301 – 303 St. Lawrence Street

Rezoning Application #00436 and
Development Permit Application #000389

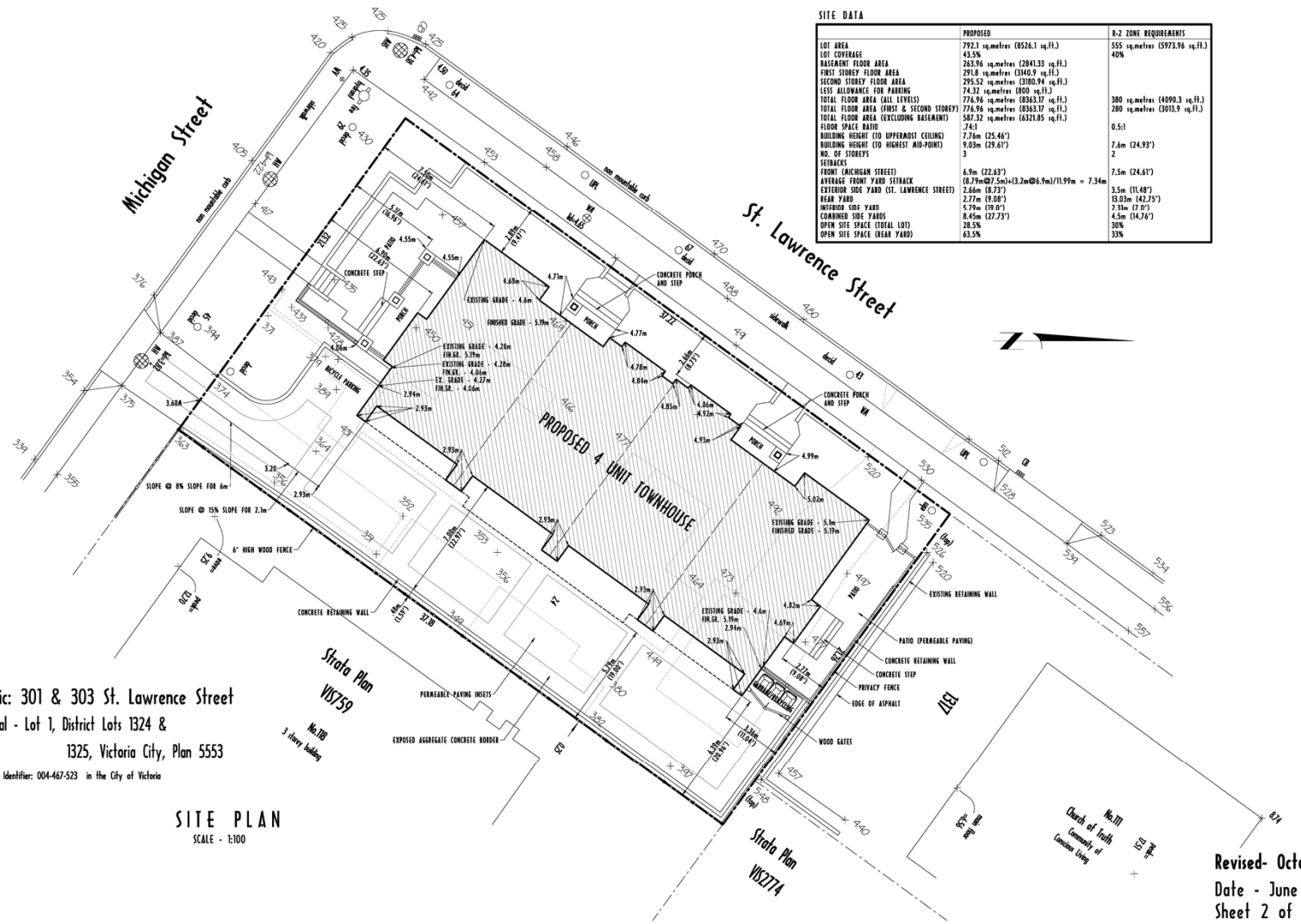
Subject Property (301 – 303 St. Lawrence St) – Duplex

Property to the north – adjacent church on St. Lawrence St.

Property to the east – adjacent existing townhouses

Properties to the south: single-family dwellings (Four Sisters)

