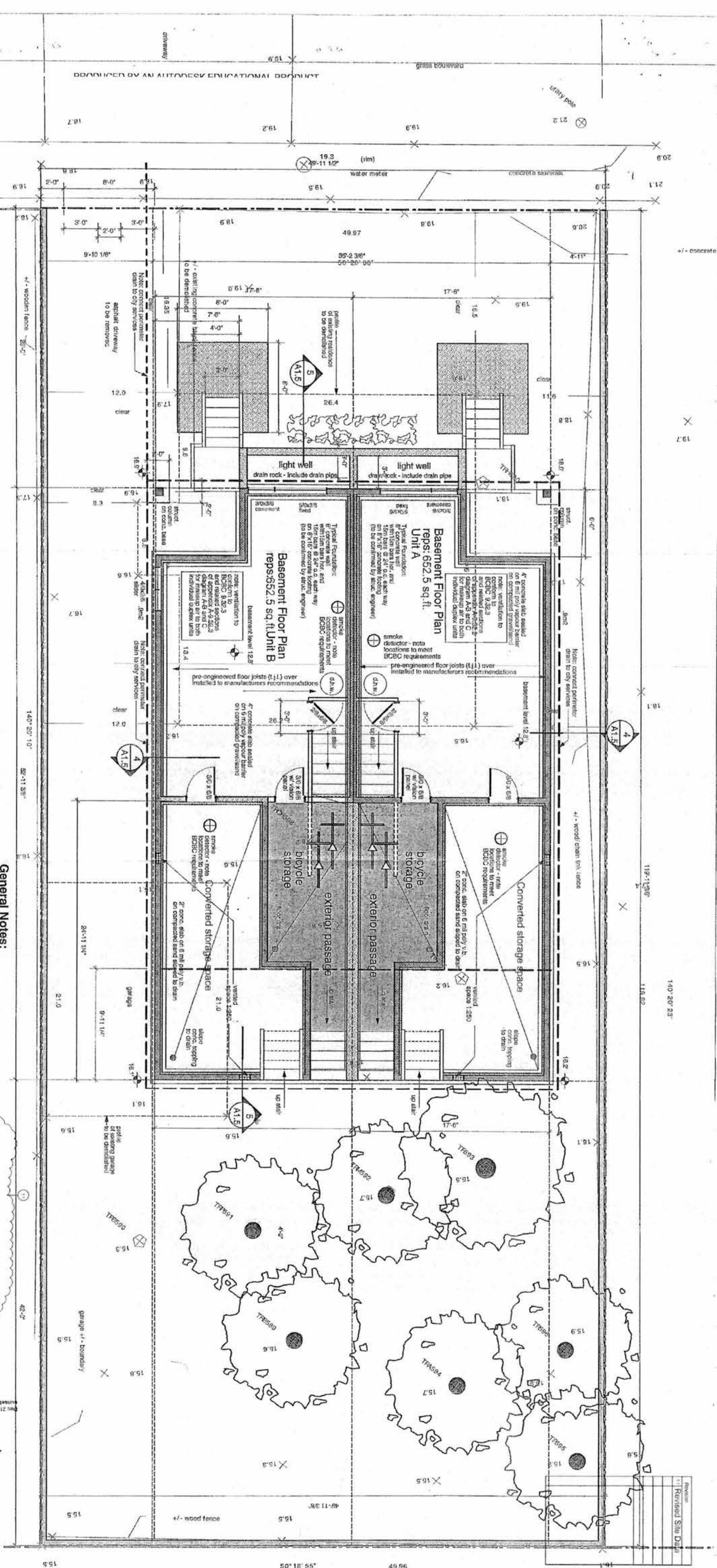




Revised	
Revised Site Data	

Legal Description:
Lot 18
Block F
Fairfield Farm Estate
Victoria City
Plan 340

Revised Aug. 15/14
Revised Oct. 21/14Minor Renovation
on Second Floor

Basement

General Notes:

1. Drawings and Specifications Consultant and are intended for Reproduction in part or in total is
2. The Contractor is responsible for regulations, by-laws, provisions, and over the project. It is the Contractor's responsibility to ensure that the contract is in accordance with the laws and regulations of the country.
3. Changes to the contract must be made in writing and signed by the Contractor and the Consultant.

