

# CAPITAL PARK, VICTORIA

539 SUPERIOR STREET

DRAFT CONSERVATION PLAN - JUNE 2014



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AND ASSOCIATES INC



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## 1. INTRODUCTION

SUBJECT PROPERTY:	539 SUPERIOR STREET VICTORIA, BC
HERITAGE STATUS:	VICTORIA HERITAGE REGISTER

The block to the south of the BC Parliament Buildings was once a resource-rich traditional hunting and gathering territory for the Esquimalt and Songhees (Lekwungen) First Nations, known as “Whosaykum” after the tidal mud flats that once existed where the Empress Hotel now stands. This is the traditional territory of the Lekwungen People.

Historically and visually, this block is an important site that exists within the context of iconic structures that symbolize Imperial ambition and grandeur, as well as the grand architectural vision of Francis Rattenbury, including the Empress Hotel, the Legislative Buildings, the Crystal Garden and the CPR Marine Terminal. The area’s planning and policy framework touches upon the planning frameworks for the Inner Harbour, the Legislative Precinct and the James Bay neighbourhood. Over time, the expansion of government services and buildings has included expansion to the south, which has caused the ongoing relocation of a number of early residential buildings.

The Capital Park site encompasses nearly every parcel bounded by Superior Street on the north; Government Street on the east; Michigan Street on the south and Menzies Street on the east. Within the site, there are five historic houses, which have been located on the block for more than a century. Two of the houses were originally built on the north side of Superior Street, but the expanding British Columbia

Parliament necessitated their relocation in 1910. During that summer, fifteen houses in the immediate area were moved from their original location behind the Parliament Building to make room for the additional government facilities. One of the relocated houses, now located at 521 Superior Street, was originally constructed directly across the street, at 522 Superior Street, and was purchased by Charles Cameron in an auction. The other relocated house, now standing at 524 Michigan Street, was originally located at 548 Superior Street and was purchased and moved by C.F. Beaven. The 1910 auction and sale lists of the fifteen moving houses, offer a glimpse into the real estate environment of Victoria during the booming Edwardian era of the early twentieth century.

The five heritage houses remaining on the Capital Park site are 521 Superior Street, 539 Superior Street, 545 Superior Street, 524 Michigan Street and 526 Michigan Street.

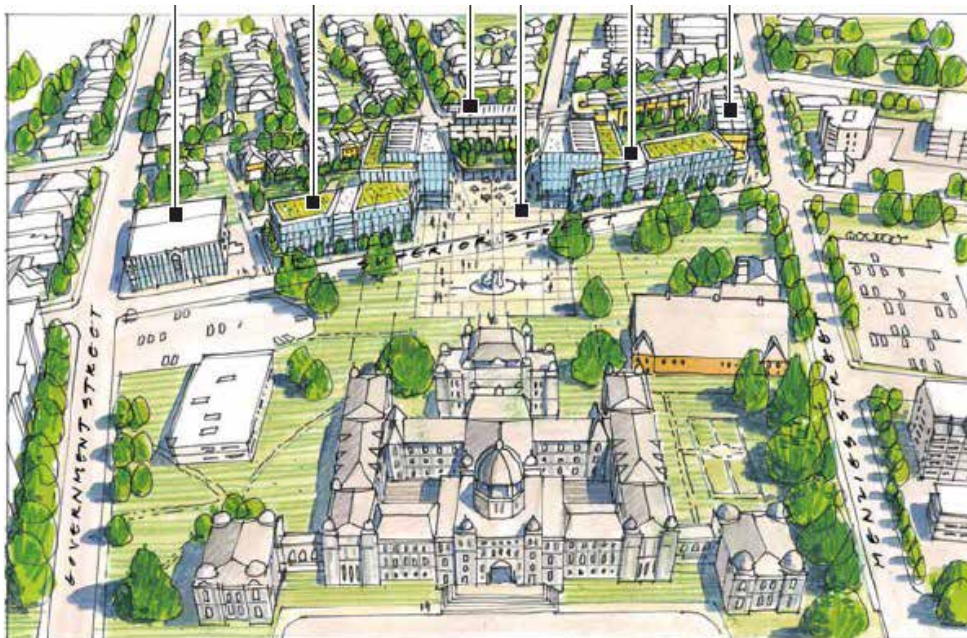
A century after the Edwardian era government expansion, the Legislative district is again growing, and Capital Park’s extant heritage resources are again in the midst of a changing real estate development landscape. The historic houses, some already moved once, are poised to shift in order to accommodate the need for additional government office space. The heritage value and character-defining elements of 521, 539 and 545 Superior Street are outlined in the following pages.



