1515 Douglas Street
750 Pandora Avenue
Victoria, BC

Rezoning / D.P. Application

D'AMBROSIO architecture + urbanism 1134

2960 Jutland Road
Victoria BC Canada V8T5K2

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eml mail@fdarc.ca
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Revised Plans Issued with Annotations **4 July 2014**

Contacts

Registered Owner

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V8V 3L1

Architect

D'Ambrosio architecture + urbanism — Frank D'Ambrosio
2960 Jutland Road — tel. 250 384 2400
Victoria, BC — fax. 250 384 7893
V8T 5K2

Landscape Architect

Murdoch de Greiff Inc. — Scott Murdoch
200 - 524 Cadboro Bay Road — tel. 250 412 2891
Victoria, BC
V8Z 1G1

Civil Consultant

WSP Canada Inc. — Stephen Childs
400 - 401 Garbally Road — tel. 250 384 5510
Victoria, BC — fax. 250 386 7844
V8T 2M3

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Civil

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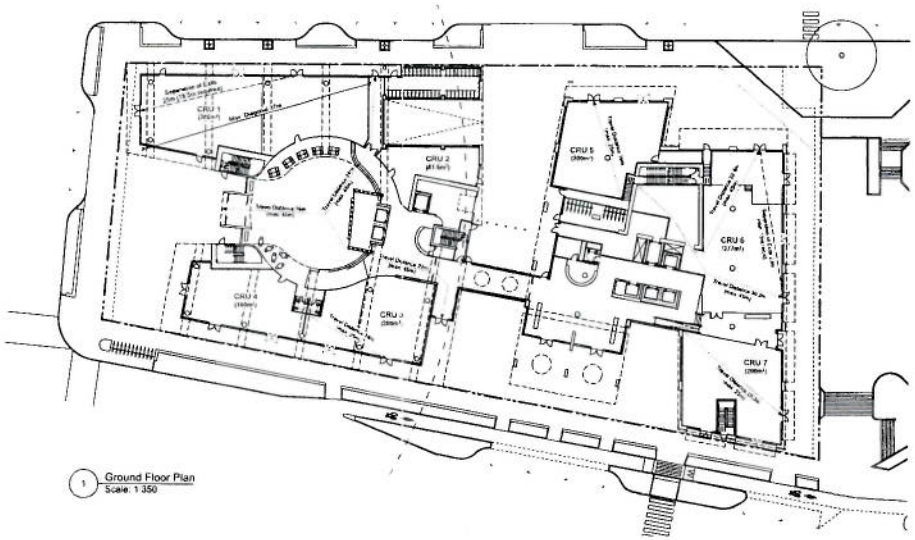
RZ-C-01 Proposed Curb Alignments and Lane Markings



1 Ground Floor Plan
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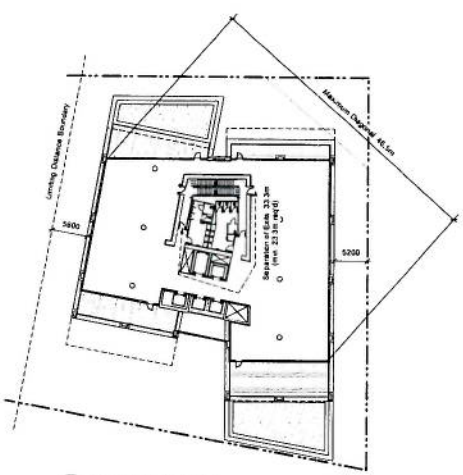

3 Upper Floor Plan Level 7
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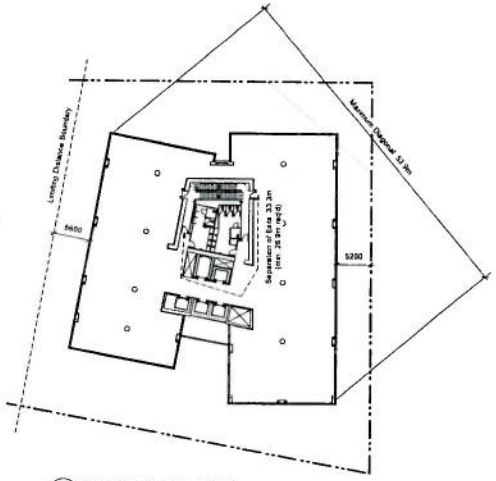
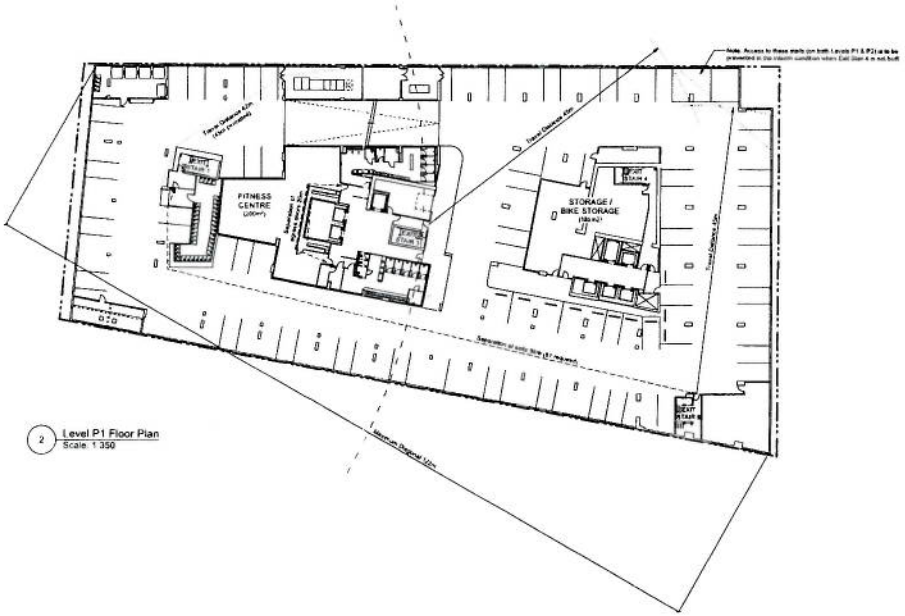


4 Upper Floor Plans Levels 8-13
Scale: 1:350



2 Level P1 Floor Plan
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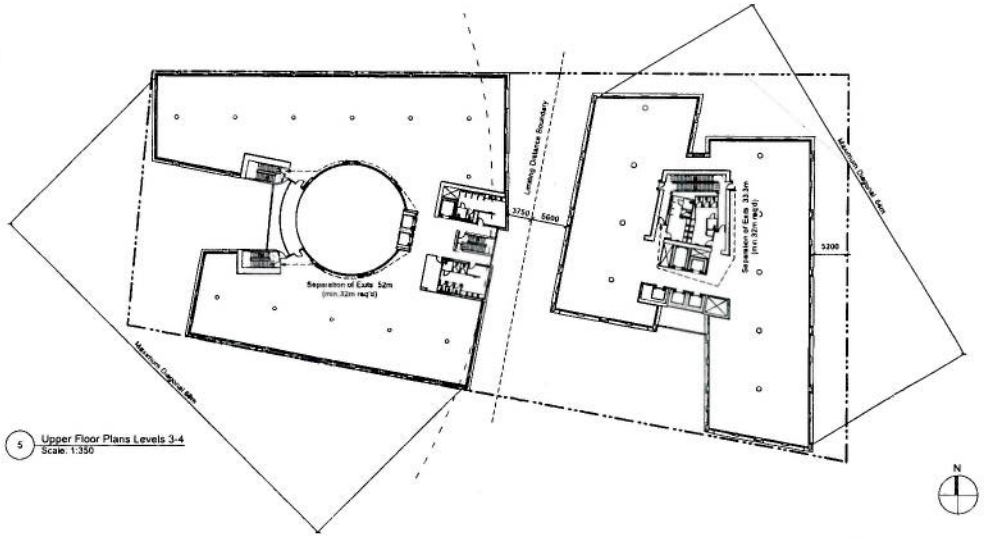

5 Upper Floor Plans Levels 3-4
Scale: 1:350

N

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GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

Revision	Description	Date
1	REISSUED FOR REZONING & DP	14/04/22
	REISSUED FOR REZONING & DP	13/12/20

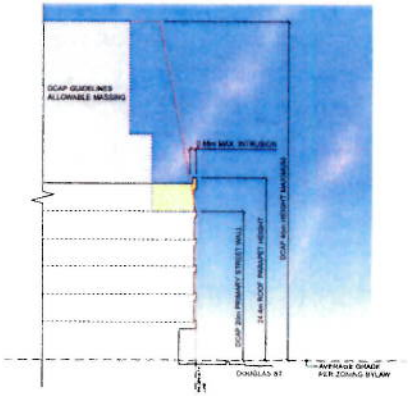
DABROSIN

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Code Diagrams

Project No: 1134 Drawing File: Plans Current

14.04.22
1:350
AS JP
RM
A0.2



1 Building 1 - Douglas St. Section
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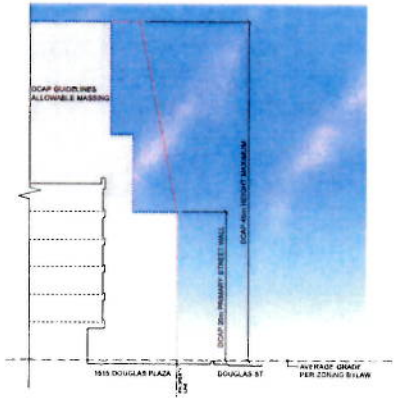

2 Building 1 - Douglas St. Section at Plaza
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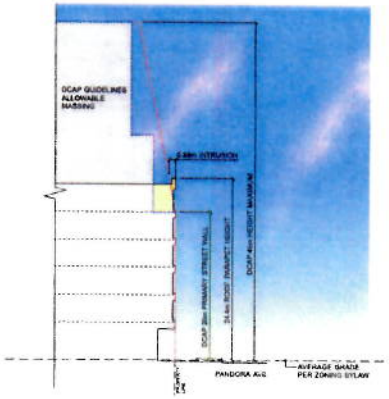

3 Building 1 - Pandora Ave. Section
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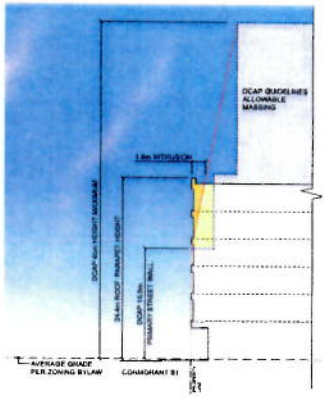

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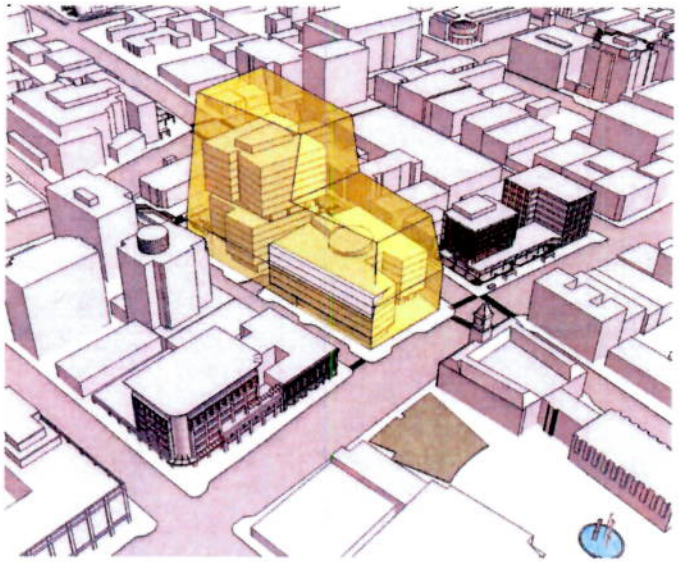
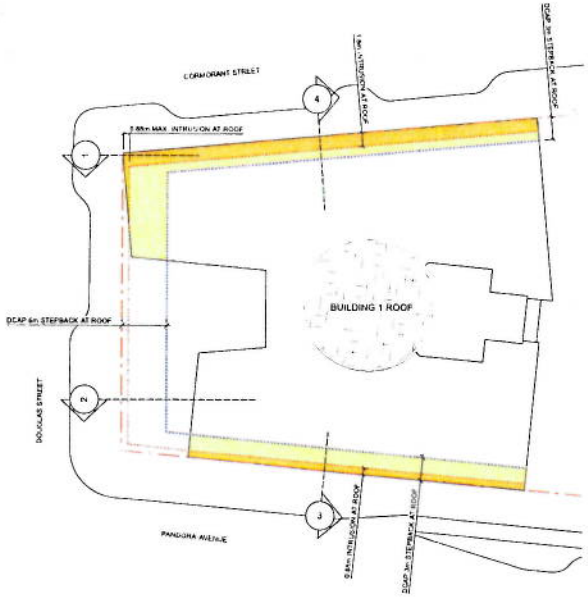


Perspective Illustration of Project Massing



Building 1 - Key Plan
Scale: 1:300

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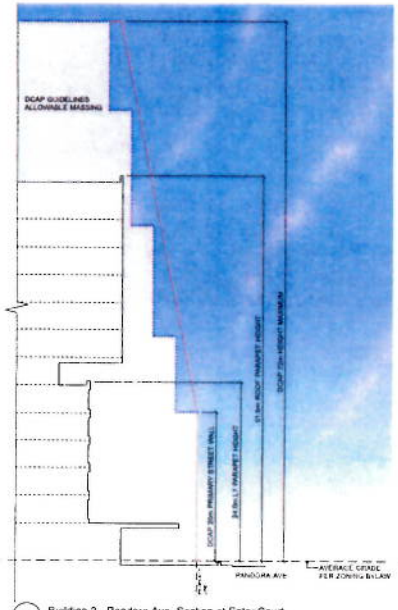
	DCAP 3rd REZONING & DP	10/12/22
1	REVISED REZONING & DP	14.04.23

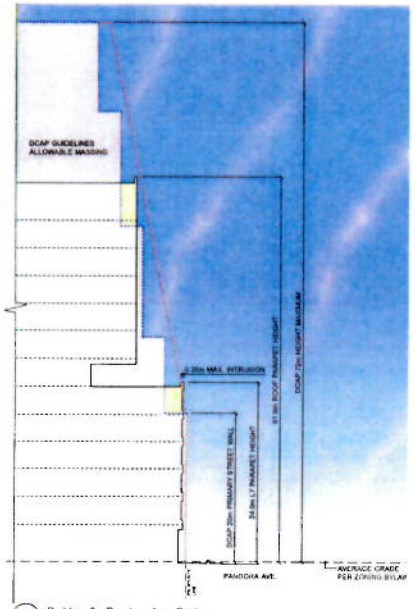
1515 Douglas Street
750 Pandora Avenue
Victoria BC

DCAP Guidelines
Street Wall and Setback Analysis

14.04.23
1:300
A0.3



5 Building 2 - Pandora Ave. Section at Entry Court
Scale: 1:300



6 Building 2 - Pandora Ave. Section
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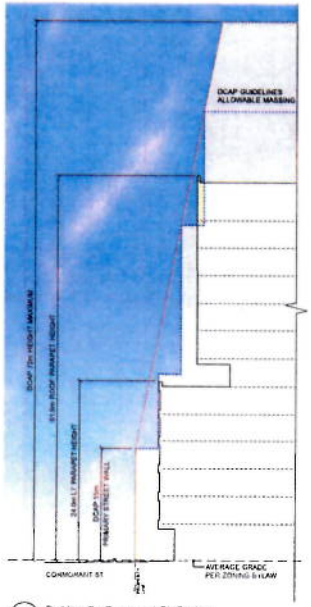

7 Building 2 - Cormorant St. Section
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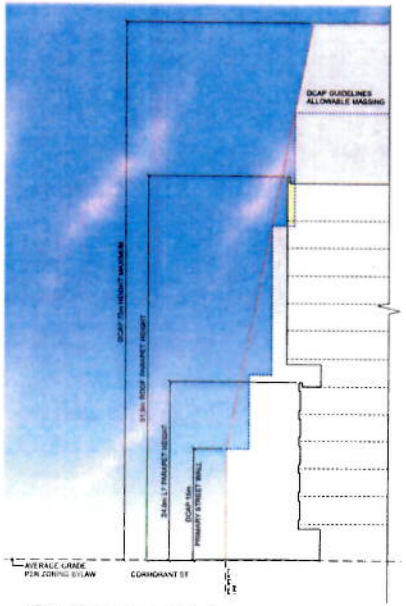
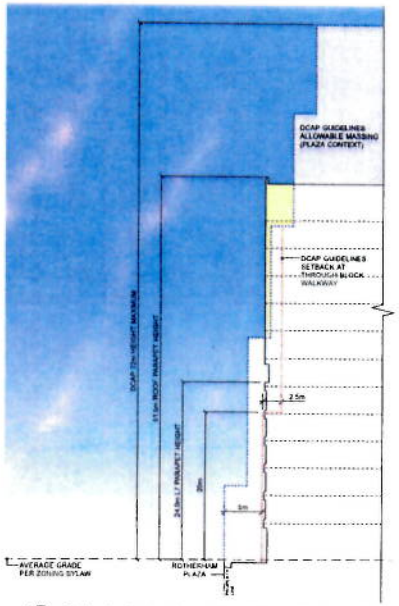


8 Building 2 - Cormorant St. Section
Scale: 1:300



9 Building 2 - Section at Through-Block Walkway / Rotherham Plaza
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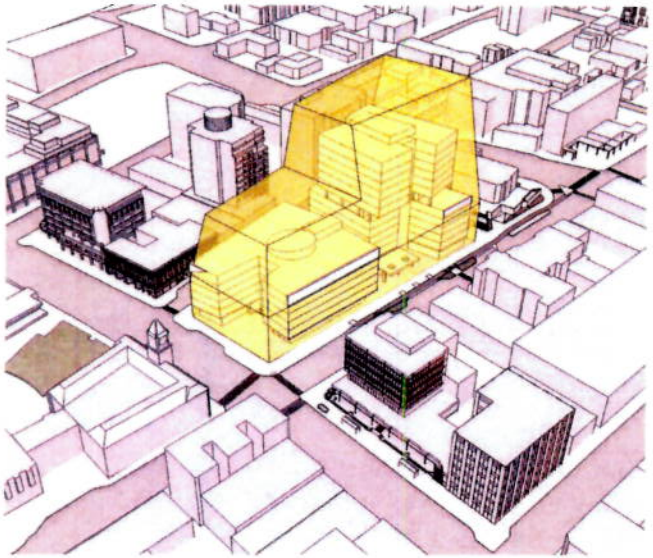
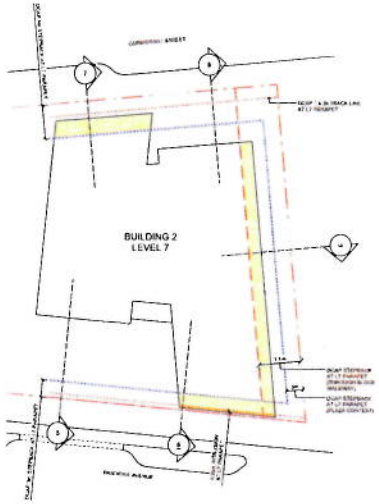
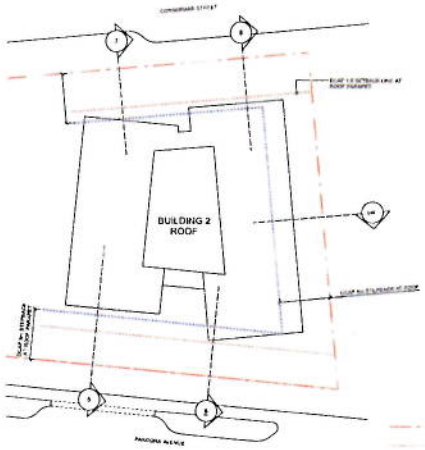


Perspective Illustration of Project Massing



Building 2 - Level 7 Key Plan
Scale: 1:400



Building 2 - Roof Level Key Plan
Scale: 1:400

PROPERTY LINE
DCAP GUIDELINE - 1.5 SETBACK LINE
DCAP GUIDELINE - STREET WALL SETBACK LINE
DCAP GUIDELINE - 1.5 SETBACK INTRUSION
DCAP GUIDELINE - STREET WALL STEPBACK INTRUSION

PREPARED FOR JAWL ENTERPRISES LTD.