4. The contractor is responsible to call for its inspection to meet requirements of the Contract as soon as they are prepared. Independent third parties hired by the Contractor shall be used for all inspections. All test results must be provided for review, comparison, finalization, and investigation and correction, application of waterproof membranes and all relevant sections of the specifications having authority over the project.
 5. The contractor will obtain and pay for all permits, licenses or certificates required for work including the Occupancy Permit, other than the Building Permit.
 6. The contractor shall submit to the Owner during construction and upon having jurisdiction
 7. The contractor shall ensure that during the Work, pollution and environmental protection measures are followed as requested by authorities.
 8. The contractor shall take due care of adjacent streets, sidewalks, lanes or alleys before delivering materials from the City and after relocation of materials and runways as required by the City.
 9. Samples shall be submitted for review and any needed testing. Samples to be tested shall be of the materials specified or the properly reviewed alternative; no deviation permitted after review of samples.
 10. The contractor shall keep one set of white prints of all contract drawings and all additions, revisions, clarifications, change orders and revised scope drawings, on site and shall comply, then as "Project Record Copy," and have them available at all times for review by the Consultant.
11. The contractor is responsible for selling out the building occupancy license on the day of completion of the project. The contractor shall provide the following information:
- a) All documents are submitted in writing and the signatures of developer thereof will be the responsibility of the contractor confirm the correctness.

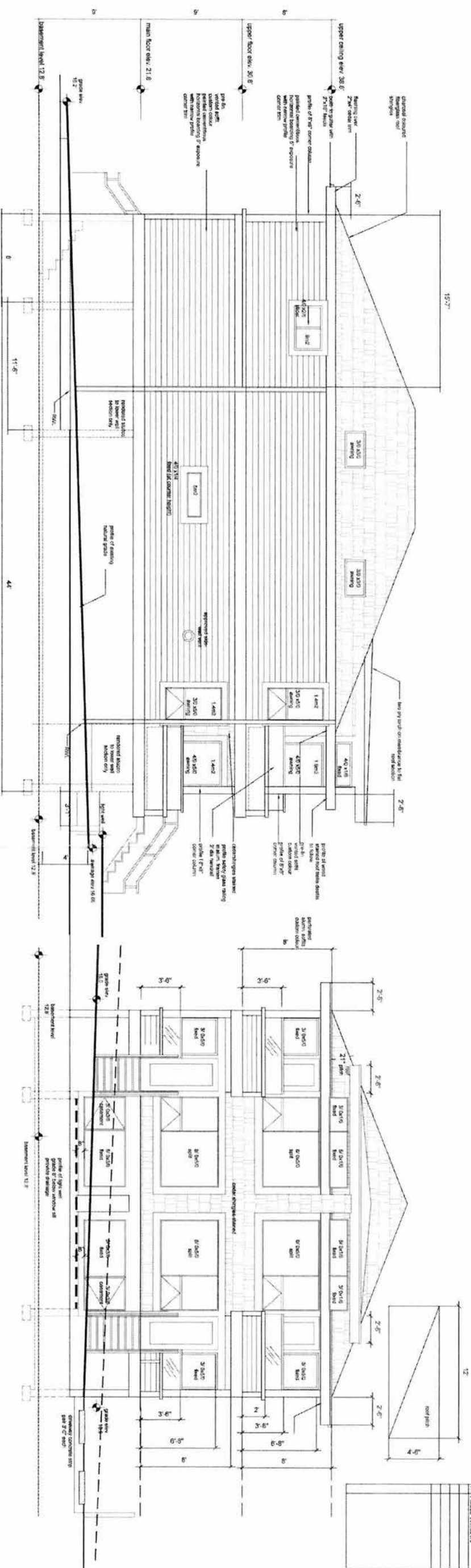
Site Date _____
Zoning R-2 Zone _____
Total Site Area: 15.23x33.55= 556.8m² (6,994 sq ft)
Height allowed represents: 7.6m (24.93')
Setbacks 25' front 42' rear
and 5' and 10' sidewalk setbacks

Upper floor area=128.02m2 (1378sq.ft.)

