



Council Report

For the November 23, 2017

To: Council **Date:** November 9, 2017

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Update Report - Development Permit with Variances Application No. 00021 for 515 Foul Bay Road.

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following updated motion with respect to Development Permit with Variances No. 00021:

"That Council authorize the issuance of Development Permit Application No. 00021 for 515 Foul Bay Road for the subdivision of the panhandle lot and subsequent construction of three single-family dwellings, subject to the Heritage Designation of the existing house and registration of a Section 219 Covenant for tree protection, and a grant of an easement in common with the registered owner of 511 Foul Bay Road (the "Property") strictly for the purposes of allowing the registered owner of the Property access to and from the existing garage on the Property and Foul Bay Road, in accordance with:

1. Plans date stamped **August 10, 2017**.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. Lot A:
 - a. **Increase the maximum height from 5.00m to 7.50m**
 - b. Increase the maximum number of storeys from one to two
 - c. Reduce the front setback from 7.50m to 1.22m (west)
 - d. **Reduce the side setback from 7.50m to 3.74m (south)**
 - ii. Lot B:
 - a. **Increase the maximum height from 5.00m to 7.40m**
 - b. Increase the maximum number of storeys from one to two
 - c. Reduce the front setback from 7.50m to 6.81m (south)
 - d. **Reduce the side setback from 7.50m to 2.68m (west)**
 - iii. Lot C:
 - a. **Increase the maximum height from 5.00m to 7.60m**
 - b. Increase the maximum number of storeys from one to two
 - c. Reduce the front setback from 7.50m to 0.69 (north)
 - d. **Reduce the side setback from 7.50m to 1.85m (west)**

- iv. Lot D (Existing House):
 - a. Reduce the front setback from 7.50m to 1.58m (west)
 - b. Reduce the rear setback from 7.50m to 2.00m (east)
 - c. Reduce the side setback from 7.50m to 0.00m (north).
- 3. Retention of an International Society of Arboriculture certified arborist during construction to ensure the tree protection plan and protection of environmentally sensitive areas is followed.
- 4. Registration of a Housing Agreement to secure rental of the five-unit house conversion for a ten year period.
- 5. The Development Permit Lapsing two years from the date of this resolution.
- 6. Consideration of protection of the vegetation management areas and the natural topography to the west of Building D and south of Building C.
- 7. That a CALUC meeting be held and the meeting minutes be provided at the Public Hearing.

EXECUTIVE SUMMARY

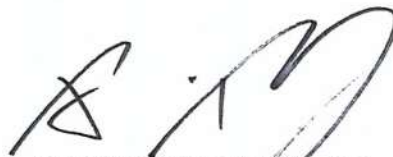
The purpose of this report is to inform Council that, in accordance with Council's motion of June 15, 2017, a CALUC meeting was held on August 3, 2017. The meeting minutes are attached to this report. In addition, as indicated in the applicant's letter to Mayor and Council, the plans have been revised to reduce the potential impact on adjacent properties. As a result of the changes, three of the setback variances to neighbouring properties have been removed and the building height variances have been reduced for all three houses. These changes are shown in bold text in the recommended motion above.

Lastly, the applicant has prepared the necessary legal agreements to secure rental of the five-unit house conversion, protect the retained trees and natural areas, and grant an access easement in favour of 511 Foul Bay Road. If Development Permit Application No. 00021 is approved, staff will bring a Housing Agreement Bylaw and Heritage Designation Bylaw to a future meeting of Council.

Respectfully submitted,




Alec Johnston
Senior Planner
Development Services



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:


Date: Nov 15, 2017

List of Attachments:

- Attachment A – Council minutes dated June 15, 2017
- Attachment B – Plans date stamped August 10, 2017
- Attachment C – Applicant's letter to Mayor and Council dated August 10, 2017
- Attachment D – CALUC meeting minutes dated August 3, 2017

4. LAND USE MATTERS

4.3 Development Permit with Variances Application No. 00021 & Heritage Designation Application No. 000163 for 515 Foul Bay

Committee received reports dated May 25, 2017, from the Director of Sustainable Planning and Community Development regarding an application to subdivide the existing panhandle lot into four lots and construct three new single-family dwellings while retaining the existing five-unit house conversion on one lot and to designate the exterior of the Heritage-Registered property.

Committee discussed:

- Protection of the native landscape during the blasting.

Motion: It was moved by Councillor Madoff, seconded by Councillor Coleman, that the meeting be extended until 3:00 p.m.