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION.

	ISSUED FOR REZONING & D.P.	10/12/09
1	REVISED REZONING & D.P.	14/04/11

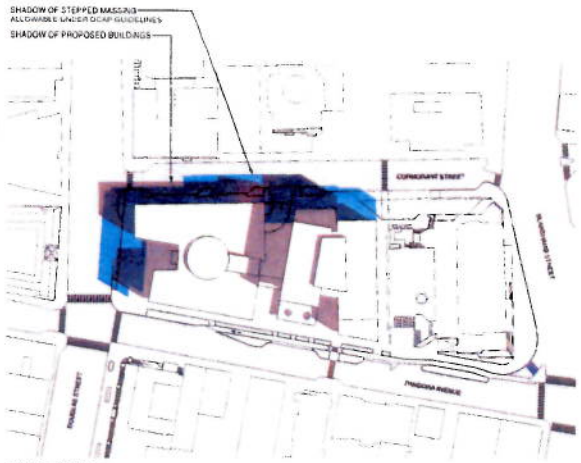
D'AMBROSIO

1515 Douglas Street
730 Pandora Avenue
Victoria BC

DCAP Guidelines
Street Wall and Setback Analysis

Project No.: 1134 Drawing File: DCAP Analysis

14 of 23
A8.4



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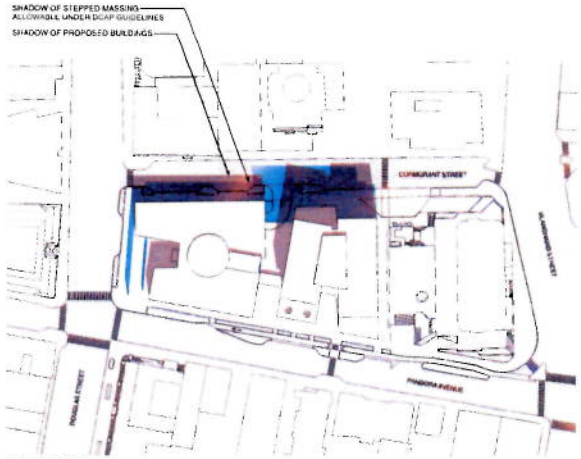
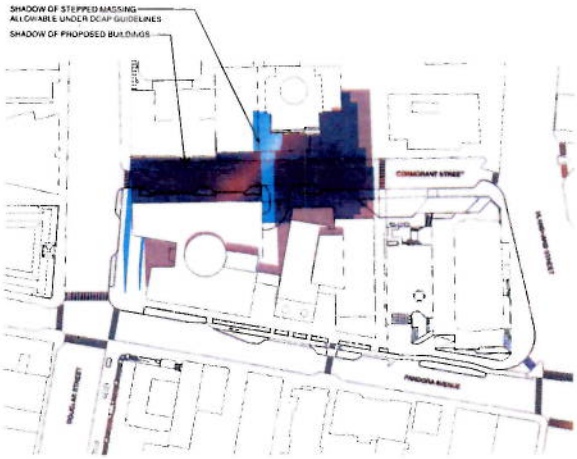


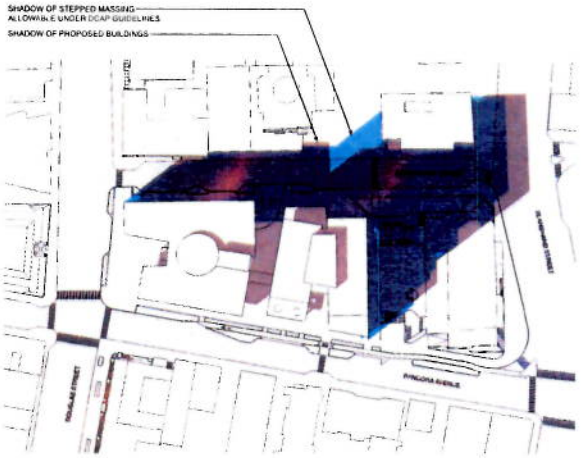
JUNE 21, 12:00pm

JUNE 21, 3:00pm

SEPTEMBER 21, 10:00am



SEPTEMBER 21, 12:00pm



SEPTEMBER 21, 3:00pm

NOTE: FOR CLARITY, SHADOWS CAST BY EXISTING BUILDINGS ARE NOT DEPICTED

BLUE-TONED AREAS DEPICT SHADOW OF MASSING STEPPED PER DCAP GUIDELINES

GREY-TONED AREAS DEPICT SHADOW OF PROPOSED MASSING

PREPARED FOR JAWL ENTERPRISES LTD.

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION.

	ISSUED FOR REZONING & DP	18/12/20
1	REVISED REZONING & DP	14/06/21

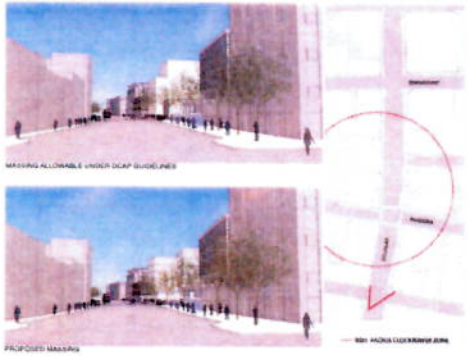
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Shadow Study Diagrams

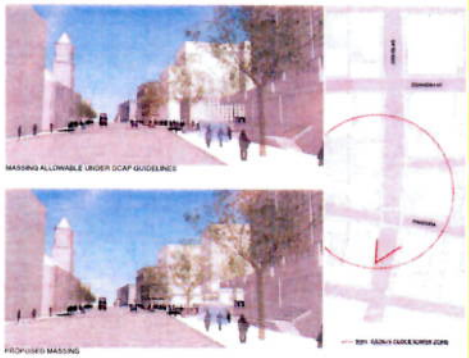
A0.5

DOUGLAS STREET VIEW ANALYSIS

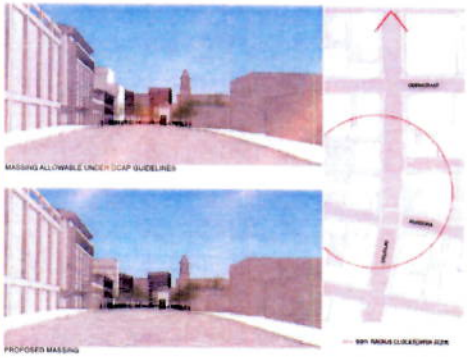
DOUGLAS AT JOHNSON - LOOKING NORTH



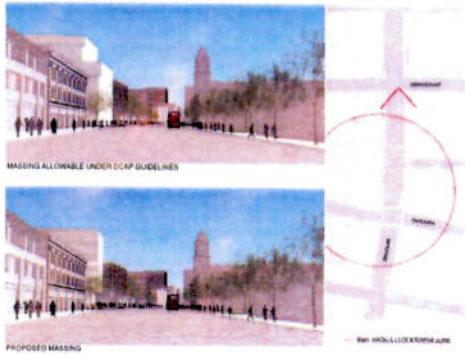
DOUGLAS APPROACHING PANDORA - LOOKING NORTH



DOUGLAS AT HERALD - LOOKING SOUTH



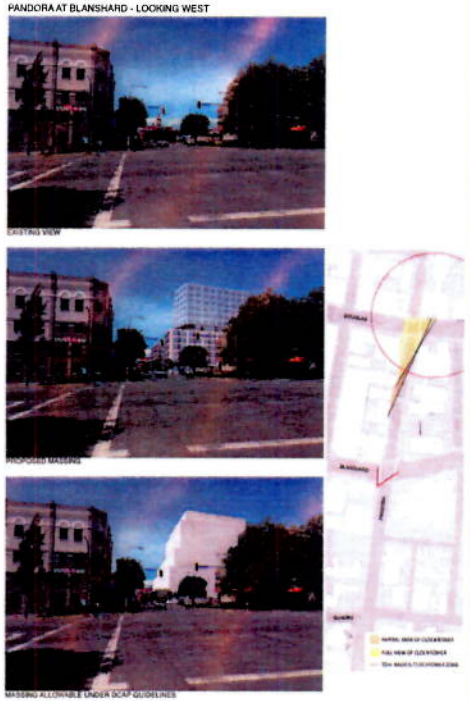
DOUGLAS AT FISGARD - LOOKING SOUTH



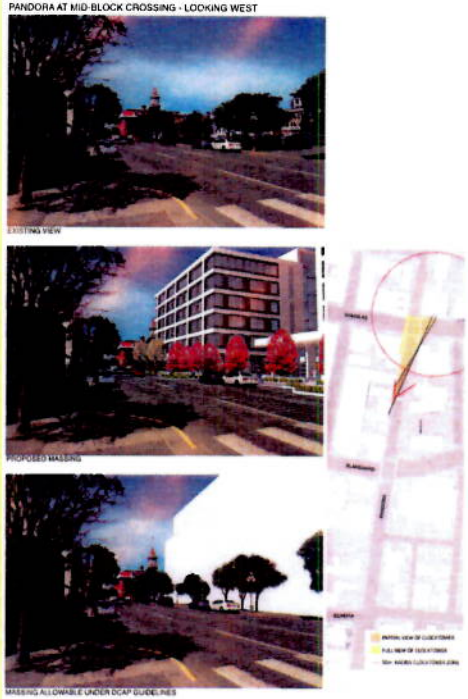
PANDORA AVENUE VIEW ANALYSIS

PANDORA AT QUADRA - LOOKING WEST

PANDORA AT BLANSHARD - LOOKING WEST



PANDORA AT MID-BLOCK CROSSING - LOOKING WEST



PANDORA APPROACHING DOUGLAS - LOOKING WEST FROM EDGE OF 90m CLOCK TOWER RADIUS

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GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION.

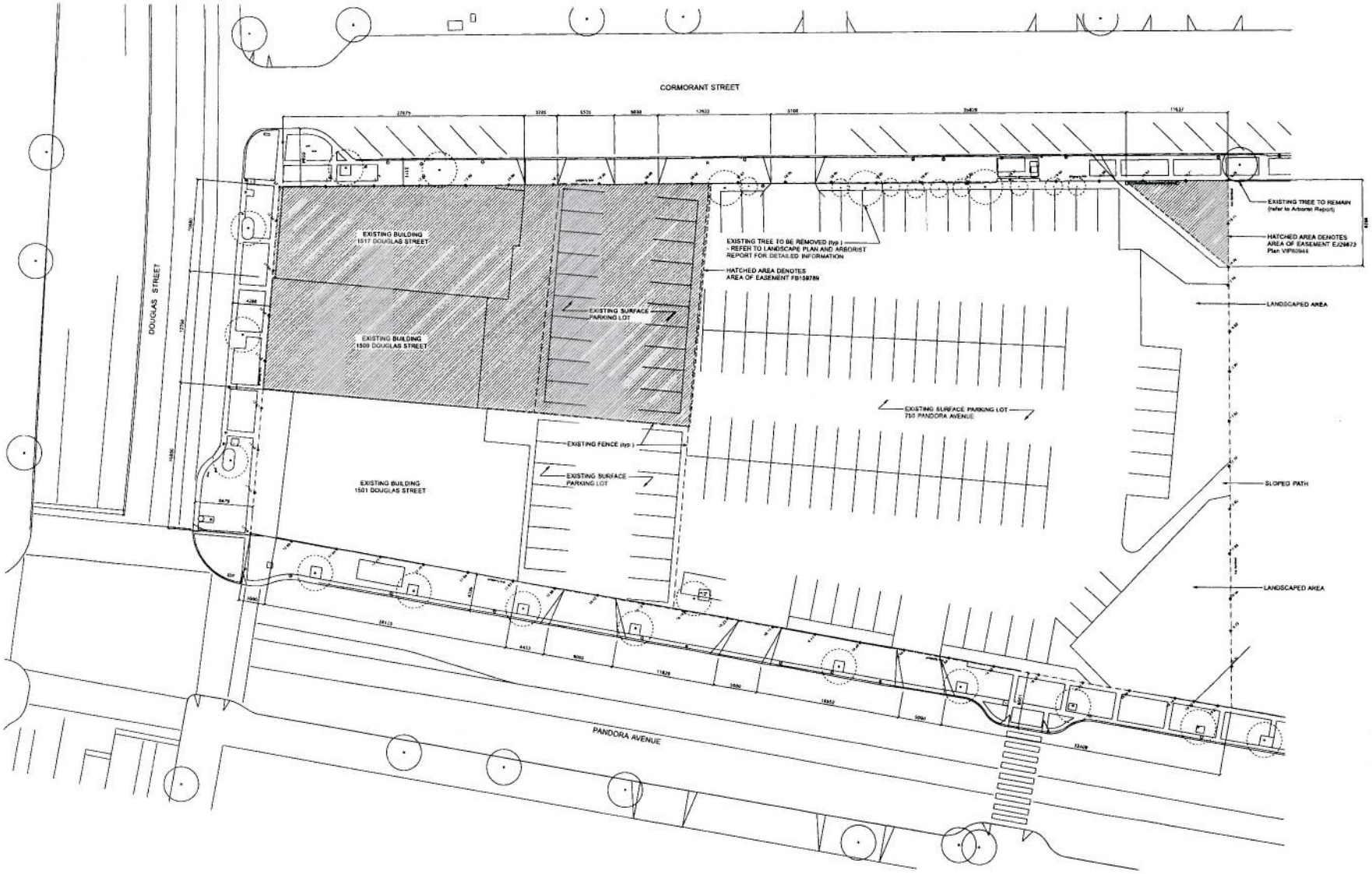
	ISSUED FOR REZONING & DP	12/12/22
1	REVISED REZONING & DP	14/04/23

1515 Douglas Street
754 Pandora Avenue
Victoria BC

View Analysis Diagrams

Project No: 11.14 Drawing File: DCAP Analysis

A0.6



NOTE

1. EXISTING SITE PLAN IS BASED ON SURVEY INFORMATION PROVIDED BY J.E. ANDERSON & ASSOCIATES, INCLUSIVE OF: LEGAL PROPERTY LINE AND EASEMENT BOUNDARIES, GRADE ELEVATIONS ALONG PROPERTY LINES, AND LOCATIONS OF RIGHT-OF-WAY CURBS AND FEATURES.

2. REFER TO CIVIL CONCEPT SITE SERVICING PLAN FOR INFORMATION ON UNDERGROUND UTILITIES.

PREPARED FOR JAWL ENTERPRISES LTD.

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION.