# INTRODUCTION

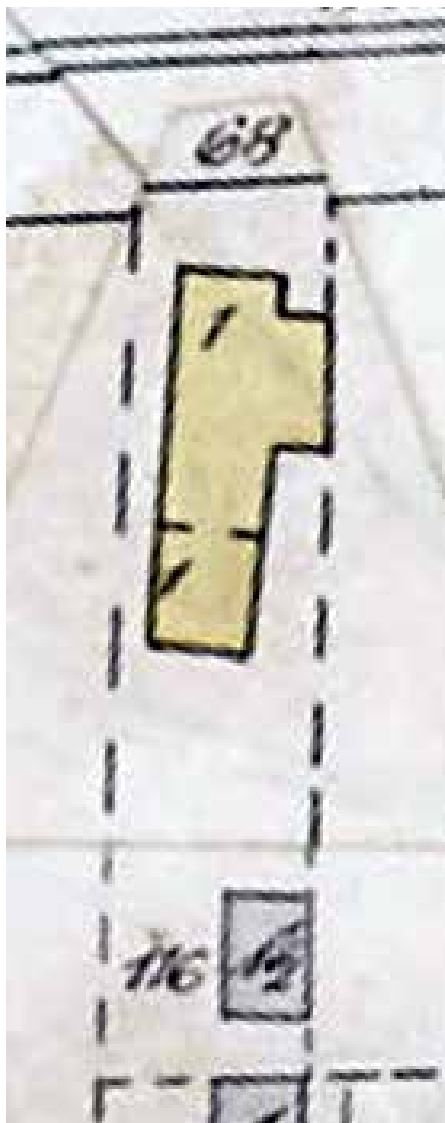


*Capital Park, Existing.*

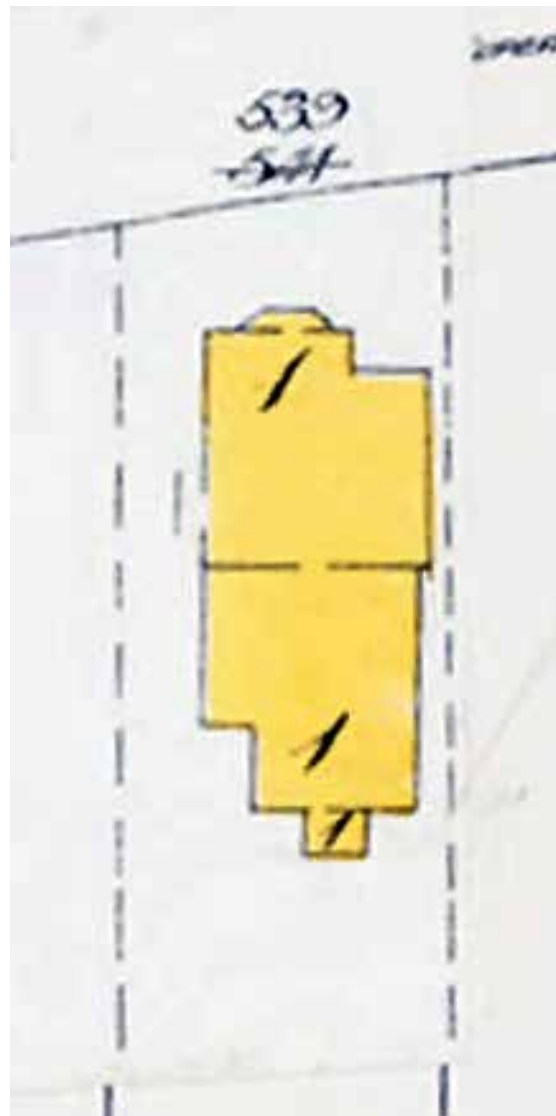


*Proposed Rendering by Endall Elliott Associates Architects.*

## 2. HISTORY

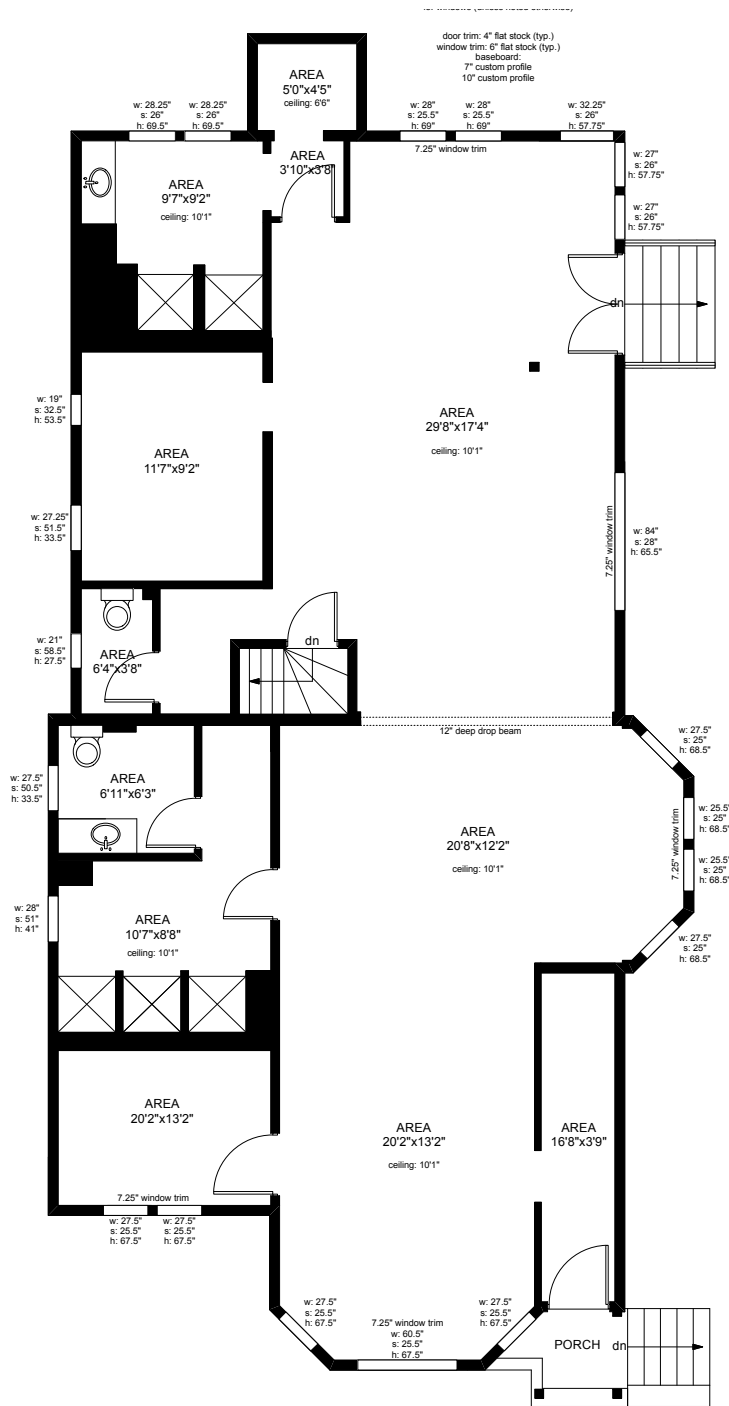


*Left: John Residence at 68 Superior Street. [1891 Fire Insurance Map, Victoria, updated to 1895]  
Right: John Residence at 68 Superior Street. [1903 Fire Insurance Map, Victoria]*



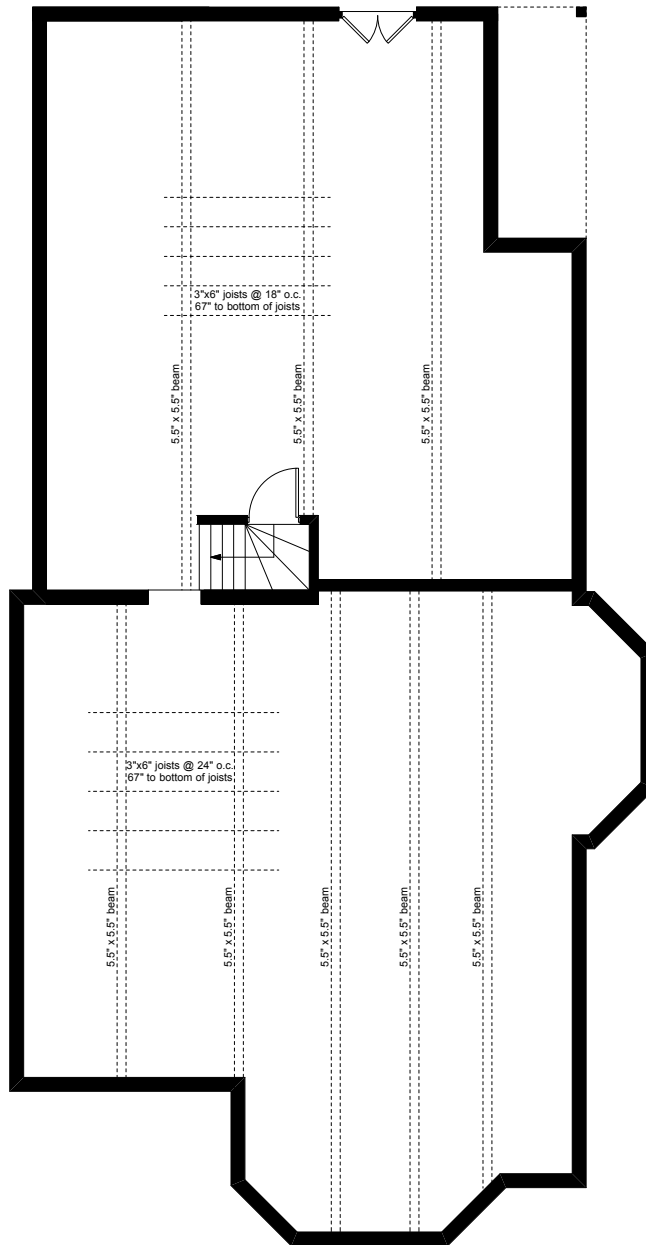


*View from Parliament Buildings, circa 190-, detail below showing close-up view of 539 Superior.  
[British Columbia Archives B-01799]*



EXISTING MAIN FLOOR PLAN - KEAY & ASSOCIATE ARCHITECTURE LTD.