CARRIED UNANIMOUSLY 17/COTW

Mayor Helps excused herself from the meeting at 1:53 p.m. to attend a meeting with BC Housing. Councillor Thornton-Joe assumed the chair in her absence.

Motion: It was moved by Councillor Lucas, seconded by Councillor Alto: That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion: "That Council authorize the issuance of Development Permit Application No. 00021 for 515 Foul Bay Road for the subdivision of the panhandle lot and subsequent construction of three single-family dwellings, subject to the Heritage Designation of the existing house and registration of a Section 219 Covenant for tree protection, in accordance with:

1. Plans date stamped March 10, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Lot A:
 - a. increase the maximum height from 5.00m to 7.80m
 - b. increase the maximum number of storeys from one to two
 - c. reduce the front setback from 7.50m to 1.22m (west)
 - d. reduce the side setbacks from 7.50m to 4.00m (north) and 3.74m (south)
 - ii. Lot B:
 - a. increase the maximum height from 5.00m to 7.70m
 - b. increase the maximum number of storeys from one to two
 - c. reduce the front setback from 7.50m to 6.81m (south)
 - d. reduce the side setbacks from 7.50m to 3.00m (east) and 2.68 (west)
 - iii. Lot C:
 - a. increase the maximum height from 5.00m to 7.90m
 - b. increase the maximum number of storeys from one to two
 - c. reduce the front setback, from 7.50m to 0.69m (north)
 - d. reduce the side setbacks from 7.50m to 4.00m (east) and 1.85m (west)
 - iv. Lot D (Existing House):
 - a. reduce the front setback from 7.50m to 1.58 (west)

- b. reduce the rear setback from 7.50m to 2.00m (east)
- c. reduce the side setback from 7.50m to 0.00m (north).
- 3. Retention of an International Society of Arboriculture certified arborist during construction to ensure the tree protection plan is followed.
- 4. Registration of a Housing Agreement to secure rental of the five unit house conversion for a ten year period.
- 5. The Development Permit lapsing two years from the date of this resolution."

Amendment: It was moved by Councillor Isitt, seconded by Councillor Alto, that the motion be amended in the following section:

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00021 for 515 Foul Bay Road for the subdivision of the panhandle lot and subsequent construction of three single-family dwellings, subject to the Heritage Designation of the existing house and registration of a Section 219 Covenant for tree protection, **and a grant of an easement in common with the registered owner of 511 Foul Bay Road (the "Property") strictly for the purposes of allowing the registered owner of the Property access to and from the existing garage on the Property and Foul Bay Road**, in accordance with:

Councillor Loveday withdrew from the meeting at 2:07 p.m. and returned at 2:09 p.m.

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Amendment: It was moved by Councillor Isitt, seconded by Councillor Madoff, that the motion be amended in the following point:

- 3. Retention of an International Society of Arboriculture certified arborist during construction to ensure the tree protection plan **and protection of environmentally sensitive areas** is followed.

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Amendment: It was moved by Councillor Isitt, seconded by Councillor Madoff, that the motion be amended to include the following point:

- 6. **Consideration of protection of the vegetation management area to the west of building d.**

Amendment to amendment:

It was moved by Councillor Madoff, seconded by Councillor Isitt, that the amendment be amended as follows:

- 6. **Consideration of protection of the vegetation management area to the west of Building D including the natural topography.**

On the amendment to the amendment:
CARRIED UNANIMOUSLY 17/COTW

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Amendment: It was moved by Councillor Madoff, seconded by Councillor Thornton-Joe, that the motion be amended in the following point:

6. Consideration of protection of the vegetation management areas ~~to the west of Building D including the natural topography.~~

Amendment to the amendment:

It was moved by Councillor Isitt, seconded by Councillor Madoff, that the amended motion be amended to include the following point:

6. Consideration of protection of the vegetation management areas **and natural topography to the west of Building D and to the south of Building C** ~~to the west of building d including the natural topography.~~

On the amendment to the amendment:
CARRIED UNANIMOUSLY 17/COTW

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Committee discussed:

- Concerns about the approach taken to the property, including affects to the neighbouring properties and the response to the unique topography of the site.

