultant



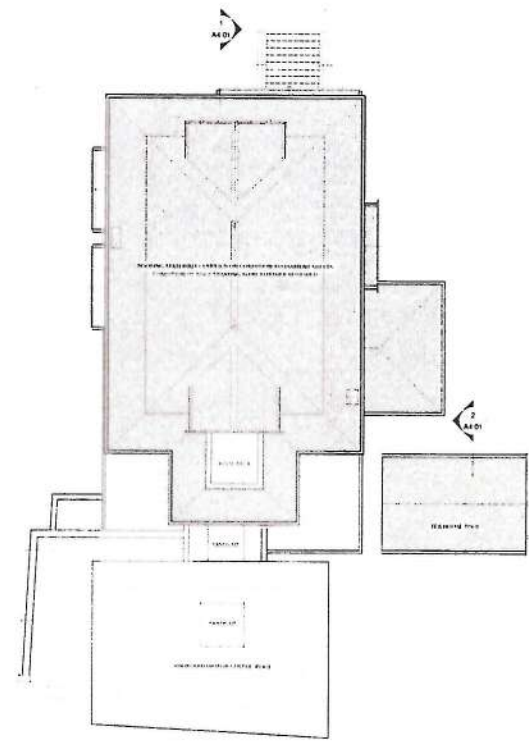
1 Existing Roof Plan
1:100



2 Historic Roof Plan
1:100



3 Proposed Roof Plan
1:100



Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Roof Plans (Existing, Historic & Proposed)

Date 5/8/2015 10:00 AM
Drawn by RP, NP
Checked by CL

A2.04

Issue Date
Restoring & Heritage Alteration December 12, 2014

Revision No. Date
Description

1. December 12, 2014
Retention of Cypress tree at 1070 to Proposed Visitor Centre
Only remove figs from existing site

2. March 31, 2015
A0.00
Restoration of original parking from driveway
Retention of perimeter driveway steps in front of Tea House
Location of garbage enclosure at end of north driveway and green space along cedar fence

A1.01
Vehicle & Bicycle Parking Calculations updated

A1.04 - Driveway street elevations updated to reflect existing

A1.05 - New sheet added for lot width & setback clarifications

A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character

A3.05 - A3.09
New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for recommended garage/porch and Tea House details and Conditions Assessment

A3.11 - Proposed Colour Selections added

3. May 8, 2015
A0.00
Landscape area removed from existing driveway to ensure parking stall is maintained
Proposed changes require in Project Table

A3.10
Project Information Table proposed for Tea House to include setbacks, separation and height

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Finalizing

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

3D Floor Plans
Birdseye View From West

Date 5/8/2015 10:09:33 AM
Prepared By REP, LP
Checked By CL

A2.05

Scale

Scale

Scale

Scale

Scale

Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

Issue: 1
 Drawing #: A2.06
 Date: November 12, 2014

Revision: 1
 Description: 1
 Date: November 12, 2014

1. Revision of visitor tree at facility to Proposed Visitor Centre.
 Date: Revision from Christine Lintott Architect

2. Revision: 1
 Date: March 11, 2015

A2.00: Addition of visitor parking from driveway.
 Addition of interpretive display from front of Tea House.
 Addition of entrance structure at end of main driveway and green space along upper fence.

A1.01: Visitor & Bicycle Parking Calculations revised.

A1.04: Proposed sight elevations updated to reflect revisions.

A1.05: New sheet added for lot width & setback calculations.

A3.01-A3.04: Calculations of proposed exterior elevations revised to reflect revised elevations.

A3.05-A3.09: New sheets added for Foundation Assessment.

A3.10 & A3.11: New sheets added for reimagined ground/grounded Tea House details and Foundation Assessment.

A3.11: Proposed Future Foundation added.

3. May 8, 2015

A2.00: Landscape area removed from existing plan to ensure parking still is maintained. Calculations revised in Project Table.

A3.10: Proposed Information Table provided for Tea House to include setbacks, separation and height.

Consultant:

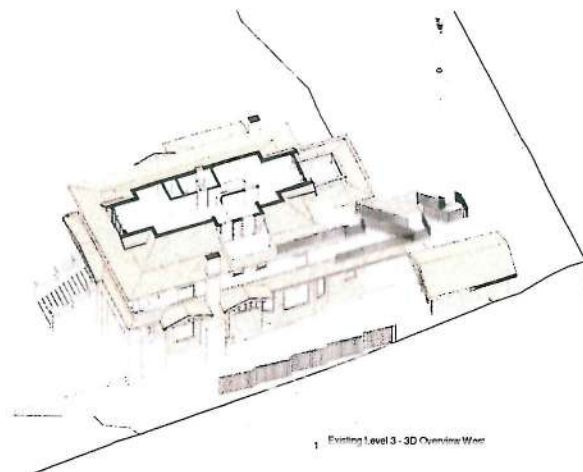
**Craigdarroch Castle
 Proposed Visitor Centre**

At 1070 Joan Crescent
 Victoria, BC

**3D Floor Plans
 Birdseye View**

Date: 5/8/2015 10:09:53 AM
 Drawn by: RSP, NP
 Checked by: CL

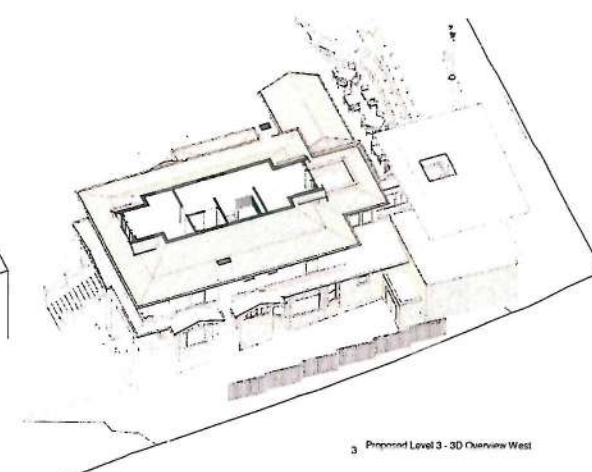
A2.06



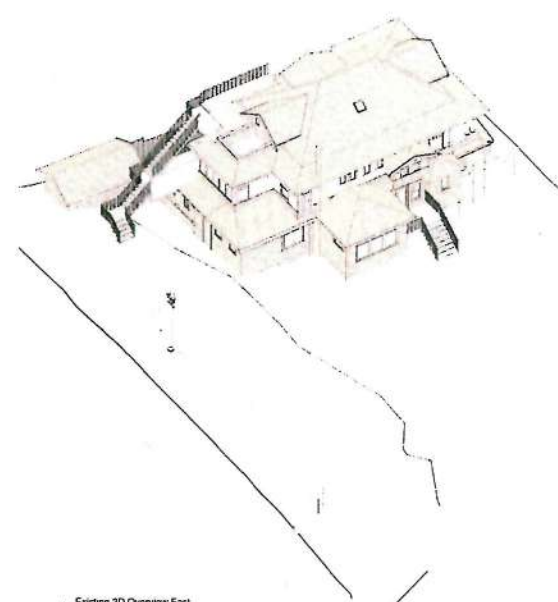
1 Existing Level 3 - 3D Overview West



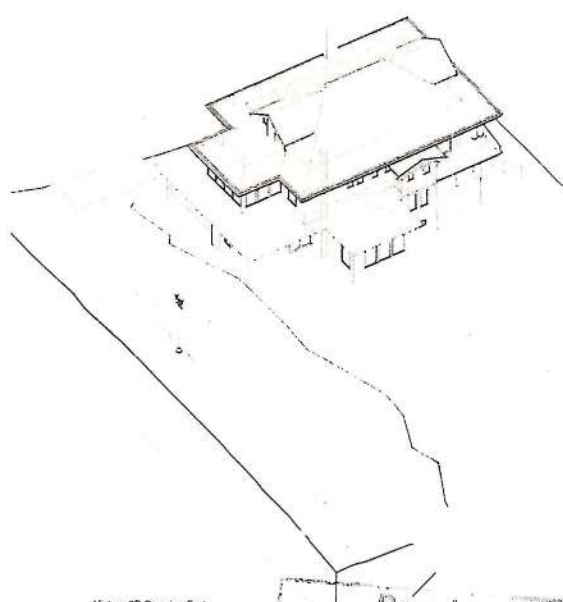
2 Historic Level 3 - 3D Overview West



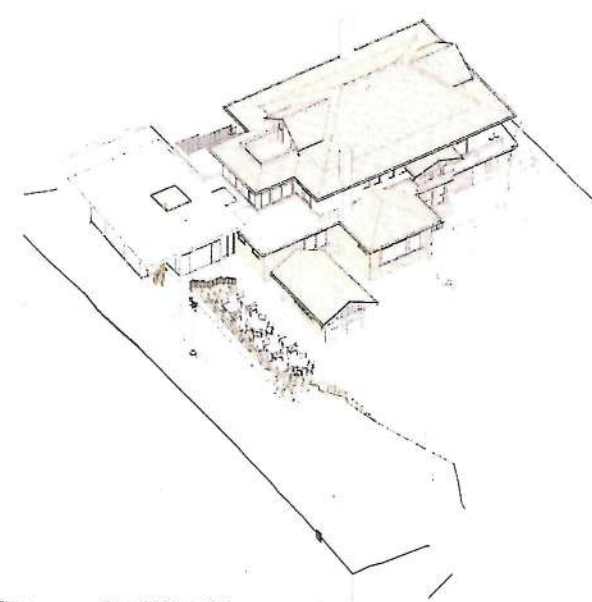
3 Proposed Level 3 - 3D Overview West



4 Existing 3D Overview East



5 Historic 3D Overview East



6 Proposed 3D Overview East

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SEMI-ELEVATION THRESHOLD RESULTS (STUDY 1) (continued)



ANTHONY BARNETT, STUART BARNETT & CRAFTSME CAREY
Journal of the American Academy of Religion

The present study focuses on the influence of the Pseudomonas 3,4,5,6 and the virulence of host cells of the human oral mucosal epithelium from the oral cavity and the role of the human host in the pathogenesis of the oral cavity. The study is based on the following hypotheses:

11557-11567



CHINA AT SECOND FLOOR FRONT PORCH



Existing North Elevation



2. Proposed North Elevation

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Reming & Hentze Alteration	November 12, 2014

Revision No. _____
Date _____

1 December 12, 2014

2 March 31, 2015

AG 00
Removal of Nipula parkway fence discrepancy
Deletion of interpretive directional strips on
front of Tea House

A1.01
Vehicle & Bicycle Parking Calculations required

A) (M) - Downward street elevations updated to reflect mylinning

A1.05 - New sheet added for lot width & centerline right-of-way.