Property to the west - Fisherman's Wharf Park



SITE DATA

	PROPOSED	R-2 ZONE REQUIREMENTS
LOT AREA	792.1 sq.metres (8526.1 sq.ft.)	555 sq.metres (5973.96 sq.ft.)
LOT COVERAGE	43.5%	40%
BASEMENT FLOOR AREA	263.96 sq.metres (2841.33 sq.ft.)	
FIRST STOREY FLOOR AREA	291.8 sq.metres (3140.9 sq.ft.)	
SECOND STOREY FLOOR AREA	295.52 sq.metres (3180.94 sq.ft.)	
LESS ALLOWANCE FOR PARKING	74.32 sq.metres (800 sq.ft.)	
TOTAL FLOOR AREA (ALL LEVELS)	776.96 sq.metres (8363.17 sq.ft.)	380 sq.metres (4090.3 sq.ft.)
TOTAL FLOOR AREA (FIRST & SECOND STOREY)	776.96 sq.metres (8363.17 sq.ft.)	280 sq.metres (3013.9 sq.ft.)
TOTAL FLOOR AREA (EXCLUDING BASEMENT)	587.32 sq.metres (6321.85 sq.ft.)	
FLOOR SPACE RATIO	.74:1	0.5:1
BUILDING HEIGHT (TO UPPERMOST CEILING)	7.76m (25.46')	
BUILDING HEIGHT (TO HIGHEST MID-POINT)	9.03m (29.61')	7.6m (24.93')
NO. OF STOREYS	3	2
SETBACKS		
FRONT (MICHIGAN STREET)	6.9m (22.63')	7.5m (24.61')
AVERAGE FRONT YARD SETBACK	(8.79m@7.5m)+(3.2m@6.9m)/11.99m = 7.34m	
EXTERIOR SIDE YARD (ST. LAWRENCE STREET)	2.66m (8.73')	3.5m (11.48')
REAR YARD	2.77m (9.08')	13.03m (42.75')
INTERIOR SIDE YARD	5.79m (19.0')	7.31m (7.0')
COMBINED SIDE YARDS	8.45m (27.73')	4.5m (14.76')
OPEN SITE SPACE (TOTAL LOT)	28.5%	30%
OPEN SITE SPACE (REAR YARD)	63.5%	33%

Civic: 301 & 303 St. Lawrence Street

Legal - Lot 1, District Lots 1324 &
1325, Victoria City, Plan 5553

Parcel Identifier: 004-467-523 in the City of Victoria

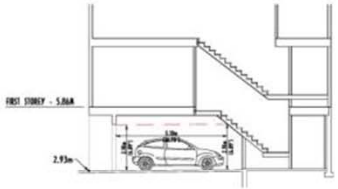
SITE PLAN
SCALE - 1:100

Revised- October 15, 2014
Date - June 30, 2014
Sheet 2 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

Gerry Troesch
Residential Design
3719 Ridge Pond Drive, Victoria BC V9C 4M8
Phone - 250-995-8402 Email - gtroesch@telus.net Website

ST LAWRENCE STREET (NORTH-WEST) ELEVATION
Scale - 1/4" = 1'-0"



SECTION THRU PARKING STALL UNDER STAIR
Scale - 1/8" = 1'-0"

SOUTH-EAST ELEVATION
Scale - 1/8" = 1'-0"

Revised- October 15, 2014
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Sheet 6 of 6

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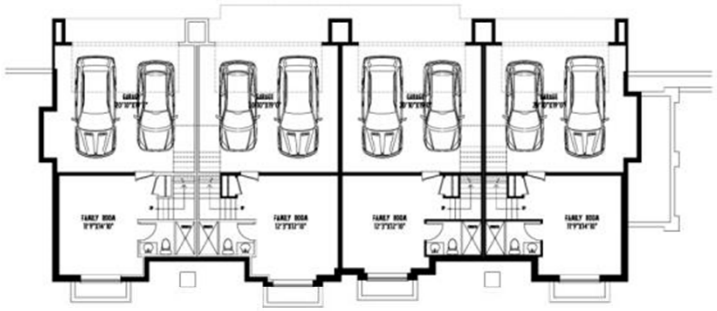
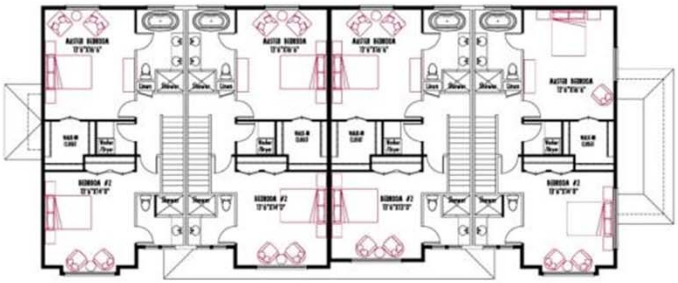


BASEMENT FLOOR PLAN

FLOOR AREA - 1191.4 sq.ft. (110.68 sq.metres)
GARAGES - 1649.9 sq.ft. (153.28 sq.metres)
Scale - 1/8" = 1'-0"

FIRST STOREY FLOOR PLAN

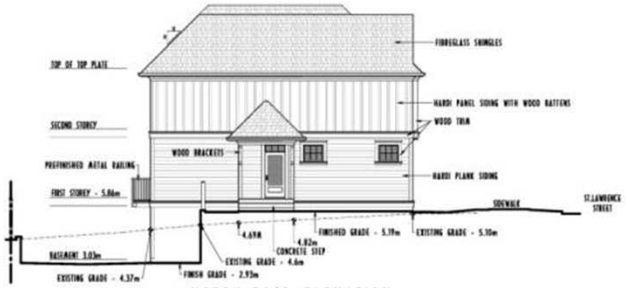
FLOOR AREA - 3140.9 sq.ft. (291.8 SQ.METRES)
Scale - 1/8" = 1'-0"



