

A4

CONTEXT PLAN

proposed
addition:

For Kasaiah
Investment Corp.
1555 Jubilee Ave.
Oak Bay Junction
Apartments
Victoria, B.C.

drawing #
7438

drawn by
MRB

VICTORIA
DESIGN
GROUP

Date: 20/4/15

Context Plan

1555 JUBILEE AVENUE PRESENTATION LAYOUT

WWW.VICTORIADESIGNGROUP.CA

430::PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.

1555 Jubilee Avenue



Proposed location of suites





1
3.0
Rear (East) Elevation
Scale: 1/4" = 1'-0"

27.70m (I) + 27.70m (II) = 55.4 / 2 = 27.70
27.70 X 2.48 = 68.70
27.35m (III) + 27.35m (IV) = 54.7 / 2 = 27.35
27.35 X 1.42 = 38.84
27.70m (V) + 27.70m (VI) = 55.4 / 2 = 27.70
27.70 X 5.08 = 140.72
27.35m (VII) + 27.35m (VIII) = 54.7 / 2 = 27.35
27.35 X 1.32 = 36.10
27.70m (IX) + 27.70m (X) = 55.4 / 2 = 27.70
27.70 X 4.20 = 116.34
27.35m (XI) + 27.35m (XII) = 54.7 / 2 = 27.35
27.35 X 1.32 = 36.10
27.70m (XIII) + 27.70m (XIV) = 55.4 / 2 = 27.70
27.70 X 4.49 = 124.37
27.35m (XV) + 27.35m (XVI) = 54.7 / 2 = 27.35
27.35 X 3.05 = 83.42
27.70m (XVII) + 27.70m (XVIII) = 55.4 / 2 = 27.70
27.70 X 2.54 = 70.36

Average Finished Grade Calculation		
	Sub Totals	Lengths
I to II	68.70	2.48
III to IV	38.84	1.42
V to VI	140.72	5.08
VII to VIII	36.10	1.32
IX to X	116.34	4.20
XI to XII	36.10	1.32
XIII to XIV	124.37	4.49
XV to XVI	83.42	3.05
XVII to XVIII	70.36	2.54
XVIII to XIX	118.28	4.27
XX to XXI	354.20	12.65
XXII to XXIII	94.16	3.43
XXIV to XXV	133.00	4.75
XXVI to XXVII	91.96	3.35
XXVIII to XXIX	21.26	0.76
XXX to XXXI	85.37	3.11
XXXII to XXXIII	196.56	7.02
XXXIV to XXXV	95.53	3.48
XXXVI to I	471.22	16.92
TOTAL	2376.50	85.64
Finished Avg. Grade: 2376.5 / 85.64 = 27.75 m		

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ELEVATIONS

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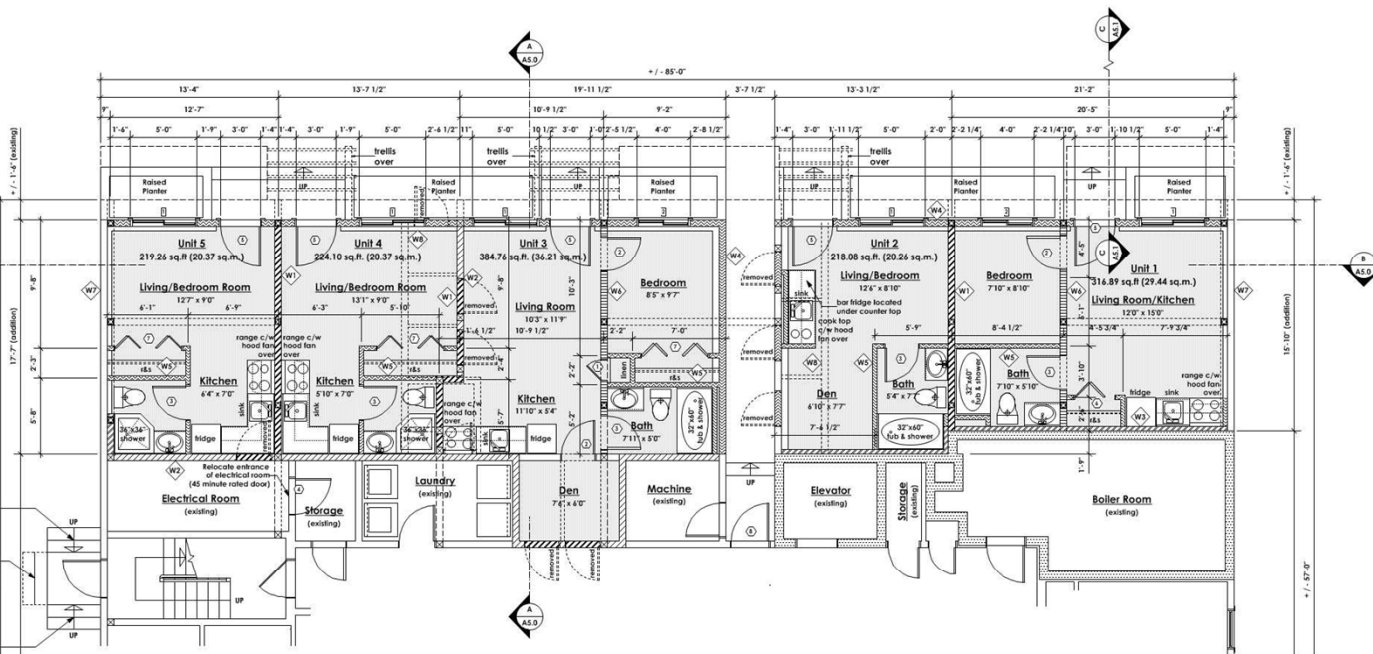
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Date: 20/4/15