A3 01-A3 04 - Colours of proposed exterior elevations, revised to match original character

A3.06 - A3.09
New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for
continued record keeping of the stream

details and Condition Assessment

3 May 2015

Landscape area removed from existing driveway to ensure parking stall is maintained

A310

Tea House to include setbacks, separation and height.

Consultant

Craigantloch Castle
Proposed Visitor Centre

At 3070 Jean Crescent,
Beverly Hills, CA

North Exterior Elevations

Date 5/8/2015 10:10:04 AM
Drawn By RSP, NJ

A3 01

Scale 1 50

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City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

A3.01



CHRISTINE LINTOTT ARCHITECT

Issue: _____ Date: December 12, 2014
 Restoring & Heritage Assessment

Revision No: _____ Date: _____
 Description: _____

1. _____
 Restoration of existing building to original condition.
 Proposed Visitor Centre
 Only include Upper Community & Heritage

2. _____
 A1.00
 Relocation of building parking from driveway
 Deletion of driveway driveway steps in
 front of Tea House
 Addition of parking area to end of main
 driveway and green space along upper fence

A1.01
 Vehicle & Bicycle Parking Calculations applied
 A1.02 - Ground level elevations updated to
 reflect conditions

A1.05 - New sheet added for lot width &
 setback calculations

A1.01-A1.03 - Critique of proposed exterior
 elevations applied to heights of proposed structure

A3.06 - A3.09
 New sheets added for Condition Assessment

A3.10 & A3.11 - New sheets added for
 proposed garage/porch Tea House
 details and Condition Assessment

A3.11 - Proposed Upper Gatehouse screen

3. _____
 May 8, 2015
 A1.00
 Landscape plan removed from existing
 driveway to ensure parking stall is maintained
 Calculations revised in Project Table

A3.10
 Project Information Table provided for
 Tea House to include setbacks, separation
 and height

Consultant

**Craigdarroch Castle
 Proposed Visitor Centre**

At 1070 Ivan Crescent,
 Victoria, BC

West Exterior Elevations

Date: 5/8/2015 10:10:52 AM
 Drawn by: RSP, JH
 Checked by: CL

A3.03

Scale: 1:50

CHARACTER DEFINING ELEMENTS
 The original stone masonry wall building features a mix of materials including rough-hewn, ashlar masonry, stone, and glass.
 All the historic exterior building materials along the line of restoration including the original foundation, roof, and upper walls and stone wall in masonry surface are to be retained, repaired, and replaced as needed.
 The original and new defined spaces in the site, including the upper parking area and the lower parking area.

CHARACTER PHOTOGRAPHS



MAIN DRIVEWAY LIGHT FIXTURES
 & VISITOR KIOSK LIGHTING
 (To be installed at the same location as the existing fixtures)

ARTS & CRAFT STORE CABLE WITH
 LARGED GLASS WINDOW

GRANITE STONE MINIMIZATION
 PLANS & DETAILS

CEILING LIGHTS TO ARRIVE AND
 BOUNDED STOOD ABOVE
 (To be installed at the same location as the existing fixtures)

Received
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 MAY 11 2015
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 Development Services Division

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Issue Date
Reporting & Heritage Alteration December 12, 2014

Revision No. Description Date

1 December 12, 2014

Revisions of upper floor at existing in
Brentwood Visitor Centre
Date: November 12, 2014

2 March 11, 2015

AD 00
Revisions of existing parking lot at existing
Brentwood Visitor Centre
Addition of existing enclosure at end of north
driveway and new cabin along lower fence

AL 01

Vehicle & Bicycle Parking Calculations revised

AL 04 - Existing street elevations updated to
reflect revisions

AL 05 - New sheet added for existing &
setback calculations

A3 01-A3 04 - Colours of proposed materials
revised to reflect existing materials

A3 05 - A3 09

New sheet added for Foundation Assessment

A3 10 & A3 11 - New sheets added for
revised garage/proposed Tea House
details and Foundation Assessment

A3 11 - Proposed Future Calculations added

3 May 8, 2015

AD 00
Landscape area removed from existing
driveway to provide parking (15) in existing
Calculation revised in Design Table

A3 10
Revised Information Table submitted for
Tea House in existing setbacks, separation
and height