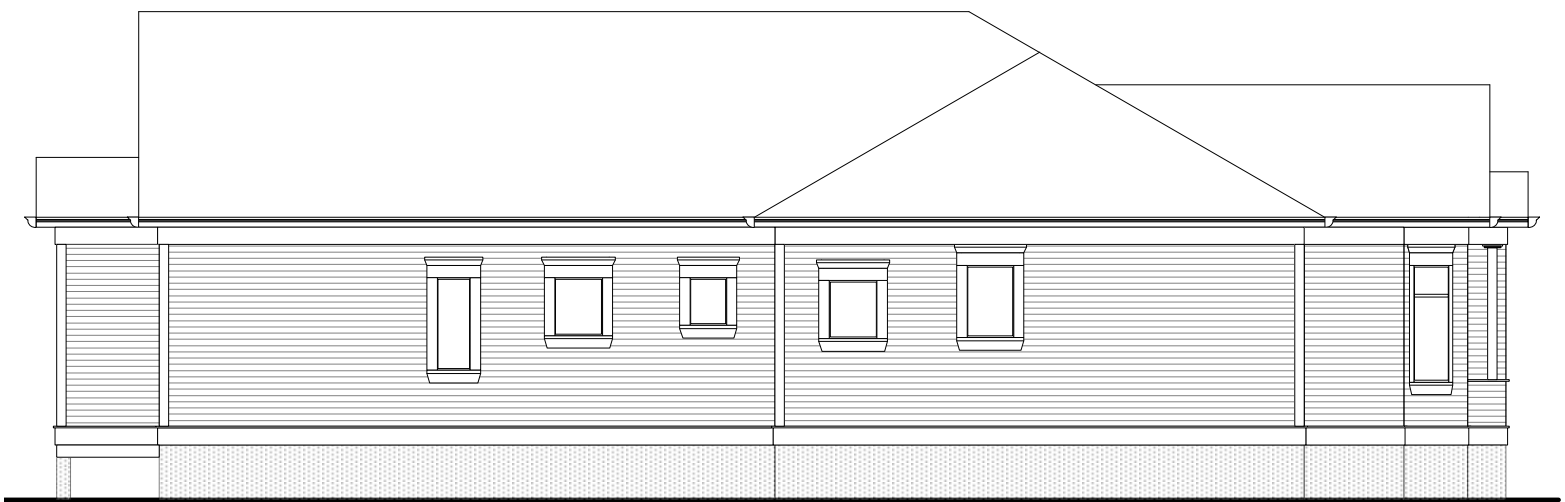




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### 3. STATEMENT OF SIGNIFICANCE



**Construction Date:** 1891-92

**Original Owners:** Richard and Kate John

**First Long-term Owners:** John and Florence Smith

**Builder:** Richard John (assumed)

#### **Description of Historic Place**

The John Residence, located on the south side of Superior Street, is a one-storey, wood-frame Queen Anne Revival-style cottage. This historic resource is identifiable by its front-gabled roof, projecting front-gabled porch with triangular pediment, inset semi-octagonal bay, hip-roofed side addition, projecting semi-octagonal gable-roofed bay on the east elevation., and Queen Anne Revival detailing.

#### **Heritage Value of Historic Place**

Built 1891-1892, the John Residence is emblematic of James Bay's evolution from a pioneer farm to the first Garden City suburb in Victoria. Hudson's Bay Company Chief Factor James Douglas established James Bay, a peninsula of fertile land, as Beckley farm in 1846. The early subdivision and sale of Beckley Farm into small lots occurred just after gold was discovered on the Fraser River in 1858. The year 1858 also marked Douglas's reservation of public parkland (Beacon Hill) and the initial construction of colonial administrative buildings in James Bay on the Government Reserve. These administrative buildings, referred to as the "Birdcages," formed the city's legislative centre and were an early catalyst for residential development in James Bay. The neighbourhood subsequently developed into a centre for industry and shipping, which facilitated transportation links and supporting infrastructure.

The John Residence is also valued as a representation of the Queen Anne Revival style of architecture, typical of the late Victorian era. Despite its small scale, this cottage is elaborated through the use of carpenter ornamentation that demonstrated the introduction of new technology at a time when steam-driven band saws, drills and lathes had become readily available. The complex, irregular form, picturesque roofline with two-part front gabled extension, and its wooden details including decorative cutaway brackets, wooden columns, fishscale shingles and rooftop finials are typical of the Queen Anne style. The original owners of the house, Richard and Kate John, built this

# STATEMENT OF SIGNIFICANCE

house following the subdivision of the property in 1891. The couple only occupied the house between 1892 and 1893 at which time John and Florence Smith assumed ownership of the residence; at an early point the front and side bay roofs were extended and the entry porch was added. The British Columbia government purchased the property in the early 1930s.

The John Residence continues to express the community value of the James Bay neighbourhood, the city's oldest Garden City suburb that encompasses a mix of residential, commercial and bureaucratic uses.

## **Character-Defining Elements**

Key elements that define the heritage character of the John Residence include its:

- location in the historic James Bay neighbourhood;
- residential form scale and massing, as expressed by its one-storey height, front-gabled roof, projecting front-gabled porch with triangular pediment, inset semi-octagonal bay at front, hip-roofed side addition, and projecting semi-octagonal gable-roofed bay on the east elevation.
- wood-frame construction with double-bevelled siding, cornerboards, extensive carpenter ornamentation, and red brick foundation;
- Queen Anne Revival-style detailing, such as: fishscale shingles in front gable peak; corner entry porch supported by chamfered columns; projecting bays with scroll-cut cutaway brackets; gable finials; and window crown mouldings;
- windows, such as: one-over-one double-hung wooden-sash windows with horns, in single and double assembly; and stained glass transoms in the front bay; and
- original wood panelled front door with glazed inset and transom.

## 4. CONSERVATION GUIDELINES

### 4.1 STANDARDS AND GUIDELINES

539 Superior Street is a listed residential heritage building on the Victoria Heritage Register, and is a significant historical resource in the City of Victoria. The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) is the source used to assess the appropriate level of conservation and intervention. Under the Guidelines, the work proposed for the house includes aspects of preservation, rehabilitation and restoration.

**PRESERVATION:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

**RESTORATION:** *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

**REHABILITATION:** *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to 539 Superior Street should be based upon the Standards outlined in the *Standards and Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

### STANDARDS

#### **Standards relating to all Conservation Projects**

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining element to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

# CONSERVATION GUIDELINES

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

## **Additional Standards relating to Rehabilitation**

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

## **Additional Standards relating to Restoration**

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## **4.2 CONSERVATION REFERENCES**

The proposed work entails the Preservation and Rehabilitation of the exterior and parts of the interior of 539 Superior Street. The following conservation resources should be referred to:

*Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada, 2010.

<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

National Park Service, Technical Preservation Services. Preservation Briefs:

**Preservation Brief 10:** Exterior Paint Problems on Historic Woodwork.

<http://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

**Preservation Brief 31:** Mothballing Historic Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/31-mothballing.htm>

**Preservation Brief 33:** The Preservation and Repair of Historic Stained and Leaded Glass.

<http://www.nps.gov/tps/how-to-preserve/briefs/33-stained-leaded-glass.htm>

**Preservation Brief 37:** Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing.

<http://www.nps.gov/tps/how-to-preserve/briefs/37-lead-paint-hazards.htm>

**Preservation Brief 41:** The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront.

<http://www.nps.gov/tps/how-to-preserve/briefs/41-seismic-retrofit.htm>

**Preservation Brief 45:** Preserving Historic Wooden Porches.

<http://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>

## 4.3 GENERAL CONSERVATION STRATEGY

### OVERALL STRATEGY

The conservation strategy for the five houses of Capital Park includes relocation, with the primary intervention being rehabilitation, including elements of preservation and restoration for each house. Three houses will be retained on the block (521, 539 and 545 Superior Street) and the other two houses (524 and 526 Michigan Street) will be relocated offsite. A comprehensive redevelopment plan for the site is being prepared by Endall Elliot Associates Architects in association with CEI Architects. The rehabilitation plans for the houses are being prepared by Keay & Associate, Architecture Ltd.

There is sufficient room onsite to retain three houses as part of the comprehensive redevelopment; the intent is to relocate the houses towards the southeast corner of the site, to create a heritage grouping that addresses the residential context on Government and Michigan Streets, including the two adjacent existing heritage houses facing Government Street. Two of the houses (521 Superior and 524 Michigan) were previously relocated to the site.

The three Superior Street houses have been chosen for retention onsite for the following reasons:

- They currently exist as a grouping in relative association with each other, and would be rotated 180 degrees.
- These three are the most architecturally impressive of the five houses, and will form a strong grouping of houses of similar style, age and detailing.
- The three Superior Street houses include the most impressive and intact interior detailing, features of which can be preserved through the proposed use.
- Built as a rental property, 524 Michigan – which has already been relocated once – is a handsomely-detailed, but typical Italianate house similar to others found in James Bay, and can exist comfortably on a new site. It has very few significant interior features, and would lend itself to more flexible uses.