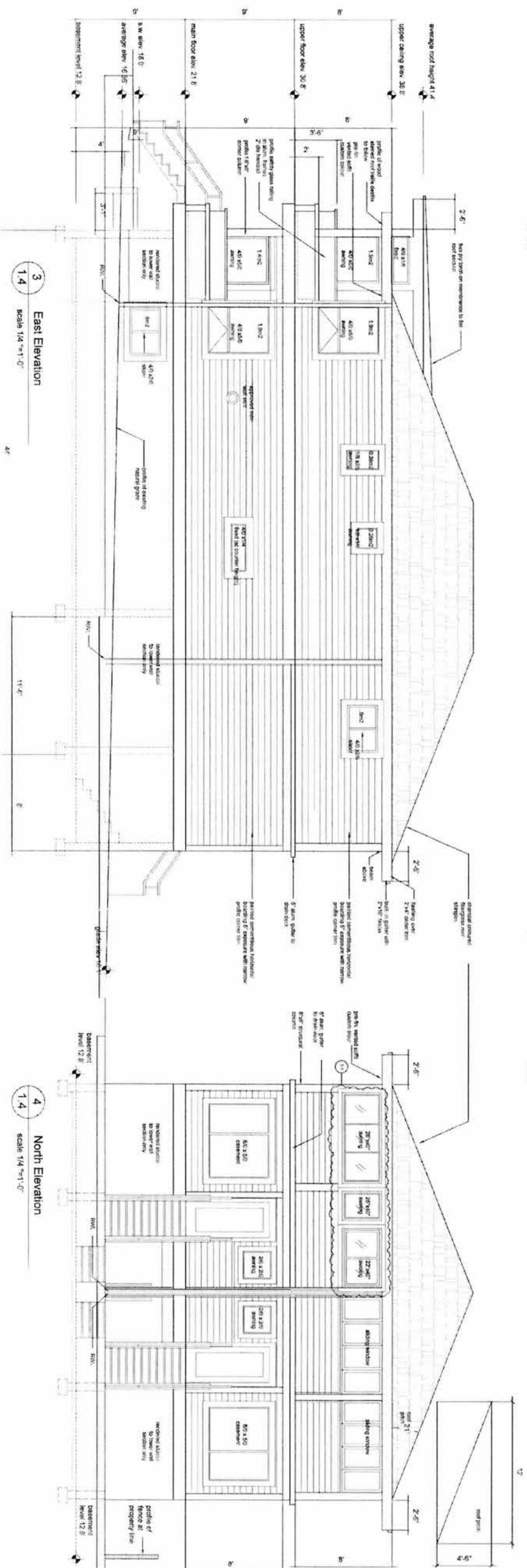
Note: 380m² (4090 sq ft.) allowed

Rear yard area reps. 2,195 sq ft
Open space reps. 37%

Revision
1 Added Windows