Consultant

Level 3 60541

T.O. Tea House 56000

Level 2 57607

Visitor Centre Upper 56000

Level 1 59418

Visitor Centre Main 55300

Visitor Centre Lower 54610

Level 0 53000

Level -1 52000

Level -2 51000

Level -3 50000

Level -4 49000

Level -5 48000

Level -6 47000

Level -7 46000

Level -8 45000

Level -9 44000

Level -10 43000

Level -11 42000

Level -12 41000

Level -13 40000

Level -14 39000

Level -15 38000

Level -16 37000

Level -17 36000

Level -18 35000

Level -19 34000

Level -20 33000

Level -21 32000

Level -22 31000

Level -23 30000

Level -24 29000

Level -25 28000

Level -26 27000

Level -27 26000

Level -28 25000

Level -29 24000

Level -30 23000

Level -31 22000

Level -32 21000

Level -33 20000

Level -34 19000

Level -35 18000

Level -36 17000

Level -37 16000

Level -38 15000

Level -39 14000

Level -40 13000

Level -41 12000

Level -42 11000

Level -43 10000

Level -44 9000

Level -45 8000

Level -46 7000

Level -47 6000

Level -48 5000

Level -49 4000

Level -50 3000

Level -51 2000

Level -52 1000

Level -53 0

Level -54 -1000

Level -55 -2000

Level -56 -3000

Level -57 -4000

Level -58 -5000

Level -59 -6000

Level -60 -7000

Level -61 -8000

Level -62 -9000

Level -63 -10000

Level -64 -11000

Level -65 -12000

Level -66 -13000

Level -67 -14000

Level -68 -15000

Level -69 -16000

Level -70 -17000

Level -71 -18000

Level -72 -19000

Level -73 -20000

Level -74 -21000

Level -75 -22000

Level -76 -23000

Level -77 -24000

Level -78 -25000

Level -79 -26000

Level -80 -27000

Level -81 -28000

Level -82 -29000

Level -83 -30000

Level -84 -31000

Level -85 -32000

Level -86 -33000

Level -87 -34000

Level -88 -35000

Level -89 -36000

Level -90 -37000

Level -91 -38000

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Level -93 -40000

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Level -100 -47000

Level -101 -48000

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Level -107 -54000

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Level -111 -58000

Level -112 -59000

Level -113 -60000

Level -114 -61000

Level -115 -62000

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Level -120 -67000

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Level -124 -71000

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Level -127 -74000

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Level -134 -81000

Level -135 -82000

Level -136 -83000

Level -137 -84000

Level -138 -85000

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Level -144 -91000

Level -145 -92000

Level -146 -93000

Level -147 -94000

Level -148 -95000

Level -149 -96000

Level -150 -97000

Level -151 -98000

Level -152 -99000

Level -153 -100000

Level -154 -101000

Level -155 -102000

Level -156 -103000

Level -157 -104000

Level -158 -105000

Level -159 -106000

Level -160 -107000

Level -161 -108000

Level -162 -109000

Level -163 -110000

Level -164 -111000

Level -165 -112000

Level -166 -113000

Level -167 -114000

Level -168 -115000

Level -169 -116000

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Level -174 -121000

Level -175 -122000

Level -176 -123000

Level -177 -124000

Level -178 -125000

Level -179 -126000

Level -180 -127000

Level -181 -128000

Level -182 -129000

Level -183 -130000

Level -184 -131000

Level -185 -132000

Level -186 -133000

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Level -191 -138000

Level -192 -139000

Level -193 -140000

Level -194 -141000

Level -195 -142000

Level -196 -143000

Level -197 -144000

Level -198 -145000

Level -199 -146000

Level -200 -147000

Level -201 -148000

Level -202 -149000

Level -203 -150000

Level -204 -151000

Level -205 -152000

Level -206 -153000

Level -207 -154000

Level -208 -155000

Level -209 -156000

Level -210 -157000

Level -211 -158000

Level -212 -159000

Level -213 -160000

Level -214 -161000

Level -215 -162000

Level -216 -163000

Level -217 -164000

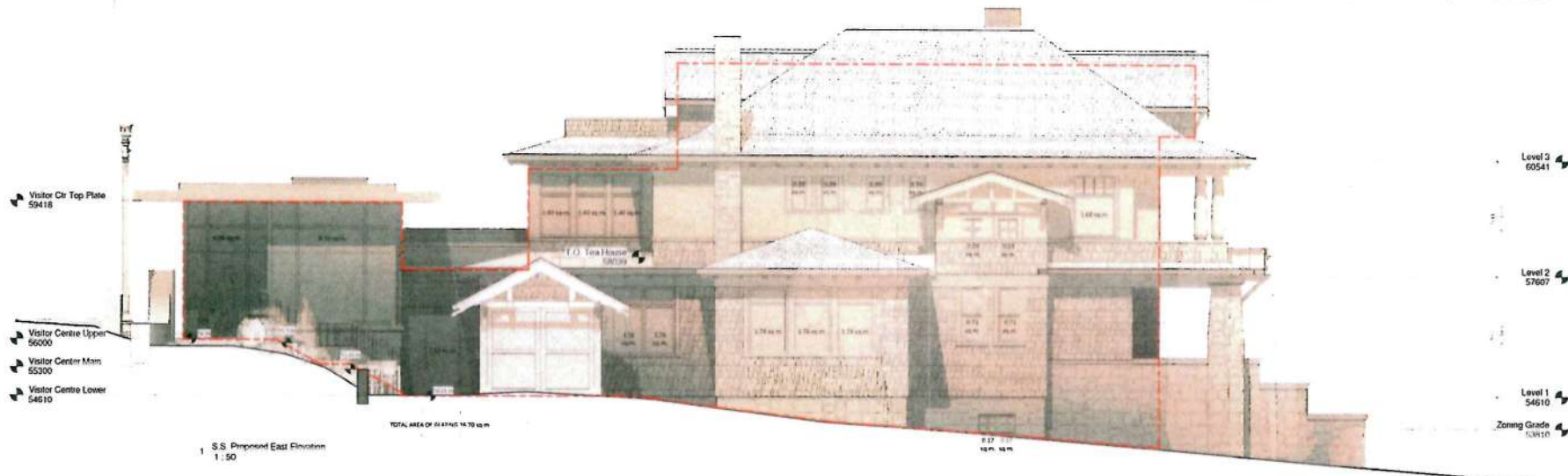
Level -218 -165000

Level -219 -166000

Level -220 -167000

NORTH & WEST ELEVATIONS ARE NOT SHOWN
NO CHANGES TO PERCENTAGE OF OPENINGS, EXISTING CONDITIONS

CHRISTINE LINTOTT ARCHITECT



Issue Date
Revision 8 December 12, 2014

Revision No. Date
Description

1. December 12, 2014
Retention of cypress tree at proximity to Proposed Visitor Centre
Only revision from Commission Assessment

2. March 31, 2015
A2.00
Revised plan of bicycle parking from driveway
Position of interpretive display steps in front of Tea House
Addition of entrance enclosure at end of north driveway and green space along upper fence

A1.01
Vehicle & Bicycle Parking Calculations revised

Level 1 54610
A1.04 - Proposed street elevations updated to reflect revisions

Level 2 57607
A1.05 - New sheet added for lot width & setback calculations

Level 3 60541
A3.01-A3.04 - Continuation of proposed exterior elevations required to match existing photographs

Level 4 63840
A3.06 - A3.09
New sheets added for Commission Assessment

Level 5 66000
A3.10 & A3.11 - New sheets added for repositioned garage/porch/tea house details and Commission Assessment

Level 6 68000
A3.11 - Proposed Colour Calculations added

Level 7 70000
3. May 8, 2015
A3.00
Landscape area removed from existing driveway to ensure parking stall is maintained
Calculations required in Project Table

Level 8 72000
A3.10
Briefing Information Table completed for Tea House to include setbacks, separation and height

Level 9 74000
Level 3 60541
Consultant

Level 10 76000
T.O. Tea House 59500

Level 11 78000
Level 2 57607

Level 12 80000
Visitor Centre Upper 56000

Level 13 82000
Craighdarroch Castle
Proposed Visitor Centre

Level 14 84000
At 1070 Joan Crescent,
Victoria, BC

Level 15 86000
Spatial Separation Calculations

Level 16 88000
Date 5/8/2015 10:11:33 AM
Author
Checked By

Level 17 90000
A3.05

Level 18 92000
Scale 1:50

Level 19 94000
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Level 20 96000
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Level 21 98000
THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & PERFORM ALL EXISTING & PROPOSED WORK TO MATCH THE LINTOTT ARCHITECT

Level 22 100000
DO NOT SCALE THE DRAWING

Level 23 102000
DO NOT SCALE THE DRAWING

Level 24 104000
DO NOT SCALE THE DRAWING

Level 25 106000
DO NOT SCALE THE DRAWING

Level 26 108000
DO NOT SCALE THE DRAWING

Level 27 110000
DO NOT SCALE THE DRAWING

Level 28 112000
DO NOT SCALE THE DRAWING

Level 29 114000
DO NOT SCALE THE DRAWING

Level 30 116000
DO NOT SCALE THE DRAWING

Level 31 118000
DO NOT SCALE THE DRAWING

Level 32 120000
DO NOT SCALE THE DRAWING

IN ACCORDANCE WITH TABLE 9.10.14.4.A

EAST SPATIAL SEPARATION

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE LIMITING DISTANCE	168.62 sq m 17.5m
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED 95% (business & personal services at 17.5m) 95% (mercantile at 17.5m)	21.8%
ACTUAL AREA OF UNPROTECTED OPENINGS	21.8%

CONSTRUCTION REQUIREMENTS

MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED MINIMUM REQUIRED FIRE RESISTANCE RATING TYPE OF CONSTRUCTION REQUIRED TYPE OF CLADDING REQUIRED	>50 to <100 (mercantile) 1 HOUR COMBUSTIBLE OR NON-COMBUSTIBLE COMBUSTIBLE OR NON-COMBUSTIBLE
---	--

SOUTH SPATIAL SEPARATION

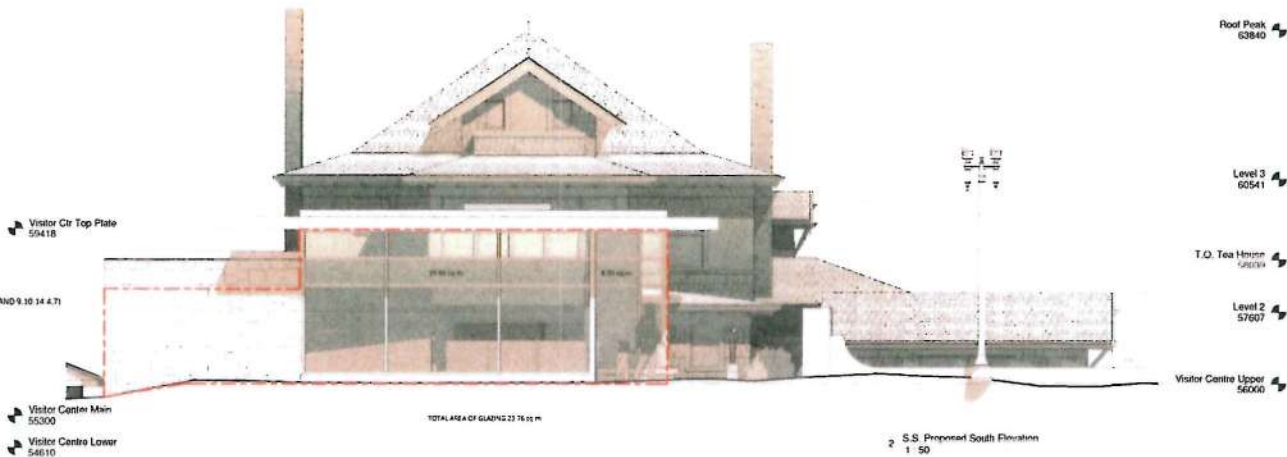
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE LIMITING DISTANCE	37.31 sq m 7.3m
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED 92.25% (business & personal services at 7.3m) 94.75% (mercantile at 7.3m) 100% ALTERNATE AS PER ARTICLES 9.10.14.4.1(d) AND 9.10.14.4.1(f)	64%
ACTUAL AREA OF UNPROTECTED OPENINGS	64%

CONSTRUCTION REQUIREMENTS

MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED MINIMUM REQUIRED FIRE RESISTANCE RATING TYPE OF CONSTRUCTION REQUIRED TYPE OF CLADDING REQUIRED	>50 to <100 (mercantile) 1 HOUR COMBUSTIBLE OR NON-COMBUSTIBLE COMBUSTIBLE OR NON-COMBUSTIBLE
---	--

ARTICLE 9.10.14.4.1(f)
WHERE THE LIMITING DISTANCE IS NOT LESS THAN 1.2 m, BE EQUAL TO OR LESS THAN
1) THE LIMITING DISTANCE SQUARED, FOR RESIDENTIAL OCCUPANCIES, BUSINESS AND PERSONAL SERVICES OCCUPANCIES AND
1700-HAZARDOUS INDUSTRIAL OCCUPANCIES, AND
2) HALF THE LIMITING DISTANCE SQUARED, FOR MERCANTILE OCCUPANCIES AND 1700-HAZARDOUS INDUSTRIAL OCCUPANCIES

ARTICLE 9.10.14.4.1(f)
WHERE THE BUILDING IS UNPROTECTED, THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS SHALL BE NOT MORE
THAN TWICE THE AREA DETERMINED ACCORDING TO SENTENCE (f). PROVIDED ALL ROOMS INCLUDING CLOSETS AND BATHROOMS
THAT ARE ADJACENT TO THE EXPOSING BUILDING FACE AND THAT HAVE UNPROTECTED OPENINGS ARE PROTECTED BY AUTOMATICALLY
EXTINGUISHING SYSTEMS IN THE SPRINKLER STANDARDS REFERENCED IN ARTICLE 9.2.5.12



2 1:50
S.S. Proposed South Elevation

Received

Planning & Development Department
Development Services Division



WEST WALL OF MAIN ENTRANCE STAIRS
CONCRETE CRACKS IN STONE MASONRY
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM PAINTED
PAINT TO BE REMOVED FROM MAIN PORCH & FRONT ENTRY CONCRETE CAPS OVER STONE
CAPS TO REMAIN UNPAINTED



MAIN ENTRANCE STAIRS
WOODEN STEPS TO BE RECONSTRUCTED
NEW STEPS TO BE CONSTRUCTED FROM PAINTED TIMBER MATERIAL WITH SINGLE GAP,
AND INTEGRAL BULLDOSE RAMPING TO BE FROM BELOW BY BRACKETS
RESTORATION OF NEW FRONT STEPS TO BE MORE IN KEEPING WITH ORIGINAL DETAILS