1555 JUBILEE AVENUE PRESENTATION LAYOUT

WWW.VICTORIADESIGNGROUP.CA

430-:PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.



1 Ground Floor Plan

A2.1 Scale: 1/4" = 1'-0"

Existing: 2994.80 sq.ft. (278.23 sq.m.)
Addition: 1368.18 sq.ft. (127.19 sq.m.)
Total: 4362.98 sq.ft. (405.43 sq.m.)

NOTE: Power Saving Lighting is to be installed in each new unit

NOTE: Water restrictors are to be installed in all Tubs, Showers and Toilets in each new units

No.	Size	FRAME	QUANTITY OF WINDOWS
1	36" x 48"	WYGL	3
2	48" x 48"	WYGL	2
3	Existing	Existing	1

No.	SIZE	ACTION	HARDWARE	DOOR	FRAME	FIRE PROTECTION	QUANTITY OF DOORS
			P/S L/K P/P D/C P.H.	MATERIAL GLAZ. FINISH	MATERIAL FINISH	RATING	
1	1'-0" x 6'-0" x 13'-4"	SWING		HWD NO P	WOOD P		1
2	2'-0" x 6'-0" x 13'-4"	SWING		HWD NO P	WOOD P		1
3	2'-0" x 6'-0" x 13'-4"	SWING		HWD NO P	WOOD P		1
4	2'-0" x 6'-0" x 13'-4"	SWING		HWD NO P	WOOD P		1
5	2'-0" x 6'-0" x 13'-4"	SWING		HWD NO P	WOOD P		1
6	2'-0" x 6'-0" x 13'-4"	SLIDING		HWD NO P	WOOD P		1
7	1'-0" x 6'-0" x 13'-4"	SLIDING		HWD NO P	WOOD P		1
8	Existing						1

ABBREVIATION LEGEND

P/S = PRIVACY SET
L/K = LOCK & KEY
P/P = PUSH PULL
D/C = DOOR CLOSER
P.H. = PANIC HARDWARE
ALUM. = ALUMINUM
HWD = HOLLOW METAL DOOR
HWD = HOLLOW WOOD DOOR
SCWD = SOLID CORE WOOD DOOR
P/F = FINISH
MAT. = MATERIAL
GLAZ. = GLAZING
NO. = NUMBER
P = PAINTED
S.F. GL. = SHATTER PROOF GLASS
*** = JOE MEASURE DOOR
B.C.B.C. = BRITISH COLUMBIA BUILDING CODE
C.S.A. = CANADIAN STANDARDS ASSOCIATION
ANSI = AMERICAN NATIONAL STANDARDS INSTITUTE
N/A = NOT APPLICABLE

WALL LEGEND

1 HE F.R.R. NEW INTERIOR PARTITION
1 HE F.R.R. ON EXISTING PARTITION
NEW PURRING WALL
45 MINUTE F.R.R. NEW EXTERIOR WALL
NEW 2"x4" INTERIOR PARTITION
EXISTING FRAMED WALL TO REMAIN
EXISTING FRAMED WALL TO BE REMOVED

A2 FLOOR PLANS

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1555 JUBILEE AVENUE
PRESENTATION LAYOUT

WWW.VICTORIADSGROUP.CA

430-1 PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.