Amendment: It was moved by Councillor Coleman, seconded by Councillor Isitt, that the motion be amended to include the following point:

7. **That a CALUC meeting be held and the meeting minutes be provided at the hearing.**

On the amendment:
CARRIED UNANIMOUSLY 17/COTW

Main motion as amended:

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00021 for 515 Foul Bay Road for the subdivision of the panhandle lot and subsequent construction of three single-family dwellings, subject to the Heritage Designation of the existing house and registration of a Section 219 Covenant for tree protection, and a grant of an easement in common with the registered owner of 511 Foul Bay Road (the "Property") strictly for the purposes of allowing the registered owner of the Property access to and from the existing garage on the Property and Foul Bay Road, in accordance with:

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- d. reduce the side setbacks from 7.50m to 4.00m (north) and 3.74m (south)
- ii. Lot B:
 - a. increase the maximum height from 5.00m to 7.70m
 - b. increase the maximum number of storeys from one to two
 - c. reduce the front setback from 7.50m to 6.81m (south)
 - d. reduce the side setbacks from 7.50m to 3.00m (east) and 2.68 (west)
- iii. Lot C:
 - a. increase the maximum height from 5.00m to 7.90m
 - b. increase the maximum number of storeys from one to two
 - c. reduce the front setback, from 7.50m to 0.69m (north)
 - d. reduce the side setbacks from 7.50m to 4.00m (east) and 1.85m (west)
- iv. Lot D (Existing House):
 - a. reduce the front setback from 7.50m to 1.58 (west)
 - b. reduce the rear setback from 7.50m to 2.00m (east)
 - c. reduce the side setback from 7.50m to 0.00m (north).
- 3. Retention of an International Society of Arboriculture certified arborist during construction to ensure the tree protection plan and protection of environmentally sensitive areas is followed.
- 4. Registration of a Housing Agreement to secure rental of the five unit house conversion for a ten year period.
- 5. The Development Permit lapsing two years from the date of this resolution.
- 6. Consideration of protection of the vegetation management areas and the natural topography to the west of Building D and south of Building C.
- 7. That a CALUC meeting be held and the meeting minutes be provided at the hearing.

On the main motion as amended:

CARRIED 17/COTW

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, Lucas, Madoff, and Thornton-Joe

Against: Councillor Young

Motion: It was moved by Councillor Thornton-Joe, seconded by Councillor Loveday, that Council consider the following motion:
 "That Council approve the designation of the property located at 515 Foul Bay Road, pursuant to Section 611 of the *Local Government Act*, as a Municipal Heritage Site and that first and second reading of the Heritage Designation Bylaw be considered by Council and a Public Hearing date be set."

CARRIED UNANIMOUSLY 17/COTW

515 Foul Bay Road



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Section 68, Victoria District,
PLAN 12877

Revised Submission:
August 4th, 2017



DEVELOPMENT PERMIT APPLICATION

515
Foul Bay
Rd

Received
City of Victoria

AUG 10 2017

Planning & Development Department
Development Services Division

ATTACHMENT B

List of Drawings

515 Foul Bay Road



Client:
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Title: Aerial View of Site	
Scale: N.T.S.	File:
Date:	DWG #:
Drawn:	A1.0
Reviewed:	Revision: August 04, 2017

- A1.0 Aerial View of Site
- A1.1 Site Entry View
- A1.2 Site Location
- A1.3 Bare Land Strata Precedents
- A1.4 Site Context + Existing Mansion Character
- A1.5 Views From Proposed Subdivision Lots
- A1.6 Views From Neighboring Sites
- A1.7 Existing Site Plan
- A1.8 Proposed Site Plan
- A1.9 Bare Land Strata Plan Lot Parcels
- A1.10 Project Data
- A2.0 House "A" Main Floor
- A2.1 House "A" Second Floor Plan
- A2.2 House "B" Main Floor Plan
- A2.3 House "B" Second Floor Plan
- A2.4 House "C" Main Floor Plan
- A2.5 House "C" Second Floor Plan
- A2.6 House "D" Basement Floor Plan
- A2.7 House "D" Main Floor Plan
- A2.8 House "D" Second Floor Plan
- A3.0 House "A" Elevations
- A3.1 House "A" Perspectives
- A3.2 House "B" Elevations
- A3.3 House "B" Perspectives
- A3.4 Existing and Proposed Tree Study of 613 and 515 Foul Bay
- A3.5 House "B" Neighboring Window Comparison
- A3.6 House "C" Elevations
- A3.7 House "C" Perspectives
- A3.8 House "C" Privacy Study with 615 Foul Bay
- A3.9 House "D" Elevations
- A4.0 Site Elevations
- A4.1 Site Sections
- A5.0 Sun/Shadow Study
- A6.0 Sustainability Features
- L1.0 Landscape Layout and Materials
- L1.1 Landscape Planting
- AB1.0 Tree Management + Covenant Area Plan
- AB1.1 Tree Management Plan
- AB1.2 Conceptual Sketch Tree Covenant Plan
- C1.0 Site Servicing Plan
- C1.1 Key Plan, Drawing List + General Notes