WEST WALL OF MAIN ENTRANCE STAIRS
CRACKS IN STONE MASONRY
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH



MAIN ENTRANCE

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM END
FOR LONG TERM DURABILITY AND MAINTENANCE
TYPICAL ALL GABLE BEAMS

DOWNSPOUT ON FRONT TO BE RELOCATED WHEN A NEW PROVIDED
ALL NEW DOWNSPOUTS TO BE BOUND TYPICAL OF ORIGINAL CHARACTER

MAIN PORCH
OPEN FRONT PORCH TO BE RESTORED
GLAZING & DOOR TO BE REMOVED



SECOND FLOOR PORCH CEILING

ALL EXTERIOR MATERIALS TO BE PAINTED NEW
EXTERIORS TO BE STAINLESS TYPICAL THROUGHOUT

CONFIRM ORIGINAL COLOUR BEHIND GABLE
BEFORE FINAL PAINTING



SECOND FLOOR PORCH CEILING

PORCH CEILING IN DECENT CONDITION
MOISTURE FROM ROOF HAS SEPARATED 'KENTEX' PAINT OFF THE CEILING
CEILING TO BE REPAIRED AND RESTORED AS REQUIRED



UPPER GABLE
RESTORANCE TO BE PERFORMED AS REQUIRED



NORTH ELEVATION CONTEXT PHOTO



NORTH ELEVATION CONTEXT PHOTO

GENERAL NOTE
'KENTEX' EXTERIOR PAINT FAILING SUBSTANTIALLY
IN SOME INSTANCES LARGE PATCHES OF PAINT ARE PEELING OFF

PROPOSAL IS TO STRIP 'KENTEX' PAINT OFF AND
REPAINT ENTIRE HOUSE IN COLOUR SCHEME TO MATCH ORIGINAL CHARACTER
WORK MAY BE COMPLETED AS FINISHES BECOMES AVAILABLE

REPAIRS IN ROOF CONDITIONS NEW ROOFING TO BE COMPLETED
SEE CONDITION ASSESSMENT SHEETS AND IS EVALUATING FOR ELABORATING THE KENTEX-ROOF
ROOF CEILING TO BE RESTORED ON UPPER MAIN ROOF ONLY WITH
FINALS AT EACH END OF MAIN ROOF RIDGE AND THE TOP OF THE FRONT AND REAR GABLES

AD-00
Landscape area removed from existing
driveway to ensure parking still is maintained
Plantings required in Present Table

AD-10
Current Information Table provided for
Tea House to include setbacks, separation
and height

Consultant

CHRISTINE LINTOTT ARCHITECT

Issue: December 12, 2014
Revising: Heritage Alteration

Revision No: 1
Description: Alteration

1. Retention of cypress tree at driveway to
Proposed Visitor Centre
Only remove from Community Meeting

2. March 31, 2015

AD-00
Restoration of historic parking from driveway
Position of interpretive driveway steps in
front of Tea House
Addition of parking area at end of north
driveway and green space along visitor fence

A1.01
Vehicle & Bicycle Parking (Interpretive) revised

A1.04 - Proposed street alignment updated to
reflect realign

A1.05 - New sheet added for lot width &
setback requirements

A1.01-A1.04 - Colours of proposed exterior
alterations required to match original character

A1.05 - A1.09
New sheets added for Conditions Assessment

A1.10 & A1.11 - New sheets added for
reproposed garage/proposed Tea House
details and Conditions Assessment

A1.11 - Proposed Colour Selections added

3. May 8, 2015

AD-00
Landscape area removed from existing
driveway to ensure parking still is maintained
Plantings required in Present Table

A1.10
Current Information Table provided for
Tea House to include setbacks, separation
and height

Consultant

**Craigdarroch Castle
Proposed Visitor Centre**

At 1070 Joan Crescent
Victoria, BC

**North Elevation - Conditions
Assessment**

Date: 5/8/2015 10:11:39 AM
Drawn by: JF
Checked by: CL

A3.06

Scale





MAIN PORCH
OPEN FRONT PORCH TO BE RESTORED
GLAZING TO BE REPAIRED



UPPER PORCH
CONCRETE PILLARS TO BE REPAIRED
UPPER RELOCATION OF SERVICES
PORCH WALL & COLUMNS TO BE MAINTAINED
WITH WORK TO INCLUDE STRENGTH AND NEW PAINT, TYPICAL THROUGHOUT



STONE CHIMNEY
REPAIRS TO BE PROVIDED
STOUT CHIMNEY & FOUNDATIONS TO HAVE REPAIRS AS REQUIRED



PARTIAL WEST ELEVATION CONTEXT PHOTO



PARTIAL WEST ELEVATION CONTEXT PHOTO



LEADED GLASS WINDOW
WINDOW IN RELATIVELY GOOD CONDITION
REPAIRS TO BE PERFORMED AS REQUIRED



ARTS & CRAFTS STYLE GABLE
WORK TO INCLUDE STRENGTH & NEW PAINT
NEW FINISHES TO BE INSTALLED OVER TOP OF BEAMS ENDS,
ALL TYPICAL THROUGHOUT
CONSIDER CHIMNEY COLOUR BEHIND GABLE BEFORE FINAL PAINTING



ARTS & CRAFTS STYLE GABLE & LEADED GLASS WINDOW
WORK TO GABLE AS REQUIRED & NOTED
RELEASED TO BE PERFORMED AS REQUIRED
THIRD PART IN ROOF CONDITION AND TO BE RESTORED



UPPER MAIN ROOF
GABLE AND PREVIOUS SUITE ENTRANCE PATIOS TO BE REPAIRED
AND ROOF RESTORED WITH NEW TIMBER



SOUTH WEST CORNER WINDOW
WINDOW TO BE RECONSTRUCTED
GLASS TO BE REPLACED WITH ORIGINAL TO SUIT NEW WASHROOM
PANEL BEHIND TO BE REPAIRED AND WINDINGS TO BE RESTORED



BAY WINDOW
NEW WINDOW (S) TO BE REPAIRED AND REPLACED
WITH THOSE TYPICAL OF PERIODIC CHARACTER



BAY ROOF OVER
ROOF OVER BAY TO BE RECONSTRUCTED FOR APPROPRIATE OVERHANGS PREVENTION
AND RE INTO GABLE ROOF TO MATCH TYPICAL DETAILING



BAY WINDOW SILL CONDITION
WINDOW SILL & CASINGS TO BE MAINTAINED, TYPICAL THROUGHOUT
WORK TO INCLUDE STRENGTH AND NEW PAINT



SOUTH WEST CORNER ROOFLINE
LOWER ROOF TO BE RECONSTRUCTED
TO CORRECT CHARACTER OF HISTORIC PORCH AREA
ROOF OVERHANG AT SECOND FLOOR TO BE RESTORED
TO MATCH PERIODIC DETAILING



SOUTH WEST CORNER HISTORIC PORCH
ENTIRE PORCH (S) TO THE SOUTH
STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED
VERTICAL SIDING TO BE RESTORED
SHINGLE CLADDING TO BE RESTORED

Revision No.	Date
1	December 12, 2014
2	March 31, 2015
3	May 8, 2015

1. Selection of historic tree at proximity to Proposed Visitor Centre
2. Addition of carbase enclosure at end of north driveway and green space along upper fence
3. Addition of historic gate at proximity to Proposed Visitor Centre
4. Addition of historic gate at proximity to Proposed Visitor Centre
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99. Addition of historic gate at proximity to Proposed Visitor Centre
100. Addition of historic gate at proximity to Proposed Visitor Centre

UPPER GABLE AND DECK WALL TO BE MAINTAINED.
WORK TO INCLUDE STAINING AND NEW PAINT

SUITE DOOR TO BE REMOVED AND RESTORED
WITH WINDOWS AND WALL CLADDING
TYPICAL OF ORIGINAL CHARACTER

PORTION OF LOWER ROOF TO BE REMOVED
FOR CONNECTION OF PROPOSED ADDITION



SOUTH ELEVATION CONTEXT PHOTO

PORTION OF LOWER ROOF TO BE RETAINED
STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED TO CORRECT SAGGING
ROOFING MATERIAL TO BE RESTORED TO ROLLED METAL TO MATCH ORIGINAL CHARACTER

CHRISTINE LINTOTT ARCHITECT

Issue Date
Revisions 6 December 11, 2014
Heritage Alteration

Revision No. Date
Description

1 December 12, 2014
Retention of historic siding from driveway
Removal of parapet wall from driveway
Only exterior light fixture remains

2 March 31, 2015
A0-00
Reduction of historic siding from driveway
Removal of parapet wall from driveway
Addition of garage structure at end of north
driveway and green space along upper fence

A1-01
Vehicle & Storage Shed Applications revised

A1-04
Revised report applications updated to
reflect revisions

A1-05
New sheet added for lot width &
setback calculations

A3-01-A3-04
Colours of proposed exterior
applications revised to match historic character

A3-05-A3-09
New sheets added for Foundation Assessment

A3-10 & A3-11
New sheets added for
recommended environmental Tea House
details and Foundation Assessment

A3-11
Proposed Colour Selections added

3 May 8, 2015
A0-00
Landscape area removed from existing
drawings to ensure working right is maintained
Calculations revised in Demand Table

A3-10
Project Information Table removed from
Tea House to include setbacks, separation
and height

Consultant



SOUTH ELEVATION
ENTRANCE AND WALL ROOF TO BE REMOVED
FOR CONNECTION OF PROPOSED ADDITION



UPPER SUNROOM
HISTORIC SUNROOM WINDOWS TO BE MAINTAINED



HISTORIC SITTING ROOM
EXISTING DOUBLE HUNG WINDOW TO BE REPAIRED AND RESTORED
WITH WINDOW TYPICAL OF ORIGINAL CHARACTER
WINDOW TO MATCH OPPOSITE SIDE