1555 Jubilee Avenue

Surface parking lot

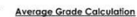


Bicycle storage building location



54 sq.ft. (40.37 sq.m.)

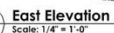
 4" STEEL STUD FRAMED WALL



28.00m (A) + 28.00m (B)	= 56.00 / 2 = 28.00 X 10.5 = 294.00
28.00m (B) + 27.70m (C)	= 55.70 / 2 = 27.85 X 3.80 = 105.83
27.70m (C) + 27.70m (D)	= 55.40 / 2 = 27.70 X 12.33 = 341.54
27.70m (D) + 27.85m (E)	= 55.55 / 2 = 27.78 X 2.00 = 55.55
27.85m (E) + 27.85m (F)	= 55.70 / 2 = 27.85 X 1.83 = 50.97
27.85m (F) + 28.00m (A)	= 55.85 / 2 = 27.93 X 1.80 = 50.27
Total Sub Totals: 898.18 / Total Lengths: 32.26	
Avg. Grade: 898.18 / 32.26 = 27.85m	



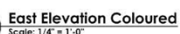
Scale: 1/4" = 1'-0"



Scale: $1/4" = 1'-0"$



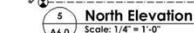
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Scale: 1/4" = 1'-0"



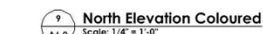
Scale: $1/4" = 1'-0"$



A6.0 Scale: 1/4" = 1'-0"



A6.0 Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"

A6

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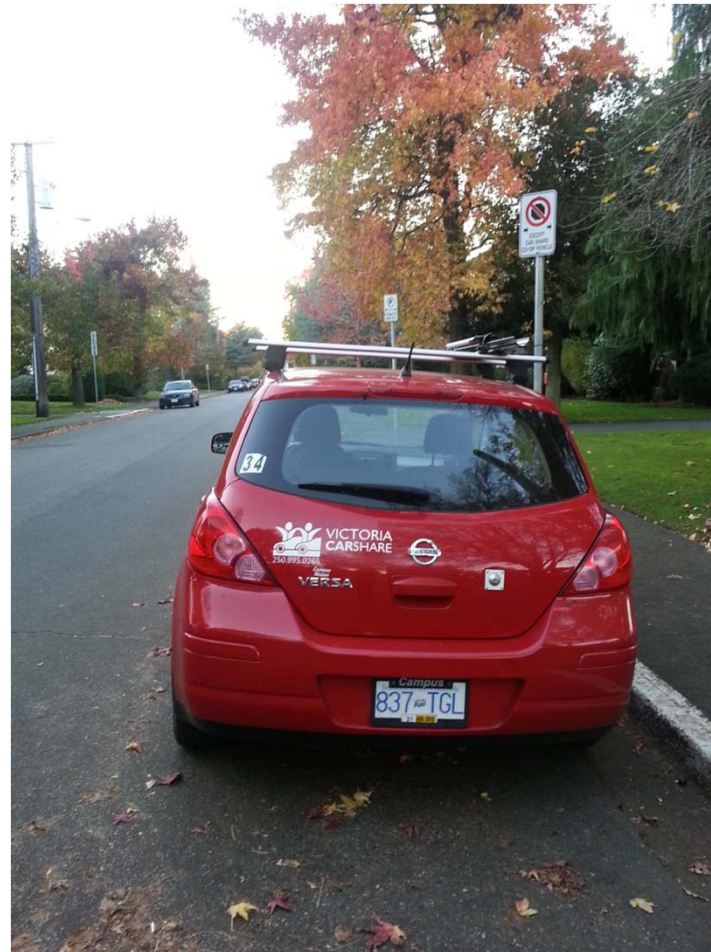
4430::PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.