Issue	description	date
1	REISSUED FOR REZONING & D.P.	14/04/23
	ISSUED FOR REZONING & D.P.	12/12/22

D'AMBROSIO

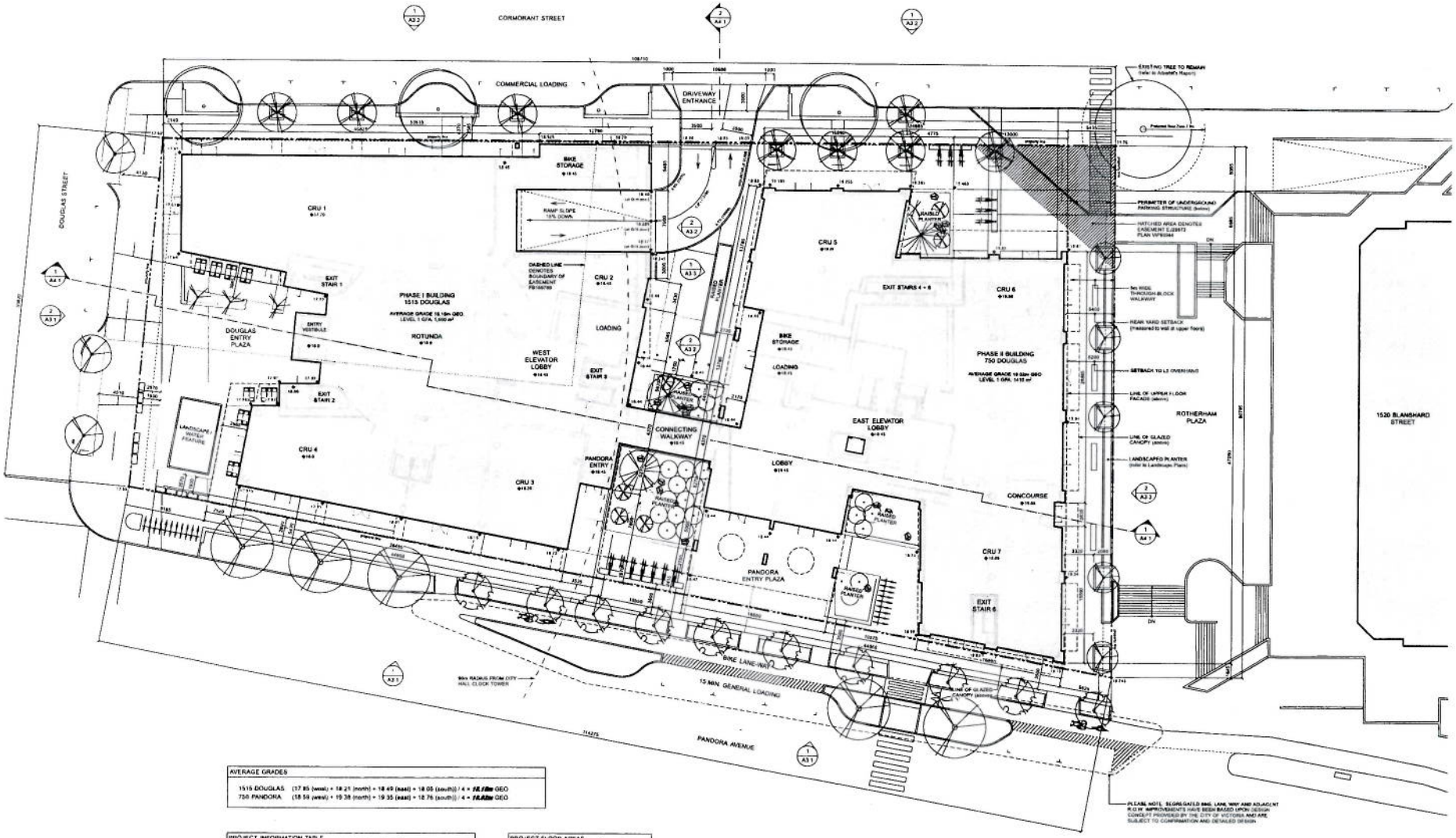
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Existing Site Plan

Project No: 1134 Drawing File: Plans Current

Date	14.04.23
Scale	1:200
Drawn	RM
Checked	RMA
Issue No.	1
Sheet No.	A1.1

scale in metres: 0 5m 10m 15m 20m



AVERAGE GRADES	
1515 DOUGLAS	(17.85 (west) + 18.21 (north) + 18.49 (east) + 18.05 (south)) / 4 = **18.15m** GEO
750 PANDORA	(18.59 (west) + 19.38 (north) + 19.35 (east) + 18.76 (south)) / 4 = **19.02m** GEO

PROJECT INFORMATION TABLE	
Zone (existing)	CA-4 + CA-40
Proposed zone or site specific zone	New Comprehensive Development Zone
Site area (m2)	5,571.93
Total floor area (m2)	26,660.00
Commercial floor area (m2)	26,660.00
Floor space ratio	4.78
Site coverage %	**72**
Open site space %	**28** (includes area under Phase II canopies)
Height of building (m)	**Phase I: 27.03 Phase II: 33.17 (TBC)**
Number of storeys	Phase I: 8 Phase II: 13
Parking stalls (number) on site	220
Bicycle parking number	**34 (Class I) + 24 (Class II)**
Building Setbacks (m)	
Douglas Street	0
Pandora Avenue	0
Cormorant Street	0
East Side Yard	**0.0**

PROJECT FLOOR AREAS	1515 Douglas (Phase I) (m2)	750 Pandora (Phase II) (m2)
Level 1	**1666.00**	**1410.00**
Level 2	**1670.00**	**1366.00**
Level 3	**1700.00**	**1366.00**
Level 4	**1700.00**	**1366.00**
Level 5	**1704.00**	**1366.00**
Level 6	**1704.00**	**1366.00**
Level 7		**806.00**
Level 8		**1357.00**
Level 9		**1357.00**
Level 10		**1357.00**
Level 11		**1357.00**
Level 12		**1357.00**
Level 13		**1357.00**
Sub-Total	**10043.00**	**16007.00**

PREPARED FOR JAWL ENTERPRISES LTD

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

revisions	description	date
1	REISSUED FOR REZONING & DP	14/04/23
	ISSUED FOR REZONING & DP	13/11/20

DARGOSH

1515 Douglas Street
750 Pandora Avenue
Victoria BC

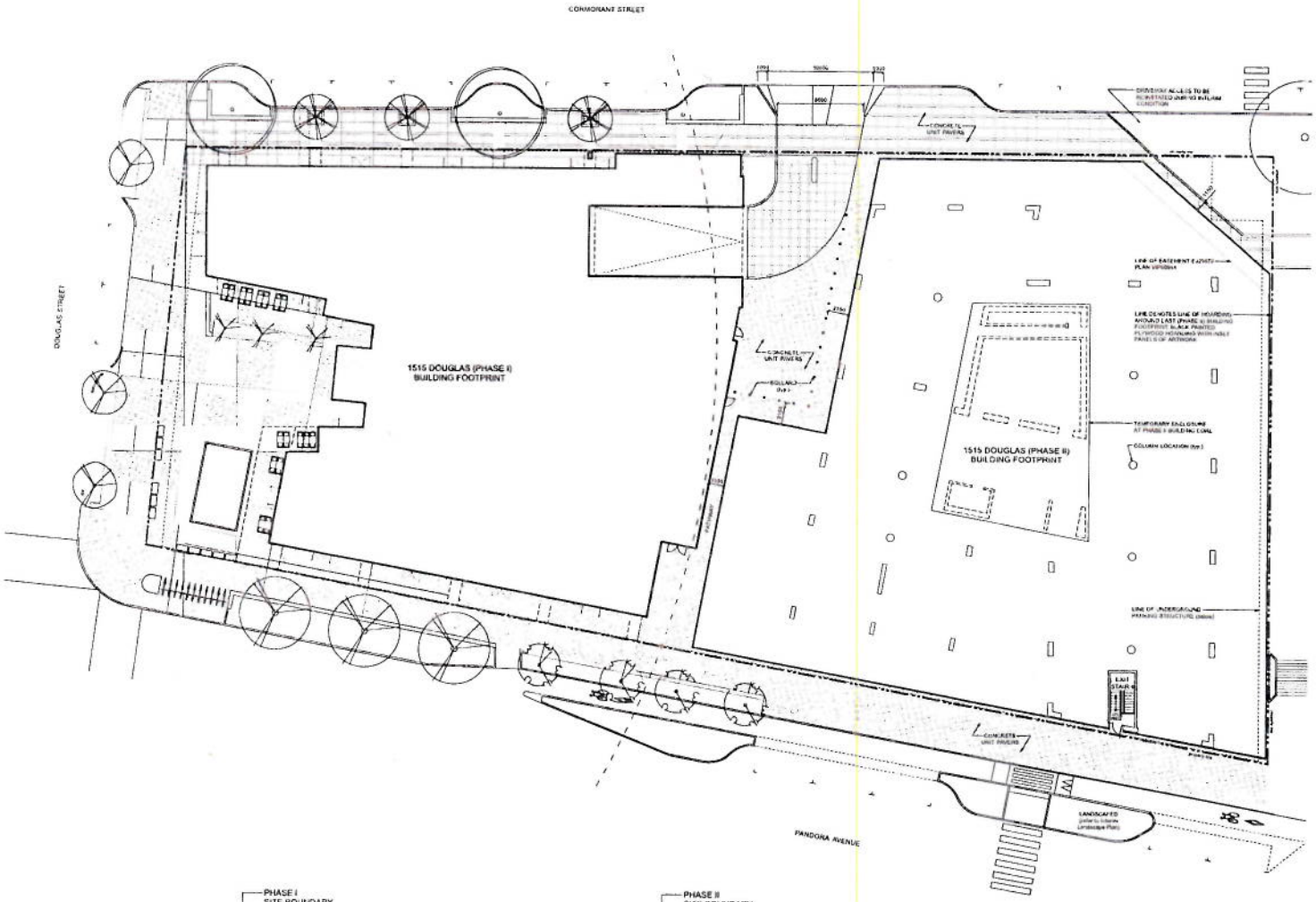
Proposed Site Plan + Project Data

date	14.04.23
scale	1:200
drawn by	MK, JY
checked by	MK
drawing no.	A1.2

Project No: 1134 Drawing File: Plans Current

N

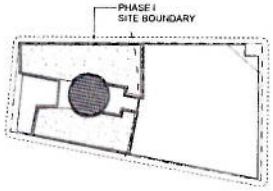
0 5m 10m 15m 20m
scale in metres



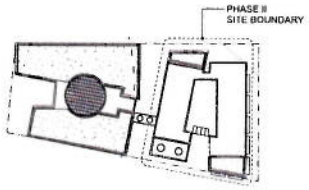
VIEW LOOKING WEST DOWN PANDORA

VIEW LOOKING WEST DOWN CORMORANT

VIEW LOOKING EAST UP PANDORA SIDEWALK



CONSTRUCTION PHASE I
- UNDERGROUND PARKING LEVELS P1 & P2 ACROSS ENTIRE SITE
- ABOVE GROUND CONSTRUCTION OF 1515 DOUGLAS BUILDING



CONSTRUCTION PHASE II
- ABOVE GROUND CONSTRUCTION OF 750 PANDORA BUILDING
- COMPLETION OF ROW IMPROVEMENTS

PREPARED FOR JAWL ENTERPRISES LTD

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

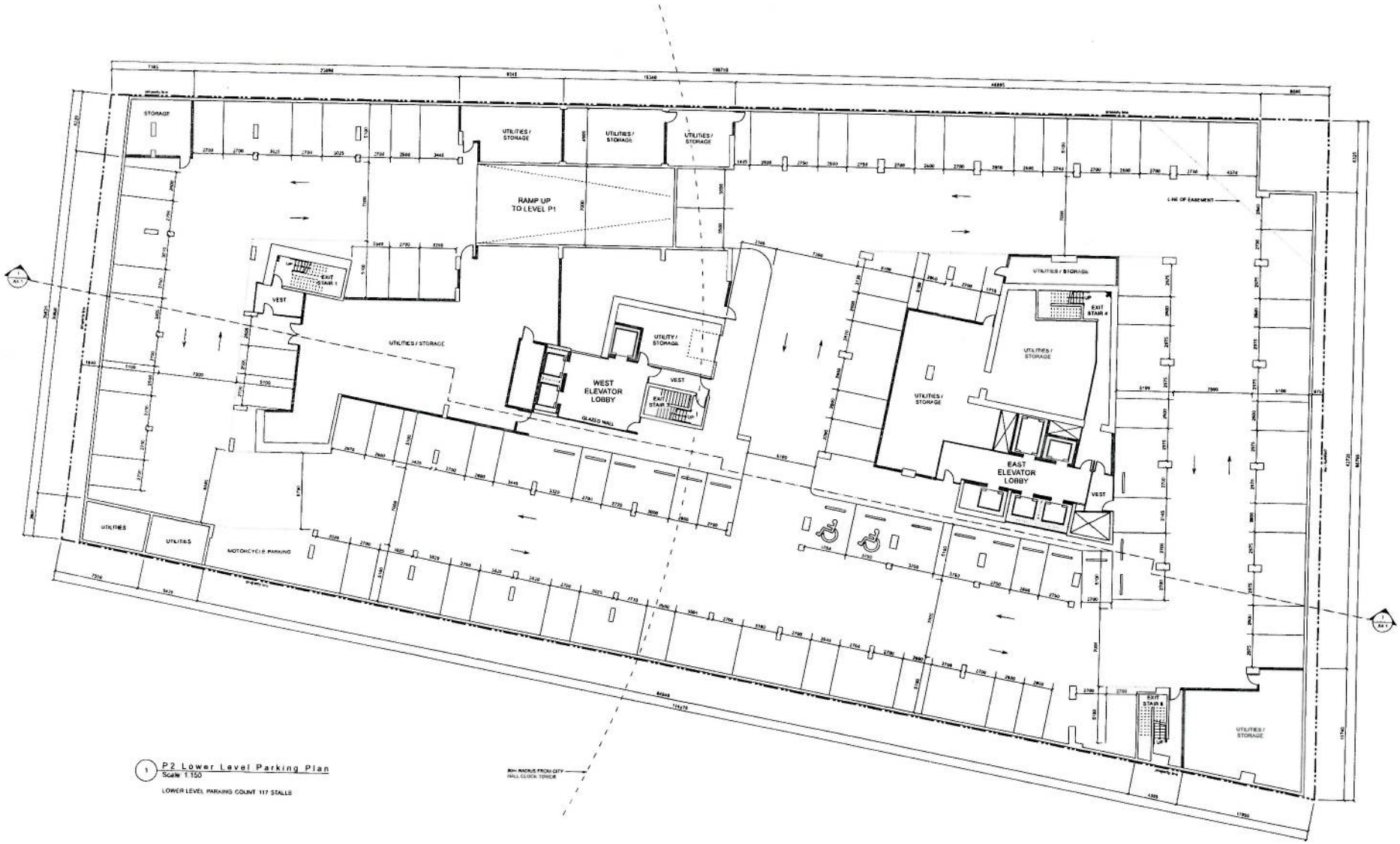
1	REISSUED FOR REZONING & DP	14/04/23
	ISSUED FOR REZONING & DP	18/10/22

DAMOTOR

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Interim Condition
Site Plan

A1.3



1 P2 Lower Level Parking Plan
Scale: 1:150

LOWER LEVEL PARKING COUNT 117 STALLS

PREPARED FOR JAWL ENTERPRISES LTD

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

Issue	Description	Date
1	REISSUED FOR REZONING & DP	16/04/22
	ISSUED FOR REZONING & DP	12/11/20

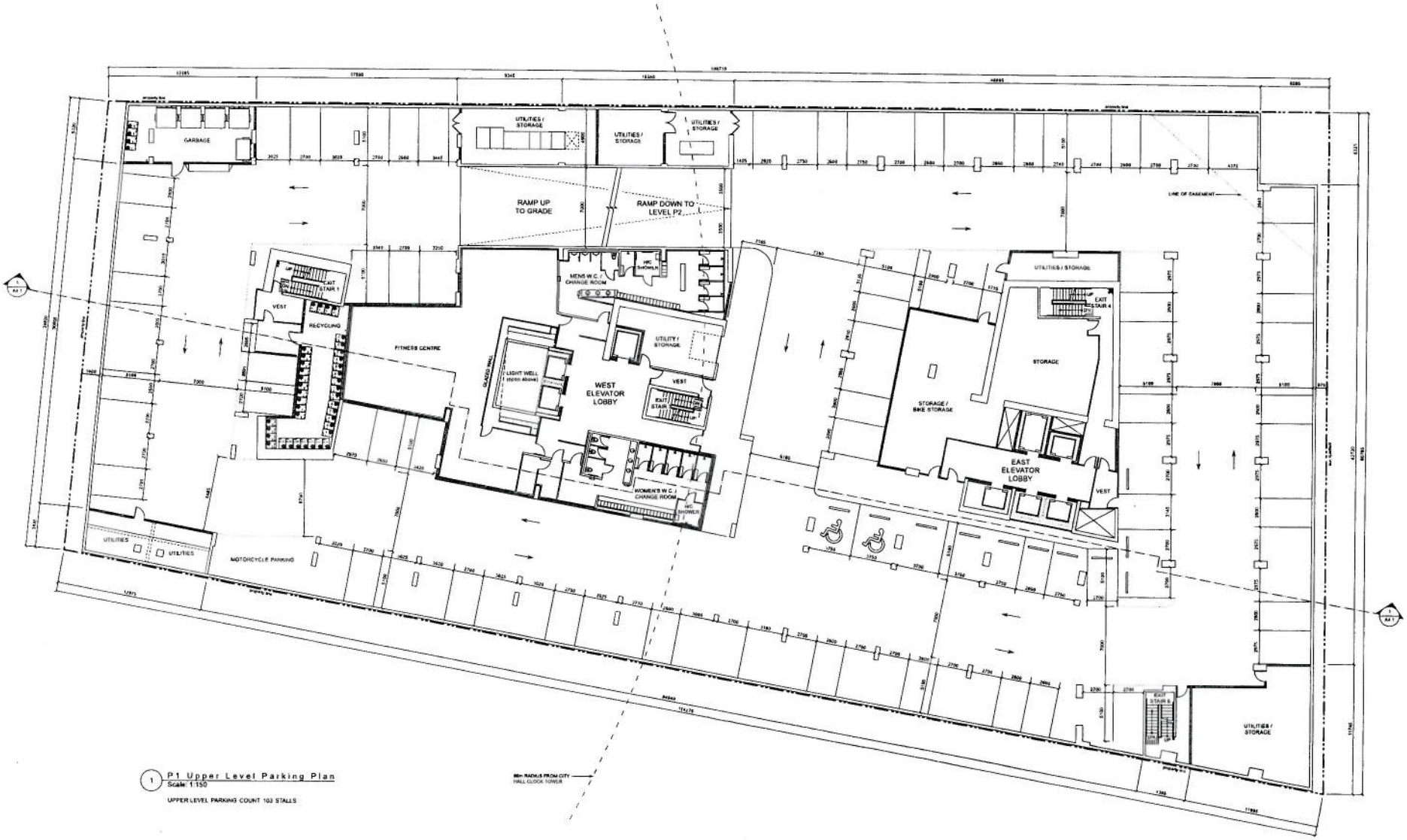
D'AMBROSIO

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Level P2
Lower Parking Plan

Scale in metres: 0 5m 10m 15m

Date	14.04.21
Scale	1:150
Drawn by	MA/JR
Checked by	RM
Drawing No.	A2.1



1 P1 Upper Level Parking Plan
Scale: 1:150

UPPER LEVEL PARKING COUNT 103 STALLS

86m RADIUS FROM CITY HALL CLOCK TOWER

N

0 5m 10m 15m
scale in metres

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GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

revisions	description	date
1	REISSUED FOR REZONING & D.P.	14/04/22
	ISSUED FOR REZONING & D.P.	12/12/20