- Built as a boarding house, 526 Michigan is the most utilitarian of the houses, but has sufficient character when restored to exist on a new site. It also has very few significant interior features, and would lend itself to more flexible uses.

Based on this analysis, and study of their final appearance as a heritage streetscape, the Superior Street houses will be grouped along Michigan Street, and the Michigan Street houses will be offered for relocation within James Bay.

### 539 SUPERIOR STREET STRATEGY

The house will be relocated from its existing location, along with 521 and 545 Superior Street, as part of the redevelopment scheme of the site. The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation that will upgrade its structures and services to increase functionality for residential and/or commercial use in a new location. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored.

### **Proposed Redevelopment Scheme**

The major proposed interventions of the overall project are to:

- Preserve the historic structure.
- Relocate the structures to new adjacent sites within the James Bay neighbourhood.
- Preserve character-defining elements that are extant.
- Restore character-defining elements that have been removed or altered.
- Upgrade the structures and services to increase functionality for residential and/or commercial use.



# CONSERVATION GUIDELINES

The house is proposed to be relocated within the James Bay neighbourhood of Victoria. The following **Relocation Guidelines** should be implemented for the relocation of the residence:

- A relocation plan should be prepared prior to relocation that ensures that the least destructive method of relocation will be used.
- Alterations to the historic structure proposed to further the relocation process should be evaluated in accordance with the Conservation Plan and reviewed by the Heritage Consultant. This can involve removal of later additions that are not enhancing the heritage value and historic appearance of the heritage house.
- Only an experienced and qualified contractor shall undertake the physical relocation of the historic structure.
- Preserve historic fabric of the exterior elevations including the wood-frame structure, fenestration and exterior siding. Preserve brick chimneys in situ, where applicable, and relocate with the main structure, if possible. Alternatively reconstruct chimneys with salvaged bricks to match historic appearance, if unable to relocate with the main houses due to structural reasons.
- Appropriate foundation materials shall be used at the new site, which can include reinforced concrete foundations and floor slab.
- The final relative location to grade should match the original as closely as possible, taking into account applicable codes.

## 4.4 SUSTAINABILITY STRATEGY

Sustainability is most commonly defined as “meeting the needs of the present without compromising the ability of future generations to meet their own needs” (Common Future. The Bruntland Commission). The four-pillar model of sustainability identifies four interlinked dimensions: environmental, economic, social and cultural sustainability, the latter including the built heritage environment.

Current research links sustainability considerations with the conservation of our built and natural environments. A competitive, sustainable economy requires the conservation of heritage buildings as an important component of a high quality urban environment.

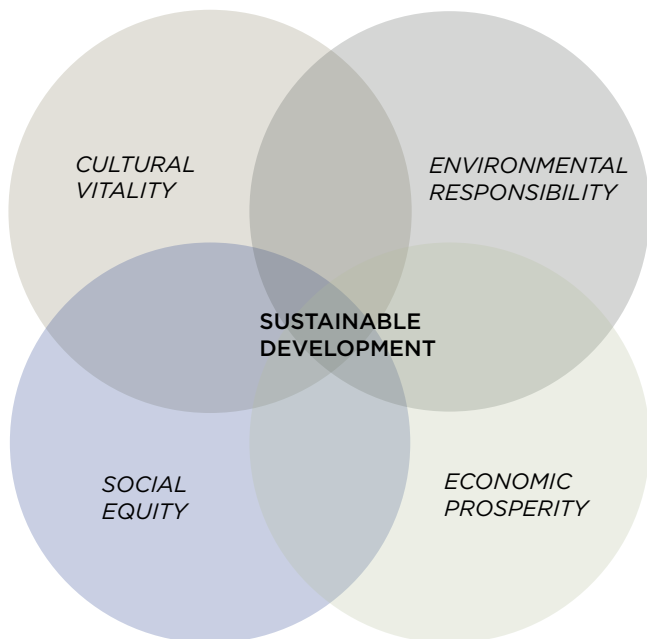
*“We need to use our cities, our cultural resources, and our memories in such a way that they are available for future generations to use as well. Historic preservation makes cities viable, makes cities liveable, makes cities equitable.”*

(Economic Benefits of Preservation, Sustainability and Historic Preservation)

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by:

- Reducing solid waste disposal (reduced impact on landfills and their expansions);
- Saving embodied energy (defined as the total expenditure of energy involved in the creation of the building and its constituent materials);
- Conserving historic materials that are significantly less consumptive of energy than many new replacement materials (often local and regional materials, e.g. timber, brick, concrete, plaster, can be preserved and reduce the carbon footprint of manufacturing and transporting new materials).

#### FOUR PILLARS OF SUSTAINABILITY



The following considerations for energy efficiency in historic structures are recommended in the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) and can be utilized for 539 Superior Street.

##### **Sustainability Considerations**

- Add new features to meet sustainability requirements in a manner that respects the exterior form and minimizes impact on character-defining elements.
- Work with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
- Comply with energy efficiency objectives in a manner that minimizes impact on the character-defining elements and overall heritage value of the historic building.

The following considerations for energy efficiency in historic structures are recommended in the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) and can be utilized for the three houses.

##### **Sustainability Considerations**

- Add new features to meet sustainability requirements in a manner that respects the exterior form and minimizes impact on character-defining elements.
- Work with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
- Comply with energy efficiency objectives in a manner that minimizes impact on the character-defining elements and overall heritage value of the historic building.

##### **Energy Efficiency Considerations**

- Identifying the historic place's heritage value and character-defining elements — materials, forms, location, spatial configurations, uses and cultural associations or meanings.
- Complying with energy efficiency objectives in such a manner that character-defining elements are conserved and the heritage value maintained.
- Working with energy efficiency and conservation specialists to determine the most appropriate solution to energy conservation problems that will have the least impact on character-defining elements and the overall heritage value.
- Weighing the total environmental cost of energy saving measures against the overall environmental costs of retaining the existing features or fabric, when deciding whether to proceed with energy saving measures.

# CONSERVATION GUIDELINES

## **Buildings: Insulation**

- Exercising caution and foreseeing the potential effects of insulating the building on the envelope system so as to avoid damaging changes such as displacing the dew point and creating thermal bridges.
- Installing thermal insulation in attics and in unheated cellars and crawl spaces to increase the efficiency of the existing mechanical systems unless this could adversely affect the building envelope.
- Installing insulating material on the inside of masonry and wood-frame walls to increase energy efficiency where there is no character-defining interior moulding around the windows or other character-defining interior architectural detailing.

## **Buildings: Windows**

- Utilizing the inherent energy conserving features of a building by maintaining character-defining windows and/or louvered blinds in good operating condition for natural ventilation.
- Improving thermal efficiency with weather-stripping, storm windows, interior shades and, if historically appropriate, blinds and awnings.

## **Buildings: Entrances and Porches**

- Maintaining character-defining porches and double vestibule entrances so that they can retain heat or block the sun and provide natural ventilation.

## **Buildings: Mechanical Systems**

- Improving the energy efficiency of existing mechanical systems by installing insulation in attics and basements, unless this could adversely affect the building envelope.

*The conservation recommendations recognize the need for sustainable interventions and adhere to the Standards and Guidelines as outlined.*

## **4.5 HERITAGE EQUIVALENCIES AND EXEMPTIONS**

As a Municipal Heritage Register-listed sites 539 Superior Street will eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following legislation.

### **4.5.1 BRITISH COLUMBIA BUILDING CODE**

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the British Columbia Building Code that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the “Alternative Compliance Methods for Heritage Buildings.”

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

### **4.5.2 ENERGY EFFICIENCY ACT**

The provincial Energy Efficiency Act (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) for further detail about “Energy Efficiency Considerations.”