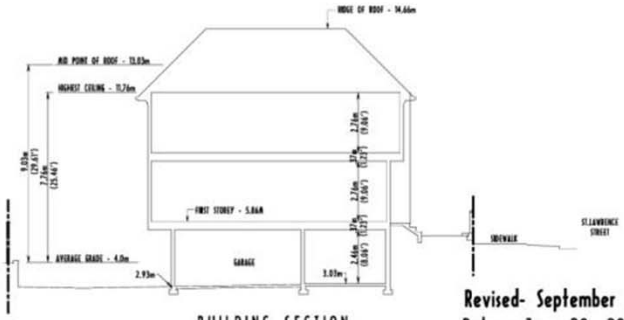
SECOND STOREY FLOOR PLAN

FLOOR AREA - 3180.94 sq.ft. (295.52 SQ.METRES)
Scale - 1/8" = 1'-0"

SOUTH-WEST ELEVATION
Scale - 1/8" = 1'-0"



NORTH-EAST ELEVATION
Scale - 1/8" = 1'-0"



BUILDING SECTION
Scale - 1/8" = 1'-0"

Revised- September 4, 2014
Date - June 30, 2014
Sheet 5 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

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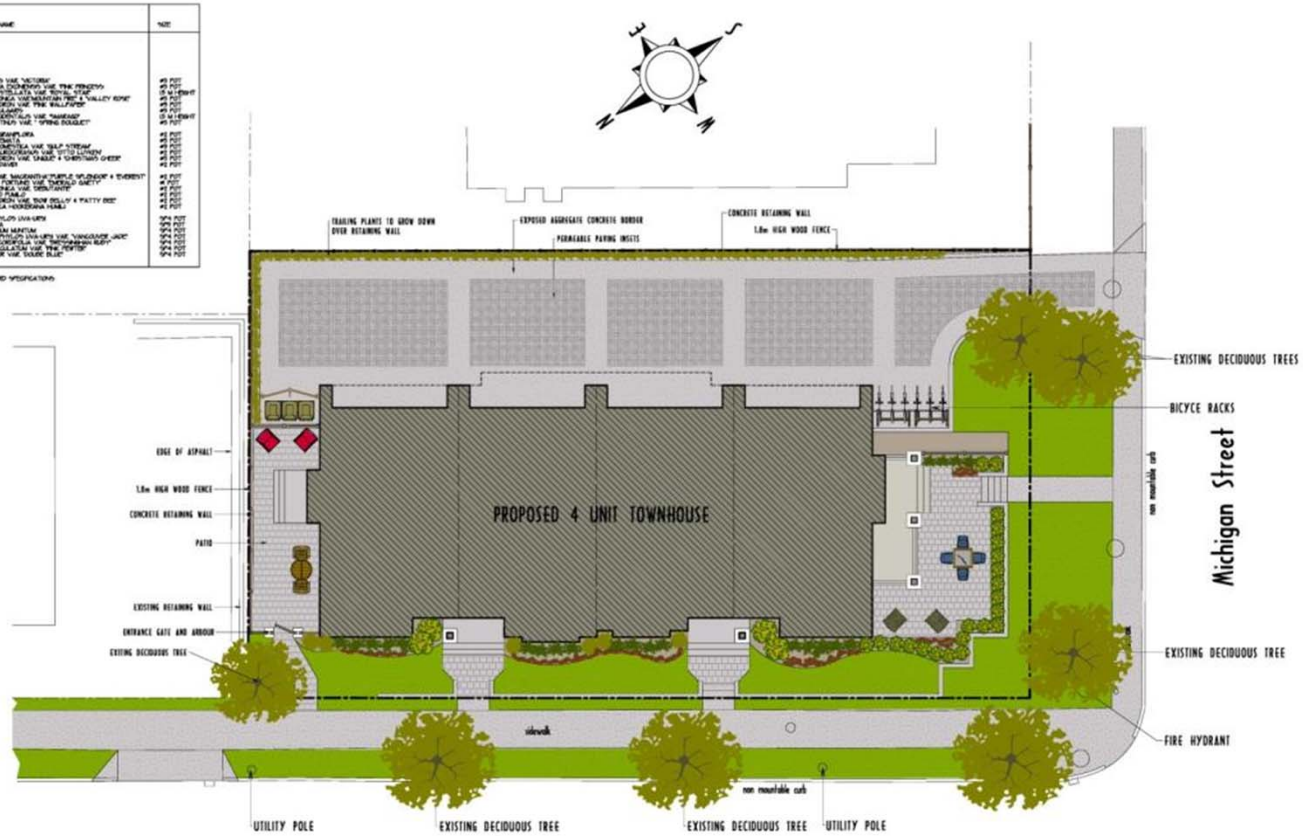
SUGGESTED PLANT LIST