Aerial View of Site





Perspective View Looking Up Driveway



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Title: Site Entry View	
Scale: N.T.S.	Rev:
Date: 27-JUL-16	Drawn: A1.1
Drawn:	Reviewed: August 24, 2017

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City of Victoria

AUG 10 2017

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Development Services Division

The site is located at 515 Foul Bay Rd. in the Fairfield Gonzales Neighborhood. The neighborhood context offers:

- Close proximity to the Margaret Jenkins Elementary School and the community centres of Fairfield Plaza and Oak Bay Ave.
- Close proximity to the ocean and parks such as the Abkhazi Gardens, Pemberton Park, Hollywood Park, Gonzales Hill Regional Park.
- Shared site lines with an architecturally diverse community of neighboring homes, of heritage and contemporary architectural character.

PROJECT
WATER
PARKS
FAIRFIELD GONZALES
NEIGHBORHOOD



SITE LOCATION



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Thin Site Location

Scale: N.T.S.	File:
Date: 29-30-16	UWG #:
Drawn:	A1.2
Reviewed:	Revised: August 04, 2017

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City of Victoria

AUG 10 2017

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Development Services Division

515 Foul Bay Road

MW

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Title: Bare Land Strata Precedents	
Scale: N.T.S.	Page:
Date:	DWG. #
Drawn:	A1.3
Reviewed:	Revised: Aug. 01, 2017



Chadwick Place: 2 storeys w/ bsmt / 300sm areas perm. / 30% LC / 1.5m side yard or 10% of lot width



1770 Rockland: 7 Townhomes / 3 storeys / 226sm each



Lillooet Heights: R-9: 2 storeys permitted / 380sm areas perm. / 40% LC / 1.5m side yard or 10% of lot width

Local Pan Handle Lot Bare Land Strata Developments Examples with Significant Differences to the Proposed Development:

These developments included 2-3 storeys, Larger Residential Areas, and higher lot coverages than the proposed development at Edwin Lane.

Bare Land Strata Precedents

Existing



Existing Driveway Entry to 515 Foul Bay

Proposed



Widened Driveway Entry to 515 Foul Bay for Fire Truck Access

Existing Mansion



Single timber window

Large banked window fenestration in group of 4 in the habitable rooms



White Stucco

Recessed balconies

Stone cladding of front and rear of building



Above grade balcony



Cantilevered projections



Large banked window fenestration in group of 4 in the habitable rooms



Large banked window fenestration in group of 4 in the habitable rooms



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Title: Site Context + Existing Mansion Character	
Scale: N.T.S.	Rev:
Date:	Drawn: A1.4
Drawn:	Reviewed: August 04, 2017
Reviewed:	

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Development Services Division

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AUG 10 2017

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Development Services Division

515 Foul Bay Road

Views from Proposed Subdivision Lots



View from
Lot A

A



View from
Lot B

B



View from
Lot C

C



D



MW

Client:
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Title: Views from Proposed Subdivision Lots

Scale: N.T.S.	Rev:
Date:	Drawn: A1.5
Drawn:	Reviewed:
Reviewed:	Revision: August 04, 2017

Views from Proposed Subdivision Lots



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EDWIN LANE
515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A (DDC82174)
Section 68, Victoria District
PLAN 12877



Title: Views from Neighboring Sites	
Scale: N.T.S.	Rev:
Date:	Drawn: DWG #
Drawn:	Reviewed: A1.6
Reviewed:	Revision: August 04, 2017



1964
Foul Bay Road

Dense landscaping obscures views to the site.



511
Foul Bay Road

Existing view remains.



613
Foul Bay Road

Existing Arbutus and Garry Oaks. Mixed species hedge on 515 Foul Bay Property, and a new fence added.



1968
Foul Bay Road

New Garry Oaks proposed to be planted in Southeast corner of the lot.



533
Foul Bay Road

Garry Oak added to site on Lot A.



615
Foul Bay Road

Neighbor existing Garry Oaks. New fence to be provided by Lot Owner.



527
Foul Bay Road

Existing road remains, fence added to divide property.