#### 4.5.3 HOMEOWNER PROTECTION ACT

The Homeowner Protection Act was implemented in 1998 as a means to strengthen consumer protection for the purchase of new homes. The act was passed following a commission of enquiry into the leaky condo crisis, and was intended on protecting homeowners by ensuring home warranty insurance was provided on new construction, covering two years on labour and materials, five years on the building envelope and 10 years on the structure of the home. As the Act was intended to regulate new construction, considerations were not taken of buildings that have remained in sound condition for a many number of years that already far exceeded what the HPA requires for a warranty on a new home. The act did not take into consideration the protection of heritage projects, and consequently resulted in the loss of significant heritage fabric through the requirement of new windows and rainscreen wall assemblies on residential heritage rehabilitation projects. An example being the requirement to remove original wooden siding that has successfully protected the building for 100 years, and replace it with a rainscreen assembly that is only warrantied for five years. Not only was valuable heritage fabric lost, but new materials will likely not last nearly as long as the original.

Amendments to the Homeowner Protection Act Regulation made in 2010 allow for exemptions for heritage sites from the need to fully conform to the BC Building Code under certain conditions, thus removing some of the barriers to compliance that previously conflicted with heritage conservation standards and guidelines. The changes comprised:

1. an amendment to the Homeowner Protection Act Regulation, BC Reg. 29/99 that allows a warranty provider, in the case of a commercial to residential conversion, to exclude components of the building that have heritage value from the requirement for a warranty, and
2. clarification of the definition of ‘substantial reconstruction.’ The latter clarification explains that 75% of a home must be reconstructed for it to be considered a ‘new home’ under the Homeowner Protection Act, thus enabling single-family dwelling to multi-family and strata conversions with a maximum of 75% reconstruction to be exempt from home warranty insurance. The definition of a heritage building is consistent with that under the Energy Efficiency Act.

The property falls into the second category, as the proposed project involves retaining a high degree of the original structure and less than 75% of the house will be reconstructed. Consequently, this project is not considered a substantial reconstruction as per the amended definition in the Homeowners Protection Act, and will be exempt from the requirement of a warranty. This amendment will enable a higher degree of retention and preservation of original fenestration, siding and woodwork.

# CONSERVATION GUIDELINES

## 4.6 SITE PROTECTION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the house is left vacant, it should be secured against intrusion and vandalism through the use of appropriate fencing and security measures. This is especially important if the building is missing windows or doors or is left elevated for any period of time. Security measure may include mothballing the historic property and/or hiring a security guard for the duration of the work. Generally, once a heritage property is no longer undergoing rehabilitation work and is under occupancy of its owners, lockable doors and lower level windows and continued monitoring by the owners should be adequate protection.

A comprehensive site protection plan has been developed, and the following measures are being carried out:

- House is checked weekly by security.
- House has been secured.
- Landscaping is being maintained.
- Roof has been checked for water tightness.
- Any changes are noted on a weekly basis.



## 5. CONSERVATION RECOMMENDATIONS

A condition review of the John Residence was carried out during a site visit in March, 2014. In addition to the visual review of the exterior of the home, paint samples were taken from exterior building materials and examined. The recommendations for the preservation and rehabilitation of the historic façades are based on the site review, material samples and archival documents that provide valuable information about the original appearance of the historic building. The following chapter describes the materials, physical condition and recommended conservation strategy for the John Residence, based on Parks Canada's *Standard and Guidelines for the Conservation of Historic Places in Canada* (2010).

### 5.1 SITE

The John Residence, located on the south side of Superior Street, is situated in the historic James Bay neighbourhood of Victoria. The house will be relocated along with 521 and 545 Superior Street to a nearby site, within the same James Bay neighbourhood.

All heritage resources within the site should be protected from damage or destruction at all times. **Reference Section 3.6: Site Protection** for further information.

#### Conservation Strategy: Relocate

- Building will be relocated, and will stay within the James Bay neighbourhood.
- New site will be rehabilitated to accommodate the new foundations.
- Any new landscaping should be setback from the perimeter of the house to prevent potential damage to the exterior elevations.

The following **Relocation Guidelines** should be implemented for the relocation of the John Residence:

- A relocation plan should be prepared prior to relocation that ensures that the least destructive method of relocation will be used.
- Alterations to the historic structure proposed to further the relocation process should be evaluated in accordance with the Conservation Plan and reviewed by the Heritage Consultant.
- Only an experienced and qualified contractor shall undertake the physical relocation of the historic structure.
- Preserve historic fabric of the exterior elevations including the wood-frame structure with shingle and horizontal drop siding, wood sash windows and front-gabled roof structure as much as possible.
- Appropriate foundation materials shall be used at the new site, which can include reinforced concrete foundations and floor slab.
- The final relative location to grade should match the original as closely as possible, taking into account applicable codes.

# CONSERVATION RECOMMENDATIONS



*Front elevation.*

## 5.2 OVERALL FORM

The John Residence features residential form scale and massing, as expressed by its one-storey height, front-gabled roof, projecting front-gabled porch with triangular pediment, inset semi-octagonal bay at front, hip-roofed side addition, and projecting semi-octagonal gable-roofed bay on the east elevation. Soon after the house was constructed, the front and side bay roofs were extended and the entry porch was added. The original form, scale and massing of the historic house, including the early extensions, is a character-defining element of the historic house, and should be preserved.

As part of the redevelopment scheme, the overall form, scale and massing of the John Residence will be retained during the relocation of the house, and the original configuration will be preserved on the new site. Any new additions to the house should be reviewed by the Heritage Consultant, and should be distinguishable and removable from the historic structure.

### **Conservation Strategy: Preservation**

- Preserve the overall form, scale and massing of the building.
- The historic front façade should be retained.



*View of back corner of house.*

### 5.3 FOUNDATION

The John residence features a red brick foundation, which is original and is a character-defining element of the historic house. As the house will be relocated, new foundations will be required. Concrete is a suitable material, but red brick should be utilized as a veneer to replicate the original appearance of the foundation. If possible, carefully document and salvage the original brick foundation, and reinstate in the same configuration at the new site.

#### **Conservation Strategy: Rehabilitation**

- New foundations are required at the new site, and concrete is a suitable material.
- Salvage original foundation brickwork and reinstate

following relocation of the house, if possible. Brick can be reinstated as an exterior veneer if concrete is to be used for foundations at new location. Any new material above ground should match original in appearance, as viewed from the exterior. Red brick should be used, in a matching configuration to original.

- To ensure the prolonged preservation of the new foundations, all landscaping should be separated from the foundations at grade by a course of gravel or decorative stones, which help prevent splash back and assist drainage. Any new vegetation should be set back from the exterior elevations of the house to help prevent against unnecessary moisture damage.

# CONSERVATION RECOMMENDATIONS

## 5.4 EXTERIOR WOOD FRAME WALLS

The John Residence features wood-frame construction with original double bevelled siding, cornerboards and extensive carpenter ornamentation. The house also features original Queen Anne Revival style-detailing including fishscale shingles in front gable peak, corner entry porch supported by chamfered columns, projecting bays with scroll-cut cutaway brackets, gable finials and window crown mouldings. All aforementioned wood details are character-defining elements of the historic house, and should be preserved.

Most exterior wood surfaces demonstrate a high degree of weathering. Further investigation is required to determine if deterioration is superficial or if damage penetrates through to the wood elements. All exterior wood detailing should be closely inspected to determine the full condition of the original material. Any loose exterior paint should be sanded down, and any damaged wood elements should be repaired, cleaned and prepared for repainting. If any original exterior wood material is too damaged to repair, then original fabric should be documented and replaced in-kind with physically and visually match original.