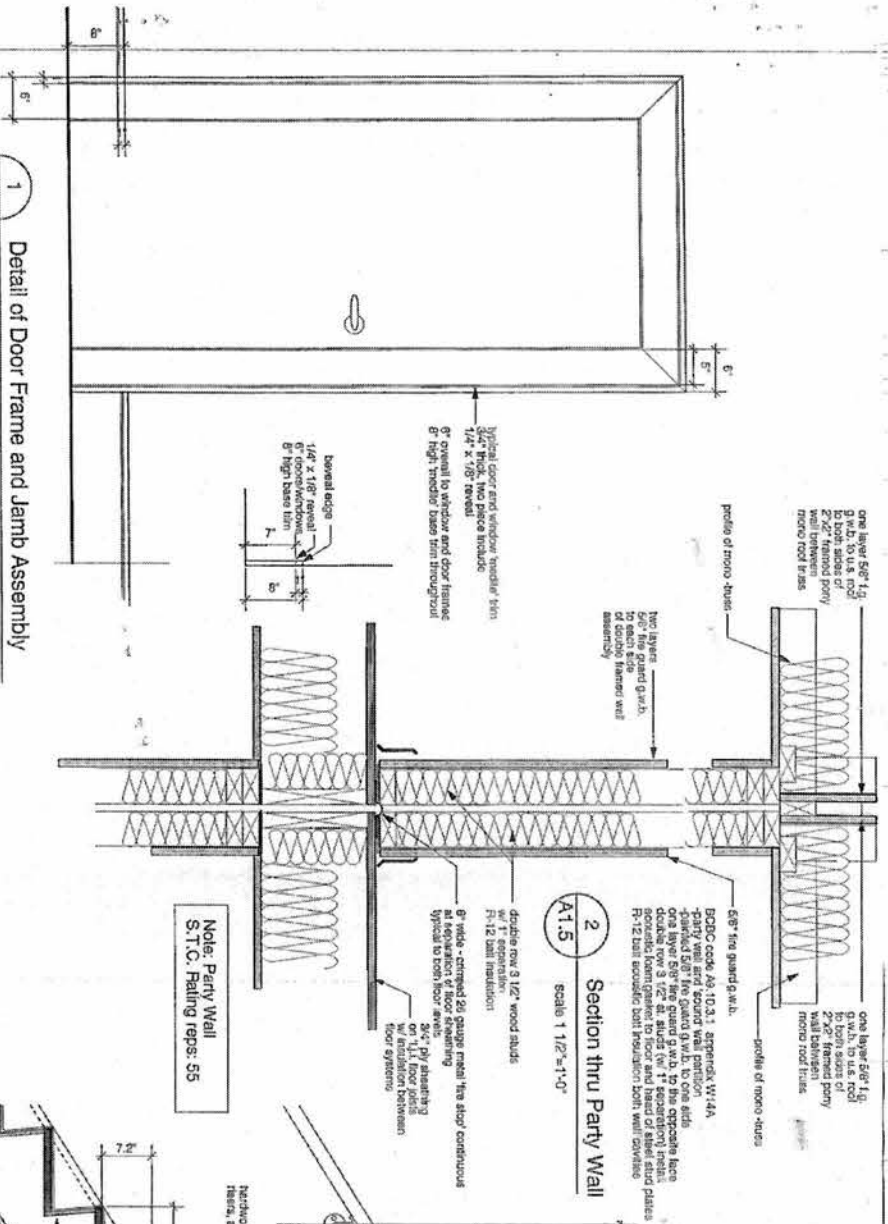
West Elevation
scale 1/4"=1'-0"



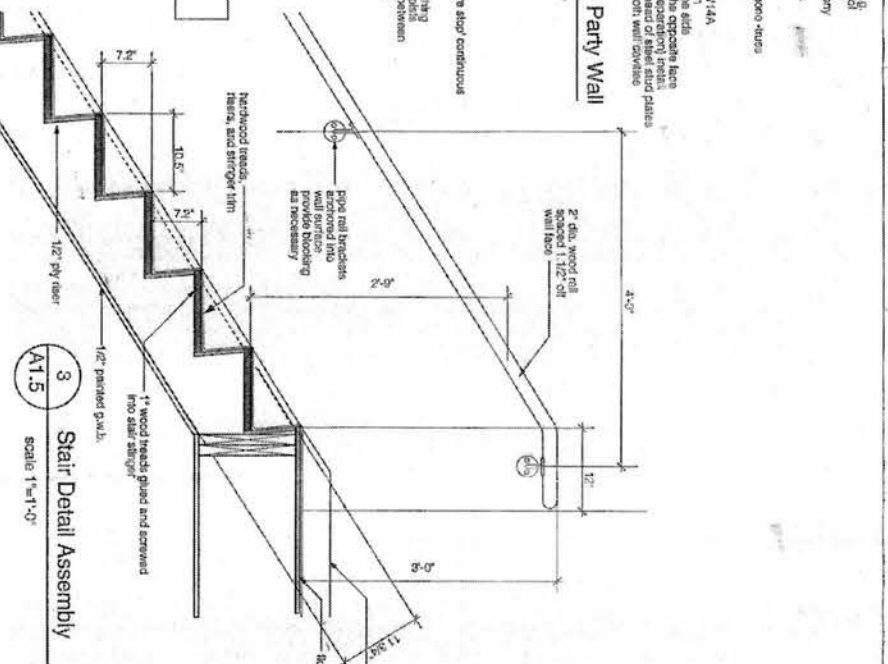
East Elevation
Scale 1/4" = 1'-0"