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515 Foul Bay Road



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Title: Existing Site Plan	
Scale: 200	Rev:
Date:	DWG #:
Drawn:	A1.7
Reviewed:	Revised:
	August 24, 2017

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Existing Site Plan
Scale: 1:200





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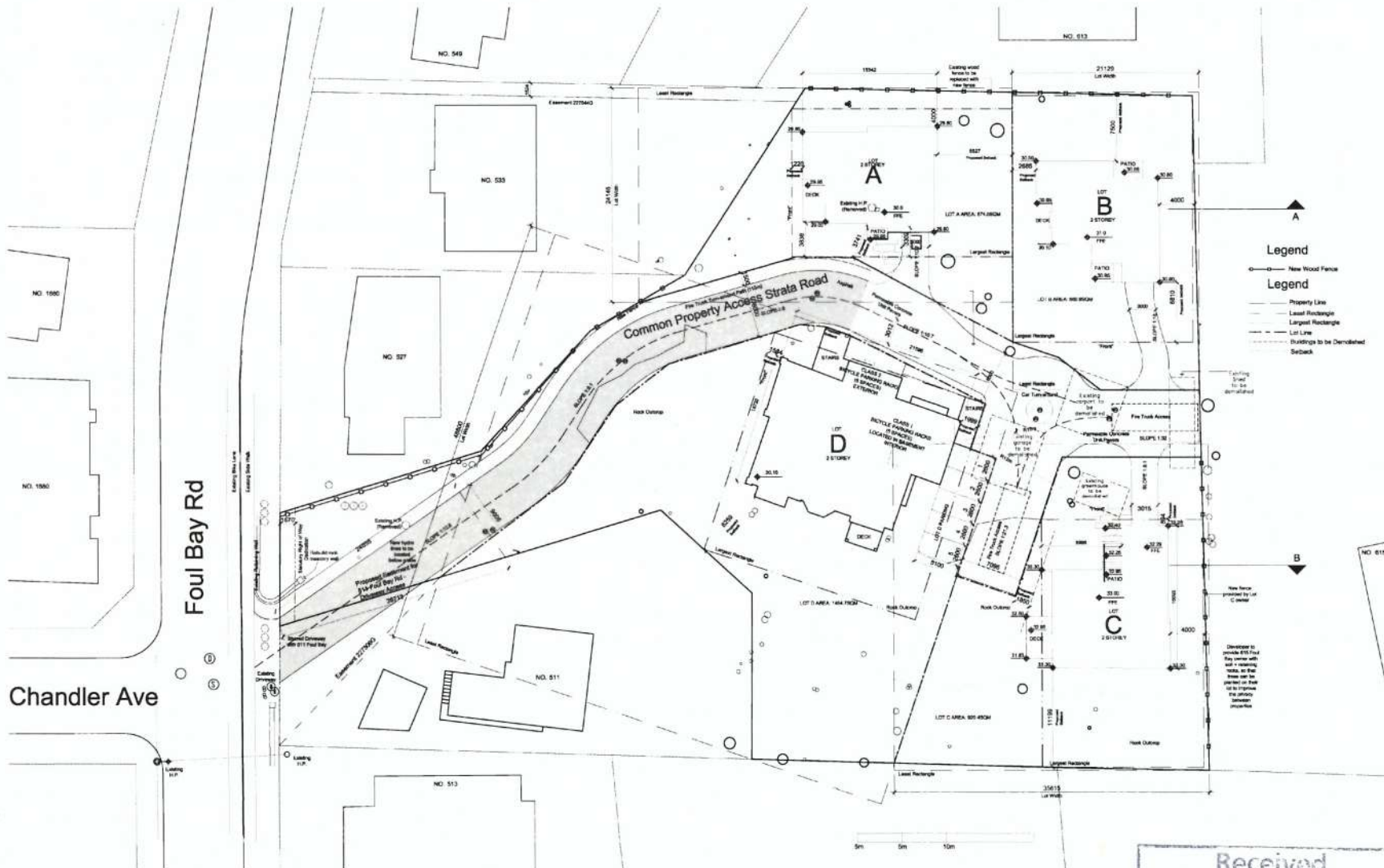
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PLAN 12877



11- Proposed Site Plan	
Scale: 1:200	Rev: 1A 179 site plan (dwg)
Date:	DWG #
Drawn:	A1.8
Reviewed:	Revision
	August 14, 2017



Proposed Site Plan
Scale: 1:200

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515 Foul Bay Road



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Lots 3 + A (DDC82174)
Section 68, Victoria District,
PLAN 12877



1:1 Bare Land Strata Plan Lot Parcels	
Scale: N.T.S.	File:
Date:	UWG #
Drawn:	A1.9
Reviewed:	Revised:
	August 04, 2017

Foul Bay Rd

Legend

--- Lot Line

Bare Land Strata Plan Lot Parcels

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Client:
Edwin Lane Project Ltd.