### **Conservation Recommendation: Preservation and Restoration**

- Due to the integrity of wood frame structure, the exterior walls should be preserved through retention and in-situ repair work. Preserve the original wood-frame structure of the historic building.
- Preserve original double bevelled siding on all elevations, if possible, and clean surface for repainting.
- Replace damaged siding to match existing in material, size, profile and thickness, as required.
- Design structural or seismic upgrades so as to minimize the impact to the character-defining elements.
- Utilize Alternate Compliance Methods outlined in the BCBC for fire and spatial separations including installation of sprinklers where possible.
- Cleaning procedures should be undertaken with non-destructive methods. Areas with biological growth should be cleaned using a soft, natural bristle brush,

without water, to remove dirt and other material.

If a more intense cleaning is required, this can be accomplished with warm water, mild detergent (such as Simple Green©) and a soft bristle brush. High-pressure power washing, abrasive cleaning or sandblasting should not be allowed under any circumstances.

- Any existing trim should be preserved, and new material that is visually physically compatible with the original should be reinstated when original fabric is missing. Combed and/or textured lumber is not acceptable. Hardi-plank or other cementitious boards are not acceptable.
- Preserve historic fabric of the exterior elevations during the relocation of the house, including the wood-frame structure with fishscale shingles and double bevel siding, wood sash windows and front-gabled roof structure as much as possible.
- Paint exterior wood elements according to colour schedule devised by Heritage Consultant.

## 5.5 ENTRY PORCH AND BALUSTRADE

The John Residence features a corner entry porch supported by chamfered columns. The entry porch was an early intervention to the house, and is a character-defining element that should be preserved. All exterior wood surfaces should be inspected, and repaired or replaced in-kind as required.

The house features original balustrade on the entry porch. Heritage homes of this vintage were typified by a low balustrade of approximately 24" in height. To ensure the heritage character of the house is preserved, the low balustrade should be preserved and alternate compliance measures should be explored in order to meet code requirements. Such alternate compliance measures may include the use of metal pipe rail and glass panels to make up the remaining height. The new railing should be continuous down the front stair, as currently the front stairs are missing an appropriate railing.



#### **Conservation Strategy: Rehabilitation**

- Preserve the corner entry porch, including chamfered columns and original wood detailing.
- Porch configuration should be stabilized and relocated with the house. Brace as required.
- Original lower height of the balustrade should be preserved with alternate compliance methods utilized to achieve the required height. New railing should continue down front stair.
- New Possible alternative materials may be glass panels, metal pipe rails or a combination of both.

## **5.6 FENESTRATION**

Windows and doors are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation. – *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010).

### **5.6.1 WINDOWS**

The John Residence features original windows, including one-over-one double-hung wooden-sash windows with horns, in single and double assemblies, and stained glass transoms in the front bay. All aforementioned original windows are character-defining elements of the historic house, and should be preserved. The stained glass windows appear to be in good condition, and should be preserved in-place. Side, rear and basement window assemblies may be rehabilitated, as necessary, in response to functional changes in interior floor plans.

All original windows have been retained, and appear to be in working condition. Further investigation is required in to the full condition of each window. All windows should be kept in-place during relocation of the house, and stabilized with plywood inserts as required. Each window should be inspected and repaired, as required. Original detailing, including dorms, window trim and aprons should be preserved. Exterior painted surfaces should be cleaned and prepared for repainting.

#### **Conservation Strategy: Rehabilitation**

- Preserve all original wood-sash and stained glass windows, as possible. Side, rear and basement window configuration may be rehabilitated, if required.



**Corner entry porch.**



# CONSERVATION RECOMMENDATIONS

- Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.
- Retain existing window sashes; repair as required; install replacement matching sashes where missing or beyond repair.
- Inspect all leaded stained glass windows, and repair as required. All original stained glass should be preserved.
- Preserve and repair as required, using in kind repair techniques where feasible.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by re-puttying and weather-stripping as necessary.
- Retain historic glass, where possible. Where broken glass exists in historic wood-sash windows, the broken glass should be replaced. When removing broken glass, the exterior putty should be carefully chipped off with a chisel and the glazier's points should be removed. The wood where the new glass will be rested on should be scraped and cleaned well, and given a coat of linseed oil to prevent the wood from absorbing the oil from the new putty. The new glass should be cut 1/16-1/8th smaller than the opening to allow for expansion and irregularities in the opening, to ensure the glazing does not crack due to natural forces. Window repairs should be undertaken by a contractor skilled in heritage restoration.
- Replacement glass to be single glazing, and visually and physically compatible with existing. Obscure or clear glass is acceptable.
- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.
- Brace windows with temporary inserts while relocating the house, to ensure they are not damaged in the process. Alternatively, should the windows require removal for repair, reinstate repaired windows following relocation of the house.

## 5.6.2 DOORS

The John Residence features its original wood panelled front door with glazed inset and transom. The front door is a character-defining element of the historic house, and should be preserved. The house also features original or early wood panelled side and rear doors, which are also significant features of the historic house, and should be preserved. All doors are uniquely detailed, and fit within the character of the house.

All doors should be inspected to determine their full condition. Each door should be retained and repaired as required. All exterior wood surfaces should be cleaned and prepared for repainting.

### **Conservation Strategy: Preservation and Rehabilitation**

- Preserve character-defining front wood panelled door with glazed inset and transom. Retain all side and rear significant wood doors, as possible.
- Retain the door openings in their original locations, and preserve and repair all original doors.
- New doors should be visually compatible with the historic character of the building.



*Front door.*



**1x 1-over-1 double-hung wood sash w/ stained glass**  
Treatment: Preservation and Repair

**1x 1-over-1 fixed wood sash w/ stained glass**  
Treatment: Preservation and Repair

**1x 1-over-1 double-hung wood sash w/ stained glass**  
Treatment: Preservation and Repair

**2x 1-over-1 double-hung wood sash w/ horns**  
Treatment: Preservation and Repair

*Front elevation: All windows should be preserved and repaired.*

# CONSERVATION RECOMMENDATIONS

*West side elevation: Windows may be rehabilitated, as required.*



**2x 1-over-1 double-hung wood sash**  
Treatment: Rehabilitation, as necessary

**1x multi-paned wood sash fixed**  
Treatment: Rehabilitation, as necessary

**4x 1-over-1 double-hung wood sash w/ horns - in bay**  
Treatment: Rehabilitation, as necessary

*East side elevation: Windows may be rehabilitated, as required.*



**1x 1-over-1 double-hung wood sash**  
Treatment: Rehabilitation, as necessary

**1x casement wood sash**  
Treatment: Rehabilitation, as necessary

**1x awning wood sash**  
Treatment: Rehabilitation, as necessary

**1x casement wood sash**  
Treatment: Rehabilitation, as necessary

**1x 1-over-1 double-hung wood sash w/ horns**  
Treatment: Rehabilitation, as necessary



# CONSERVATION RECOMMENDATIONS

*Rear elevation: Windows may be rehabilitated, as required.*



**1x casement wood sash**

Treatment: Rehabilitation, as necessary

**2x 1-over-1 double-hung wood sash w/ horns**

Treatment: Rehabilitation, as necessary

**1x 1-over-1 double-hung wood sash**

Treatment: Rehabilitation, as necessary



**2x 1-over-1 double-hung wood sash w/ horns**

Treatment: Rehabilitation, as necessary

## 5.7 ROOF

The John Residence features a varied roof configuration with front-gabled main roof, projecting front-gabled porch with triangular pediment, inset semi-octagonal bay at front, hip-roofed side addition and projecting semi-octagonal gable-roofed bay on the east elevation. The Queen-Anne Revival style roof in the aforementioned configuration is a character-defining element of the historic house, and should be preserved.

The roof should be preserved and stabilized during relocation. The asphalt shingles are not sympathetic to the historic house, and should be replaced with cedar shingles if possible. Exterior wood detailing appears to be heavily weathered, and requires repair. If wood detailing is too damaged to repair, then replace in-kind with physically and visually consistent material. The roofing material is in poor condition, and requires replacement.