North Elevation
Scale 1/4"=1'-0"

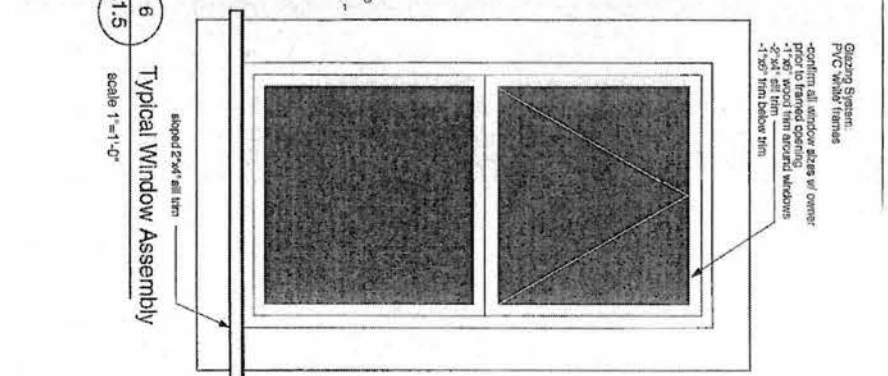
Legal Description Lot 18 Block F Fairfield Farm Estate Victoria City Plan 540	Revised Aug. 1974 Lot 18 Revised Oct. 21/74	Minor Removal on Second Floor Covered Deck (Duplex Residences) 1488 Daines Rd	Drawn By 10/2/74 10/2/74	Examined Evaluations Date 1/4/75 A14
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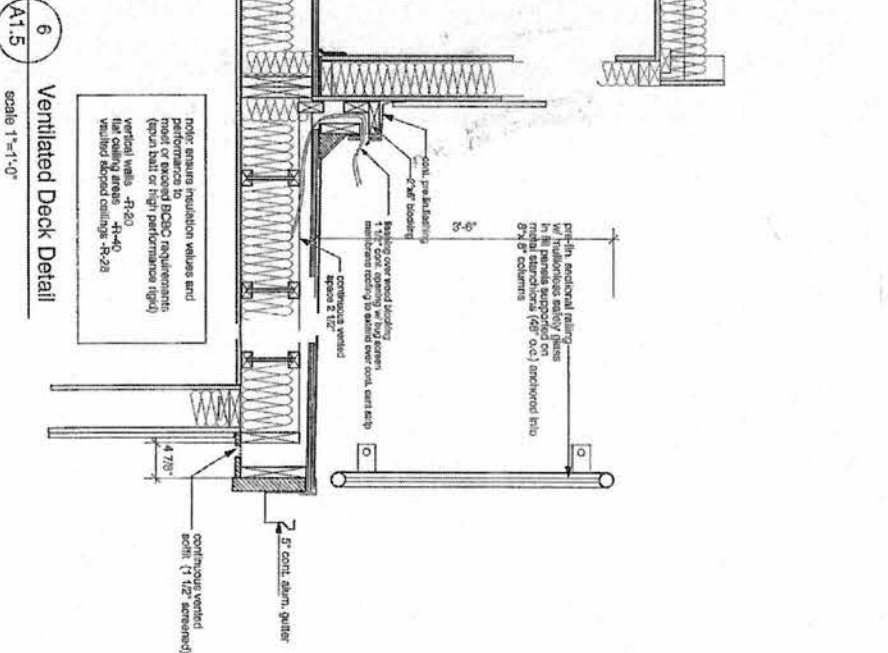
1 Detail of Door Frame and Jamb Assembly
A1.5
scale 1/4"=1'-0"