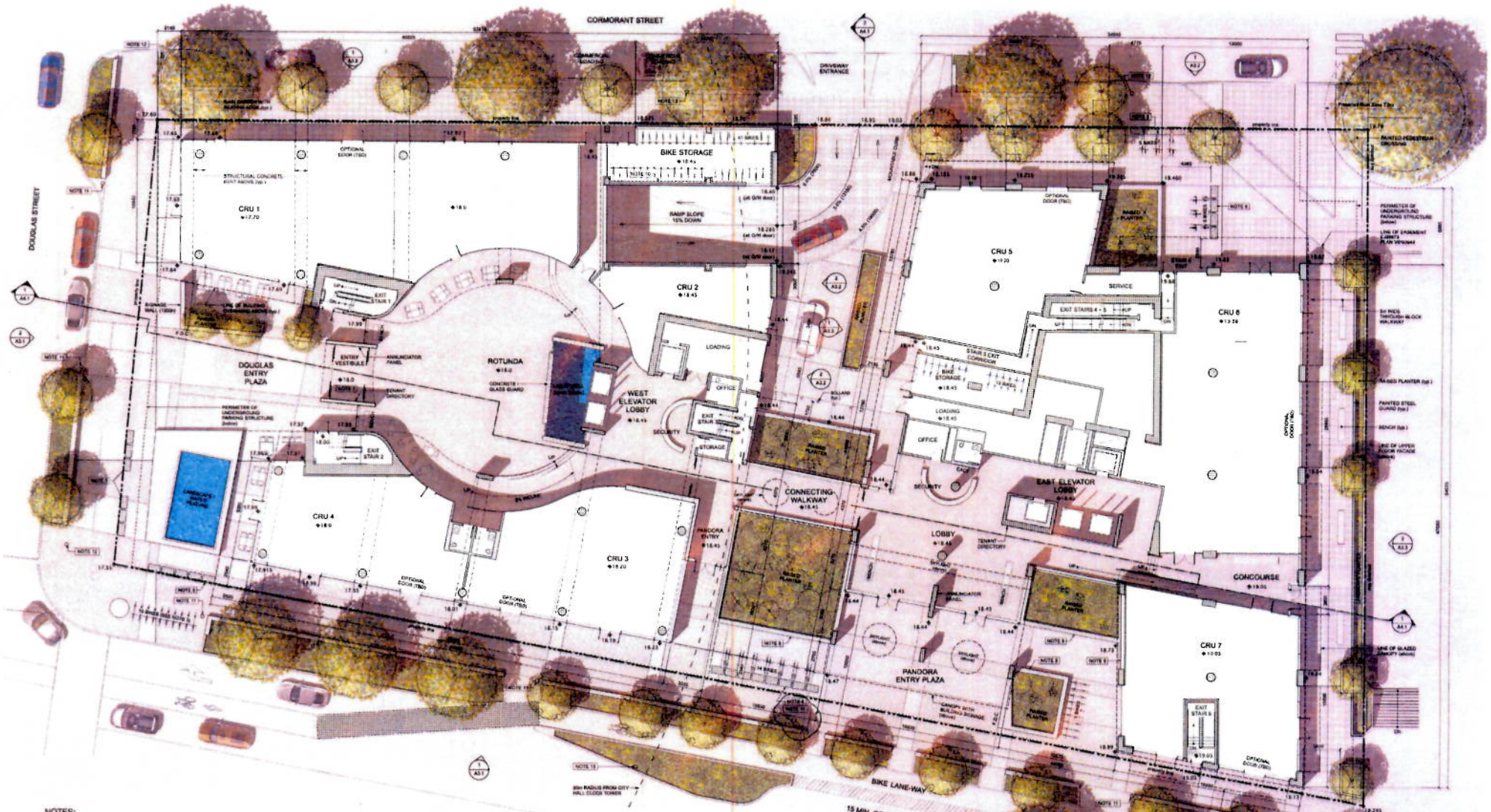
D'ARBOUSIE

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Level P1
Upper Parking Plan

Project No: 1134 Drawing File: Plans Current

date	14 04 22
scale	1:150
drawn by	KA P
checked	MA
drawing	A3.2



NOTES:

1. Refer to drawing L1.01 for information on paving materials and plantings.
2. Delineation of ground floor Commercial Retail Units and location of associated entrance doors are schematic and subject to confirmation of tenant configuration and requirements.
3. Bicycle racks shown in the public right-of-way are in addition to bylaw requirements for this project and are to be confirmed or revised, in consultation with Engineering & Public Works.
4. Site & building elements that incorporate material salvaged from the existing building at 1501 Douglas are noted below. For more detailed information refer to the revised Heritage Report Appendix E.
5. Salvaged black granite benches.
6. Salvaged black granite bench + bicycle rack.
7. Salvaged black granite cladding at entry portal.
8. Salvaged andesite planter seating wall.
9. Salvaged andesite wall cladding.
10. Salvaged aluminum panels (above).
11. Relocated 'Globe' street light.
12. Existing street / traffic light.
13. Relocated street / traffic light (final location to be determined in consultation with City of Victoria Engineering Dept.)

1 Level 1 Floor Plan
Scale: 1:150

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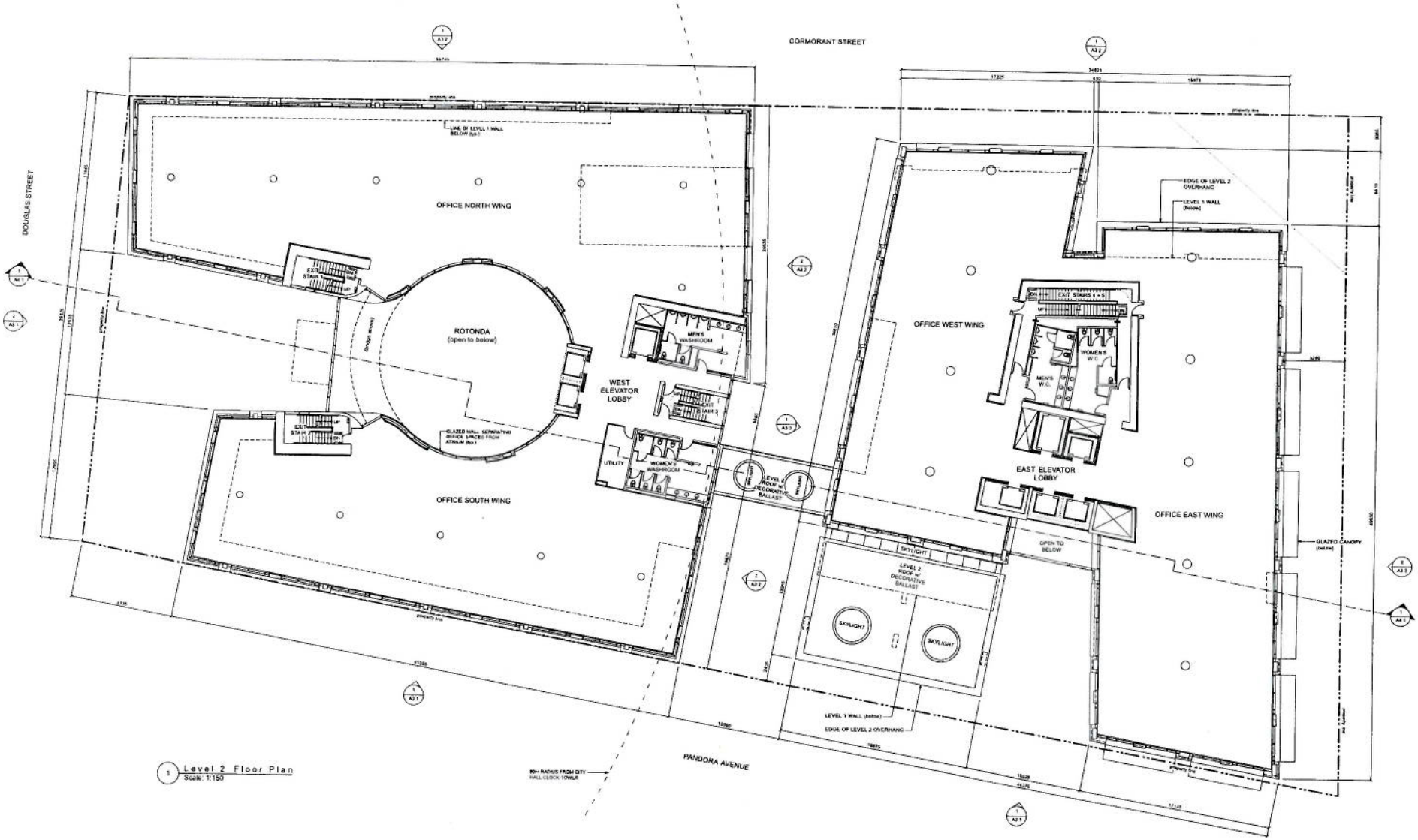
3	REISSUED FOR REZONING & D.P.	14/01/08
2	REISSUED FOR REZONING & D.P.	14/06/05
1	REISSUED FOR REZONING & D.P.	14/04/03
	ISSUED FOR REZONING & D.P.	13/12/06

1516 Douglas Street
750 Pandora Avenue
Victoria BC

Level 1
Ground Floor Plan

A2.3



1 Level 2 Floor Plan
Scale: 1:150

PREPARED FOR JAWL ENTERPRISES LTD

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

Issue	Description	Date
1	REISSUED FOR REZONING & DP	14/04/23
	ISSUED FOR REZONING & DP	13/12/22

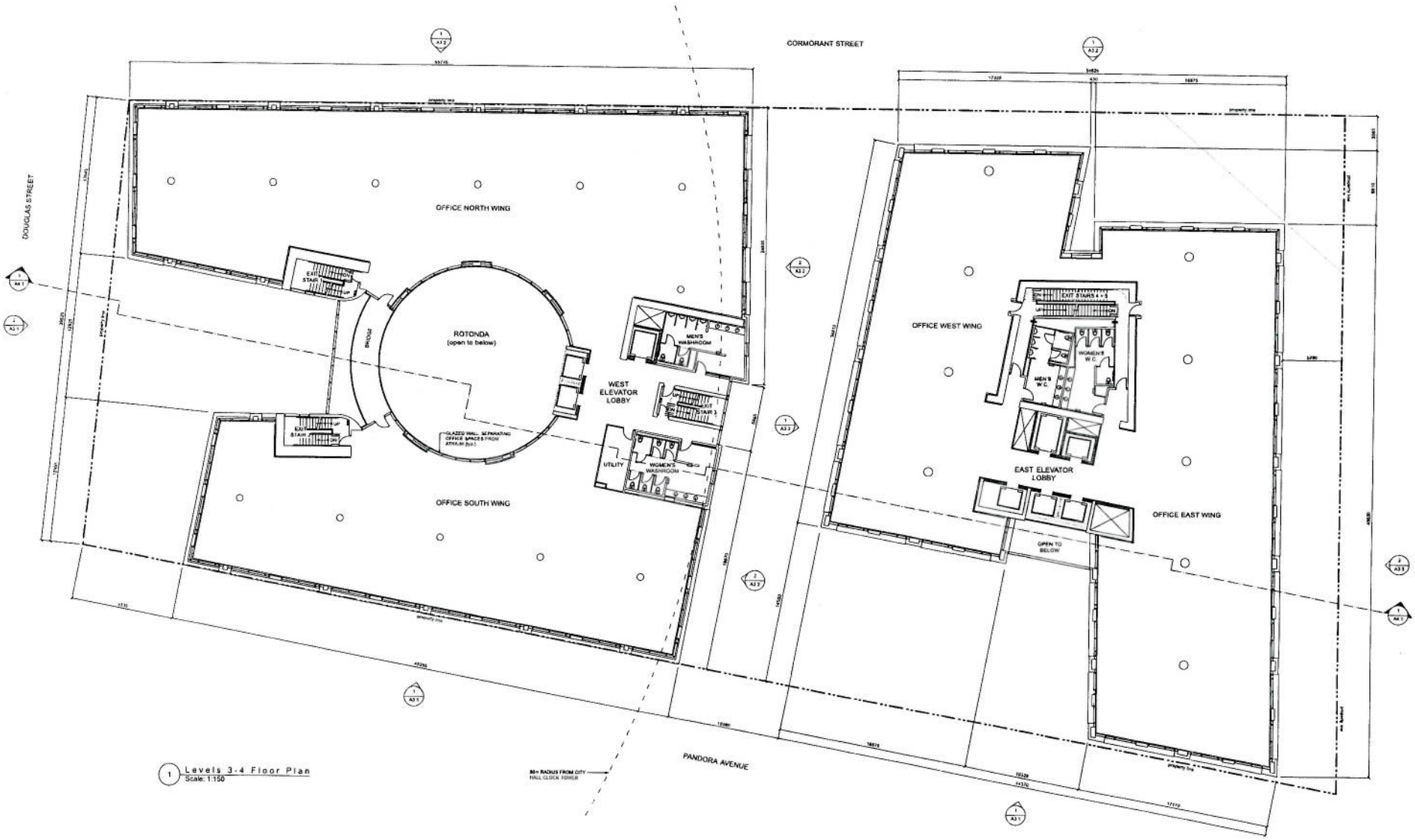
DAMOSO

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Level 2
Upper Floor Plan

Date	14.04.23
Scale	1:150
Drawn by	M. P.
Checked by	MG
Issue no.	1
Sheet no.	A2.4

Project No. 1134 Drawing File: Plans Current



1 Levels 3 - 4 Floor Plan
Scale: 1:150

PREPARED FOR JAWL ENTERPRISES LTD

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

REV NO	DESCRIPTION	DATE
1	REISSUED FOR REZONING & DP	14/04/23
	ISSUED FOR REZONING & DP	13/12/22

DAMMUSSE ARCHITECTS

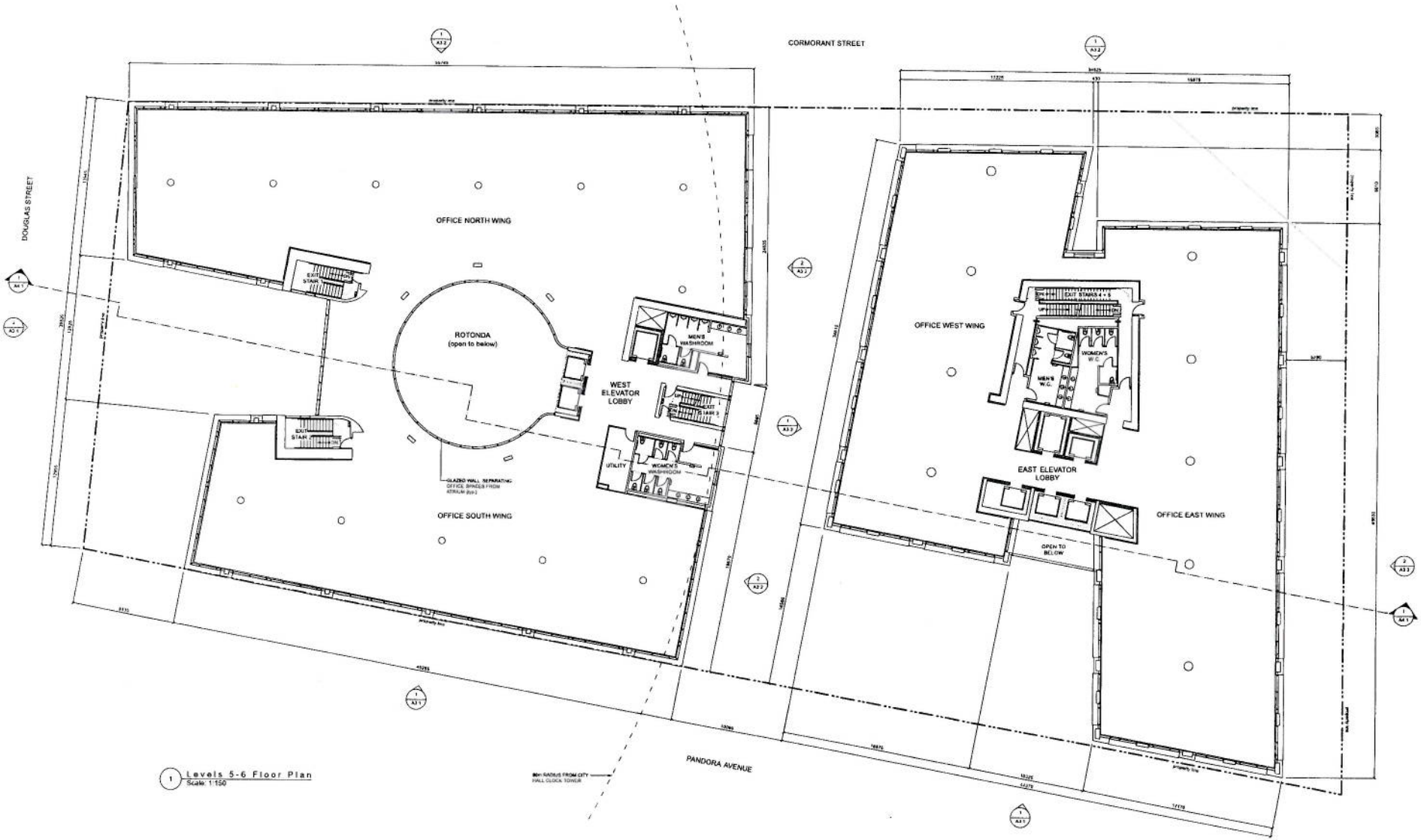
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Level 3 - 4
Upper Floor Plans