### **Conservation Recommendation: Rehabilitation**

- Preserve the roof structure in its current configuration, as expressed by its varied front-gabled roof, projecting front-gabled porch with triangular pediment and hip-roofed side addition.
- Roof cladding system requires replacement. Cedar shingles are the preferred material, but duroid, asphalt or fibreglass shingles are acceptable.
- Retain the original bargeboards and fascia boards, as well as the soffit and any exposed roof elements.
- Design and install adequate rainwater disposal system and ensure proper drainage from the site is maintained. Paint all drainage system elements according to colour schedule devised by Heritage Consultant.



*Roof detailing.*



*Roof configuration.*

# CONSERVATION RECOMMENDATIONS

## 5.8 INTERIOR FEATURES

“Interior features can include elements such as interior walls, floors and ceilings, mouldings, staircases, fireplace mantels, faucets, sinks, built-in cabinets, light fixtures, hardware, radiators, mail chutes, telephone booths and elevators. Because their heritage value resides not only in their physical characteristics, but also in their location in the historic building, it is important to protect them from removal. This is particularly true of doors, banisters, church pews, fireplace mantels, sinks and light fixtures, which are often replaced instead of being upgraded. Reuse in their original location not only protects their heritage value, but is also a more sustainable approach to conserving these artefacts.” *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010)

Building Code upgrading is one of the most important aspects of heritage building rehabilitation, as it ensures life safety and long-term protection for the resource. However, the interior features of an historic property are often heavily damaged in the process. The British Columbia Building Code offers equivalencies and exemptions to heritage buildings, which enable a higher degree of heritage conservation and retention of original material. The following guidelines pertaining to Health, Safety and Security Considerations from the *Standards and Guidelines* should be followed when faced with the conservation of interior features:

- Upgrade interior features to meet health, safety and security requirements, in a manner that preserves the existing feature and minimizes impact on its heritage value.
- Work with code specialists to determine the most appropriate solution to health, safety and security requirements with the least impact on interior features and overall heritage value of the historic building.

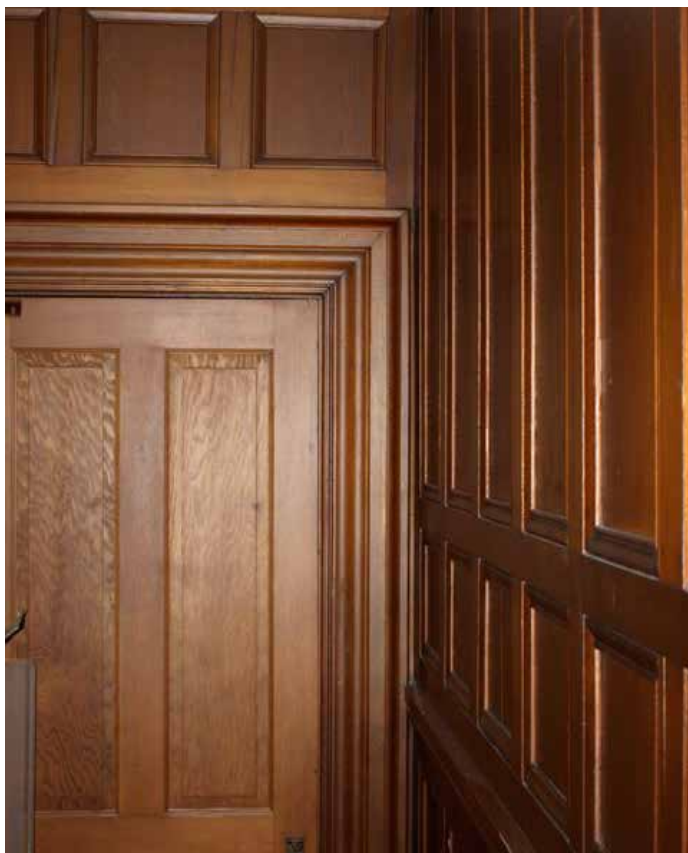
- Explore all options for modifications to existing interior features to meet functional requirements prior to considering removal or replacement.
- Remove or encapsulate hazardous materials, such as friable asbestos insulation, using the least-invasive abatement methods possible, and only after thorough testing has been conducted.
- Install sensitively designed fire-suppression systems that retain interior features and respect heritage value.

The John Residence features a number of original interior features. The entryway features unpainted wooden-panelled front vestibule and hallway, coffered wooden ceiling in vestibule, panelled hallway door with original hardware, and plaster ceiling in hallway with lincrusta frieze. The dining room features wooden panelling and trim in bay, wainscoting, panelled wooden doors, some with transoms, wooden door and window casings and wide wooden baseboards. Most interior features appear to be in fair condition. The wood is stained and varnished, and appears to be in good condition with evidence of wear and tear on projecting surfaces. Interior elements should be inspected, and repaired as required. It is not known at this time which features will be retained.

### Conservation Recommendations: Rehabilitation

- Interior features should be investigated further to determine if they can be retained during the rehabilitation process.
- Rehabilitation measures may be introduced to accommodate functional needs or building code upgrades, as required.





*Surviving interior features.*

# CONSERVATION RECOMMENDATIONS





## 5.9 EXTERIOR COLOUR SCHEDULE

Part of the restoration process is to finish the building in historically appropriate paint colours. The following preliminary colour scheme has been derived by the Heritage Consultant, based on initial on-site paint sampling and microscopic paint analysis. The colours have been matched to Benjamin Moore's Historical True Colours Palette. Final colour scheme to be determined through further investigation and review.

Prior to final paint application, samples of these colours should be placed on the building to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the Heritage Consultant. Further onsite analysis is required for final colour confirmation once access is available.

### Conservation Recommendation: Restoration

- Restore the original or historically appropriate finish, hue and placement of applied colour. To be confirmed.
- Complete all basic repairs and restoration, and remove surface dust and grime before preparing, priming and painting. Be sure that all surfaces to be painted are thoroughly dry.
- Scrape and sand painted surfaces only as deep as necessary to reach a sound base. Do not strip all previous paint except to repair base-material decay.
- Remove deteriorated paint that is not adhered to the wood using a metal scraper.
- Remove dust and dirt with the gentlest method possible such as low-pressure (hose pressure) water washing, with soft natural brushes or putty knives.
- Paint all areas of exposed wood elements with primer. Select an appropriate primer for materials being painted (e.g. if latex paint is used over original oil paint, select an oil-based primer).
- Re-apply colours using architectural trim wrap, in which colour is applied to give a three-dimensional appearance to the surfaces by wrapping the applied colour around their edges.

Location	Colour
Siding	 Pendrell Verdigris VC-22
Trim	 Pendrell Green VC-18
Window Sash	 Gloss Black VC-35
Porch Columns (colour scheme may have been changed when columns were added)	 Oxford Ivory VC-1

*Final colour scheme will be prepared based on analysis of original colours, further design consideration and context.*

## 6. RESEARCH SUMMARY

**CONSTRUCTION DATE:** 1891-92

**ORIGINAL OWNERS:** Richard and Kate John

**FIRST LONG-TERM OWNERS:** John and Florence Smith

**BUILDER:** Richard John (assumed)

**WATER PERMIT:**

- #1237: March 28th, 1903, 539 Superior Street, John Smith, owner

**NEWSPAPER REFERENCES:**

- Victoria Daily Times, 1915-04-10, page 12: "Lives Here 35 Years: John Smith, Well Known as Impromptu Speaker, Passed Away This Morning"
- Victoria Daily Times, 1922-07-20, page 9: "Aged Woman Died Suddenly Yesterday". Obituary of Mrs. Florence Annie Elizabeth Smith
- Victoria Times Colonist, 1987-10-31: "Landmarks: John House has classical exterior details"

**HALLMARK SOCIETY FILES:**

"Lot 1 was formed from part of lot 1724 as a result of the 1891 partial subdivision of this block (60). Mr. G. M. Wysham owned both lots 1723 & 1724 from 1872 when this area was developed (prior to this the lot did not exist). Unfortunately there is no further information about Mr. Wysham, other than he may have died in 1876.