	COMMON NAME	LATIN NAME	SIZE
EXISTING TREES			
LARGE SHRUBS	CALIFORNIA LILAC FLOWERING EUCALLONIA STAR MAGNOLIA LILY OF THE VALLEY SHRUB RHODODENDRON LILAC UPRIGHT CEDAR VIBURNUM	CEANOTHUS VAR. 'VICTORIA' EUCALLONIA CUNNINGH. VAR. 'PINK PENCIL' MAGNOLIA STELLATA VAR. 'ROYAL STAR' PIERIS JAPONICA VAR.'MOUNTAIN FIRE', 'LILY VALLEY ROSE' RHODODENDRON VAR. 'PINK BALLERINA' SYRINGA VULGARIS THUJA OCCIDENTALIS VAR. 'SMARAGD' VIBURNUM TINUS VAR. ' SPRING BOUQUET'	3.5 M POT 3 M POT 3 M HEIGHT 3 M POT 3.5 M POT 3 M HEIGHT #5 POT
MEDIUM SHRUBS	GLOSSY ABELIA MEXICAN ORANGE BLOSSOM HEAVENLY BAMBOO JUDD LUSITA LAUREL RHODODENDRON DAVID VIBURNUM	ABELIA X GRANDIFLORA< CHOISYA TERNATA NANDINA DOMESTICA VAR. 'GULF STREAM' PRUNUS LAUROCERASUS VAR. 'OTTO LUYKEN' RHODODENDRON VAR. 'CHALET + CHRISTMAS CHEER' VIBURNUM DAVIDII	#3 POT #3 POT #3 POT #3 POT #3 POT #3 POT
SMALL SHRUBS	EVERGREEN AZALEA GRECIAN SUNSHINE DWARF LILY OF THE VALLEY SHRUB DWARF MUGO PINE DWARF RHODODENDRON WINTERGEM	AZALEA VAR. 'MAGNIFICA'+'PURPLE SPLENDOR' + 'EVERGREEN' EUONYMUS FORTUNEI VAR. 'EMERALD GAIETY' PIERIS JAPONICA VAR. 'DORAFONTE' PINUS MUGO PUMILIO RHODODENDRON VAR. 'BLUE BELLEY + PATTY BEE' SARCOCOCCA HOOKERIANA VARIA	#2 POT #2 POT #2 POT #2 POT #2 POT #2 POT
GROUND COVERS FLOWERING PERENNIALS ANNUAL PLANTINGS	KINNIKKINNICK TOLIE WINTERGEM< DWARF GOOSE HEART-LEAF BERGENIA FALSE HOLLY PERIWINKLE	ARCTOSTAPHYLOS UVA-URSI BAILTHERA POLYSTICHUM MUNITUM ARCTOTHERIUM SYMPHYTUM VAR. 'VANCOUVER JADE' BERGENIA CORDIFOLIA VAR. 'BIDDERMANN RUBY' CAMELLIA JAPONICA VAR. 'PINK PERFECTION' VINCA MINOR VAR. 'DUKE BLUE'	#2 POT #2 POT #2 POT #2 POT #2 POT #2 POT #2 POT

NOTE: ALL LANDSCAPE WORK TO CONFORM WITH PGOLA AND BCNLA STANDARD SPECIFICATIONS.
ALL AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM



St. Lawrence Street

LANDSCAPE PLAN

SCALE - 1:100

Revised- October 15, 2014

Date - June 30, 2014
Sheet 3 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

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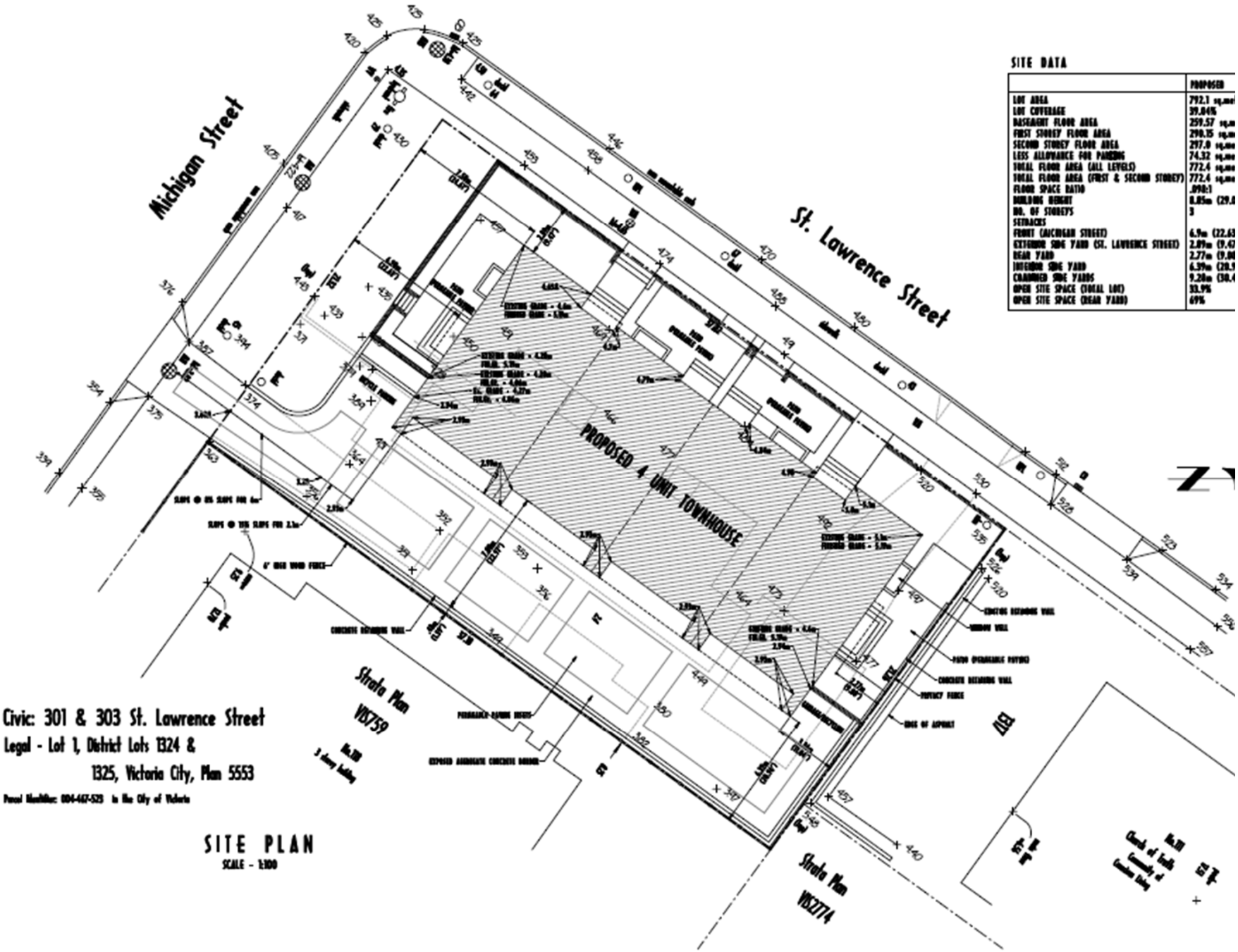
Fisherman's Wharf Park
ST LAWRENCE ST
SUPERIOR S
MICHIGAN ST
303
301
113
117
119
118
124



