

805 Gordon Street

Heritage Alteration Permit





PROJECT INFORMATION:

The following project information is as per existing.

ZONING -	CA-3C
SITE AREA (m ²) -	2640
BUILDING AREA (m ²) -	1410
TOTAL FLOOR AREA (m ²) -	4370
FLOOR SPACE RATIO -	3.01
SITE COVERAGE % -	53.4
OPEN SITE SPACE % -	46.6
HEIGHT OF BUILDING (m) -	
NUMBER OF STOREYS -	4
ON SITE PARKING STALLS (number) -	26
BICYCLE PARKING (number) -	12

BUILDING SETBACK (m):

FRONT YARD	0.00m
REAR YARD	2.50m
SIDE YARD (NORTH) -	7.57m
SIDE YARD (SOUTH) -	0.00m

GENERAL NOTES:

1. All work to be done in accordance to 2012 BCBC and local bylaws, latest edition.
2. Any wood or plywood in new construction in contact with concrete or brick to be pressure treated.
3. Re-instate hard and soft landscaped areas per existing after scaffolding and other work completed.
4. Protect all new and existing finished areas from work in progress. Clean all surfaces.
5. All exterior doors are exits and are to remain operational at all times. Protect and maintain exterior exit routes from new work with rigid boarding.
6. Do not scale drawings. Report any discrepancies to Consultant prior to proceeding with work.

ABBREVIATIONS:

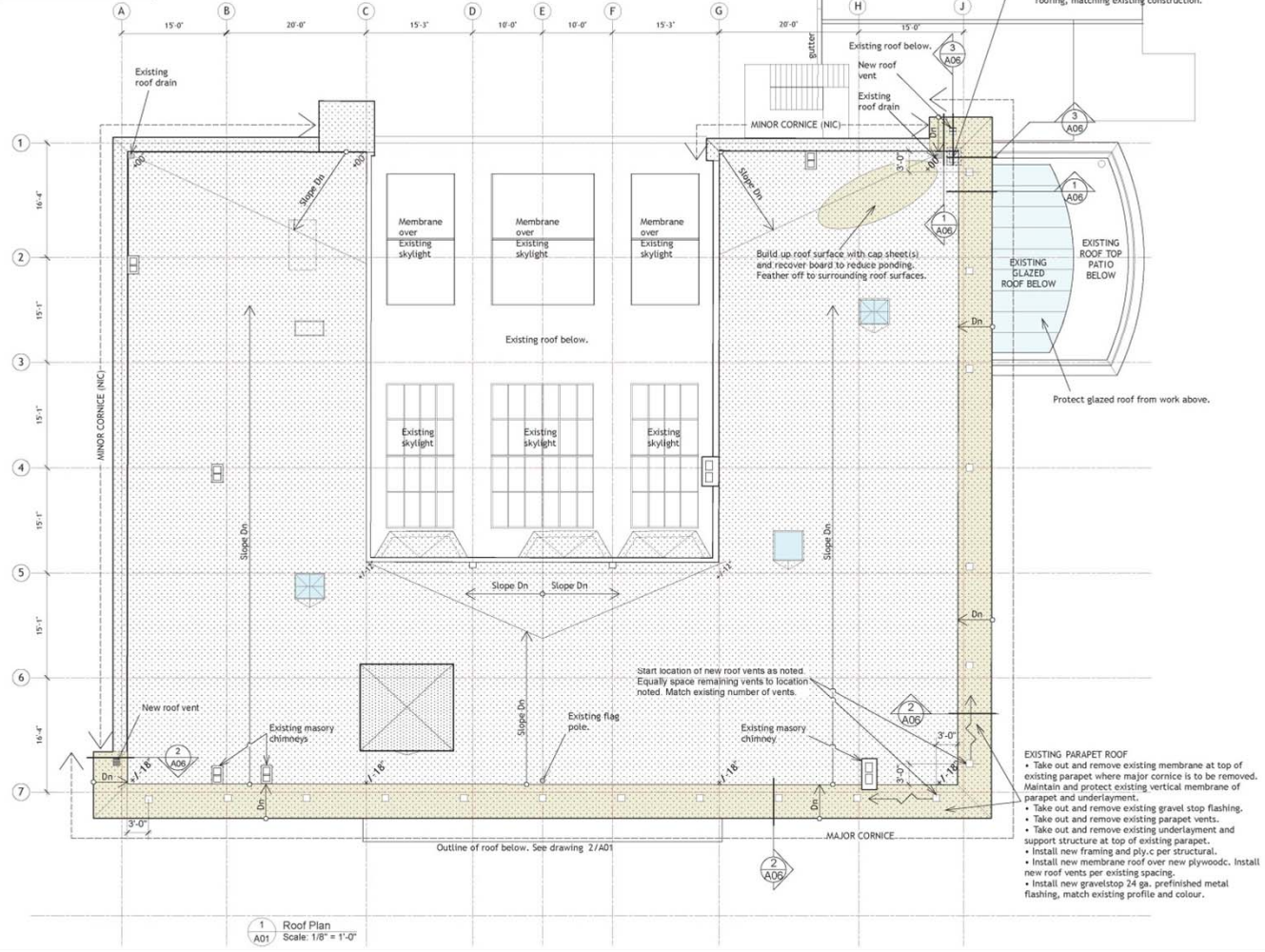
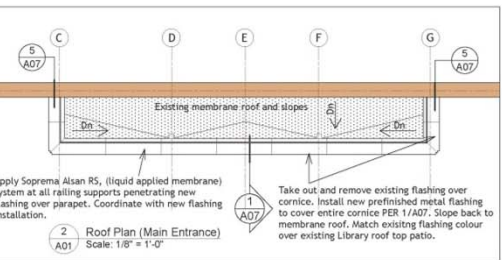
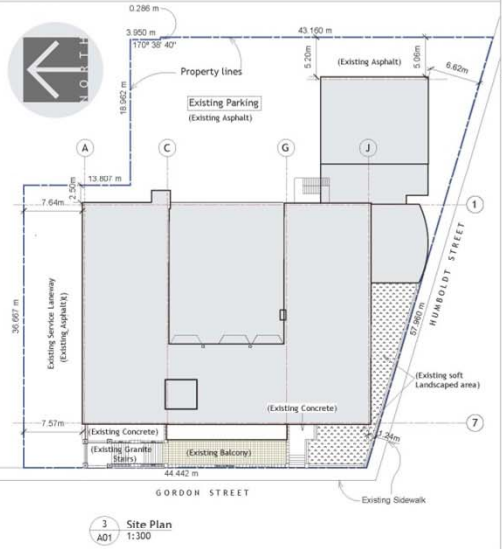
APE	= Aliphatic Polyurethane Emulsion
B.O.	= by others
B/S	= both sides
CB.	= concrete block
conc.	= concrete
D.S.	= downspout
F.D.	= floor drain
F.G.	= fiberglass
(e)	= existing
ga.	= gauge
G.B.	= gypsum board
met.	= metal
N.I.C.	= not in contract
O.H.	= over head
p	= paint/strain
Ply	= plywood
R.W.L.	= rain water leader
S.A.M.	= self adhered membrane
s.s.	= stainless steel
st.	= steel
TC	= terra cotta
u.n.o.	= unless noted otherwise
U/S	= underside

EXISTING PARKING LOT BELOW:
Location of construction services area, maximum 3 parking stalls. No Contractor parking on site.

SURVEY INFORMATION FROM:
J.E. Anderson & Associates
4212 Glenford Avenue,
Victoria, BC V8Z 7T2 2114

Dated: September 13, 2001
Account # 21249

LEGAL DESCRIPTION:
LOT A OF LOTS 346, 347, 348, 366 AND 367
VICTORIA CITY, PLAN 17866
PARCEL IDENTIFIER:
003-971-201



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THE UNION CLUB
OF BRITISH COLUMBIA

Revisions:

Project:

UNION CLUB OF BRITISH COLUMBIA
~ BUILDING FACADE RESTORATION ~
805 Gordon Street, Victoria, BC V8W 1Z6

Title:

SITE PLAN &
ROOF PLAN

Date: November 6, 2014
Scale: As noted
Issue: For Tender

Sheet Number:

A-01

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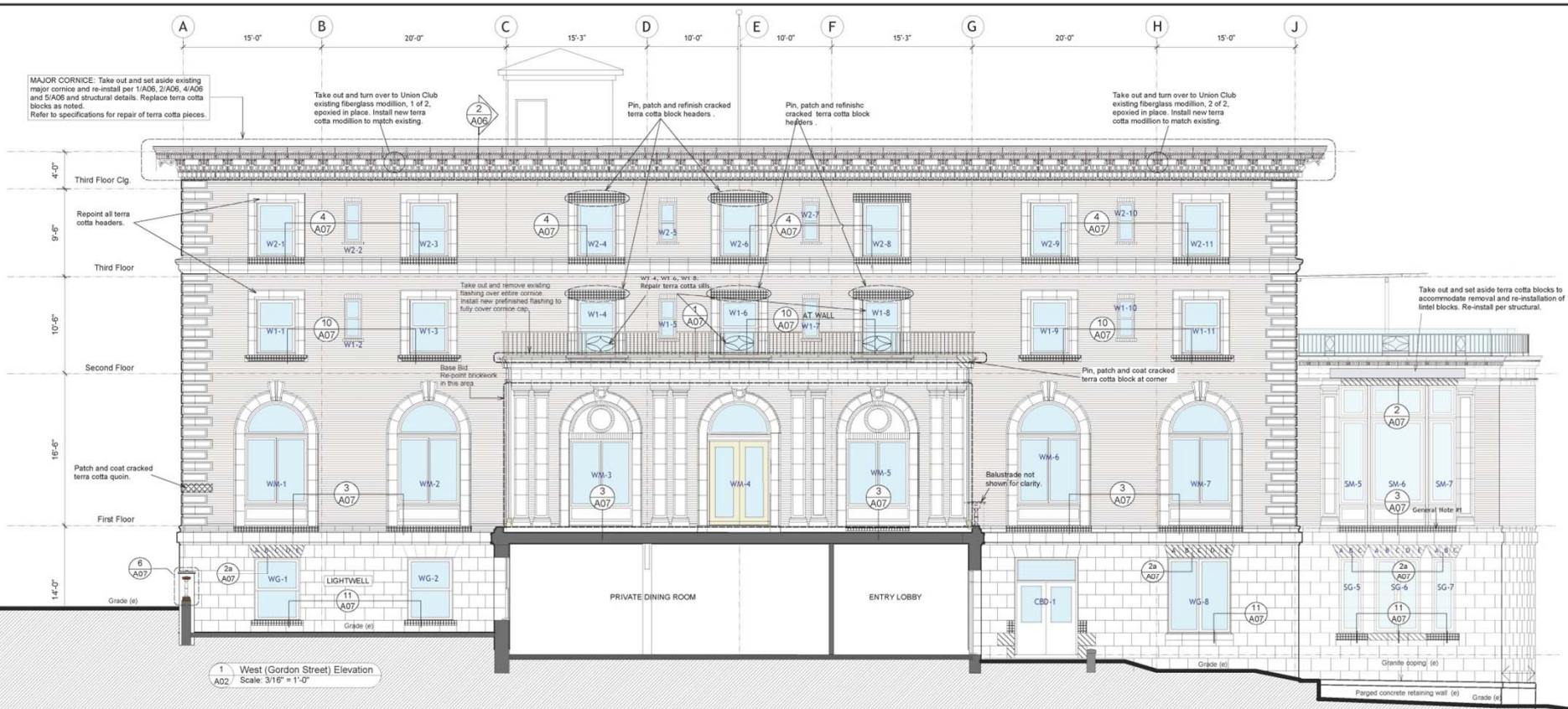
MAJOR CORNICE. Take out and set aside existing
major cornice and re-install per 1/A06, 2/A06, 4/A06
and 5/A06 and structural details. Replace terra cotta
blocks as noted. Refer to specifications for repair of terra cotta pieces.

Take out and turn over to Union Club
existing fiberglass modillon, 1 of 2,
epoxied in place. Install new terra
cotta modillon to match existing.