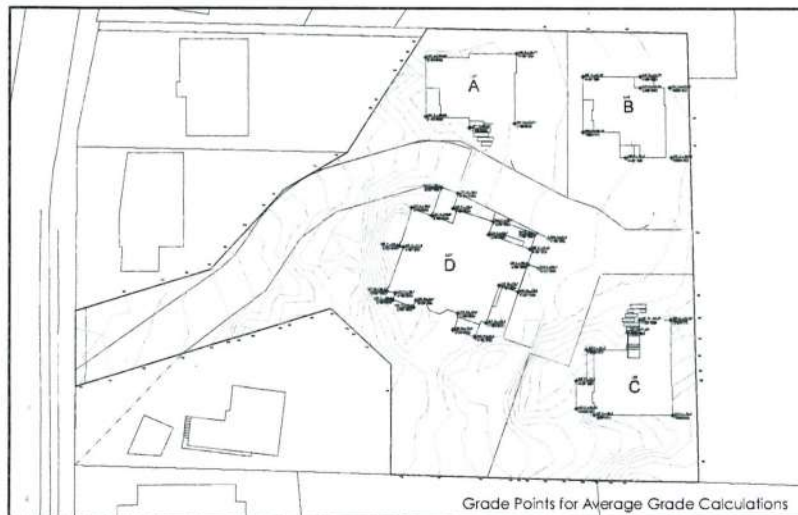
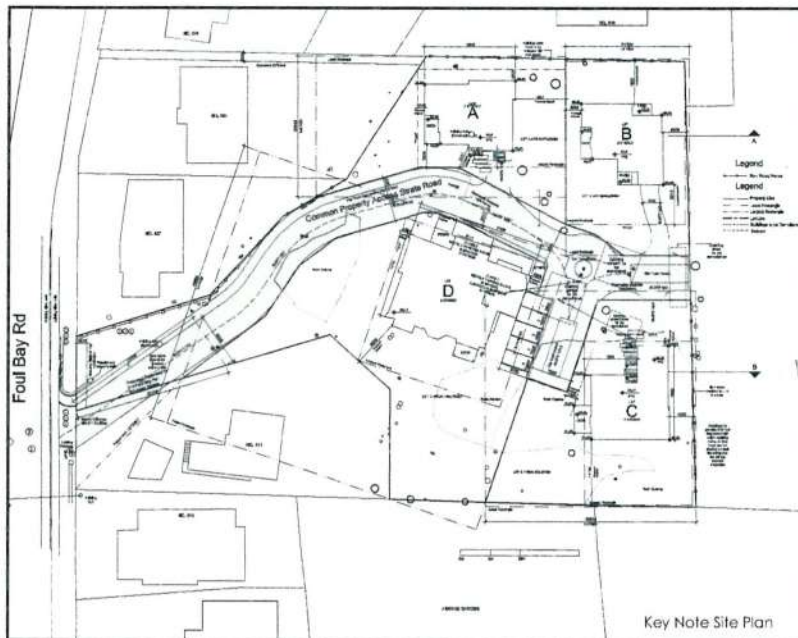
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EDWIN LANE
515 Foul Bay Road
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 Lots 3 + A (DDC82174)
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Parameter	Lot A	Lot B	Lot C	Lot D
Zoning				
Proposed Lot Area (m ²)	674.0	660.9	920.4	1464.7
Proposed Minimum Lot Width (m)	24.1	21.1	35.8	48.8
Proposed Site Coverage (m ² %)	163.7 24.28%	156.7 23.71%	199.3 21.65%	345.2 24%
Proposed Floor Area (m ²)	257.1	239.7	278.8	908.4
Proposed FSR	38.15%	36.27%	30.28%	20.04%
Proposed Parking	1	1	1	5
Proposed Bicycle Parking	0	0	0	11(5-class 1/6-class 3)
Average Grade	29.44	30.52	31.99	29.75
Main Floor Elevation	30.00	31.00	33.00	30.10
Proposed Building Height	7.5	7.4	7.6	9.9
Proposed Number of Stories	2	2	2	3
Proposed Driveway Area (m ²)	22.6	40.1	23.3	26.9
Proposed Footprint Area (ind. decks/balconies)	163.7	147.3	199.3	345.2
Proposed Open Site Space (m ²)	487.7 72%	473.5 72%	697.8 76%	1039.3 71%
Proposed Front Yard Area (m ²)	213.3	223.2	132.7	0.0
Proposed Front Yard Open Space (m ²)	190.7 89%	183.4 82%	109.4 82%	0.0
Building Setbacks				
Front yard (From Largest Rectangle)	1.22	6.81	0.69	1.58
Rear yard	8.53	7.5	11.20	2.00
Side yard (Right)	4.00	4.00	4.00	0
Side yard (Left)	3.74	2.68	1.85	8.26
Combined side yards	7.741	5.68	5.85	8.26
Residential Use Details				
Total number of units	1	1	1	5
Unit type, e.g., 1 bedroom	Single Family Dwelling	Single Family Dwelling	Single Family Dwelling	Multiple Dwelling-House Conversion
Ground-orientated units	N/A	N/A	N/A	Yes
Minimum unit floor area (m ²)	N/A	N/A	N/A	115.86
Total residential floor area (m ²)	N/A	N/A	N/A	748.27