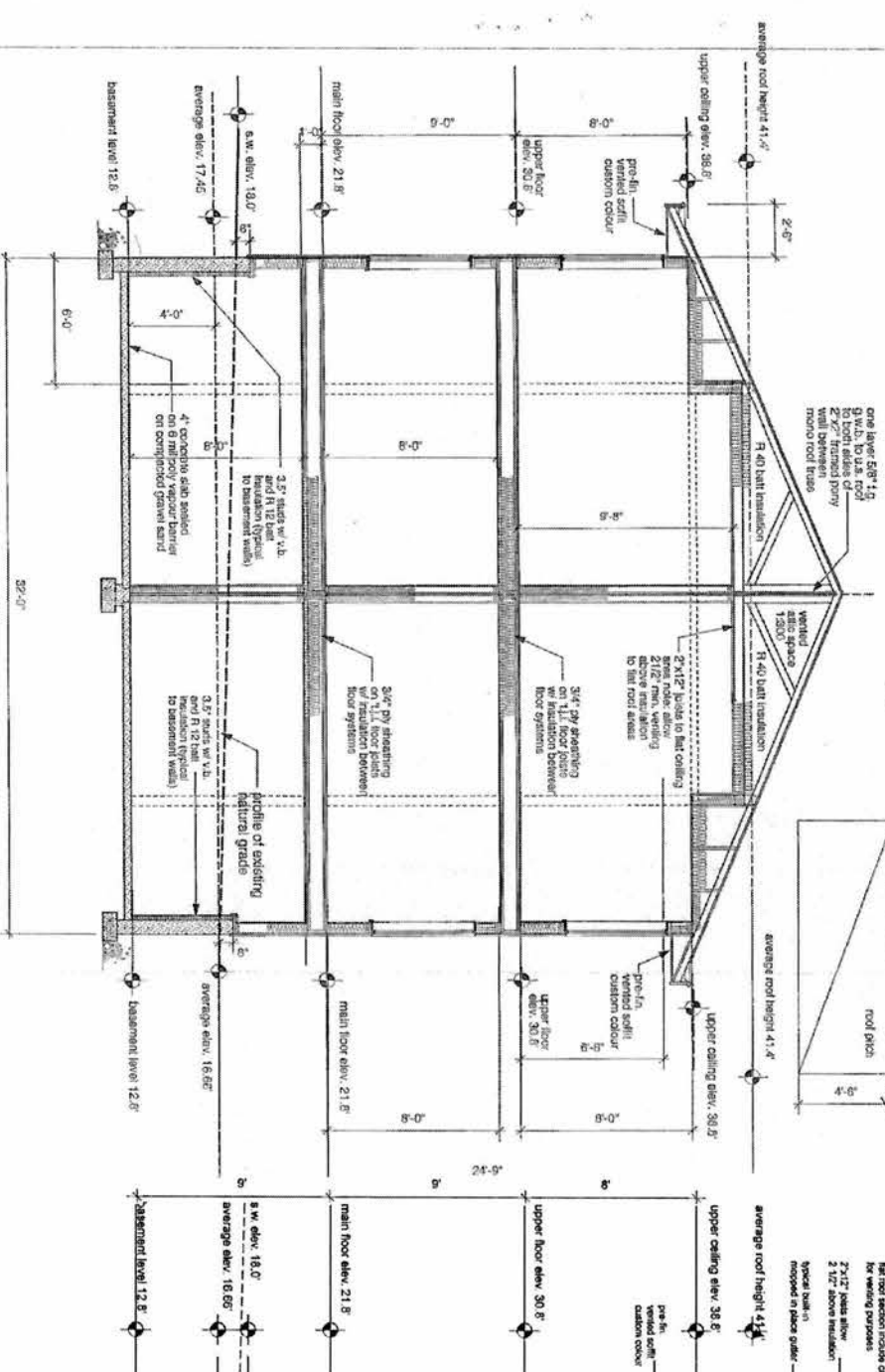
3 Stair Detail Assembly
A1.5
scale 1/4"=1'-0"