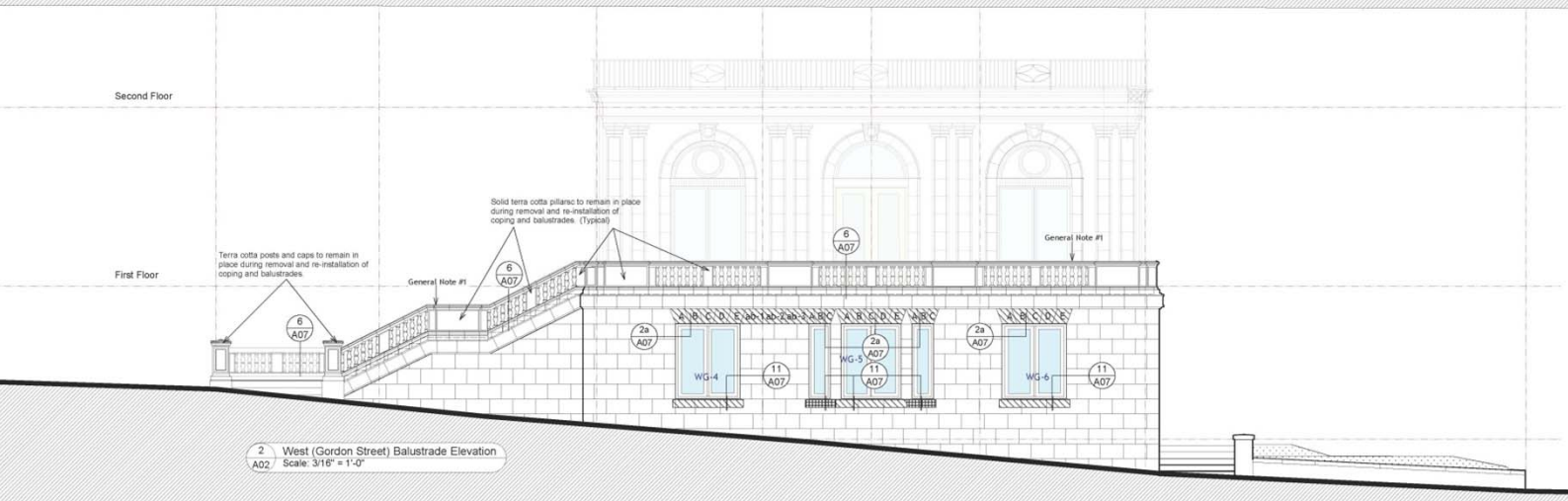
Pin, patch and refinish cracked
terra cotta block headers.

Pin, patch and refinish
cracked terra cotta block
headers.

Take out and turn over to Union Club
existing fiberglass modillon, 2 of 2,
epoxied in place. Install new terra
cotta modillon to match existing.



1 West (Gordon Street) Elevation
Scale: 3/16" = 1'-0"



2 West (Gordon Street) Balustrade Elevation
Scale: 3/16" = 1'-0"

LEGEND:

- Take out and remove existing terra cotta blocks. Install new terra cotta blocks.
- Repair existing terra cotta blocks. Remove and re-install as required.
- Existing brick, selective repointing. See cash allowance.
- Terra Cotta. Take out and remove mortar at all terra cotta joints and re-point per specifications.

GENERAL NOTE #1:
Apply glaze replacement coating on terra cotta window sills,
balustrade copings and respective mortar joints per
specifications. Coating on window sills to extend to full width of
terra cotta jambs.

UNION CLUB OF BRITISH COLUMBIA
~ BUILDING FACADE RESTORATION ~
805 Gordon Street, Victoria, BC V8W 1Z6

Title:
Humboldt St.
Elevation

Date: November 6, 2014
Scale: As noted
Issue: For Tender

Sheet Number:

A-03

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LEGEND:

-  Take out and remove existing terra cotta blocks. Install new terra cotta blocks.
-  Repair existing terra cotta blocks. Remove and re-install as required.
-  Existing brick, selective repointing. See cash allowance.
-  Terra Cotta. Take out and remove mortar at all terra cotta joints and repoint per specifications.

GENERAL NOTE #1:
Apply glaze replacement coating on terra cotta window sills, balustrade copings and respective mortar joints per specifications. Coating on window sills to extend to full width of terra cotta jambs.