Variance Required

Title: Project Data	
Scale: N.T.S.	File:
Date:	DWG #: A1.10
Drawn:	Reviewed:
Reviewed:	Revision: August 04 2017

515 Foul Bay Road



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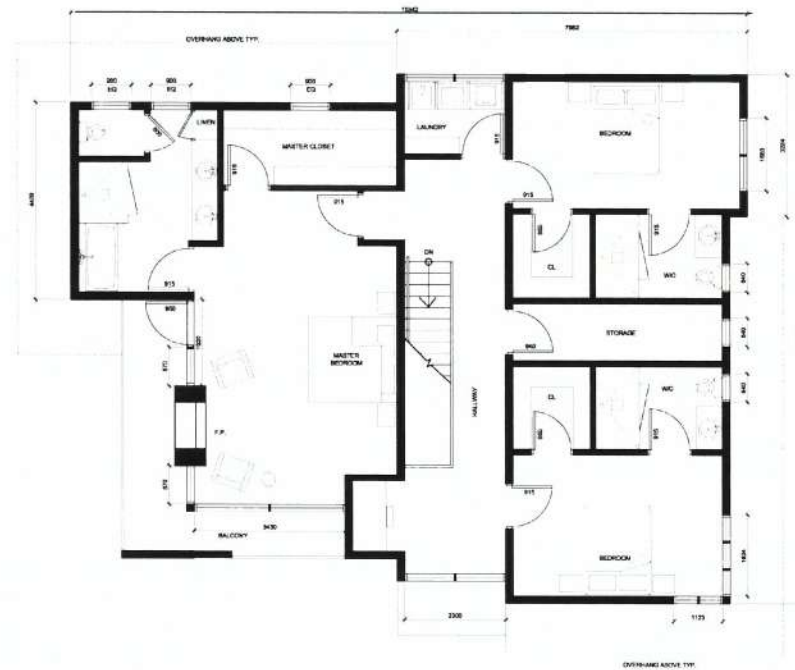
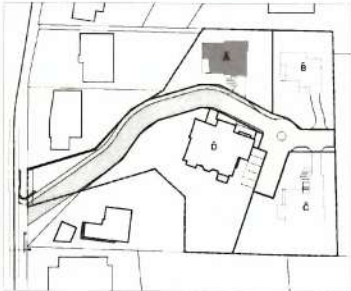
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Title: House "A" Main Floor Plan	
Scale: 1:50	File:
Date:	UWG 4
Drawn:	A2.0
Reviewed:	Revision: August 04, 2017

House A Main Floor Plan
Scale: 1:50



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The House "A" Second Floor Plan

Scale: 1:50	Rev
Date:	DWG #1
Drawn:	A2.1
Reviewed:	Revision: August 04, 2003

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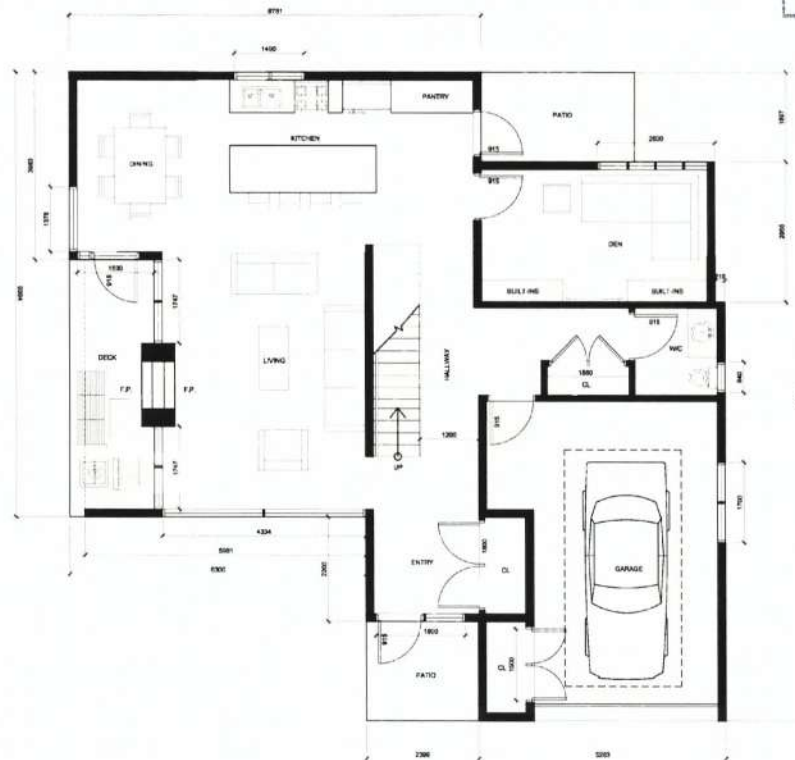
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PLAN 12877