SOUTH EAST CORNER CONDITION
EXTERIOR IN GOOD CONDITION, WALL REPAIRS & ROOF TO BE MAINTAINED



BRICK CHIMNEY (NOT ORIGINAL)
CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE
TYPICAL OF ORIGINAL CHARACTER



EAST ELEVATION
HISTORIC WINDOWS TO BE RESTORED TO INCLUDE LEADED GLASS
TYPICAL OF ORIGINAL CHARACTER

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

South Elevation - Conditions
Assessment

Date 5/8/2015 10:11:14 AM
Drawn By NF
Checked By CL

A3.08

SWP



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HISTORIC SUNROOM
HORIZONTAL SIDING TO BE REPAIRED
HORIZONTAL NEW WINDOWS TO BE RESTORED
TYPICAL OF ORIGINAL CHARACTER OF SUNROOM



PARTIAL EAST ELEVATION

RESTORE WINDOW SASH
TO MATCH ORIGINAL CHARACTER.
NEW DOUBLE GLAZING IN BOTH LOWER PANES



HISTORIC KITCHEN WINDOW
LEADED GLASS IN GOOD CONDITION
WINDOW SASHES SIGNIFICANTLY TO THE NORTH
STRUCTURAL REVIEW AND STRENGTHENING TO BE REQUIRED



HISTORIC DEN WINDOW
WINDOWS IN GOOD CONDITION
WORK TO INCLUDE STRENGTHENING AND NEW PAINT



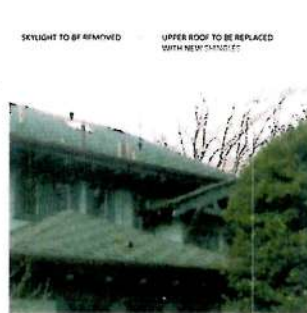
PARTIAL EAST ELEVATION, CONTEMP PHOTO
COURTESY OF STUART STARK



SECOND-FLOOR HISTORIC SITTING ROOM
DOOR TO BE REMOVED
WALL CLADDING AND HORIZONTAL TRIM TO BE RESTORED



BRICK CHIMNEY (NOT ORIGINAL)
CHIMNEY TRIMMING
BRICK CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE
TYPICAL OF ORIGINAL CHARACTER



PARTIAL EAST UPPER FLOOR

UPPER ROOF TO BE REPLACED
WITH NEW CLAY TILES

LOWER ROOF OVER DEN PORTION ONLY
TO BE REPLACED WITH NEW SHINGLES



EAST STAIRWELL GABLE

WINDOW RESTORATION
CONDITION TO BE REVIEWED
IN FURTHER DETAIL

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS
FOR LONG TERM DRAINAGE AND MAINTENANCE



NORTH EAST CORNER
STAIRS & DECK TO BE REMOVED
WALL CLADDING TO BE RESTORED

DOOR TO BE REMOVED AND RESTORED WITH
WINDOW. BOTH WINDOWS AT THIS LEVEL
TO BE RESTORED WITH LEADED GLASS TO BE
IN KEEPING WITH ORIGINAL WINDOW ABOVE.
WALL CLADDING RESTORED AS REQUIRED

LATE ADDITION OF WASHROOM (NOT ORIGINAL)
FOUNDATION & FLOORING
ADDITION TO BE REMOVED IN ENTIRETY
WALL CLADDING TO BE RESTORED
AT ORIGINAL PLANE OF EXTERIOR.
POTENTIAL FOR ADDITIONAL WINDOW
TO MATCH ONE ABOVE OR TRIM IN.

REMOVAL OF ADDITION TO PROCEED ONLY
UPON CONFIRMATION OF EXISTING STONE
FOUNDATION WALL BEHIND IS IN PLACE
AND IN GOOD CONDITION.
IF STONE WALL IS NOT IN PLACE OR
NOT IN GOOD CONDITION,
ADDITION IS NOT TO BE REMOVED.

ALL BASEMENT WINDOWS IN GOOD CONDITION
WORK TO INCLUDE TRIMMING & NEW PAINT
WINDOWS TO HAVE DIRECT EXPOSURE UPON
REMOVAL OF EXTERIOR STAIR & DECK



LOWER FLOOR STAIR ADDITION



UPPER FLOOR STAIR ADDITION

CONCRETE PAD, STAIRS & PATH
TO BE REMOVED
LANDSCAPE TO BE RESTORED IN PLACE

ONE UPPER WINDOW & TWO NEW LOWER
WINDOWS IN STAIRWELL TO BE RESTORED
WITH LEADED GLASS TO BE IN KEEPING
WITH ORIGINAL LEADED GLASS WINDOW
STILL IN FACT. GRIMES OF NEW WINDOWS
HAD WINDOW VINE PATTERN THROUGH
SASH



BASEMENT WINDOWS



STONE FOUNDATION IN GOOD CONDITION
REPAINTING AS REQUIRED



CHRISTINE LINTOTT
ARCHITECT

Issue Date
Revision 8 December 12, 2014
Heritage Alteration

Revision No. Date
Description Title

1 December 12, 2014
Removal of Cypress tree at site to be
Proposed Visitor Centre
Only revision from Environmental Studies

2 March 31, 2015

A0.00
Relocation of historic parking from driveway
Relocation of historic driveway steps in
front of Tea House
Addition of garage entrance at end of north
driveway and green space along upper fence

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.04 Proposed expert calculations updated to
current requirements

A1.05 - New sheet added for lot width &
setback calculations

A1.01-A3.04 - Colours of proposed exterior
materials required to match original appearance

A3.05 - A3.09
New sheets added for Foundation Assessment

A3.10 & A3.11 - New sheets added for
required pre-engineered Tea House
metal and Foundation Assessment

A3.11 - Revised Colour Selections added

3 May 8, 2015

A0.00
Landscape area removed from existing
drawings to ensure parking +5% is maintained
Calculations revised in Permit Table

A3.10
Revised Foundation Table provided for
Tea House to include setbacks, separation
and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

East Elevation - Conditions
Assessment

Date 5/8/2015 10:11:35 AM
Drawn by NF
Checked by CL

A3.09

Scale

Received
City of Victoria

MAY 11 2015

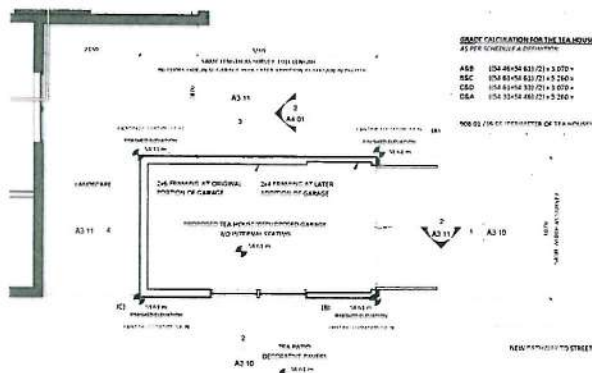
Planning & Development Department
Development Services Division

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1 Proposed Tea House Plan 1:50

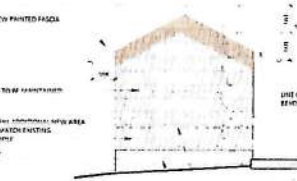
T.O. Tea House 58039



Visitor Centre Lower 54610

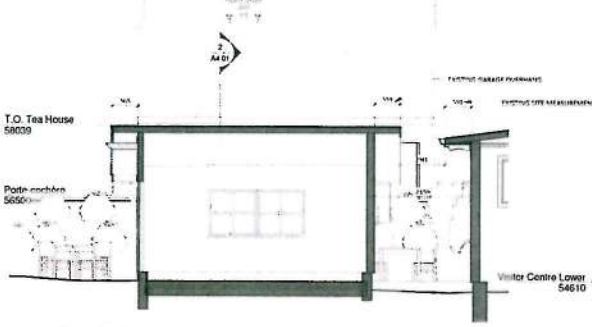
3 Proposed Tea House Side Elevation (north) 1:50

T.O. Tea House 58039



Visitor Centre Lower 54610

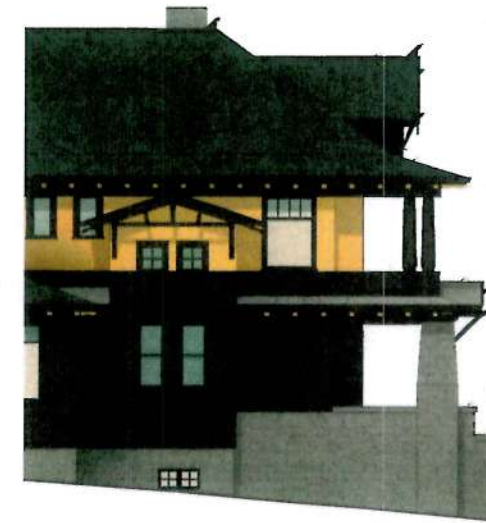
4 Proposed Tea House Rear Elevation 1:50



2 Proposed Tea House Section 1:50

PROPOSED TEA HOUSE PROJECT DATA

FLOOR AREA	13.5 SQ. M. (MEASURED TO INSIDE OF FRAMING IS APPROXIMATE DUE TO CHANGE IN FRAMING PENETRATIONS)
HEIGHT OF BUILDING	3.425m FROM FLOOR LEVEL (TO MATCH HEIGHT OF EXISTING GARAGE - NO CHANGE) 4.225m FROM RETINGING GRADE CALCULATED (58039 - 53910)
NUMBER OF STOREYS	1
DISTANCE BETWEEN BUILDINGS	2.15m
REAR (WEST) SIDE (NORTH)	2.87m
BUILDING SETBACKS	SEE SHEET A1.05



5 Proposed Exterior Colour 1:50

ROOF CRESTING & FINIALS

FINIALS TO BE COLOURED TO MATCH MATERIAL OF EXISTING ROOF MATERIAL.

UPPER ROOF

NEW UPPER FASCIA - STAINED GREEN TO MATCH EXISTING MATERIALS.