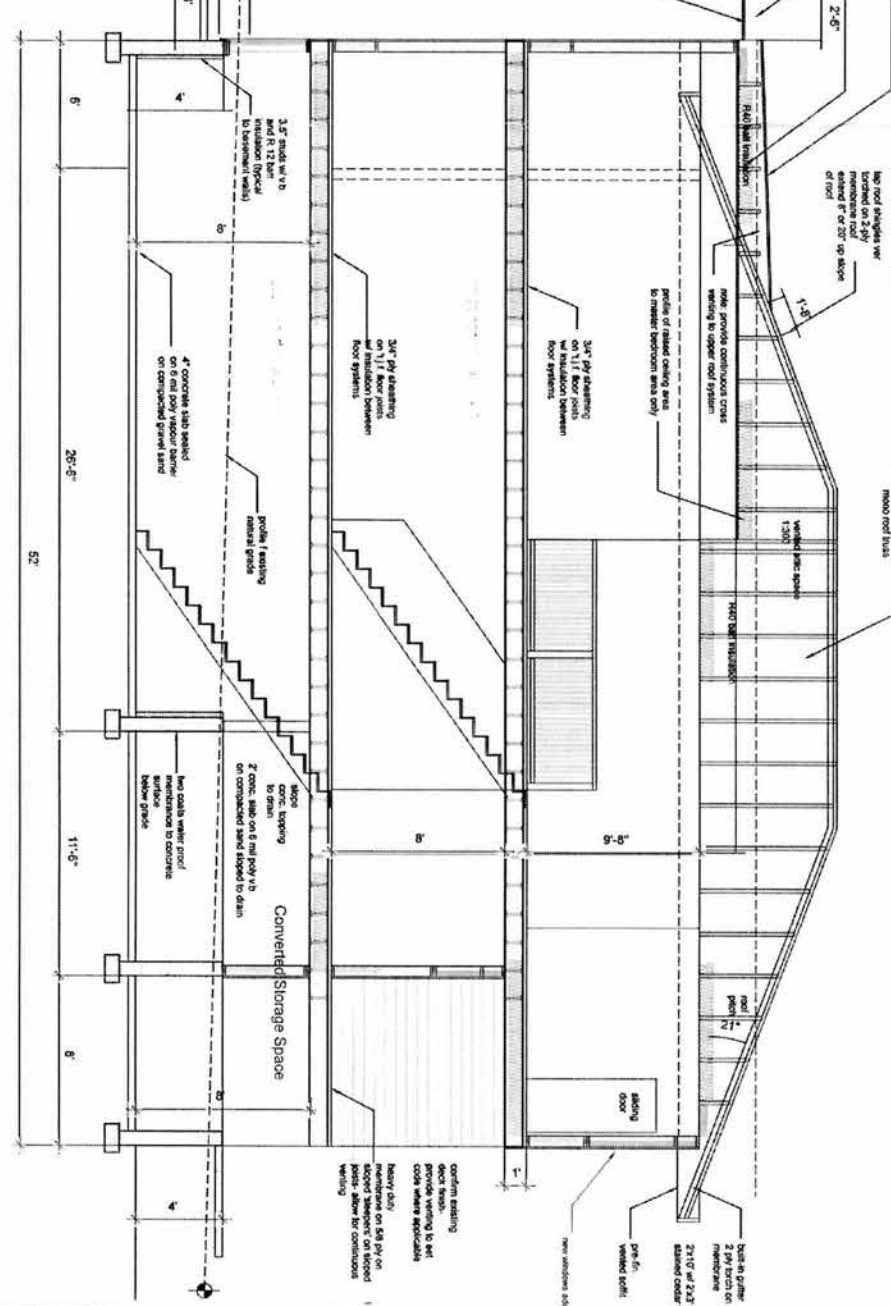
6 Typical Window Assembly
A1.5
scale 1/4"=1'-0"



6 Ventilated Deck Detail
A1.5
scale 1/4"=1'-0"



4 Cross Section
A1.5
scale 1/4"=1'-0"



5 Longitudinal Section
A1.5
scale 1/4"=1'-0"

Legal Description:
Lot 18
Block F
Fairfield Farm Estate
Victoria City
Plan 340

Revised Aug 15/14
Revised Oct 21/14

Minor Renovation
on Second Floor
Covered Deck
(Duplex
Residences)
1486 Dallas Rd

Cross and Long
Sections
Scale
1/4"=1'-0"
Sheet No.
A1.5