1555 JUBILEE AVENUE

PRESENTATION LAYOUT

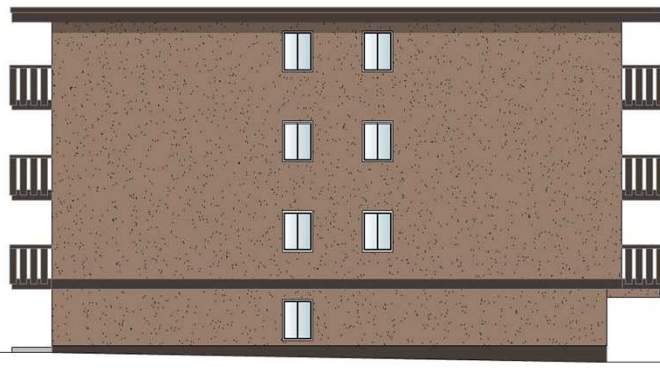
Jubilee Avenue

Parking restrictions





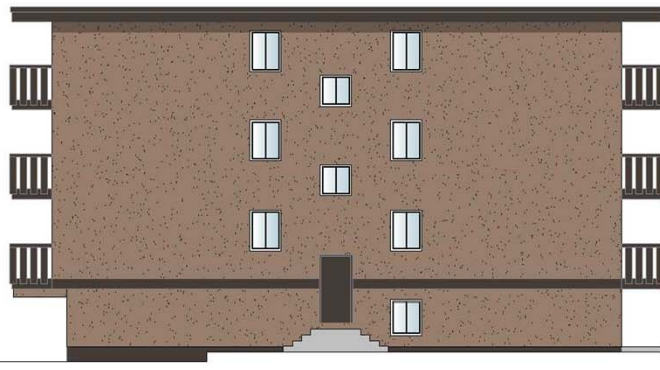
Front (West) Elevation
Scale: 3/16" = 1'-0"



2
3.4 Right Side (South) Elevation
Scale: 3/16" = 1'-0"



Rear (East) Elevation
Scale: 3/16" = 1'-0"



4
3.4 Left Side (North) Elevation
Scale: 3/16" = 1'-0"

AREA	COLOUR	COLOUR/FINISH INFO
STUCCO		Existing Finish and paint colour to remain unchanged. New walls to match finish and paint colour of existing stucco.
FASCIA & ROOF TRIM / DECKS		Existing paint colour to remain unchanged.
WINDOW TRIM		Existing paint colour to remain unchanged. New window trim to match paint colour of existing trim.

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COLOUR ELEVATIONS

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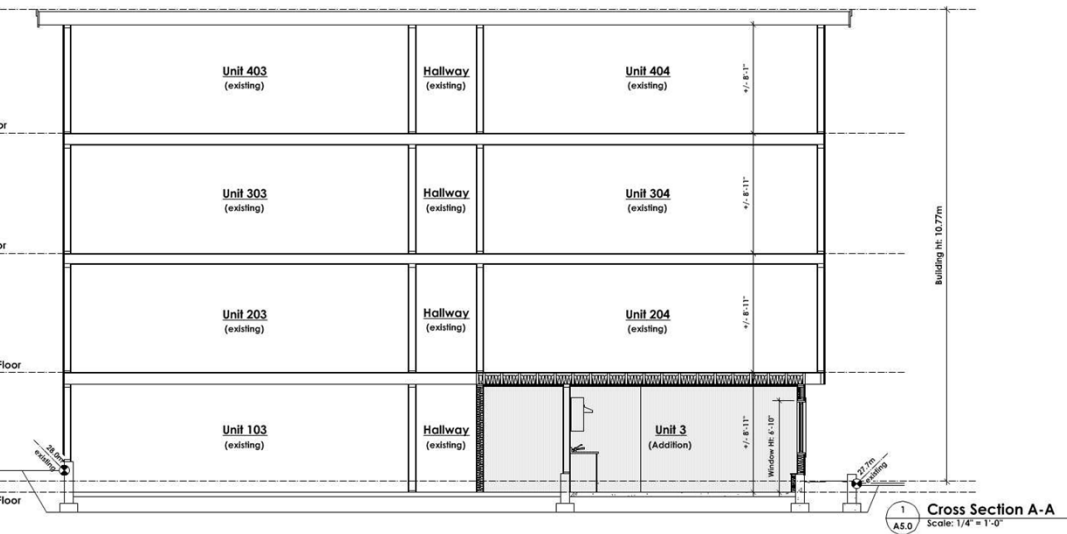
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1555 JUBILEE AVENUE PRESENTATION LAYOUT