Project No: 1134

Scale in metres: 0 5m 10m 15m

DATE	14.04.23
SCALE	1:150
DRAWN BY	MA, JP
CHECKED BY	MA
DRAWING NO.	A3.5



1 Levels 5-6 Floor Plan
Scale: 1:150

PREPARED FOR JAWL ENTERPRISES LTD

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

Revision	Description	date
1	REISSUED FOR REZONING & D.P.	16/04/22
	ISSUED FOR REZONING & D.P.	12/12/20

DAMBROSIO

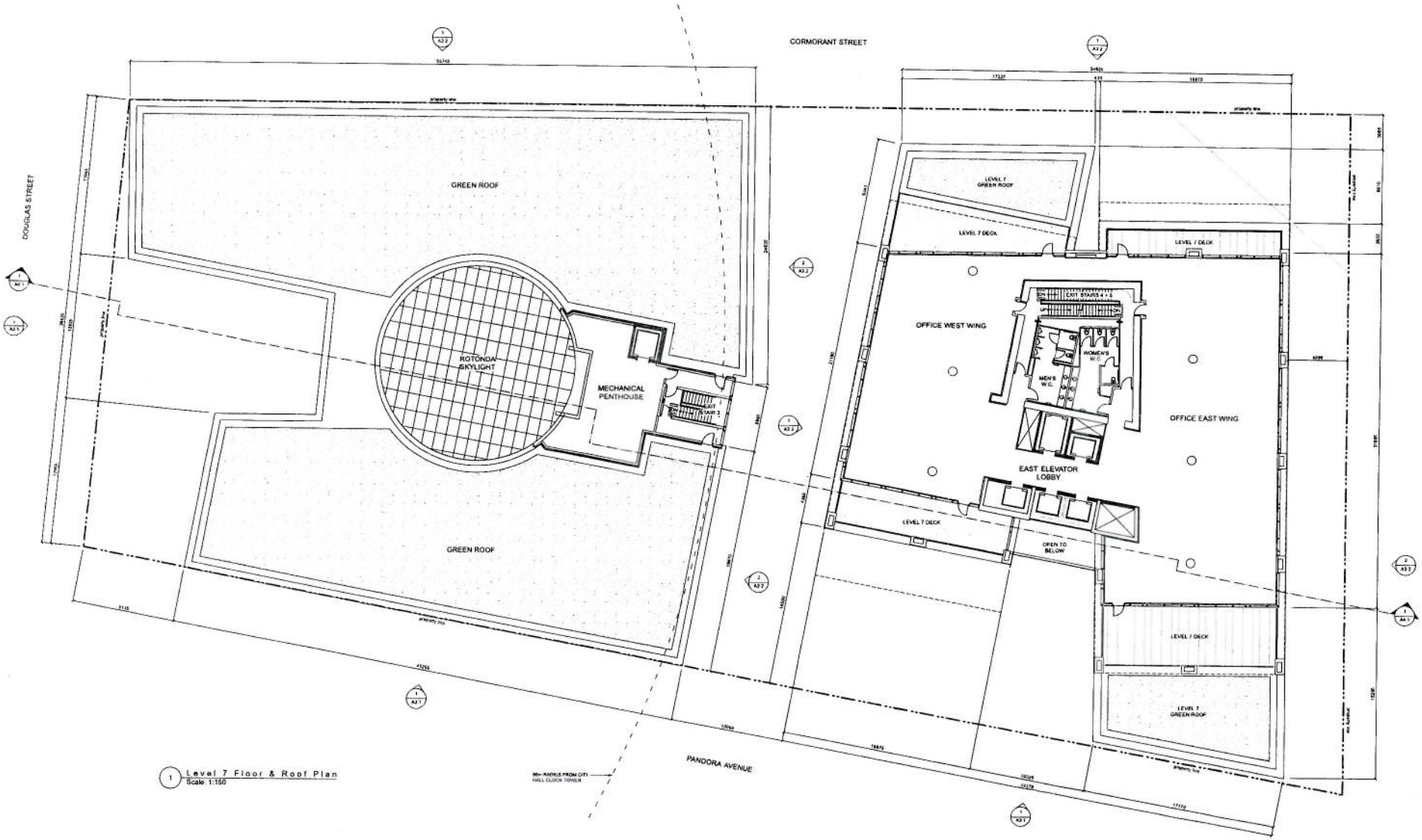
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Level 5 - 6
Upper Floor Plans

Project No. 1134 Drawing File: Plans

SCALE OF DRAWING 0 5m 10m 15m

Date	14.04.22
Scale	1:150
Drawn by	ed. P.
Checked	RM
Approved	
Revision	A2.6



1 Level 7 Floor & Roof Plan
Scale: 1:150

N

0 5m 10m 15m
scale in metres

PREPARED FOR JAWL ENTERPRISES LTD.

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION

revision	description	date
1	REISSUED FOR REZONING & DP	19/04/22
	ISSUED FOR REZONING & DP	19/12/20

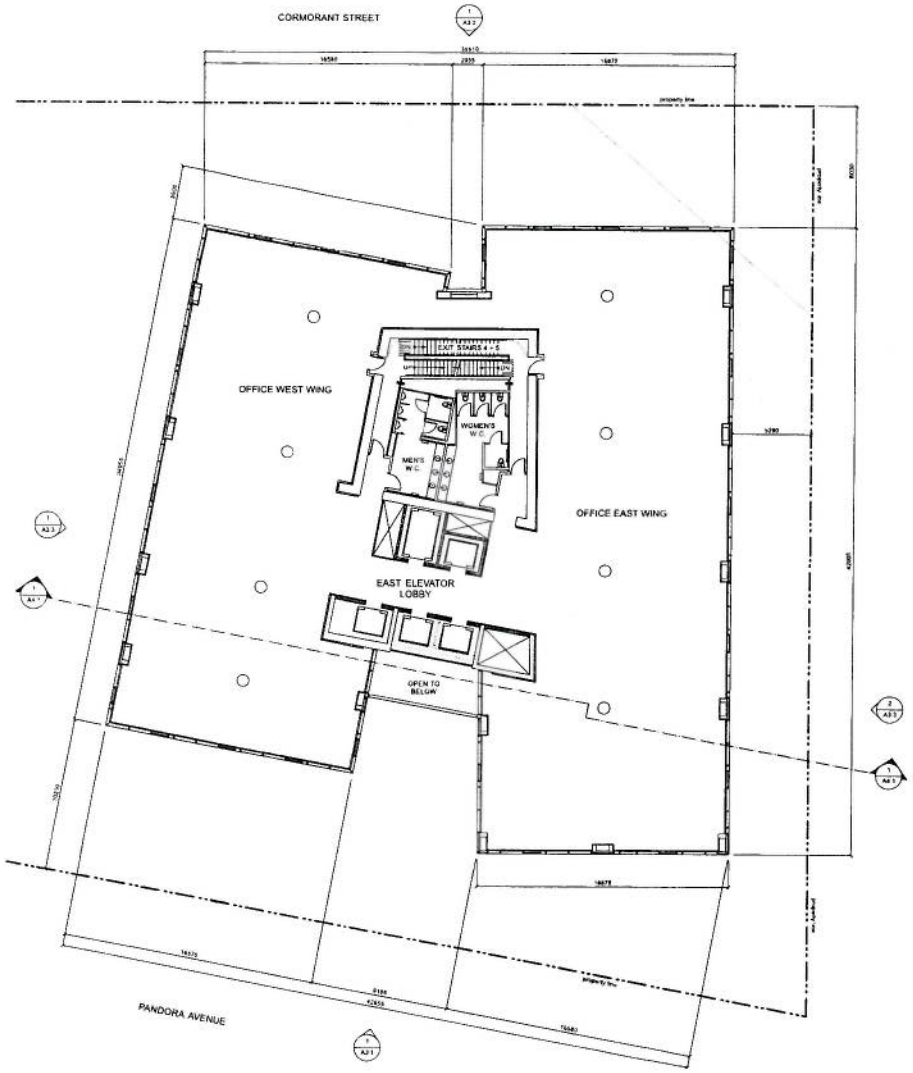
DARBOSTO

1515 Douglas Street
750 Pandora Avenue
Victoria BC

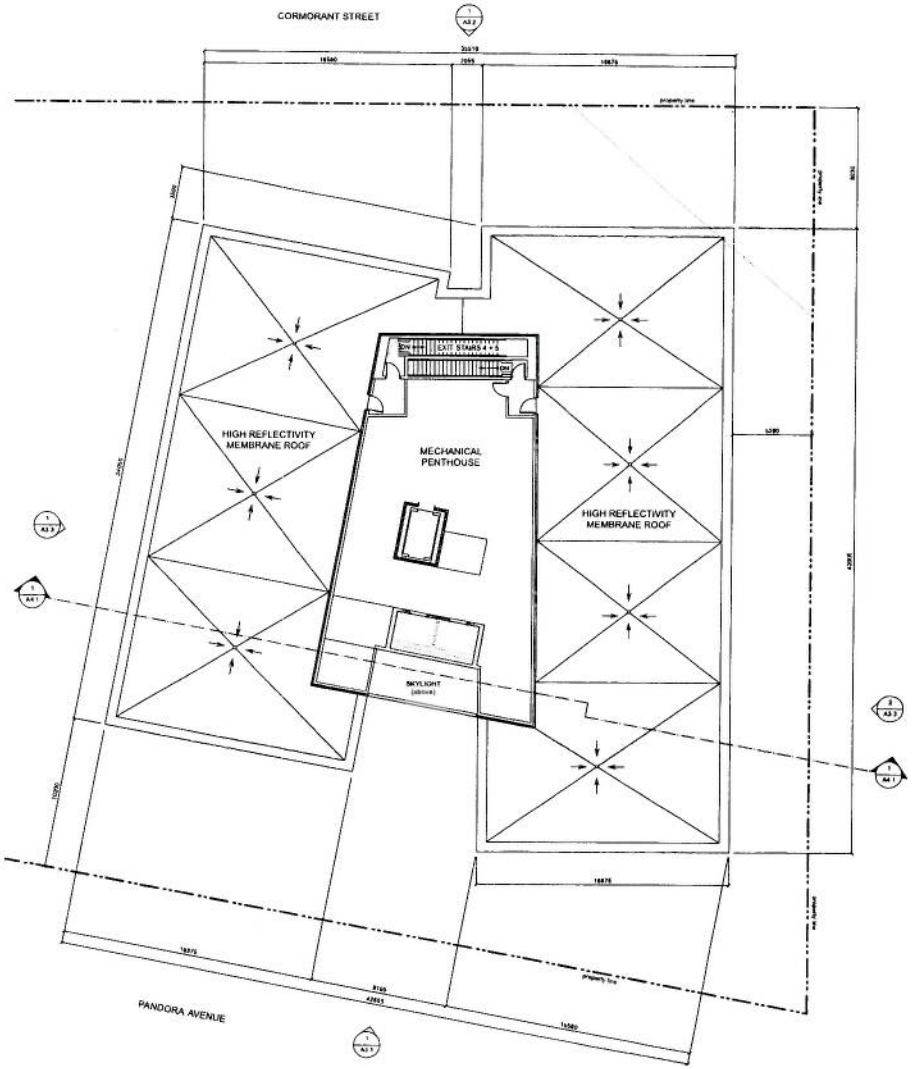
sheet title
Level 7
Upper Floor Plan

Project No: 1134 Drawing File: Plans Current

date	14.04.22
scale	1:150
drawn by	MA, JP
checked by	RM
drawing no.	A2.7



1 Levels 8-13 Floor Plan
Scale: 1:150



2 Roof Plan (Phase II)
Scale: 1:150

N

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Issued	Revision	Date
1	REISSUED FOR REZONING & D.P.	14/04/23
	ISSUED FOR REZONING & D.P.	13/12/22

DAMOSO

1515 Douglas Street
780 Pandora Avenue
Victoria BC

Levels 8 - 13 Floor Plans + Level 14 Roof Plan

Project No.: 1124 Drawing File: Plans Current

Date	14.04.23
Scale	1:150
Drawn	ML/PI
Checked	MB
Revision	1
Sheet No.	A2.0

1 South Elevation (Pandora)
Scale 1:200

2 West Elevation (Phase I - 1515 Douglas)
Scale 1:200

MATERIALS KEY:

- 1 GLAZED TERRACOTTA CLADDING PANEL (LIGHT)
- 2 EXPOSED CAST-IN-PLACE CONCRETE
- 3 STONE CLADDING (Proposed from 1361 Douglas cladding)
- 4 PRE-PATINATED ZINC CLADDING
- 5 SSG CURTAIN WALL SYSTEM, CLEAR HIGH PERFORMANCE GLAZING
- 6 GLASS SPANDREL PANEL WITH METAL BACK PANEL
- 7 FRAMED OPENER, PREFINISHED ALUMINUM (COPPER COLOUR)
- 8 PREFINISHED METAL FLASHING
- 9 PREFINISHED METAL CLADDING

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Revision	Description	Date
4	ISSUED FOR REZONING & D.P.	[illegible]
2	BASE PLAN DISTRIBUTION	[illegible]
1	ISSUED FOR REZONING & D.P.	[illegible]
	ISSUED FOR REZONING & D.P.	[illegible]

L'AMBROSIO

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Building Elevations

Project No: 1134 Drawing File: Plans Current

A3.1

1 North Elevation (Cormorant)
Scale: 1:200

2 East Elevation (Phase I - 1515 Douglas)
Scale: 1:200

MATERIALS KEY:

- 1 GLAZED TERRACOTTA CLADDING PANEL (LIGHT)
- 2 EXPOSED CAST-IN-PLACE CONCRETE
- 3 STONE CLADDING (equipment for 1501 Douglas cladding)
- 4 PRE-PATINATED ZINC CLADDING
- 5 SSG CURTAIN WALL SYSTEM, CLEAR HIGH PERFORMANCE GLAZING
- 6 GLASS SPANDREL PANEL WITH METAL BACK PANEL
- 7 FRAMED OPENER, PREFINISHED ALUMINUM (COPPER COLOUR)
- 8 PREFINISHED METAL FLASHING
- 9 PREFINISHED METAL CLADDING

PREPARED FOR JAWL ENTERPRISES LTD.

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No.	Issue	Date
1	ISSUED FOR REZONING & D.P.	14/07/09
2	SHAP PLAN DISTRIBUTION	12/08/11
3	REVISED FOR REZONING & D.P.	14/04/12
4	ISSUED FOR REZONING & D.P.	13/12/12

L A M B E R S E
Architect Inc.
Victoria, BC Canada V8W1P1
Tel: 250 384 3401
Fax: 250 384 3410
www.lamberse.ca

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Building Elevations

Scale: 1:200

Project No. 1134 Drawing File: Phase Cormorant

A3.2

1 West Elevation (Phase II - 750 Pandora)
Scale 1:200

2 East Elevation (Phase II - 750 Pandora)
Scale 1:200

MATERIALS KEY:

- GLAZED TERRACOTTA CLADDING PANEL (LIGHT)
- EXPOSED CAST-IN PLACE CONCRETE
- STONE CLADDING
  stonework from 1301 Douglas wallings
- PRE-PATINATED ZINC CLADDING
- SSG CURTAIN WALL SYSTEM, CLEAR HIGH-PERFORMANCE GLAZING
- GLASS SPANDREL PANEL WITH METAL BACK PANEL
- FRAMED OPENER, PREFINISHED ALUMINUM (COPPER COLOUR)
- PREFINISHED METAL FLASHING
- PREFINISHED METAL CLADDING

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3	REISSUED FOR REZONING & D.P.	14/07/09
2	BASE PLAN DISTRIBUTION	14/05/11
1	REISSUED FOR REZONING & D.P.	14/04/23
	ISSUED FOR REZONING & D.P.	13/12/08

DARPOSTO

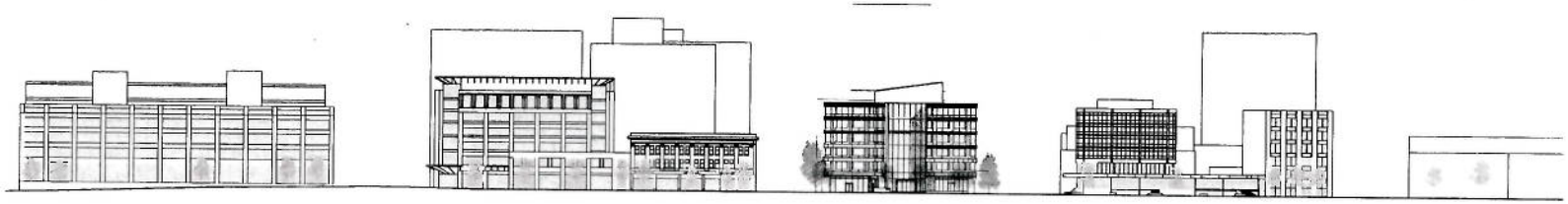
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Building Elevations

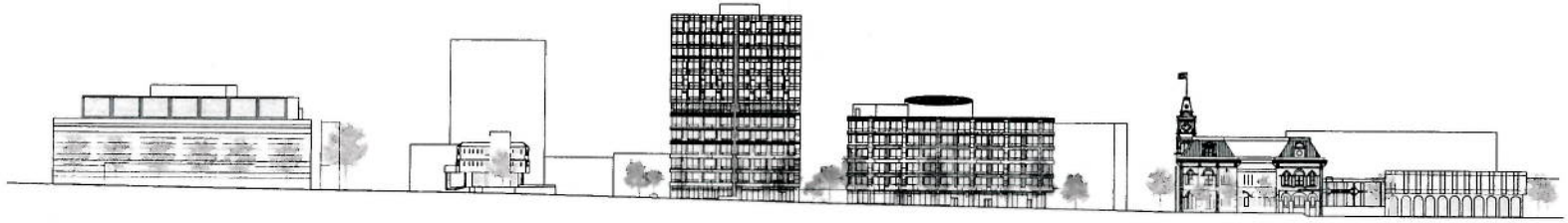
Project No. 11.34 Drawing File: Place Current

14.07.09
1:200
A3.3

Pandora Street



Douglas Street



Cormorant Street

PREPARED FOR JAWL ENTERPRISES LTD.