Civic: 301 & 303 St. Lawrence Street

Legal - Lot 1, District Lots 1324 & 1325, Victoria City, Plan 5553

Parcel Identifier: 004-467-523 in the City of Victoria

SITE PLAN

SCALE - 1:100

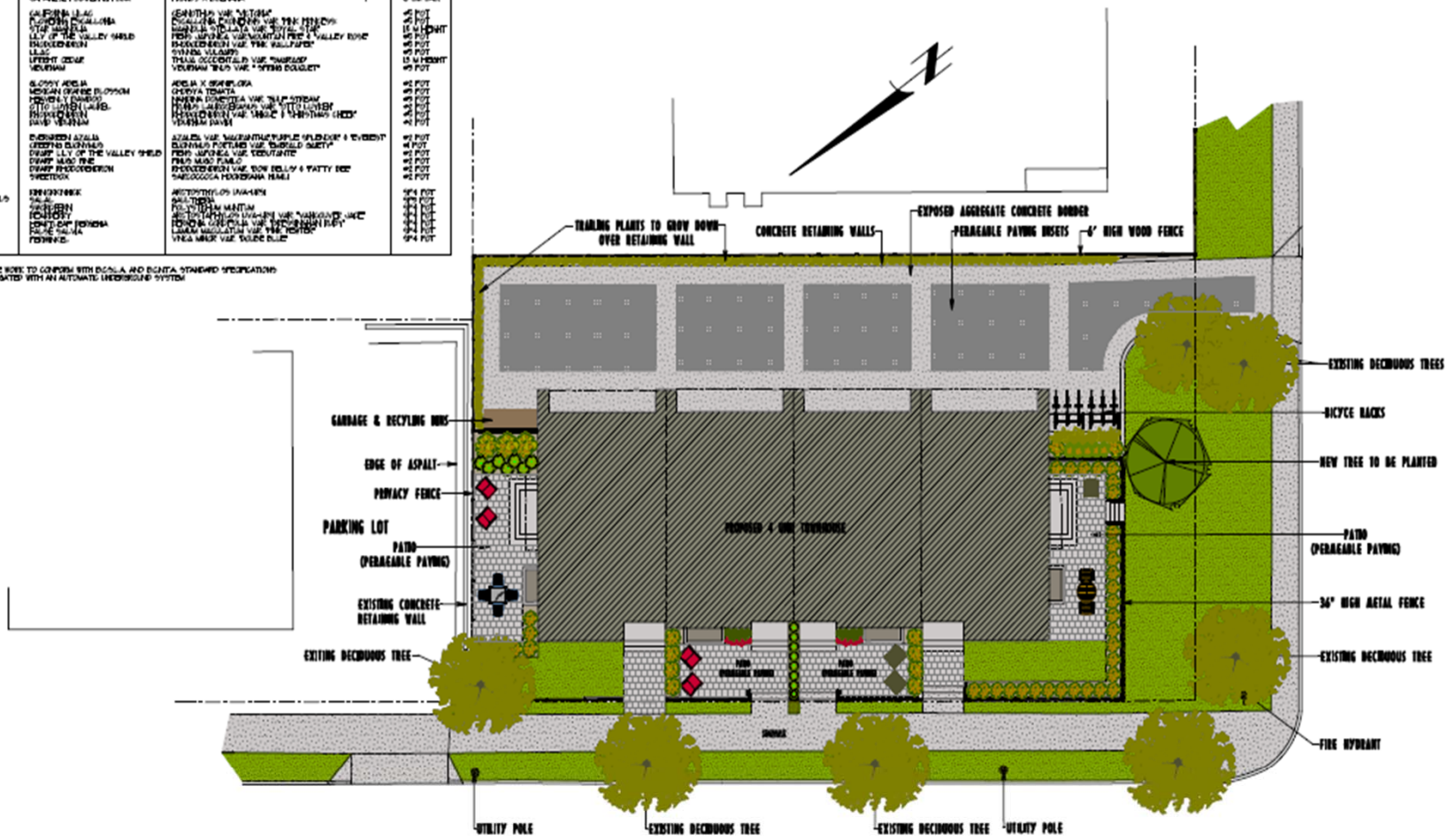
SITE DATA

	PROPOSED
LOT AREA	792.1 sq.me
LOT COVERAGE	39.04%
BASEMENT FLOOR AREA	259.57 sq.m
FIRST STOREY FLOOR AREA	290.15 sq.m
SECOND STOREY FLOOR AREA	297.0 sq.me
LESS ALLOWANCE FOR PARKING	74.32 sq.me
TOTAL FLOOR AREA (ALL LEVELS)	772.4 sq.me
TOTAL FLOOR AREA (FIRST & SECOND STOREY)	772.4 sq.me
FLOOR SPACE RATIO	.098:1
BUILDING HEIGHT	8.85m (29.0
NO. OF STOREYS	3
SETBACKS	
FRONT (MICHIGAN STREET)	6.9m (22.63
EXTERIOR SIDE YARD (ST. LAWRENCE STREET)	2.89m (9.47
REAR YARD	2.77m (9.0
INTERIOR SIDE YARD	6.39m (20.9
COMBINED SIDE YARDS	9.28m (30.4
OPEN SITE SPACE (TOTAL LOT)	33.9%
OPEN SITE SPACE (REAR YARD)	69%

SUGGESTED PLANT LIST

	COMMON NAME	LATIN NAME	SIZE
ENTIN TREES	AS NOTED		
TREES	JAPANESE MAPLE	ACER PALMATUM VAR. 'BLOODGOOD'	60M CAL.
	HORNBEAM	CARPINUS BETULUS VAR. 'FASTIGIATA'	60M CAL.
	NORWAY SPRUCE	PICEA OMORIKA	3.5M HEIGHT
	COLUMNAR CHERRY	PRUNUS X 'AMANOGAWA'	6 CM CAL.
	JAPANESE FLOWERING PLUM	PRUNUS X BLIRIANA	6 CM CAL.
LARGE SHRUBS	CALIFORNIA LILAC	CEANOTHUS VAR. 'GLOIRE'	#5 POT
	FLOWERING PEA-WILLOW	PICKLEBUSH VARIEGATA VAR. PINK WILLOW	#5 POT
	STAR MAGNOLIA	MAGNOLIA STELLATA VAR. 'ROSY STAR'	1.5 M HEIGHT