ROUGH CAST STUCCO ON SECOND FLOOR, SOFFITS, SECOND FLOOR PORCH CEILING AND MOULDED BRACKETS

ROUGH CAST STUCCO - EXTERIOR FINISH TO MATCH EXISTING MATERIALS. SOFFITS, SECOND FLOOR PORCH CEILING, MOULDED BRACKETS - EXTERIOR FINISH TO MATCH EXISTING MATERIALS.

LOWER ROOF

NEW METAL - TO MATCH EXISTING MATERIALS.

WALL SHINGLES, WIDE TRIM AND SECOND FLOOR PORCH COLUMNS

WALL SHINGLES - TO MATCH EXISTING MATERIALS. WIDE TRIM - TO MATCH EXISTING MATERIALS. SECOND FLOOR PORCH COLUMNS - TO MATCH EXISTING MATERIALS.

MAIN PORCH & STAIRS

STONE CARP - TO MATCH EXISTING MATERIALS.

FRONT DOOR

UPPER PORCH DOOR (NEW) - TO MATCH EXISTING MATERIALS.

WINDOW SHINGLES, SECOND FLOOR PORCH FLOOR AND NEW FRONT STAIRS

WINDOW SHINGLES - TO MATCH EXISTING MATERIALS. SECOND FLOOR PORCH FLOOR - TO MATCH EXISTING MATERIALS. NEW FRONT STAIRS - TO MATCH EXISTING MATERIALS.

PROPOSED COLOURS TO MATCH ORIGINAL. SAMPLES OF ALL COLOURS TO BE PREPARED AND REVIEWED BEFORE FINAL CONFIRMATION AND APPLICATION.

FRONT GARAGE



GARAGE SIDE ELEVATION (CURRENTLY WEST) EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT. EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT.



GARAGE REAR ELEVATION EXPOSED EAVE TO BE MAINTAINED WITH EXISTING AND NEW PAINT. MISSING REAR GABLE AND BARRY BOARD SHINGLES TO BE MAINTAINED WITH EXISTING AND NEW PAINT.



UPPER ROOF



LOWER ROOF



Received City of Victoria

MAY 11 2015

Planning & Development Department Development Services Division

Roof Peak
63940

Level 3
60541

Level 2
57607

Level 1
54610

Basement
52330

CHRISTINE LINTOTT ARCHITECT

Name
Revising & Heritage Alteration

Date
December 12, 2014

Revision No.
Description

Date

1
Retention of Cypress tree at walkway to
Prominent Visitor Centre
Only revision from Community Meeting

December 12, 2014

Visitor Ctr Top Plate
59418

Visitor Centre Upper
56000

Visitor Centre Main
55300

Visitor Centre Lower
54610

2
A2.00
Retention of single parking space directly
behind of main entrance
Deletion of interlocking driveway steps in
front of Tea House
Addition of garbage enclosure at end of north
driveway and green space along upper fence

March 31, 2015

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.02
Vehicle & Bicycle Parking Calculations revised

A1.03
Vehicle & Bicycle Parking Calculations revised

A1.04
Vehicle & Bicycle Parking Calculations revised

A1.05
Vehicle & Bicycle Parking Calculations revised

A1.06
Vehicle & Bicycle Parking Calculations revised

A1.07
Vehicle & Bicycle Parking Calculations revised

A1.08
Vehicle & Bicycle Parking Calculations revised

A1.09
Vehicle & Bicycle Parking Calculations revised

A1.10
Vehicle & Bicycle Parking Calculations revised

A1.11
Vehicle & Bicycle Parking Calculations revised

A1.12
Vehicle & Bicycle Parking Calculations revised

A1.13
Vehicle & Bicycle Parking Calculations revised

A1.14
Vehicle & Bicycle Parking Calculations revised

A1.15
Vehicle & Bicycle Parking Calculations revised

A1.16
Vehicle & Bicycle Parking Calculations revised

A1.17
Vehicle & Bicycle Parking Calculations revised

A1.18
Vehicle & Bicycle Parking Calculations revised

A1.19
Vehicle & Bicycle Parking Calculations revised

A1.20
Vehicle & Bicycle Parking Calculations revised

A1.21
Vehicle & Bicycle Parking Calculations revised

A1.22
Vehicle & Bicycle Parking Calculations revised

A1.23
Vehicle & Bicycle Parking Calculations revised

A1.24
Vehicle & Bicycle Parking Calculations revised

A1.25
Vehicle & Bicycle Parking Calculations revised

A1.26
Vehicle & Bicycle Parking Calculations revised

A1.27
Vehicle & Bicycle Parking Calculations revised

A1.28
Vehicle & Bicycle Parking Calculations revised

A1.29
Vehicle & Bicycle Parking Calculations revised

A1.30
Vehicle & Bicycle Parking Calculations revised

A1.31
Vehicle & Bicycle Parking Calculations revised

A1.32
Vehicle & Bicycle Parking Calculations revised

A1.33
Vehicle & Bicycle Parking Calculations revised

1 North South Section
1:50

Visitor Ctr Top Plate
59418

Visitor Centre Upper
56000

Level 3
60541

T.O. Tea House
58029

Visitor Centre Lower
54610

2 Section Through Tea House & Retaining
1:50

3 Site Section 3D - North South

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Received
City of Victoria
MAY 11 2015
Planning & Development Department
David A. ...

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Building Sections

Date
Project No.
Checked by

5/1/2015 10:11:54 AM
RSP, NF
CL

A4.01

Scale
1:50

Received
City of Victoria

MAY 11 2015

Planning & Development Department
Development Services Division

Roof Peak
60540

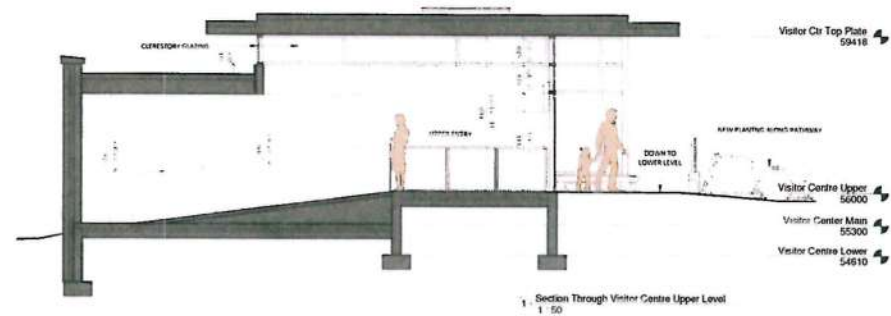
Level 3
60541

Visitor Ctr Top Plate
59418

Level 2
57907

Visitor Center Main
55300

2 Section Through Visitor Centre Main Level
1:50

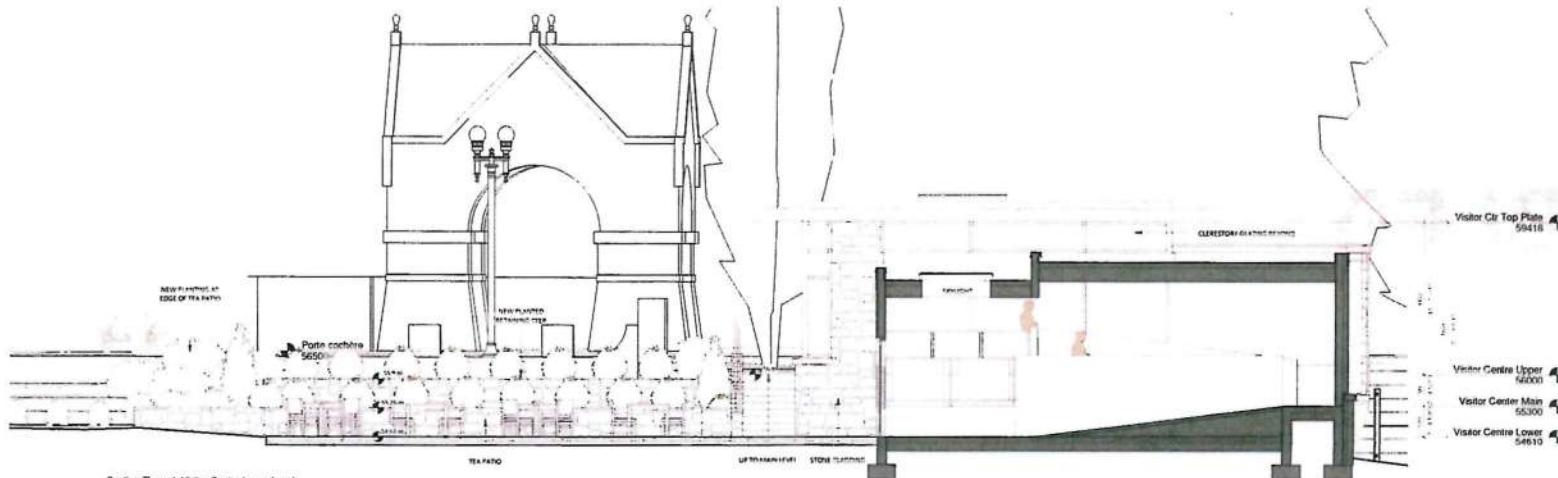


1 Section Through Visitor Centre Upper Level
1:50

T.O. Tea House
58039

TEA PATIO FOR PROPOSED RESTAURANT USE

NEW PLANTING AT EDGE OF TEA PATIO



3 Section Through Visitor Centre Lower Level
1:50

CHRISTINE LINTOTT
ARCHITECT

Issue Date
Revising & November 12, 2014
Heritage Alteration

Revision No. Description Date

1 November 12, 2014
Retention of cypress tree at walkway to
Proposed Visitor Centre
Only include from Community Meeting

2 March 31, 2015

A0.00
Relocation of historic parking sign driveway
Definition of driveway driveway strips in
front of Tea House
Addition of garbage enclosure at end of north
driveway and green space along north fence

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.04 - Removal street elevations updated to
reflect revisions

A1.04 - New sheet added for lot width &
setback calculations

A3.01-A3.04 - Review of proposed exterior
elevations related to north regional character

A3.08 - A3.09
New sheets added for Conditions Assessment

A3.10 & A3.11 - New sheets added for
recommending garage/proposed Tea House
details and Conditions Assessment

A3.11 - Proposed Colour Scheme added

3 May 8, 2015

A0.00
Landscape area removed from parking
calculation to ensure parking stall is maintained
Calculations changed in Review Table

A3.10
Proposed Information Table provided for
Tea House to include setbacks, separation
and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Building Sections

Date 5/8/2015 10:11:58 AM
Drawn by RSP, INF
Checked by CL

A4.02

Scale 1:50

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Exterior Statement of Significance

1070 Joan Crescent

(See accompanying **Interior** Statement of Significance for this building)

The home of Thomas P. McConnell and Emily McConnell
Victoria, B.C. Canada. Built 1913.