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Rev. no.	description	date
1	REISSUED FOR REZONING & D.P.	14/04/23
	ISSUED FOR REZONING & D.P.	13/12/22

DAMOSO

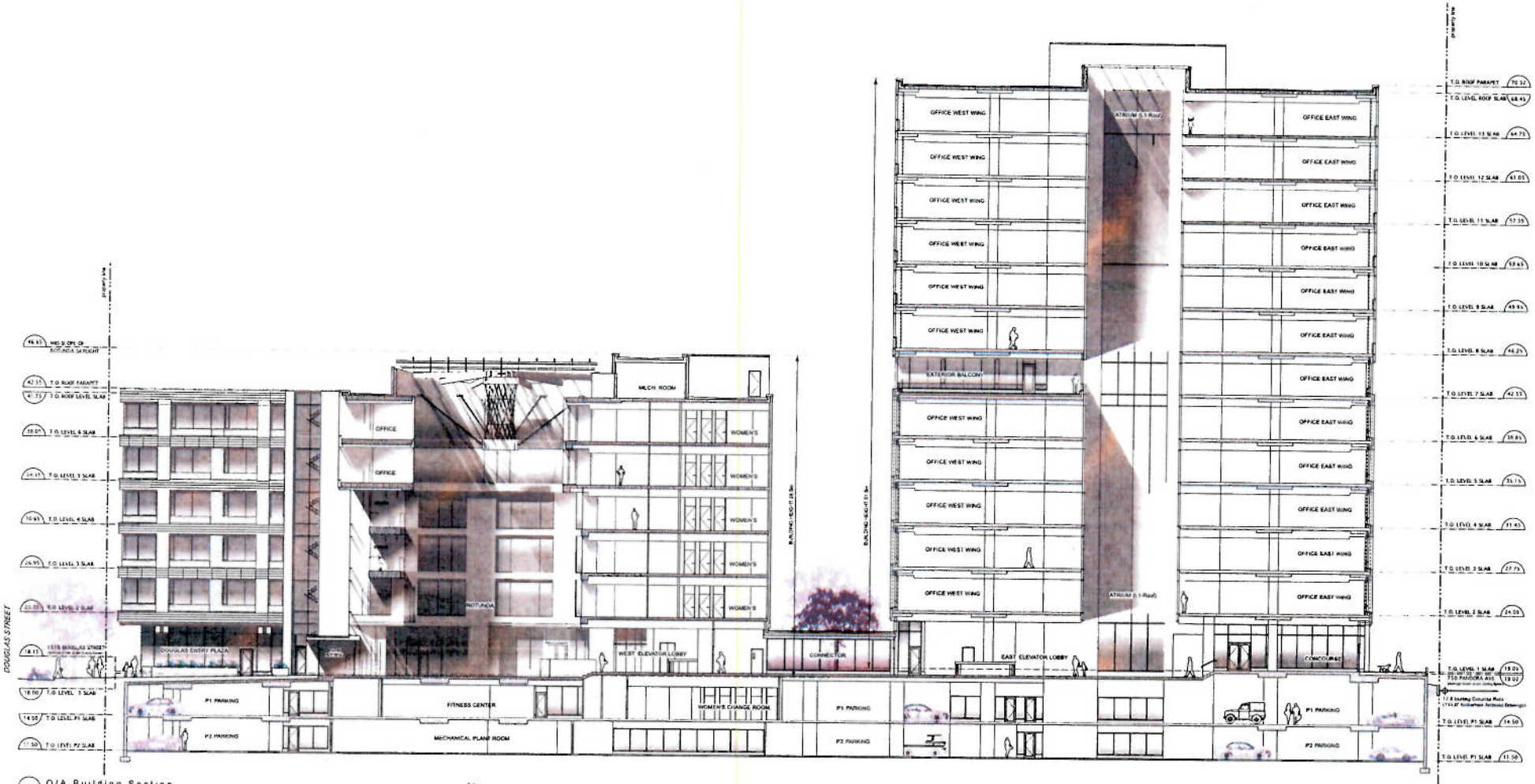
1515 Douglas Street
756 Pandora Avenue
Victoria BC

sheet title
Street Elevations

date	14.04.23
scale	1:400
drawn	jb/aa
checked	MM
sheet no.	A3.4

Project No: 1124 Drawing File: Plans Current

0 5m 10m 15m 20m
scale in metres



1 O/A Building Section
Scale: 1:150

2 Partial Section • Vehicle Ramp to Level P1
Scale: 1:150

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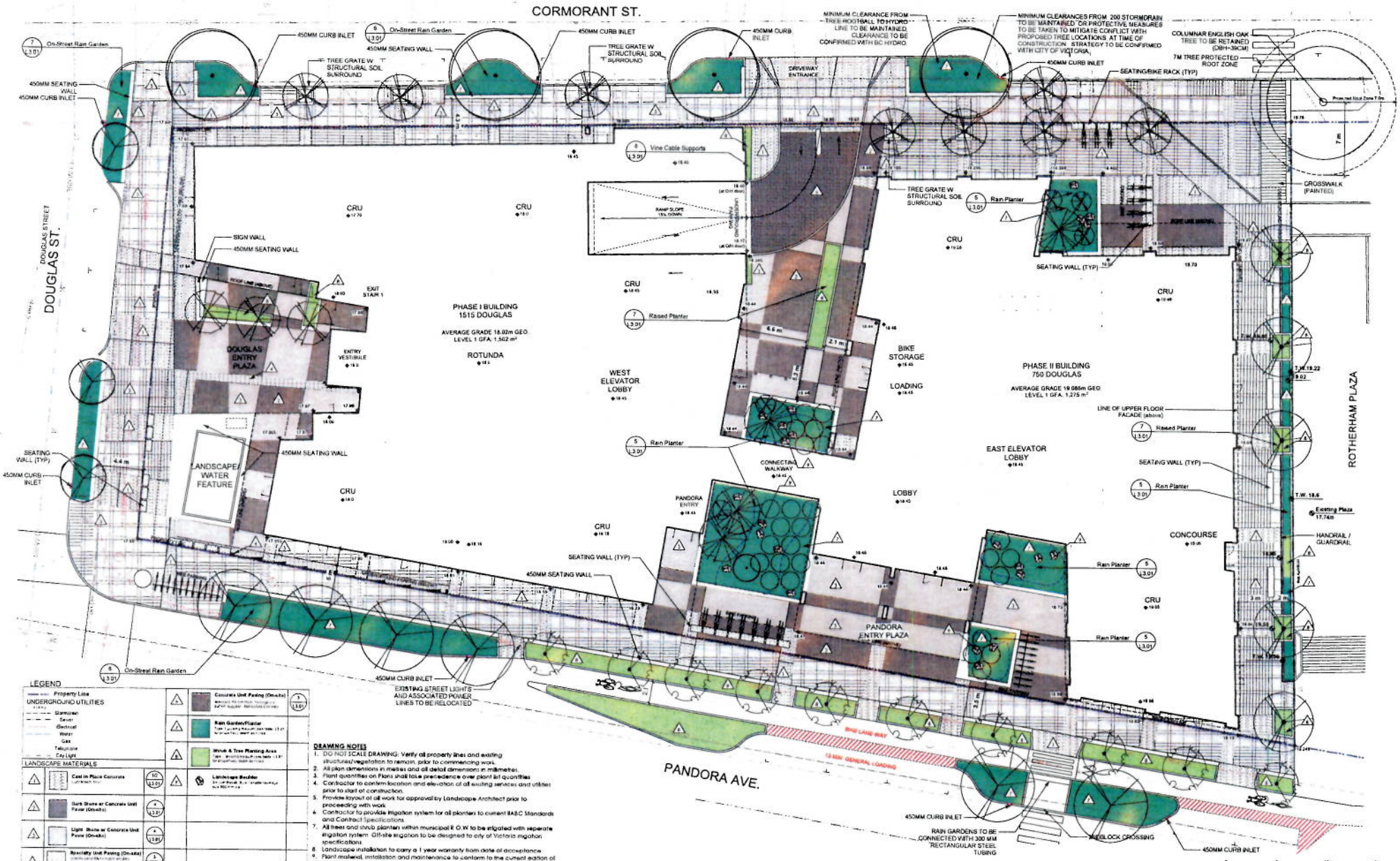
Issue	Description	Date
	REVISED REZONING & D.P.	14/12/20
1	REVISED REZONING & D.P.	14/04/22

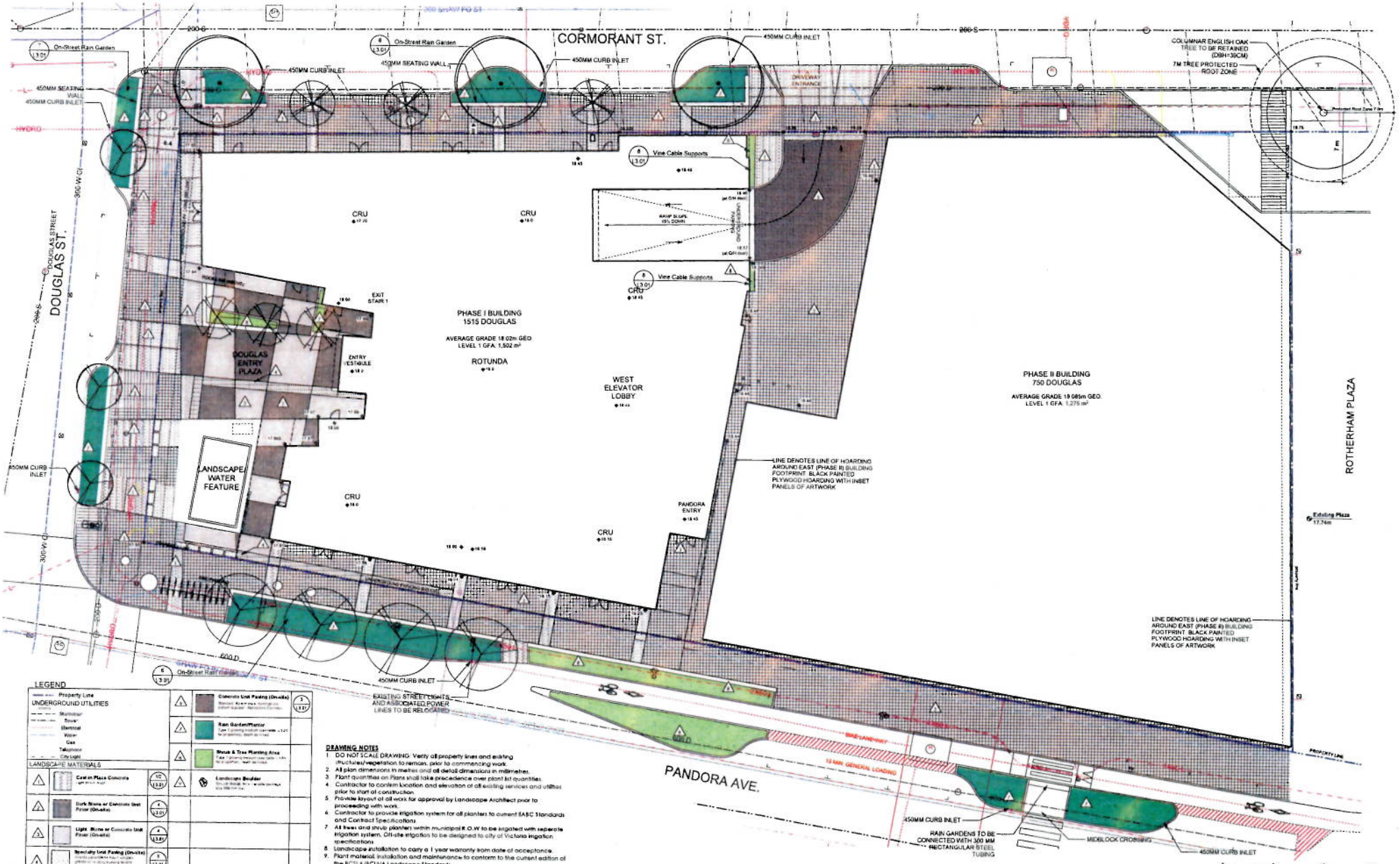
0 5m 10m 15m

1515 Douglas Street
750 Pandora Avenue
Victoria BC

O/A BUILDING SECTION

14.04.22
1:150
MI
RM
A4.1


CORMORANT ST.
DOUGLAS ST.
DOUGLAS STREET
ROTHERHAM PLAZA
PANDORA AVE.
On-Street Rain Garden
450MM CURB INLET
450MM SEATING WALL
TREE GRATE W STRUCTURAL SOIL SURROUND
DRIVEWAY ENTRANCE
MINIMUM CLEARANCE FROM TREE ROOTBALL TO HYDRO LINE TO BE MAINTAINED. CLEARANCE TO BE CONFIRMED WITH BC HYDRO.
MINIMUM CLEARANCES FROM 200 STORMDRAIN TO BE MAINTAINED OR PROTECTIVE MEASURES TO BE TAKEN TO MITIGATE CONFLICT WITH PROPOSED TREE LOCATIONS. AT TIME OF CONSTRUCTION STRATEGY TO BE CONFIRMED WITH CITY OF VICTORIA.
COLUMNAR ENGLISH OAK TREE TO BE RETAINED (DBH-39CM)
7M TREE PROTECTED ROOT ZONE
SEATING/BIKE RACK (TYP)
Vine Cable Supports
CROSSWALK (PAINTED)
CRU
RAMP SLOPE 15% DOWN
SIGN WALL
EXIT STAIR 1
PHASE I BUILDING
1515 DOUGLAS
AVERAGE GRADE 18.02m GEO.
LEVEL 1 GFA. 1,502 m²
ROTUNDA
Raised Planter
DOUGLAS ENTRY PLAZA
ENTRY VESTIBULE
WEST ELEVATOR LOBBY
BIKE STORAGE
LOADING
PHASE II BUILDING
750 DOUGLAS
AVERAGE GRADE 19.066m GEO.
LEVEL 1 GFA. 1,275 m²
LINE OF UPPER FLOOR FACADE (above)
Rain Planter
SEATING WALL (TYP)
LANDSCAPE/ WATER FEATURE
CONNECTING WALKWAY
EAST ELEVATOR LOBBY
LOBBY
PANDORA ENTRY
CONCOURSE
HANDRAIL / GUARDRAIL
Existing Plaza 17.74m
PANDORA ENTRY PLAZA
EXISTING STREET LIGHTS AND ASSOCIATED POWER LINES TO BE RELOCATED
BIKE LANE WAY
15 MIN. GENERAL LOADING
RAIN GARDENS TO BE CONNECTED WITH 300 MM RECTANGULAR STEEL TUBING
PEDESTRIAN CROSSING
LEGEND
Property Line
UNDERGROUND UTILITIES
Stormwater
Sewer
Electrical
Water
Gas
Telephone
Fire Light
LANDSCAPE MATERIALS
Cast In Place Concrete
Dark Stone or Concrete Unit Paver (On-site)
Light Stone or Concrete Unit Paver (On-site)
Specialty Unit Paving (On-site)
Concrete Unit Paving
Concrete Unit Paving (On-site)
Rain Garden/Planter
Shrub & Tree Planting Area
Landscape Boulder
DRAWING NOTES
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current BABC Standards and Contract Specifications.
7. All trees and shrub planters within municipal R.O.W. to be irrigated with seperate irrigation system. Off-site irrigation to be designed to city of Victoria irrigation specifications.
8. Landscape installation to carry a 1 year warranty from date of acceptance.
9. Plant material, installation and maintenance to conform to the current edition of the BCSLA/BCLNA Landscape Standards.
10. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
11. Final selection of boulevard trees to be determined through consultation with city of Victoria parks staff.
Murdoch de Greeff inc.
Landscape Planning & Design
1515 Douglas Street
750 Pandora Avenue
Victoria BC
Landscape Materials and Grading Plan
L1.01