	LILY OF THE VALLEY SHRUB	PIERIS JAPONICA VARIEGATA VAR. LILY OF THE VALLEY ROSE	#5 POT
	RHODODENDRON	RHODODENDRON VAR. 'PINK WALLFLOWER'	#5 POT
	LILAC	SYRINGA VULGARIS	#5 POT
	UPRIGHT CEDAR	THUJA OCCIDENTALIS VAR. 'SMARAGD'	1.5 M HEIGHT
	VIBURNUM	VIBURNUM TRUS VAR. 'SPRING BOUQUET'	#5 POT
MEDIUM SHRUBS	GLOSSY ABELIA	ABELIA X GRANDIFLORA	#2 POT
	MEXICAN ORANGE BLOSSOM	CHOSYA TERNATA	#2 POT
	HEAVENLY BAMBOO	NANDINA DOMESTICA VAR. 'FIRE POWER'	#2 POT
	CITRUS LEMON LAUREL	PRUNUS LAUROCERASUS VAR. 'OTTO LUYKEN'	#2 POT
	RHODODENDRON	RHODODENDRON VAR. 'MARGE' & 'CHRISTMAS CHEER'	#2 POT
	DWARF VIBURNUM	VIBURNUM DAVIDII	#2 POT
SMALL SHRUBS	EVERGREEN AZALEA	AZALEA VAR. 'MACRANTHA' 'PURPLE SPLENDOR' & 'EVEREST'	#2 POT
	GROUND DOGWOOD	BUCKWUD PORTUND VAR. 'KELSEYI' 'SUNTY'	#1 POT
	DWARF LILY OF THE VALLEY SHRUB	PIERIS JAPONICA VAR. 'COMPACTA'	#2 POT
	DWARF MUGO PINE	PINUS MUGO PUMILIO	#2 POT
	DWARF RHODODENDRON	RHODODENDRON VAR. 'BOW BELLS' & 'FATTY BEE'	#2 POT
	SWEETBOX	SARCOCOCCA HOOKERIANA HUMILIS	#2 POT
GROUND COVERS FLOWERING PERENNIALS ANNUAL PLANTERS	BINNINGHOUSE	ARCTOSTAPHYLOS UVA-URSI	10CM POT
	SALAL	GAULTHERIA SHALLON	10CM POT
	KINNIKINNICK	ARCTOSTAPHYLOS UVA-URSI	10CM POT
	SEDUM	SEDUM SPP.	10CM POT
	PERIWINKLE	VINCA MINOR VAR. 'BOWLES'	10CM POT
	FOXGLOVE	DIGITALIS PURPUREA	10CM POT
	HONEY-BAR FERNONA	FERNONA VAR. 'HONEYBAR'	10CM POT
	PALME VALMA	LUNARIA MACULATA VAR. 'PINK'	10CM POT
	FERNINKS	VINCA MINOR VAR. 'BLUE BLUE'	10CM POT