Legal Description:

Lots 127 and 128

Section 74

Victoria Plan 985

PID – 006-903-291 (006-903-312)

City of Victoria Heritage Registry



Description of the Historic Place:

For EXTERIOR of 1070 Joan Crescent

1070 Joan Crescent is a two-and-one-half storey, Arts & Crafts / Edwardian Classical style house in the historic Rockland neighbourhood of Victoria, B.C. The house is set back from the street, in a sloping garden with lawn, plantings, and a few mature trees. A paved driveway next to the west side of the house leads to a freestanding garage with an Arts & Crafts front gable at the rear of the property.

Heritage Values

For EXTERIOR of 1070 Joan Crescent

1070 Joan Crescent is valued as an excellent example of a home built by a successful businessman in the pre-WWI period.

McConnell was a successful real estate agent who worked all over town and particularly in the Fernwood subdivision, making money in the land boom of the early 1900's. McConnell was formerly a salesman before entering real estate, living at 646 Niagara Streets in James Bay. McConnell also was a part owner of the "Bees" – Victoria's baseball team – and he raised prize-winning English setters.

This house is valued as representing the shift of what was desirable both in housing type, and in location, in Victoria as the city grew. 1070 Joan Crescent provided more luxurious accommodation than the McConnell's previous home in James Bay, as the grand estates of the Rockland area were being subdivided, providing building lots accessible and affordable to the upper middle class.

The house is also valued as a major historic element of the Craigdarroch neighbourhood. It was built on two lots in the former grounds of *Craigdarroch Castle* (1889). After Mrs. Dunsmuir's death in 1908, the 28-acre grounds were subdivided into 144 lots. Some were sold, others auctioned off with a chance to win the Castle. Two empty lots went through a couple of owners until purchased by Mr. McConnell early in 1913.

Thomas P. McConnell and his wife Emily built 1070 Joan Crescent in 1913. An \$8,000 building permit was dated February 1913. A \$100 permit for the garage was dated July 1913. Assessments in 1913/14 were \$9,000. The McConnell family lived in the house until 1917, when they moved to 403 Linden Avenue. Dr. Boak, a physician, lived here from 1917 to 1947. The house was divided into suites around 1959. Later uses include a guesthouse, rest home, light housekeeping suites and apartments.

1070 Joan Crescent is important for its architectural design. It was built using features from both Edwardian Classical and Arts & Crafts architectural styles. Prominent gables in Arts & Crafts style are found on all four façades. Classical columns support an upper front porch and modillion brackets support wide encircling eaves at the top of the second story. The bell-cast, hipped roof has attic gable dormers to the south, west and north. The front porch, now glassed-in, was originally open.

The stone garden wall is valued as an original landscape feature that relates to other garden walls in the Rockland neighbourhood, reinforcing a local landscape design element. The detached garage, with its Arts & Crafts main gable, is a rare survivor, and valued as representing the increasing importance of the automobile in early Victoria.

Character Defining Elements

For EXTERIOR of 1070 Joan Crescent

- The prominent location of the house at the entrance to the Craigdarroch subdivision, and the visibility of two sides of the house and mature garden from the curved street; and the rear of the house from the publicly accessible grounds of Craigdarroch Castle
 - The placement of the house in its steeply sloped garden with its existing relationship of heights of interior floor levels to the sloping exterior ground levels.
 - The original detailed massing of all building facades dating to the time of construction, including porches, exterior staircase, gables; windows, and roof planes.
 - All the historic exterior building materials dating to the time of construction, including the granite foundations, front stairway; porch pillars and chimney, extensive wood detailing, and wood shingle and rough-cast stucco wall coverings.
 - The original and rare detached garage with Arts & crafts gable and shingle exterior.
 - The original front retaining stone wall at the sidewalk, and garden stairs.
-

City-Wide Heritage Thematic Framework for 1070 Joan Crescent:

Theme 1: Coastal Settlement

1.2 Multi-Cultural Origins

Chinese work/settlement

1.3 Pioneer Farms to First Suburbs

Subdivision of Great Estate

1.4 City of Gardens & Landscapes

Contribution to Gardens and Boulevards

Theme 2: Gateway Economy

2.2 Resource base

Local real estate industry

2.5 Historic Infrastructure

Transportation (original automobile garage)

Theme 5: Cultural Fabric

5.1 Architectural Expression

Edwardian Era Architectural Design

Stuart Stark

Stuart Stark & Associates

Heritage Consultant

February 2015

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CRAIGDARROCH CASTLE®

CANADA'S CASTLE

Received
City of Victoria

DEC 16 2014

Planning & Development Department
Development Services Division

December 16, 2014

The City of Victoria
Attention: Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6

RE: 1070 Joan Crescent, Rezoning and Heritage Alteration Permit Application

In December 2012, Directors and Staff undertook a review of the Craigdarroch Castle Historical Museum Society's presentation plan that was originally developed in 2003. A room-by-room examination of the interpretative space inside Craigdarroch Castle was conducted in order to better understand its current use and how the remaining spaces should be incorporated into the visitor experience. The Society's mission is to preserve Craigdarroch Castle and bring its stories to life so the questions asked during this review were whether we could tell additional stories exclusively in the digital realm or could we continue to develop new content in the Castle while working around the existing offices and workshop? If not, then should we remove these operational activities to a Visitor Center and dedicate the Castle spaces to our mission?

As a museum with a National Historic Site designation we are constantly challenged to remain relevant to our visitors while preserving the Castle. In January 2013, with this in mind, the Board of Directors came to the conclusion that the best place for our stories to reside is inside the Castle and approved an updated presentation plan recommending removal of operational activities from the Castle. One of the driving factors behind this decision was the number one request of visitors that they be able to see what a period kitchen looked like. At this time the gift shop inhabits the rooms that were the kitchen and scullery and our lunchroom is in what was the Dunsmuir's pantry. These are important rooms that visitors have told us would add value to their experience and the Society plans to focus restoration and interpretation efforts on these as soon as we've relocated our operational activities. There are also new galleries to be developed in the rooms occupied by our Registrar, Curator and Visitor Service personnel.

In November 2013 Christine Lintott Architect was engaged to determine how the Society might develop a visitor centre on the property located at 1070 Joan Crescent. Over the last 12 months Christine and I, in consultation with staff and the Board of Directors have developed a comprehensive plan for developing this property. As we progressed with our planning we took time to have informal conversations with City of Victoria staff and the Rockland Neighbourhood Association Land Use Committee, culminating recently in hosting a formal CALUC meeting on November 5, 2014.

Description of Proposal

The proposal seeks to retain the existing residence and convert the use to that of a Visitor Centre for the Craigdarroch Castle Society. The residence is listed on the City of Victoria's Heritage Registry and as such the proposed conversion will be in keeping with those character defining elements defined by Heritage Consultant, Stuart Stark, in the attached Statement of Significance. A modest addition is proposed to the south and southwest corner of the residence, which will replace the various porches and external stairs that served the previous conversion of the residence to multiple suites. The proposed addition will comply with the Standards and Guidelines for the Conservation of Historic Places in Canada. The proposal will rezone the existing R1-A zoned site to a site specific zone to support the proposed uses. A concurrent Heritage Alteration Permit will also be required.

Government Policies

The proposed conversion of the 1070 Joan Crescent residence is consistent with the goals of Placemaking – Urban Design and Heritage in the City of Victoria's Official Community Plan. Specifically,

- "cultural and natural heritage resources are protected and celebrated";
- "that heritage property is conserved as resources with value for present and future generations";
- "maintain views of identified heritage landmark building from the public realm through careful consideration of new development within a 90m or 180m radius";
- "conserve and enhance the heritage value, character and special features of...individual properties";
- "continue to support new additions that conserve and enhance heritage property, as consistent with the National Standards and Guidelines for the Conservation of Historic Places in Canada".

With respect to the Neighbourhood Directions for Rockland, Section 21 of the OCP, the proposal is consistent with the strategic directions which seek to "continue to conserve the historic architectural and landscape character of the neighbourhood", and "support the maintenance of existing dwellings and large lot character through sensitive infill that preserves green space and estate features."

Project Benefits and Amenities

The proposal, as noted above, facilitates the further development of interpretive spaces within the Castle proper by hosting administrative and ancillary uses and activities that are currently housed within. The heritage restoration of key spaces within the Castle has a broader benefit to the community in celebrating this heritage landmark.

The sensitive conversion of the heritage residence at 1070 Joan Crescent to host new uses, which are publicly accessible, furthers the inventory of heritage value in the Rockland neighbourhood. The proposed uses reside within the Castle already, with the exception of the addition of a seasonal tea hut, which is intended to supplement the offerings for visitors to the site, as well as serving the immediate neighbourhood.

Need and Demand

The proposal alleviates the challenges of hosting ancillary uses and administrative space within the Castle proper. The addition ensures accessibility to interpretive installations and provides for visitor

support including storage of bags and access to washrooms. An enhanced visitor experience allows for better management of visitor flow through the Castle.

In addition, the proposal provides an opportunity to offer accessible interpretive experiences within 1070 Joan Crescent, for visitors who are challenged to navigate the Castle proper. The residence will also supply much needed archival storage of historic fixtures and fittings, which are seasonally installed in the Castle.