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SECTIONS

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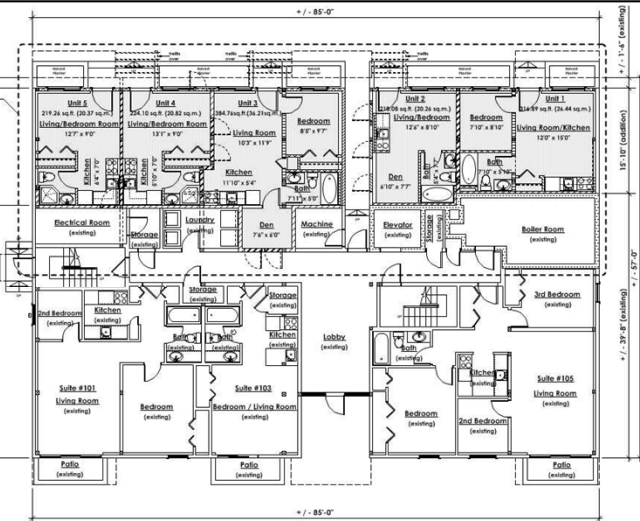
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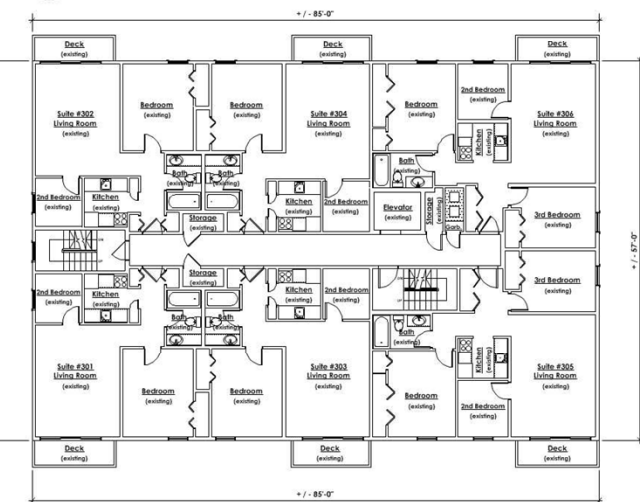
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430-PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.



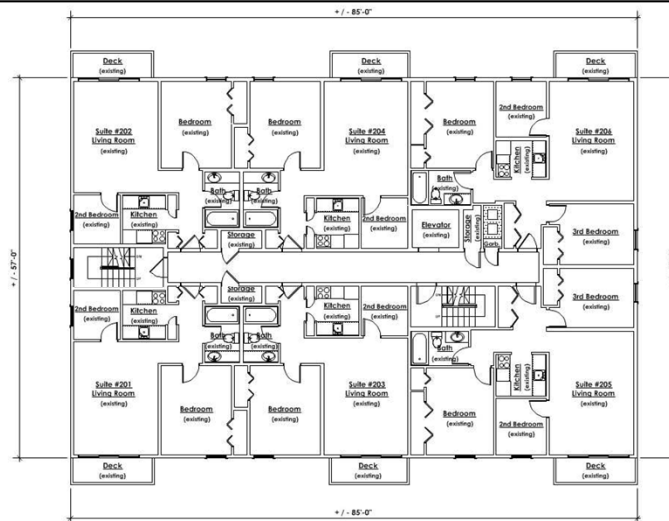
1 Ground Floor Plan
A2.0 Scale: 1/8" = 1'-0"

Existing: 2994.80 sq. ft. (278.23 sq. m.)
Addition: 1368.14 sq. ft. (127.10 sq. m.)
Total: 4362.94 sq. ft. (405.33 sq. m.)



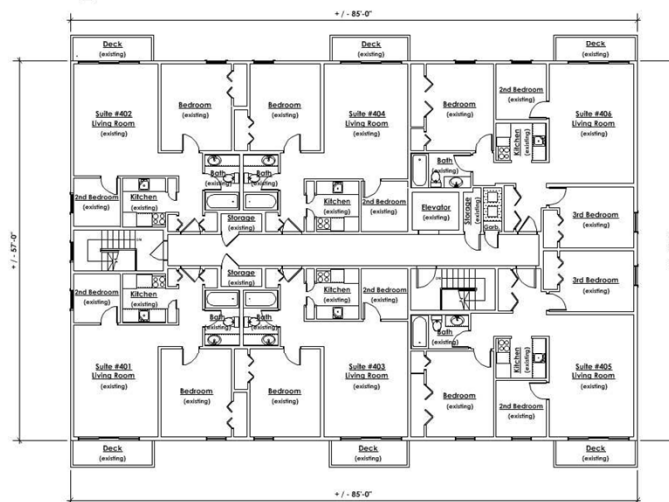
3 Third Floor Plan
A2.0 Scale: 1/8" = 1'-0"

Existing: 4704.00 sq. ft. (437.02 sq. m.)



2 Second Floor Plan
A2.0 Scale: 1/8" = 1'-0"

Existing: 4704.00 sq. ft. (437.02 sq. m.)



4 Fourth Floor Plan
A2.0 Scale: 1/8" = 1'-0"

Existing: 4704.00 sq. ft. (437.02 sq. m.)