CORMORANT ST.
PANDORA AVE.
DOUGLAS ST.
ROTHERHAM PLAZA
On-Street Rain Garden
450MM SEATING WALL
450MM CURB INLET
HYDRO
DRIVEWAY ENTRANCE
COLUMNAR ENGLISH OAK TREE TO BE RETAINED (DBH=39CM)
7M TREE PROTECTED ROOT ZONE
Vine Cable Supports
RAMP SLOPE (5% DOWN)
CRU
EXIT STAIR 1
ENTRY VESTIBULE
DOUGLAS ENTRY PLAZA
LANDSCAPE WATER FEATURE
PHASE I BUILDING
1515 DOUGLAS
AVERAGE GRADE 18.02m GEO
LEVEL 1 GFA 1,502 m²
ROTUNDA
WEST ELEVATOR LOBBY
PANDORA ENTRY
PHASE II BUILDING
750 DOUGLAS
AVERAGE GRADE 19.085m GEO.
LEVEL 1 GFA 1,275 m²
LINE DENOTES LINE OF HOARDING AROUND EAST (PHASE II) BUILDING FOOTPRINT. BLACK PAINTED PLYWOOD HOARDING WITH INSET PANELS OF ARTWORK
EXISTING STREET LIGHTS AND ASSOCIATED POWER LINES TO BE RELOCATED
RAIN GARDENS TO BE CONNECTED WITH 300 MM RECTANGULAR STEEL TUBING
MIDBLOCK CROSSING
BIKE LANE/WAY
15 MIN. GENERAL LOADING
PROPERTY LINE
Existing Plaza 17.74m
LEGEND
Property Line
UNDERGROUND UTILITIES
Storm
Sewer
Electrical
Water
Gas
Telephone
City Light
LANDSCAPE MATERIALS
Cast in Place Concrete
Dark Stone or Concrete Unit Paver (On-site)
Light Stone or Concrete Unit Paver (On-site)
Specialty Unit Paving (On-site)
Concrete Unit Paving
Concrete Unit Paving (On-site)
Rain Garden/Planter
Shrub & Tree Planting Area
Landscape Boulder
DRAWING NOTES
1. DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current BASC Standards and Contract Specifications.
7. All trees and shrub planters within municipal R.O.W to be irrigated with separate irrigation system. Off-site irrigation to be designed to city of Victoria irrigation specifications.
8. Landscape installation to carry a 1 year warranty from date of acceptance.
9. Plant material, installation and maintenance to conform to the current edition of the BCSLA/BCLNA Landscape Standards.
10. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
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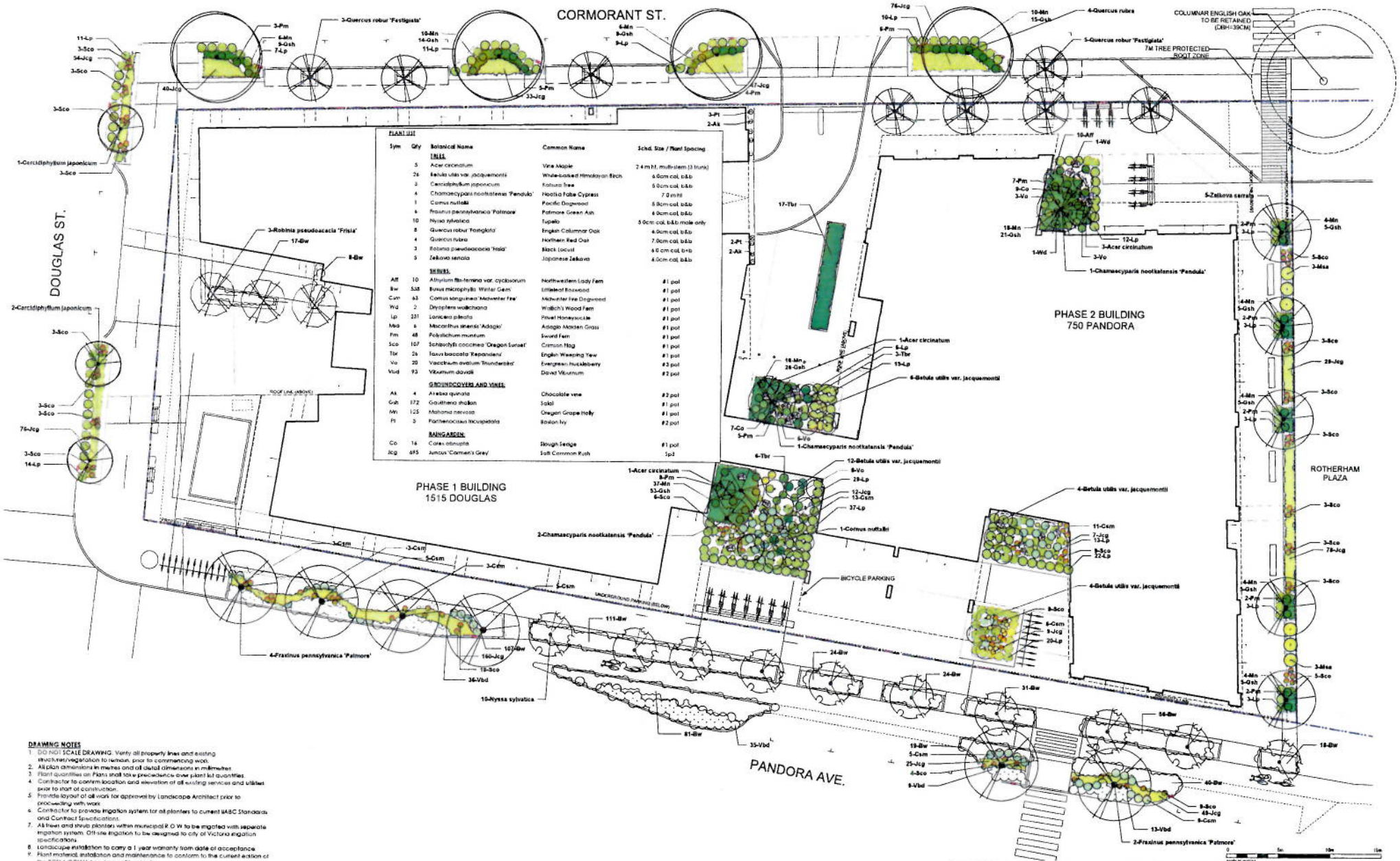
Murdoch deGreeff inc.
Landscape Planning & Design
1515 Douglas Street
750 Pandora Avenue
Victoria BC
INTERIM Landscape
Materials + Grading Plan
L1.02



PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
		TREES		
	5	Acer circinatum	Vine Maple	2.4 m ht, multi-stem (3 trunk)
	26	Betula utilis var. jacquemontii	White-barked Himalayan Birch	6.0cm cal, b&b
	3	Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b
	4	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	7.0 m ht
	1	Cornus nuttalii	Pacific Dogwood	5.0cm cal, b&b
	6	Fraxinus pennsylvanica 'Palmore'	Palmore Green Ash	6.0cm cal, b&b
	10	Nyssa sylvatica	Tupelo	5.0cm cal, b&b male only
	8	Quercus robur 'Fastigiata'	English Columnar Oak	6.0cm cal, b&b
	4	Quercus rubra	Northern Red Oak	7.0cm cal, b&b
	3	Robinia pseudoacacia 'Frisia'	Black Locust	6.0 cm cal, b&b
	5	Zelkova serrata	Japanese Zelkova	6.0cm cal, b&b
		SHRUBS		
Aff	10	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Bw	538	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#1 pot
Csm	63	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
Wd	2	Dryopteris wallichiana	Wallich's Wood Fern	#1 pot
Lp	231	Lonicera pileata	Privet Honeysuckle	#1 pot
Mso	6	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Pm	48	Polystichum munitum	Sword Fern	#1 pot
Sco	107	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
Tbr	26	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
Vo	20	Vaccinium ovatum 'Thunderbird'	Evergreen huckleberry	#3 pot
Vbd	93	Viburnum davidii	David Viburnum	#2 pot
		GROUNDCOVERS AND VINES		
Ak	4	Akebia quinata	Chocolate vine	#2 pot
Gsh	172	Gaultheria shallon	Salal	#1 pot
Mn	125	Mahonia nervosa	Oregon Grape Holly	#1 pot
Pt	5	Parthenocissus tricuspidata	Boston Ivy	#2 pot
		RAIN GARDEN		
Co	16	Carex obnupta	Slough Sedge	#1 pot
Jcg	695	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3

DRAWING NOTES

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7. All trees and shrub planters within municipal R.O.W to be irrigated with separate irrigation system. Off-site irrigation to be designed to city of Victoria irrigation specifications.
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Murdoch deGreeff Inc.
Landscape Planning & Design

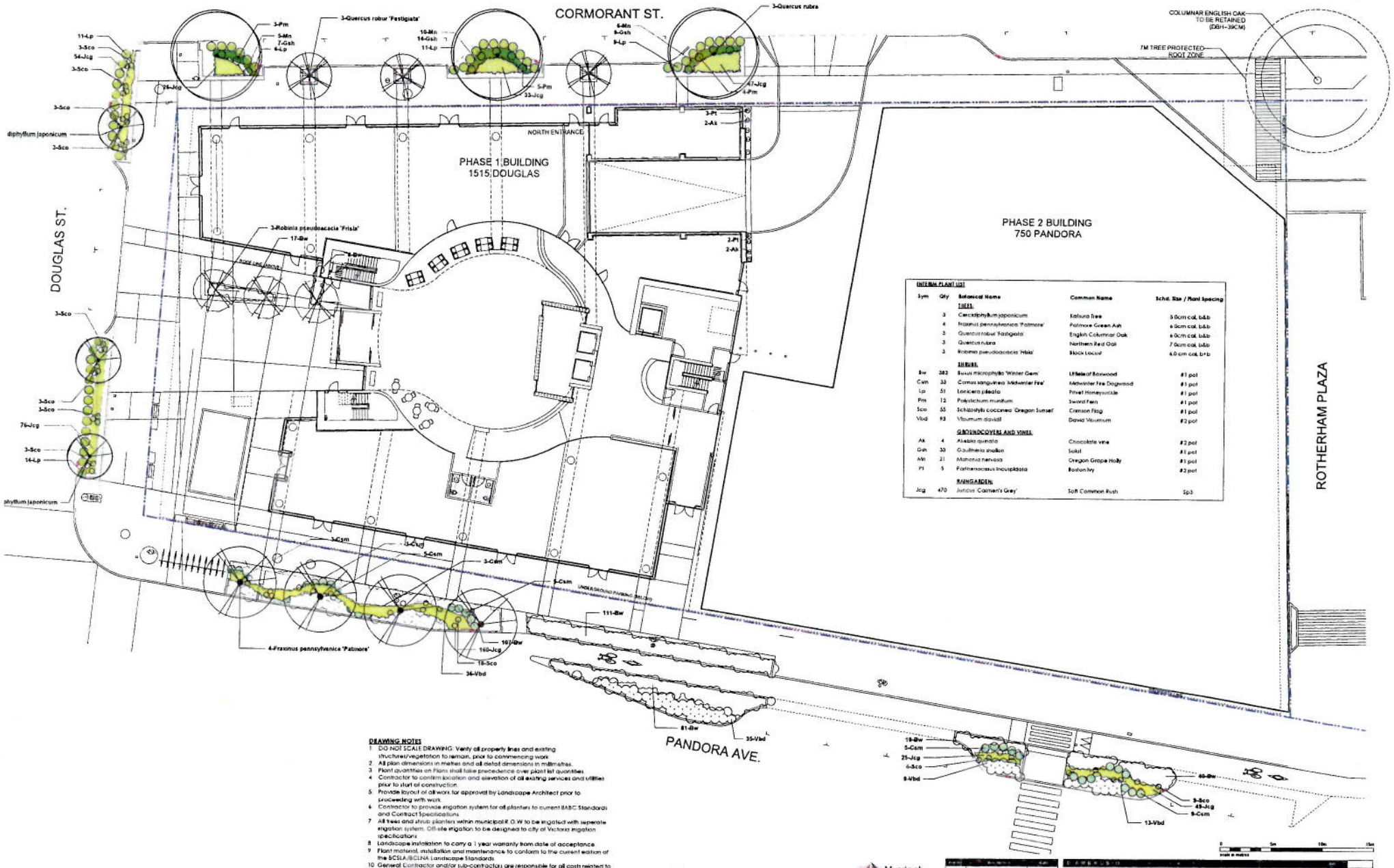
No.	Revision	Date
1	Rezoning / DP	13.12.19
2	Revised Rezoning & DP	14.04.23

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Planting Plan

Scale: 1:150
Drawn by: ML
Checked by: pdg/ms
Date: 13.12.19
Project No. 113.15

L.2.01



INTERIM PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
		TREES:		
	3	Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b
	4	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	6.0cm cal, b&b
	3	Quercus robur 'Fastigiata'	English Columnar Oak	6.0cm cal, b&b
	3	Quercus rubra	Northern Red Oak	7.0cm cal, b&b
	3	Robinia pseudoacacia 'Frisia'	Black Locust	6.0 cm cal, b+b
		SHRUBS:		
Bw	383	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#3 pot
Csm	33	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#3 pot
Lp	51	Lonicera pileata	Privet Honeysuckle	#1 pot
Pm	12	Polystichum munitum	Sword Fern	#1 pot
Sco	55	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
Vbd	93	Viburnum davidii	David Viburnum	#2 pot
		GROUNDCOVERS AND VINES:		
Ak	4	Akebia quinata	Chocolate vine	#2 pot
Gsh	30	Gaultheria shallon	Salal	#1 pot
Mn	21	Mahonia nervosa	Oregon Grape Holly	#1 pot
Pt	5	Parthenocissus tricuspidata	Boston Ivy	#2 pot
		RAINGARDEN:		
Jcg	470	Juncus 'Carmen's Grey'	Soft Common Rush	Sp.3

DRAWING NOTES

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Murdoch deGreeff inc.

1	Issued for Rezoning & DP	17-07-14
2	Re-issued for Rezoning & DP	14-04-23

1515 Douglas Street
750 Pandora Avenue
Victoria BC

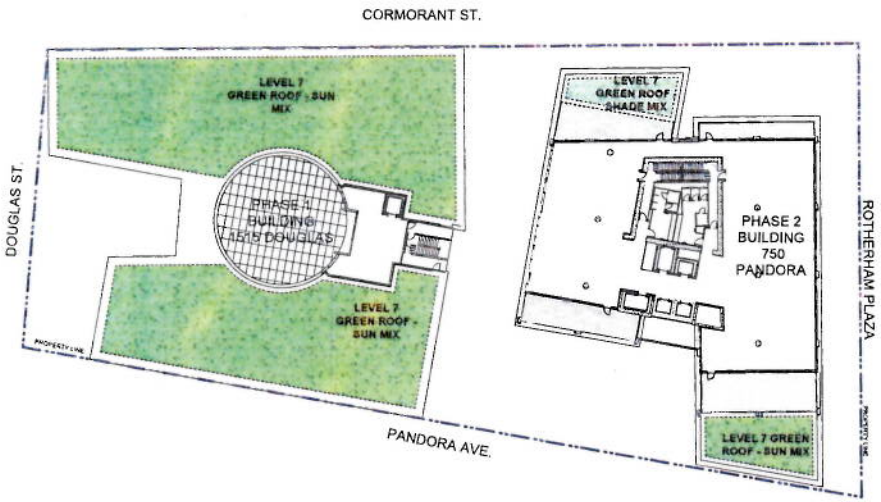
INTERIM Planting Plan

Project No. 113.15

L2.02

scale in metres: 0, 5m, 10m, 15m

GREEN ROOF LEVEL 7



GREEN ROOF PLANT LIST- Level 7

Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
GREEN ROOF - SUN			
10820	Sedum reflexum	Stonecrop	plug-72 per tray / 20cm o.c.
10820	Sedum reflexum 'Blue Lagoon'	Blue Lagoon Stonecrop	plug-72 per tray / 20cm o.c.
10820	Sedum rupestre 'Angelina'	Angelina Stonecrop	plug-72 per tray / 20cm o.c.
10820	Sedum spathulifolium 'Cape Blanco'	Cape Blanco Stonecrop	plug-72 per tray / 20cm o.c.
GREEN ROOF - SHADE			
256	Aquilegia formosa	Red Columbine	5p3. 20cm o.c.
256	Arctostaphylos uva-ursi	Kinnickinnick	5p3. 20cm o.c.
256	Cornus canadensis	Bunchberry	5p3. 20cm o.c.
256	Dicentra formosa	Western Bleeding Heart	5p3. 20cm o.c.
256	Oxalis oregana	Redwood Sorrel	5p3. 20cm o.c.
256	Polypodium glycyrrhiza	Licorice Fern	5p3. 20cm o.c.