Neighbourhood

The proposed conversion and addition is consistent with Part 2 of the Rockland Neighbourhood Plan. Specifically,

- "properties of heritage character and merit should be conserved, maintained and enhanced";
- "...man-made...landscape features such as rock outcrops, stone walls...should be retained";
- "neighbourhood views should be maintained, particularly public views towards buildings of architectural and heritage merit."
- "the architectural character of new development should complement nearby heritage sites";
- "the institutional, and semi-institutional land uses in Rockland contribute greatly to the neighbourhood's character and should be supported".

Impacts

The proposed conversion and addition complements the activities of Craigdarroch Castle and enhances the visitor experience. The intended consequence is that the flow through activities of Castle visitation will be more streamlined which should further reduce visitation impact to the surrounding neighbourhood. The conversion of this registered property solidifies its continued role in the neighbourhood as a character property, securing it from less compatible development proposals in the future.

Design and Development Permit Guidelines

The proposal will conform to the intent of the referenced applicable guidelines for DPA 15C: Intensive Residential – Rockland, generally, with respect to retention of the existing character building. It is notable that in this instance, a Heritage Alteration Permit is required and that the Statement of Significance is the foundation for considering specific form and character. The Standards and Guidelines for the Conservation of Historic Places in Canada is referenced with respect to the proposed addition.

Safety and Security

The proposal acknowledges key CPTED principles. The existing building on its site promotes natural surveillance. Walkways, fencing, lighting and signage promote movement to and from the building's entrances, creating strong connections to the street, overlook and visibility. The public realm is clearly delineated through paving treatments, connectivity, and building placement, reinforcing ownership/control thereby discouraging nuisance behavior. As a complementary use to Craigdarroch Castle, and its continued use as an attraction, the proposal will be assured of quality maintenance and upkeep, thereby discouraging negative activity.

Transportation

The proposed conversion and addition of 1070 Joan Crescent, in conjunction with Craigdarroch Castle proper, exceeds the minimum vehicle parking standards of Schedule C with the existing parking provided on the Castle grounds, a total of 24 spaces. An inventory of the uses and the attributable demand is provided below:

Parking Calculations per Schedule C

Craigdarroch Castle (Lot A) – Commercial Exhibit

4 spaces or

1 space/232m² of lot area = 13 spaces

1070 Joan Crescent

Retail 1 space/37.5m² = 2 spaces

Office 1 space/65m² = 3 spaces

Commercial Exhibit 4 spaces or

1 Space/232m² of lot area = 5 spaces

Patio 1 space/5 seats = 6 spaces

(Assumed 30 seats)

Gross Total – minimum required 19 spaces to maximum required 29 spaces

In addition, the proposal meets the bicycle parking standards of Schedule C with provisions for both staff and visitors.

The proposal seeks to enhance the current pedestrian experience by more overtly denoting entrance for visitors to the historic precinct, providing greater accessibility and visibility.

Heritage

The existing residence, as noted above, is a registered property on the City of Victoria's Heritage Registry. The Craigdarroch Castle society is considering seeking designation of the property as part of the overall proposal for Rezoning and support of the Heritage Alteration Permit.

Summary

The proposed conversion and addition to the 1070 Joan Crescent residence represents a sensitive, complementary project within the Rockland Neighbourhood. Support of the proposal will aid in furthering the core activities of the Craigdarroch Castle society in expanding the interpretive installations within the Castle proper. The conversion itself represents an excellent opportunity to further the Society's preservation activities and to celebrate another one of the neighbourhood's assets.

Sincerely,



John Hughes, Executive Director
Craigdarroch Castle Historical Museum Society



CRAIGDARROCH CASTLE®

CANADA'S CASTLE

April 7, 2015

The City of Victoria
Attention: Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6



RE: 1070 Joan Crescent revised proposal for Rezoning and Heritage Alteration Application.

In response to the Application Review Summary dated Wednesday, January 14, 2015, we are pleased to submit our revised proposal for the above noted development. The subject of this letter is to provide an itemized update and clarification of new information on the proposal and should be reviewed in conjunction with the revised, bubbled drawings.

Specifically, the conditions to be met prior to the Planning and Land Use Committee are:

1. Further consideration of the voluntary designation of the heritage property.

Heritage designation will not be pursued at this time.

2. Please identify the vehicle and bicycle requirements for all proposed uses.

Vehicle calculations have been revised on A1.01, per Schedule C and in conjunction with comments from staff review on the Zoning Plan Check sheet.

Bicycle requirements have been clarified on A1.01.

3. Please confirm whether the proposed finished floor level of the proposed Visitor's Centre Addition could be lowered sufficiently to impact the extent of ramps inside the addition – as this could enhance the relationship between the proposed addition and the hipped roof of the existing residence to the north.

The upper floor level of the addition has been located to provide an accessible entry and transition from the Castle porte-cochere level to the main level of the Visitor Centre. The interior ramping will serve to organize queuing large groups of guests before ticketing and Visitor Centre services.

4. Please provide a detailed relocation plan for the existing garage/proposed Tea House.

The intent is to relocate the superstructure of the existing garage in its entirety. The existing foundation is not reusable and the garage will be placed on a new concrete foundation. The slope of the wood framing is to be retained and new framing will be filled in for connection to the new foundation. Special consideration will be taken to ensure the slope is represented for interpretive purposes. Additional detail of the garage is provided on sheets A3.10 & A3.11.

5. Please reconsider the appearance and detail of the north face of the proposed Visitor's Centre addition, having regard to the character and appearance of the existing garage at this location.

Appearance of the north elevation has been considered and revised to accommodate a proposed garbage enclosure at the end of the driveway. The enclosure is to be in keeping with the proposed addition, with shingle and stone cladding and discrete wood doors. In addition, a proposed green space has been shown in the upper driveway with a path for the roll out bins to be brought to the street while loading is retained at the northern portion of the driveway. A suitable tree is to be planted and will be visible from the large openings in the west wall of the residence.

6. Please complete the elevation drawings, depicting the existing garage.

Additional details are provided on sheets A3.10 & A3.11.

7. Please reconsider the treatment of the lower portion of the exterior wall for the proposed relocated garage so as to be more in-keeping with its existing/historic character.

The stone foundation originally proposed has been deleted and shingle cladding is to extend to top of the new concrete foundation, which will have limited visibility.

8. Please provide the findings of the Envelope Review.

This work has not been engaged to date. The existing house is occupied by tenants. The intent is to retain and restore existing materials wherever possible. Replacement will only occur as a result of finding deterioration beyond repair.

9. Please provide a condition assessment for historic materials that are proposed to be replaced.

A condition assessment has been performed with participation from Heritage Consultant, Stuart Stark. Additional sheets A3.06 – A3.11 for condition assessment details are provided.

10. Please consider the seismic strengthening of the existing stone chimneys.

The chimneys will be seismically strengthened/restrained as required, the scope of which will be delineated as part of the Building Permit application process.

11. Please revise the Statement of Significance so that it is consistent with the Canadian Register of Historic Places Writing Statements of Significance and reflects the relevant themes set out in the Victoria Heritage Thematic Framework.

Revised Statement of Significance provided. Interior and exterior provided as two (2) separate documents.

12. The proposed class 2 bicycle parking obstructing the driveway must be relocated on the site and must include a minimum of 6 stalls. At least 50% of these stalls should be horizontal. A 2.0m driveway width is not appropriate.

The bicycle parking has been deleted from the driveway location and relocated next to the existing bicycle location at the porte cochere level. A new 6 stall (horizontal) rack is to be provided similar to the existing rack. Preference is to group bicycle parking to allow clear visibility of location and not restrict access to new work or impede landscaped grounds. The existing driveway is existing/non-conforming; specifically, its' functionality relies on the informal access "shared" between the site and the adjacent property to the west.

13. The proposed rezoning and potential increase in density for this property may contribute to an overtaxing of the sanitary sewer system.

An inventory of existing plumbing fixtures and proposed fixtures has been provided on A1.01, clarifying a reduction of fixtures associated with the proposal.

14. An arborist report will be required detailing the impacts of the proposal on the existing trees on the subject property, as well as neighbouring property (1050 Joan Crescent). The arborist report is to detail construction impacts and the proposal and the mitigation measures required to successfully retain the trees as indicated.

Arborist report attached for reference.

15. Given the unique nature of applying current codes to existing buildings of historical importance it is preferred that code compliance is achieved by involving inspections staff early in the process. It has been noted that sprinklers will be installed throughout but the exiting looks like it will be something that requires consideration. A code approach should be submitted to initiate discussion regarding code conformance.

The alterations and restoration to the existing building will be governed by Division A – Appendix A, Section A-1.1.1.1.(1) Application to Existing Buildings. Due consideration will be taken to ensure fire, life, and safety systems meet the intent of current Code compliance where practical, while placing sensitivity in preserving historical elements and character. Both the existing building and the proposed addition will be sprinklered, and the addition will be constructed to meet all current Code requirements.

Additional comments have been made in the Application Review, Zoning Plan Check and are noted as follows:

- a) Lot Width & Setbacks: New sheet A1.05 provided and setbacks revised in the Project Information Table on A0.00.
- b) Vehicle & Bicycle Parking: Revised and clarified in item 2 listed above.
- c) Garage Detail: New sheet A3.10 & A3.11 provided.

Additional refinements have been made to the drawing set and are noted in the attached "Revisions to Rezoning Submission" list. This involves restoring the building to the original 1913 form and character which includes the removal of a later washroom addition on the east façade, return to original paint colours, and restoring materials such as metal roofing and leaded glass windows in locations noted.

We trust that the above responses to the Application Review Summary further support the proposal for this sensitive, neighbourhood-scaled building. We welcome the opportunity to appear before the Planning and Land Use Committee and to continue our work with staff to realize this important project.

Sincerely,



John Hughes, Executive Director
Craigdarroch Castle Historical Museum Society