NOTE: ALL LANDSCAPE WORK TO CONFORM WITH BCSLA AND BCNTA STANDARD SPECIFICATIONS
ALL AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM



LANDSCAPE PLAN
SCALE - 1:100

Date - January 20, 2014
Sheet 3 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

Gerry Troesch
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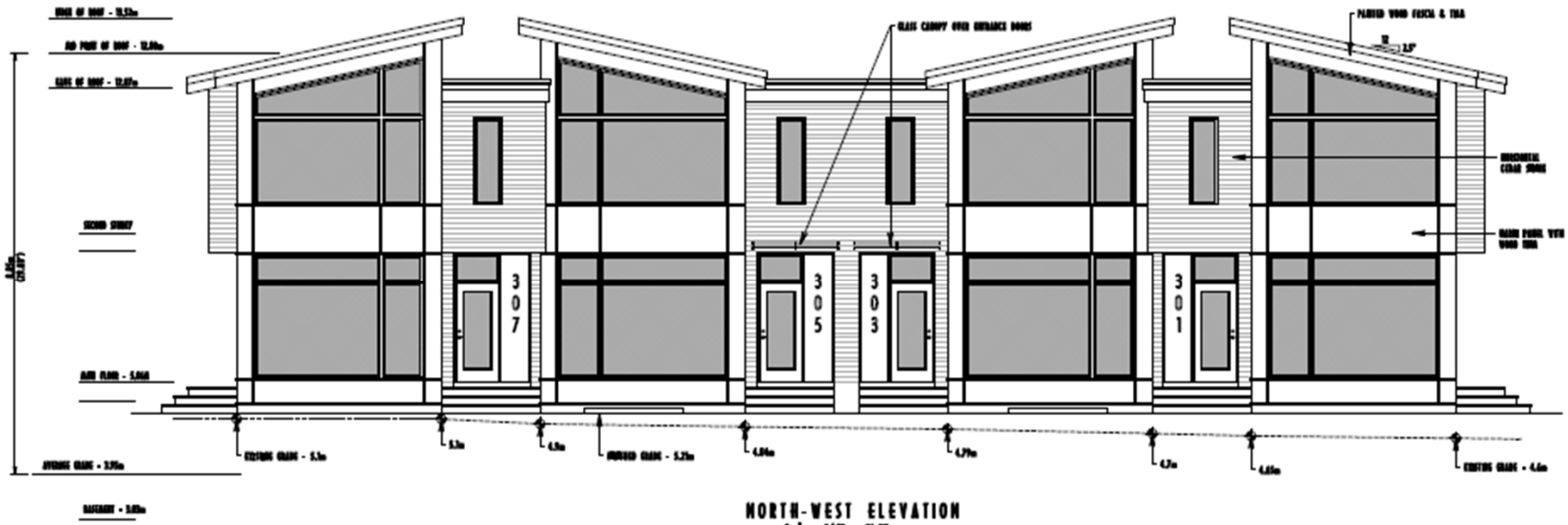

NORTH-WEST ELEVATION
Scale - 1/4" = 1'-0"

SOUTH-EAST ELEVATION
Scale - 1/8" = 1'-0"

Date - January 20, 2014
Sheet 6 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