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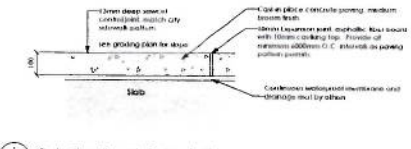
Murdoch deGreeff inc
Landscape Planning & Design

1	Rezoning / DP	13-12-19
2	Revised Rezoning & DP	14-04-23

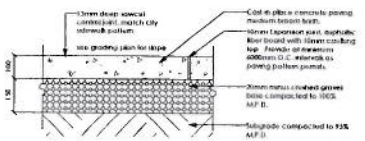
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Green Roof Plan

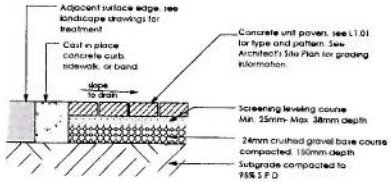
1:100
M
Adjusts
L2.03



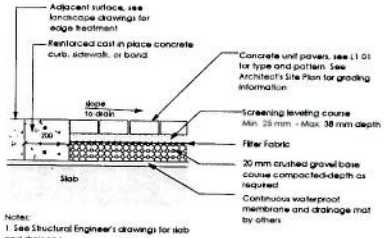
1 L1.01 Cast in Place Concrete Paving - On Slab
Scale: 1:10



2 L1.01 Cast in Place Concrete Paving - On Grade
Scale: 1:10

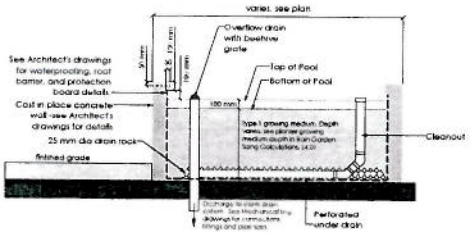


3 L1.01 Concrete Unit Paving - On Grade
Scale: 1:10

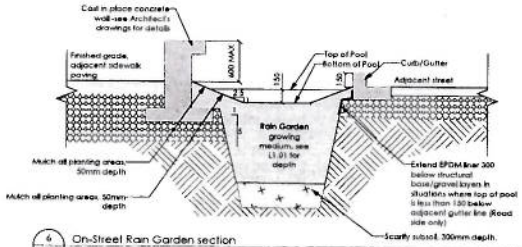


Notes:
1. See Structural Engineer's drawings for slab and drainage

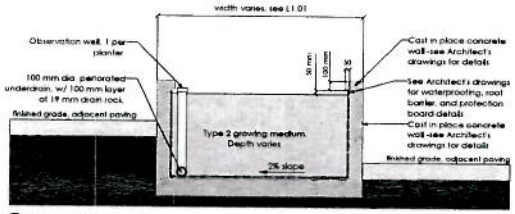
4 L1.01 Concrete Unit Paver-On Slab
Scale: 1:10



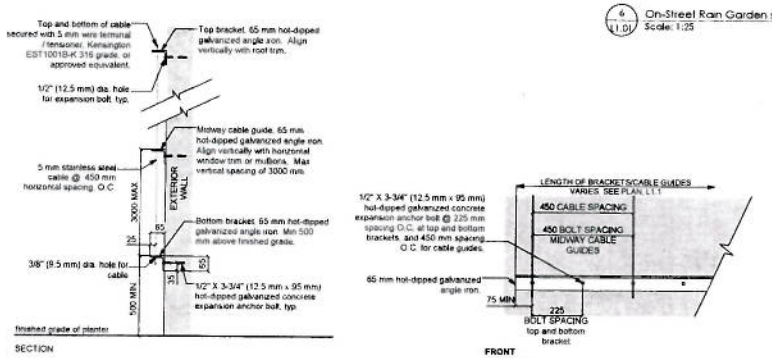
5 L1.01 Rain Planter Detail
Scale: 1:25



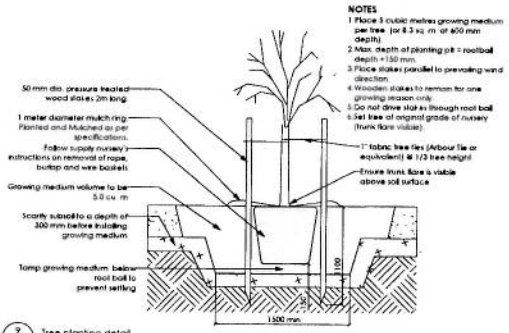
6 L1.01 On-Street Rain Garden section
Scale: 1:25



7 L1.01 Raised Planter Detail
Scale: 1:25



8 L1.01 Vine Cable Supports
NTS



NOTES
1. Place 5 cubic metres growing medium per tree (or 8.3 sq. m or 600 mm depth)
2. Max. depth of planting pit = rootball depth +150 mm.
3. Place stakes parallel to prevailing wind direction.
4. Wooden stakes to remain for one growing season only.
5. Do not drive stakes through root ball
6. Set tree at original grade of nursery (trunk flare visible).

9 L1.01 Tree planting detail
Scale: 1:25

Murdoch deGreeff Inc.
Landscape Planning & Design

Rev No.	Description	Date
1	Rezoning - DP	15-Oct-19
2	Revised Rezoning & DP	14-Mar-22

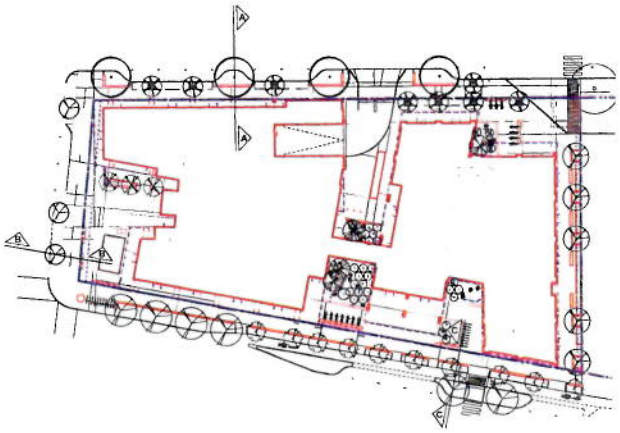
LAMBUSTO

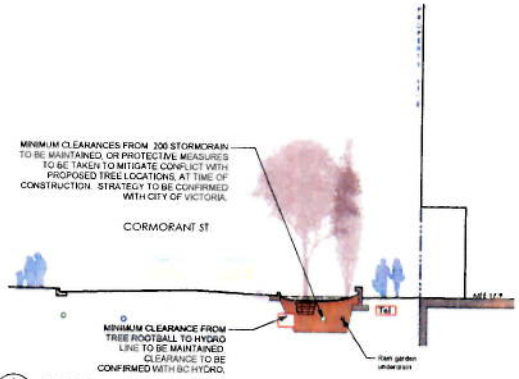
1515 Douglas Street
750 Pandora Avenue
Victoria BC

Landscape Details

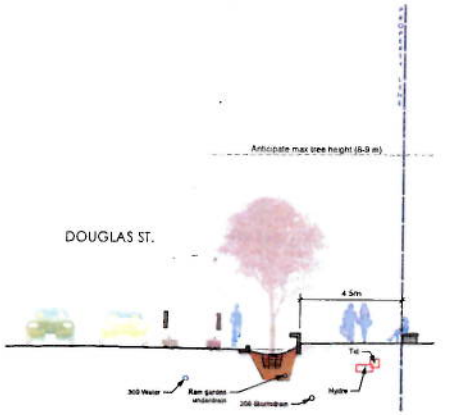
Project No. 113.15

Scale	as noted
Drawn By	ML/TR
Checked By	pdg/km
L3.01	

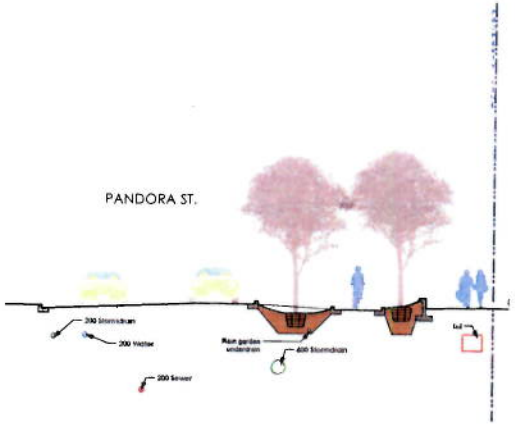




A CORMORANT STREET SECTION
Scale: 1:100



B DOUGLAS STREET SECTION
Scale: 1:100



C PANDORA STREET SECTION
Scale: 1:100

SECTION NOTES

1. Tree root ball drawn to scale in all sections. Typical rootball size is 600 depth by 900 width.
2. Trees shown at about 5 years after planting.
3. Underground infrastructure is shown at scale. Information supplied by WSP (project Civil Engineer).

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Murdoch deGreeff inc.
Landscape Planning & Design

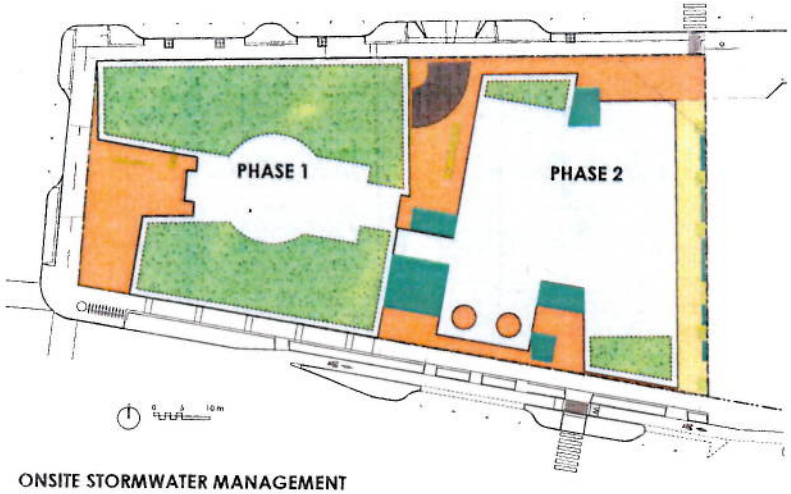
No.	Description	Date
1	Issued for DP	Feb 21/18
2	Re-issued for Rezoning & DP	Feb 26/21

1515 Douglas Street
750 Pandora Avenue
Victoria BC

Landscape Sections

Project No. 112.15

Scale	METRIC
Drawn	JM
Checked	
Date	
Sheet No.	L3.02



ONSITE STORMWATER MANAGEMENT

LEGEND

- GREEN ROOF AREA SUN
- GREEN ROOF AREA SHADE
- ROOF AREA
- HARDSCAPE AREA - DISCHARGES TO DRAIN AND/OR CISTERN
- HARDSCAPE AREA - DISCHARGES TO RAIN GARDEN
- RAIN GARDEN AREA
- PLANTING AREA

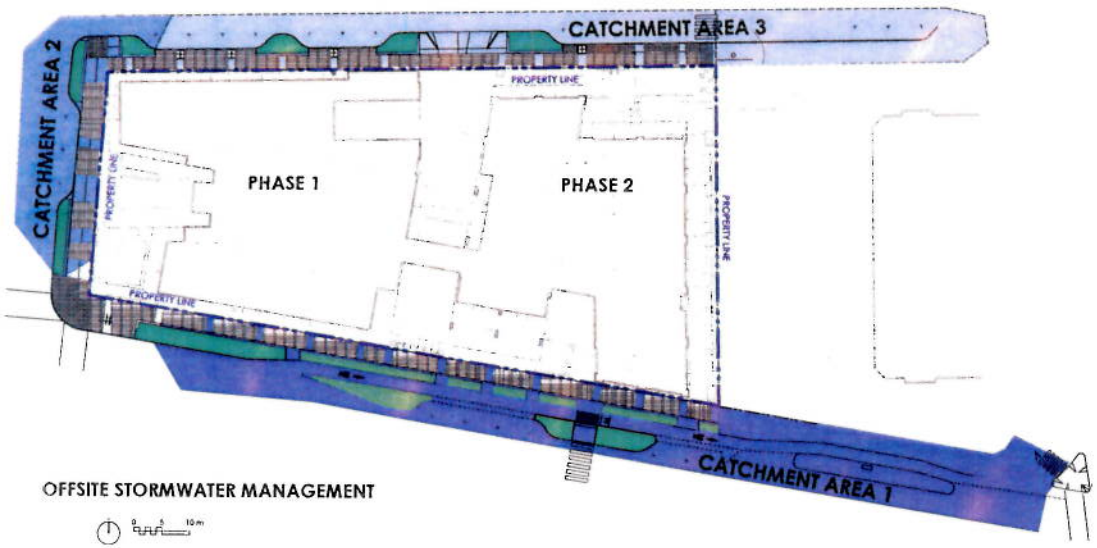
Rain Garden Sizing Calculations

Catchment Area	Total Area	Non-Contributing Green Space (Landscape Planters / Green Roof)	Rain Garden Landscape Areas	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area required	Excess (+) or Deficient (-) Rain Garden Area *
	(sq. m.)	(sq. m.)	(sq. m.)	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(sq. m.)
Ground Level Landscape Area to Cistern	1184	30.4		1153.7	61.1				
Ground Level Landscape Area to Rain Garden	349	23.0	22.0	303.7	12.0	0.9	0.9	12.9	9.1
Roof Area	3581	1557.5	228.6	1795.3	107.3	0.9	0.9	115.3	113.3
total	3530	1580.5	250.6	1999					122.4

Assumptions

1 The design storm is a two-year, 24 hour rain event. In the City of Victoria this equals about 53 mm of rain.

2 The rain garden calculations are based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2.5 cm/hour (or 48 cm per day), via perforated underdrain.



OFFSITE STORMWATER MANAGEMENT

LEGEND

- OFF SITE CATCHMENT AREAS (ROAD AND SIDEWALK RUNOFF)
- RAIN GARDEN AREA
- GREEN ROOF AREA
- PLANTING AREA

Rain Garden Sizing Calculations

Catchment Area	Total Area	Non Contributing Green Space (Landscape Planters)	Rain Garden Landscape Areas	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area required	Excess (+) or Deficient (-) Rain Garden Area
	(sq. m.)	(sq. m.)	(sq. m.)	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(sq. m.)
Area #1	1823	133.0	123.5	1546.9	80.4	0.5	0.9	94.9	28.4
Area #2	429	0.0	44.5	384.6	30.0	1.0	1.0	31.6	12.9
Area #3	1330	0.0	83.5	1246.7	63.5	1.0	1.0	66.8	16.7
total	3783	133.0	251.5	3398.2					58.2

Assumptions

1 The design storm is a two-year, 24 hour rain event. In the City of Victoria this equals about 53 mm of rain. Assume 90% of rain event contributes to runoff.

2 The rain garden calculations are based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2.5 cm/hour (or 48 cm per day), via perforated underdrain.

Murdoch deGreeff Landscape Planning & Design

1515 Douglas Street
730 Pandora Avenue
Victoria BC

Stormwater Management Plan

Project No. 113.15

L4.01

WSP

PREPARED FOR JAWL ENTERPRISES LTD.

GENERAL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING ARE SUBJECT TO CONFIRMATION AND ARE NOT TO BE USED AS PART OF CONSTRUCTION CONTRACT DOCUMENTATION.

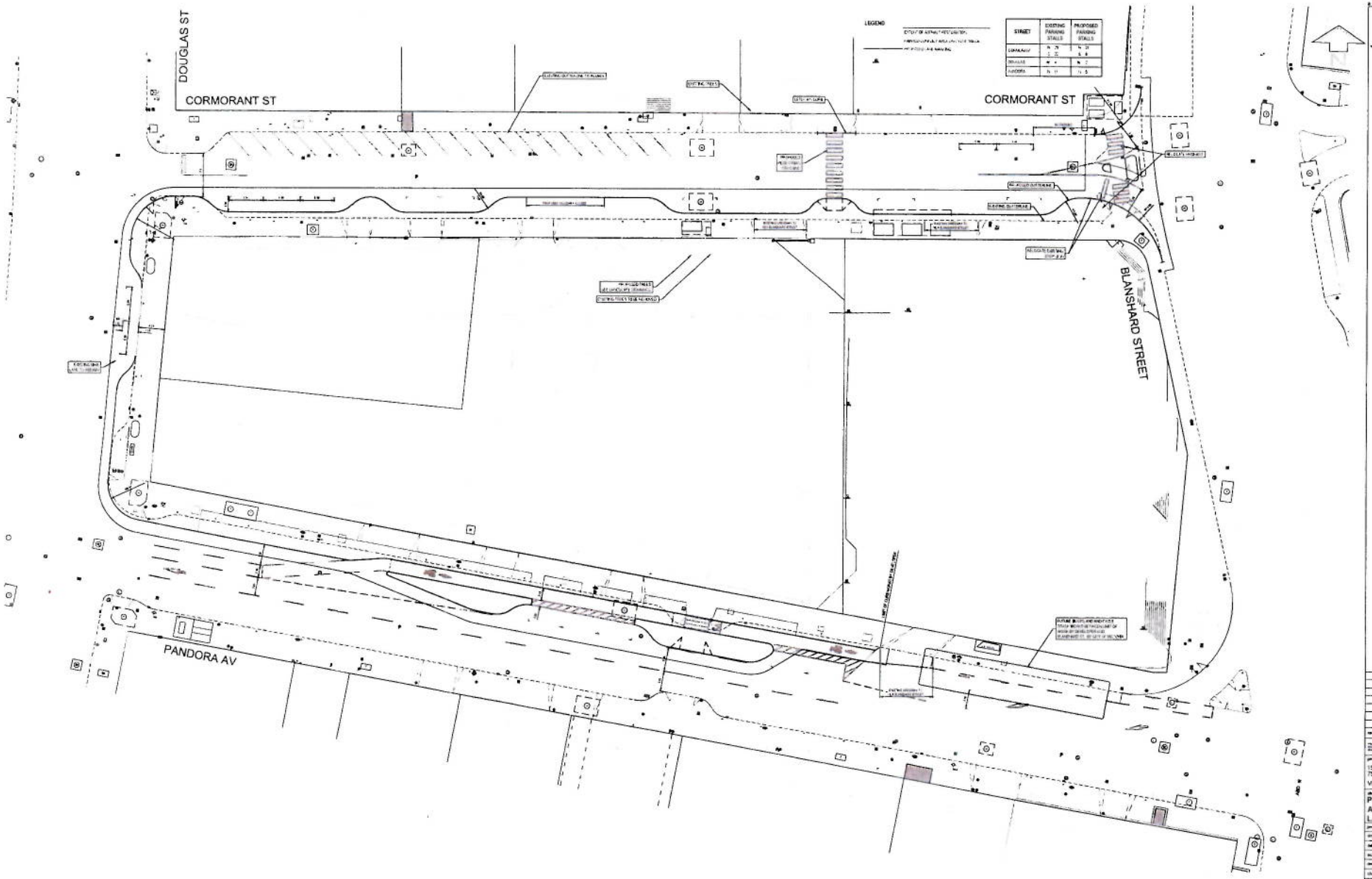
1		

1515 Douglas Street
750 Pandora Avenue
Victoria BC

shall title
Conceptual
Site Servicing Plan

Project No. 131-23328-00
Drawing File.

14.04.23
1:200
AB
SMC
C0.0



D'AMBROSIO
architecture + urbanism

WSP

rev no | description | date

project name
1515 Douglas Street
750 Pandora Avenue
Victoria BC

sheet title
PROPOSED CURB ALIGNMENTS AND LANE MARKINGS

project no 121-2533-00
drawing file
date June 24 2014
scale 1:200
drawn by cd
checked by SMC
revision no
sheet no RZ-C-01