As early as 1872 there were improvements to this lot. One possibility is that 539 Superior is the original house built by G. M. Wysham. The other possibility is that all structures were demolished after the subdivision and the homes rebuilt. In 1891, the property changed hands twice. It was purchased by Richard J. John, a porter for Weiler Bros.

In 1893, Richard John sold to John Smith who owned the property until his death in 1915. Mr. Smith originally came from London, England and was employed as the foreman at Chris Morley's Soda Water Factory for over 25 years. He was best known, however, as a "witty and entertaining impromptu speaker" who used his talents at "banquets and public functions".

For several years Smith rented the house to James Moss, a florist who also had a nursery on the property. The 1899 directory shows John Smith as resident and also Moss's Nursery. From the turn of the century to 1908 Moss lived in the house. James Moss came to Victoria from England in 1862 and established the first nursery in the city, at Willows. "He laid out gardens for all the old-timers which did much to establish his reputation... He [also] laid out the Douglas Estate for the Great Governor."

After John Smith's death, ownership of the lot was transferred to his wife. Florence A.E. Smith became a recluse after the death of her husband, and was found dead in the house on July 20, 1922.

# RESEARCH SUMMARY

GR 2951  
Volume 329

BRITISH COLUMBIA. DIVISION OF VITAL STATISTICS.  
Death registrations 094796 to 095296

Thursday, April 3, 1924  
An April 1, 1924, at his home, 305 St. James Street, Richard John, aged 63 years; born in Pennsylvania, U.S.A. He is survived by two sons, Percy John and R. O. John; also one daughter, Mrs. Walter Prigman, all in the city.  
The remains are resting at the chapel of the B.C. Funeral Co., where service will be held on Friday afternoon at 2 o'clock, after which the remains will be interred at Shady Creek Cemetery, South Saanich.

539 Superior

95035

This Form, if placed in an envelope marked "Division Statistics, Free," and addressed by name and title to the Registrar of the Registration Division in which the death occurred, will pass through the mail free.

FORM 6.

PROVINCE OF BRITISH COLUMBIA

## CERTIFICATE OF REGISTRATION OF DEATH

### 1 PLACE OF DEATH—

If in Municipality..... Registered No. 8-1-24  
(For use of Registrar of Vital Statistics only)  
If in City or Town Victoria Street St. James House No. 305  
If in hospital or institution, give name.....

### 2 NAME OF DECEASED Richard John

Residence 305 St. James St.

PERSONAL AND STATISTICAL INFORMATION			
3 SEX male	4 RACIAL ORIGIN Welsh	5 Single, Married, Widowed or Divorced (Write the Word) married	
6 BIRTHPLACE (Province or Country) <u>Pennsylvania</u>			
7 DATE OF BIRTH (month, day and year) <u>Dec 28 1861</u>			
8 AGE 63	Years	Months	Days
9 OCCUPATION OF DECEASED (a) <u>Cabinet Maker</u> (b) <u>(Kind of Industry)</u>			
10 LENGTH OF RESIDENCE (In years and months) (a) At place of death <u>5 years</u> (b) In province <u>57 years</u> (c) In Canada (if an immigrant) <u>57 years</u>			
Parents	11 Name of father <u>Richard John</u>		
	12 Birthplace of father <u>Wales</u>		
	13 Maiden name of mother <u>Ann Greer</u>		
	14 Birthplace of mother <u>Wales</u>		
15 Informant's name <u>A. B. Jones</u> Address.....			
16 Relationship to deceased <u>Son</u>			
17 Place of burial, cremation or removal <u>Shady Creek cemetery</u> Date of burial <u>April 4/24</u>			
18 Undertaker <u>B.C. Funeral Co. (Hayward's) Ltd</u> <u>Victoria, B.C.</u> (Name and Address)			

MEDICAL CERTIFICATE OF DEATH	
19 Date of death <u>April 1/24</u> (Month, day and year)	19.....
20 I HEREBY CERTIFY, that I attended deceased from <u>1924</u> to <u>April 1</u> that I last saw him alive on <u>March 28</u> 1924 and that death occurred on the date stated above, at <u>10 A.M.</u>	
The CAUSE OF DEATH was as follows: <u>Pneumonia pulmonalis</u> (duration) <u>one</u> yrs. <u>one</u> mos. <u>one</u> day.	
CONTRIBUTORY (Secondary) (duration)..... yrs. .... mos. .... day.	
21 Where was disease contracted if not at place of death?	
Did an operation precede death? <u>no</u> Date of.....	
Nature of operation.....	
Was there an autopsy? <u>no</u> (Signed) <u>Wm. J. Hall</u> M.D. Address <u>Victoria B.C.</u> Date <u>April 5 1924</u>	
State the Disease of Death, or its death from Violent Causes, state (1) Means and Nature of Injury; (2) whether Accidental, Suicidal or Homicidal.	
22 District Registrar's Record Number	
23 Filed <u>APR 4 1924</u>	

SEC. 46—Vital Statistics Act makes it the duty of the Undertaker or person acting as Undertaker to obtain all the particulars required in the "Certificate of Registration of Death" and to file the same with the District Registrar.

VICTORIA, B. C.

(OVER)





15-09-1930342  
VITAL STATISTICS ACT. 11842

companies, had hardly anyone hurt."  
539 Superior Street, April 10, 1915  
LIVED HERE 35 YEARS

John Smith, Well Known as Im-  
promptu Speaker, Passed Away  
This Morning.

A citizen very well known in Victoria  
passed away this morning. This was  
John Smith, of 533 Superior street, who  
for the past thirty-five years has made  
his home in this city, winning in that  
time many close friends.

Mr. Smith was born in London, Eng-  
land, sixty-four years ago, and came  
here in the early 'eighties, almost im-  
mediately taking a position with the  
Chris Morley Soda Water company, un-  
til the time of his retirement ten years  
ago being foreman for that business.  
He was very well known as a witty and  
entertaining impromptu speaker at  
banquets and public functions of the  
kind, and in his role earned quite a  
reputation for himself.

Besides his widow he is survived by  
one sister, Mrs. Stephenson, living in  
England. He was a member of the  
Ancient Order of United Workmen.  
The funeral will take place from the  
B. C. Funeral parlors on Monday after-  
noon at 2.30, Rev. W. Leslie Clay to  
officiate.

DULE B.—Deaths.

City or town of .....  
District of ..... B.C.  
12. How long resident in city ..... 35 years  
11. How long in district .....  
10. How long in Canada, if foreign born .....  
13. (a) Name of father .....  
(b) Birthplace of father .....  
(c) Maiden name of mother .....  
(d) Birthplace of mother .....  
The foregoing stated Personal Particulars are True  
to the Best of my Knowledge and Belief.  
15. Informant .....  
Address .....  
17. Undertaker .....  
Address .....  
CERTIFICATE OF CAUSE OF DEATH.  
with ..... from 1900 ..... to April 9, 1915.  
1915. That he died, as I am informed, on the 10th day of April, 1915.  
and belief, the cause of his death was as hereunder written.  
X YEAR OLD, STATE HOW FED.)  
Cause ..... Kidney Disease .....  
no .....  
Circumstances .....  
Duration of Illness, days or hours ..... 4 years  
Signature .....  
Witness my hand, this ..... day of April, 1915.  
SMITH—In this city, on the 10th instant, John Smith, a native of London, Eng-land, aged 64 years. The deceased, who leaves a widow, and one sister resid-ing in England, was youngest son of the late Wm. G. Smith, of London, England, and educated at the North London Collegiate College, and for over twenty-five years employed by the late Chris. Morley.  
The funeral will take place on Monday, April 12, at the chapel of the B.C. Funeral Co., 234 Broughton street, at 2.30 p. m. the Rev. Dr. Clay officiating. Interment in Ross Bay cemetery.  
TIMES 1915-04-10



# RESEARCH SUMMARY



*View from Parliament Buildings, circa 190-. [British Columbia Archives B-01799]*



DONALD LUXTON  
ASSOCIATES