A2

FLOOR PLANS

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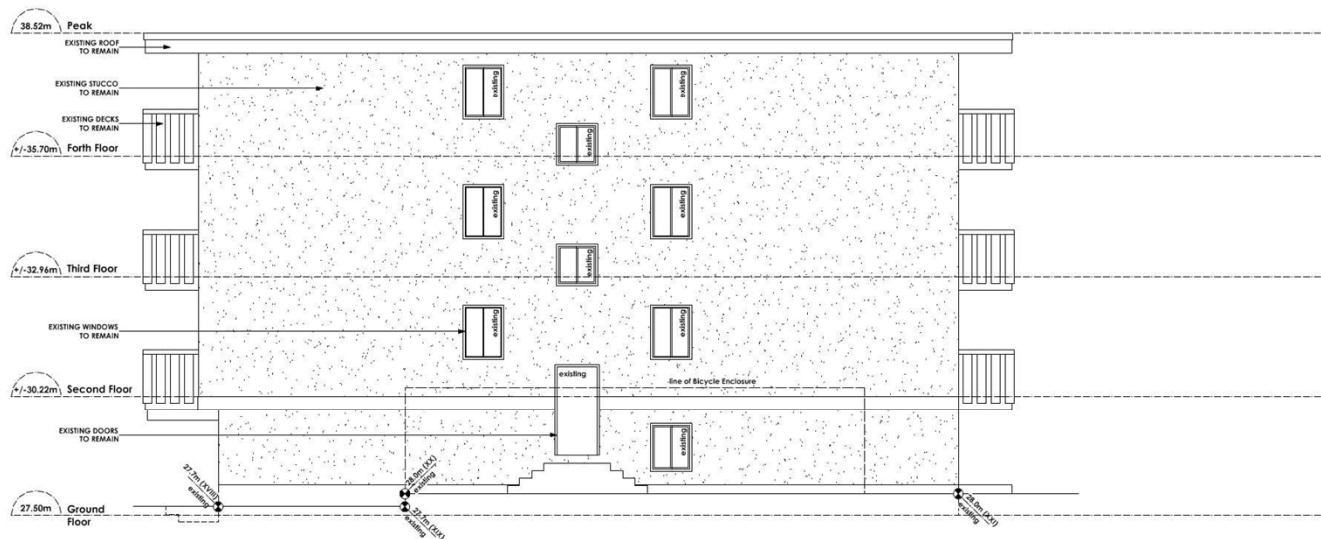
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1555 JUBILEE AVENUE PRESENTATION LAYOUT

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430-PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.



1 Left Side (North) Elevation
A3.1 Scale: 1/4" = 1'-0"

A3

ELEVATIONS

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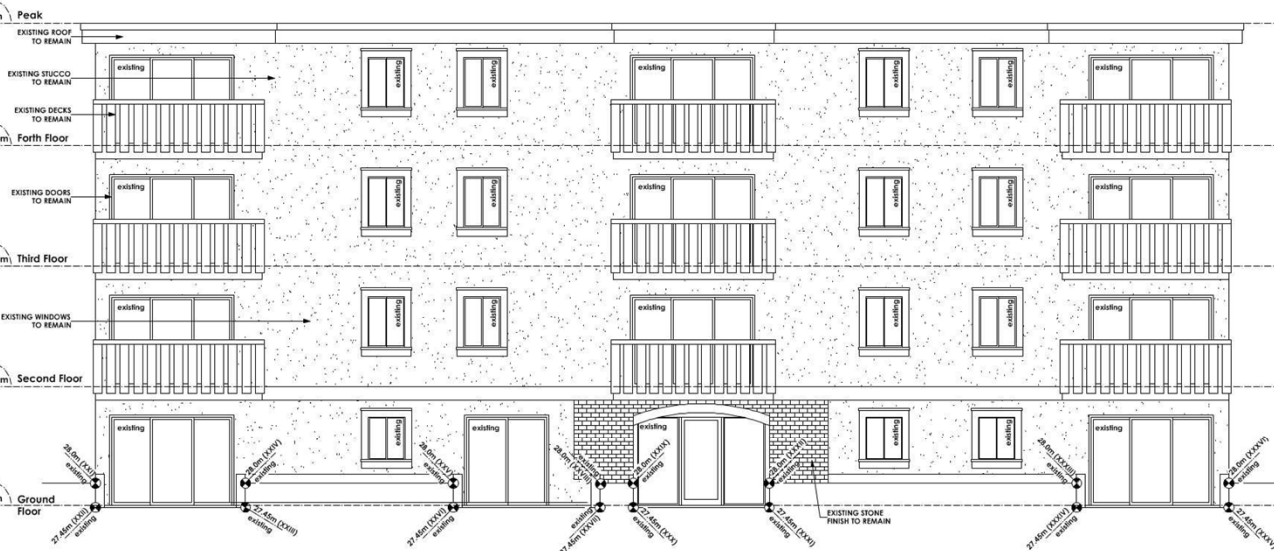
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430-PROPOSED ADDITION :: 1555 JUBILEE AVENUE VICTORIA B.C.