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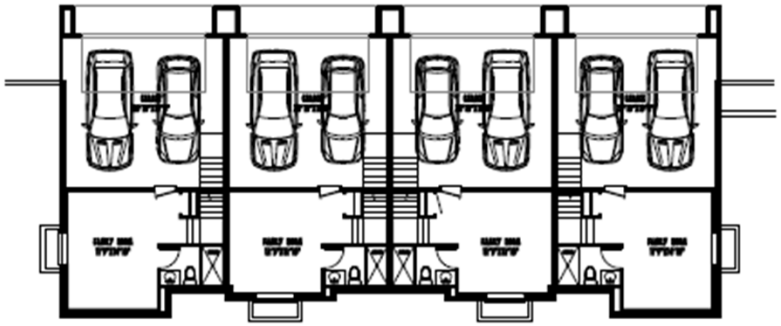
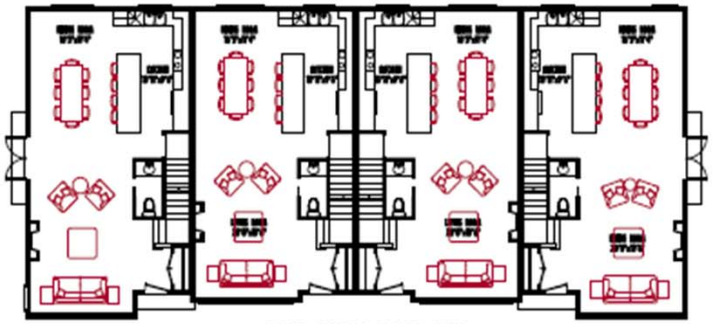
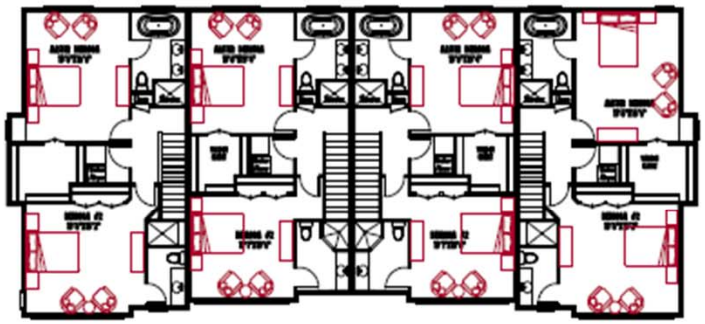


BASEMENT FLOOR PLAN

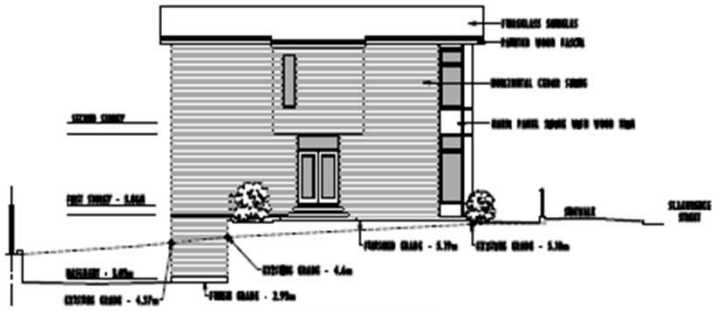


FIRST STOREY FLOOR PLAN

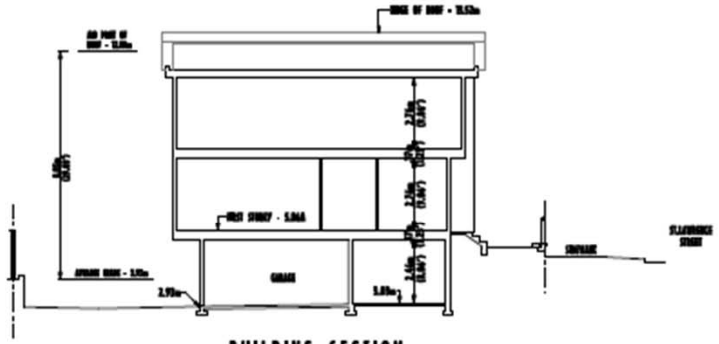


SECOND STOREY FLOOR PLAN

SOUTH-WEST ELEVATION
Scale - 1/4" = 1'-0"



NORTH-EAST ELEVATION
Scale - 1/8" = 1'-0"



BUILDING SECTION
Scale - 1/8" = 1'-0"

Date - January 20, 2014
Sheet 5 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

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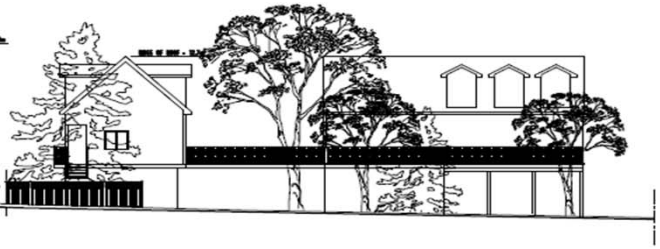
ST. LAWRENCE STREET ELEVATION

ST. LAWRENCE STREET ELEVATION
Scale - 1/8" = 1'-0"



MICHIGAN STREET ELEVATION
Scale - 1/8" = 1'-0"

Date - January 20, 2014
Sheet 4 of 6

ST. LAWRENCE STREET ELEVATION

MICHIGAN STREET ELEVATION
Scale - 1/8" = 1'-0"

Revised- Sept
Date - June
Sheet 4 of 6

Proposed 4 Unit Townhouse - 301-303 St. Lawrence Street
For: 0772631 BC Ltd.

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Resident
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ST. LAWRENCE STREET ELEVATION
Scale - 1/8" = 1'-0"

MICHIGAN STREET ELEVATION
Scale - 1/8" = 1'-0"

Date - January 20, 2014
Sheet 4 of 6

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Comparison between the “Traditional” Design Proposal and the “Modern” Design Proposal

	Traditional Design	Modern Design
Setback of building from rear (eastern) property line	6.39 m	6.39 m
Balconies – setback from rear (eastern) property line	5.79 m - balconies project 0.6 m from the face of building	No balconies
Height - highest ridge	14.66 m	13.52m
Roofline	Pitched	Sloped