1
A3.2
Front (West) Elevation
Scale: 1/4" = 1'-0"

$27.45\text{m (XXII)} + 27.45\text{m (XXIII)} = 54.90 / 2 = 27.45$
 $27.45 \times 3.43 = 94.15$
 $28.00\text{m (XXIV)} + 28.00\text{m (XXV)} = 56.00 / 2 = 28.00$
 $28.00 \times 4.75 = 133.00$

$27.45\text{m (XXVI)} + 27.45\text{m (XXVII)} = 54.90 / 2 = 27.45$
 $27.45 \times 3.35 = 91.96$
 $28.00\text{m (XXVIII)} + 28.00\text{m (XXIX)} = 56.00 / 2 = 28.00$
 $28.00 \times 0.76 = 21.28$

$27.45\text{m (XXX)} + 27.45\text{m (XXXI)} = 54.90 / 2 = 27.45$
 $27.45 \times 3.11 = 85.37$
 $28.00\text{m (XXXII)} + 28.00\text{m (XXXIII)} = 56.00 / 2 = 28.00$
 $28.00 \times 7.02 = 196.56$

$27.45\text{m (XXXIV)} + 27.45\text{m (XXXV)} = 54.90 / 2 = 27.45$
 $27.45 \times 3.48 = 95.53$

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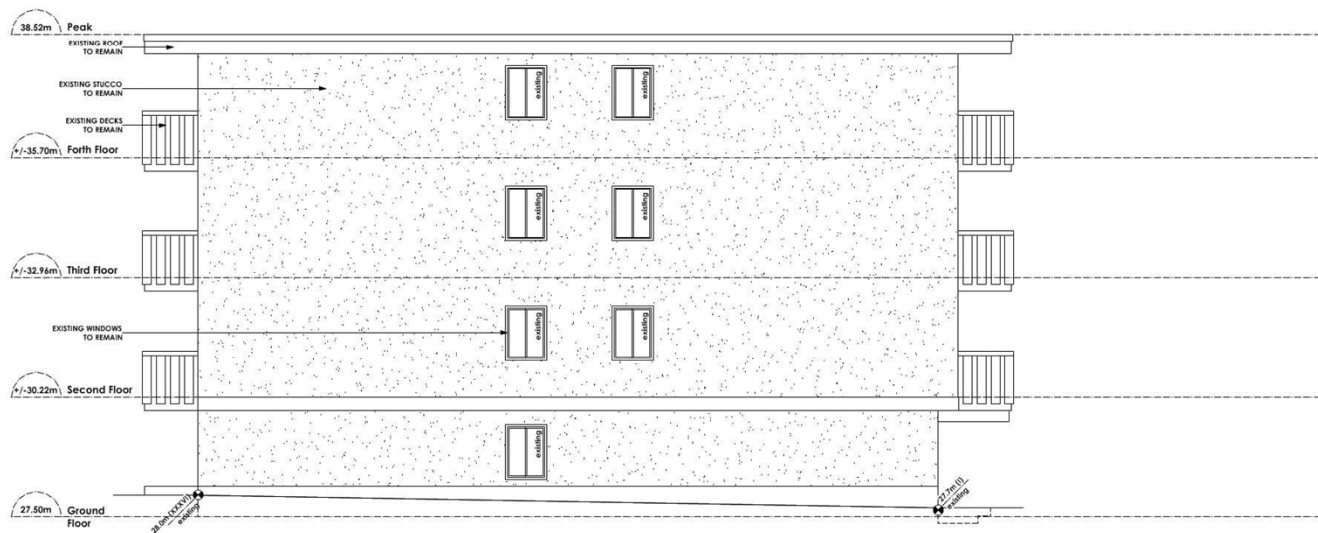
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1
A3.3 Right Side (South) Elevation
Scale: 1/4" = 1'-0"

28.0m (XXXVI) + 27.7m (I) = 55.7 / 2 = 27.85
27.85 X 16.92 = 471.22

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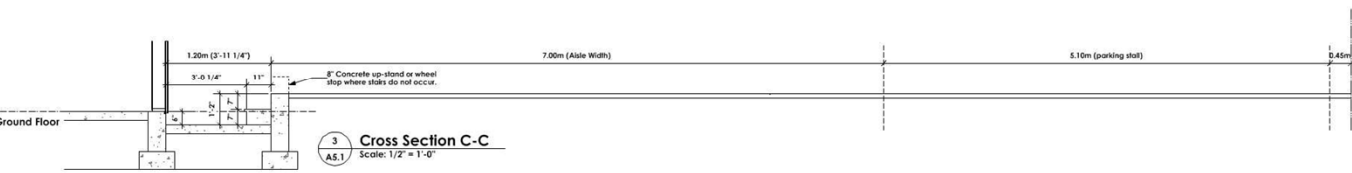
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A5

SECTIONS
(GROUND LEVEL
ENTRY TO NEW UNITS)

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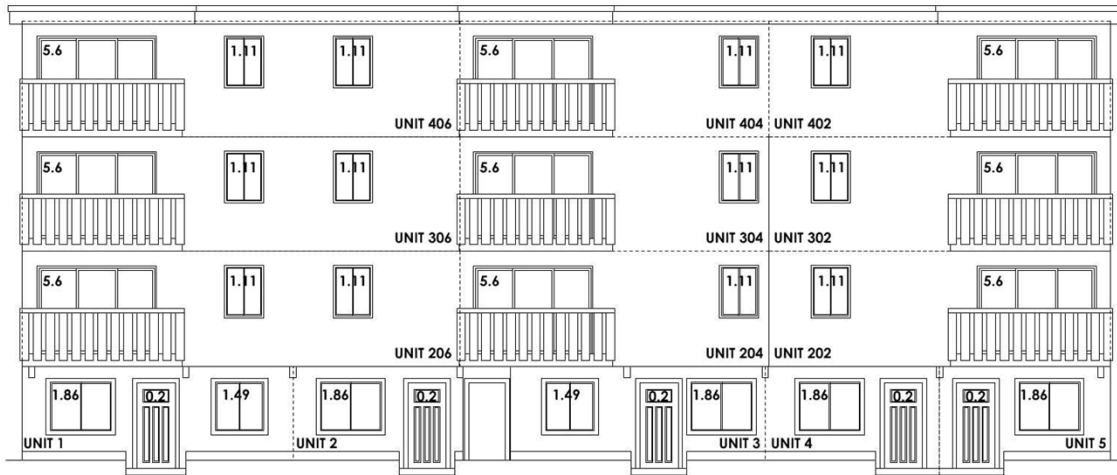
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East Side Spatial Separation Data Sheet



UNIT 406 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	28.55	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	28.55	sq. m.
Proposed Openings	7.82	sq. m.

UNIT 306 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	28.55	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	28.55	sq. m.
Proposed Openings	7.82	sq. m.

UNIT 206 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	28.55	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	28.55	sq. m.
Proposed Openings	7.82	sq. m.

UNIT 1 (Addition)		
Limiting Distance	13.33	m.
Exposed Building Face	14.82	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	14.82	sq. m.
Proposed Openings	3.55	sq. m.

UNIT 2 (Addition)		
Limiting Distance	13.53	m.
Exposed Building Face	9.46	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	9.46	sq. m.
Proposed Openings	2.06	sq. m.

UNIT 404 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	20.14	sq. m.
Proposed Openings	6.71	sq. m.

UNIT 304 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	20.14	sq. m.
Proposed Openings	6.71	sq. m.

UNIT 204 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	20.14	sq. m.
Proposed Openings	6.71	sq. m.

UNIT 3 (Addition)		
Limiting Distance	13.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	20.14	sq. m.
Proposed Openings	3.42	sq. m.

UNIT 402 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	22.25	sq. m.
Proposed Openings	6.71	sq. m.

UNIT 302 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	22.25	sq. m.
Proposed Openings	6.71	sq. m.

UNIT 202 (Existing)		
Limiting Distance	12.99	m.
Exposed Building Face	20.14	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	22.25	sq. m.
Proposed Openings	6.71	sq. m.

UNIT 4 (Addition)		
Limiting Distance	13.99	m.
Exposed Building Face	9.75	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	9.75	sq. m.
Proposed Openings	2.06	sq. m.

UNIT 5 (Addition)		
Limiting Distance	12.99	m.
Exposed Building Face	9.57	sq. m.
Allowable Openings	100%	%
Allowable Opening Area	9.57	sq. m.
Proposed Openings	2.06	sq. m.

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SPATIAL SEPARATION

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