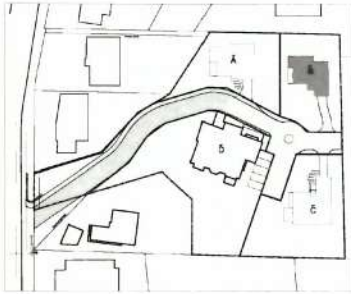


11m House "B" Main Floor Plan

Scale: 1:50	Rev:
Date:	Drawn: A2.2
Drawn:	Reviewed:
Reviewed:	August 04, 2017



House B Main Floor Plan
Scale: 1:50



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Section 68, Victoria District
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Title: House "B" Second Floor Plan	
Scale: 1:50	File:
Date:	DWG #
Drawn:	A2.3
Reviewed:	Revision
	August 04, 2017

515 Foul Bay Road



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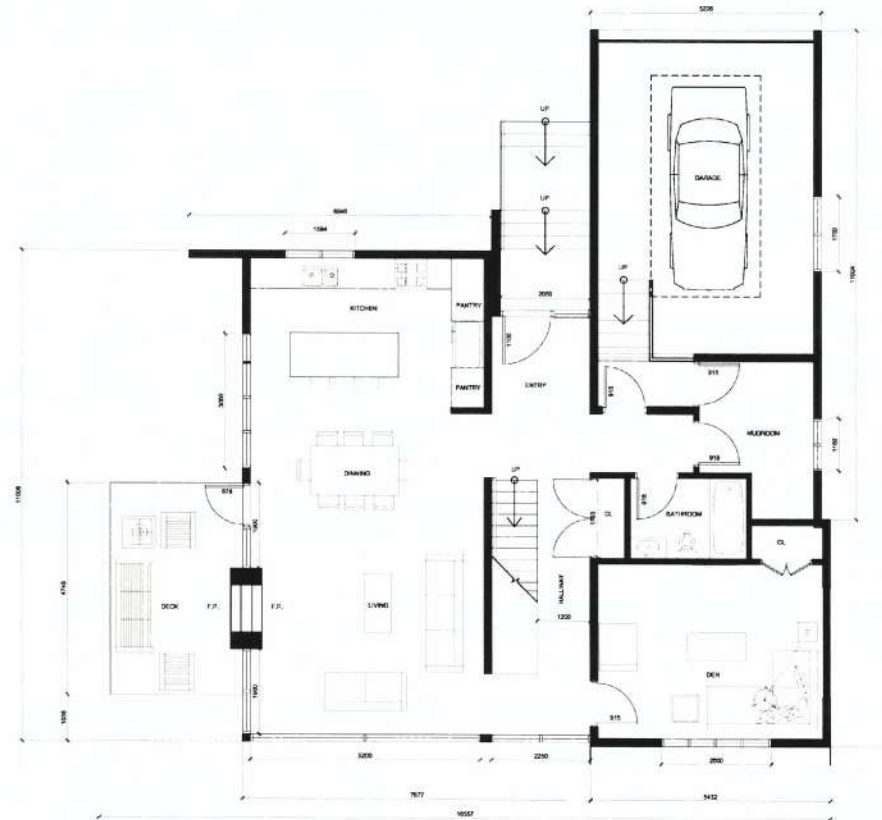
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The House "C" Main Floor Plan	
Scale: 1:50	File:
Date:	Drawn: A2.4
Drawn:	Reviewed:
Reviewed:	Reviewed: Aug. 04, 2017



House C Main Floor Plan
Scale: 1:50

515 Foul Bay Road



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PLAN 12877



The House "C" Second Floor Plan	
Scale: 1:50	Rev:
Date:	UWG #
Drawn:	A2.5
Reviewed:	Revised:
	August 04, 2017

House C Second Floor Plan
Scale: 1:50



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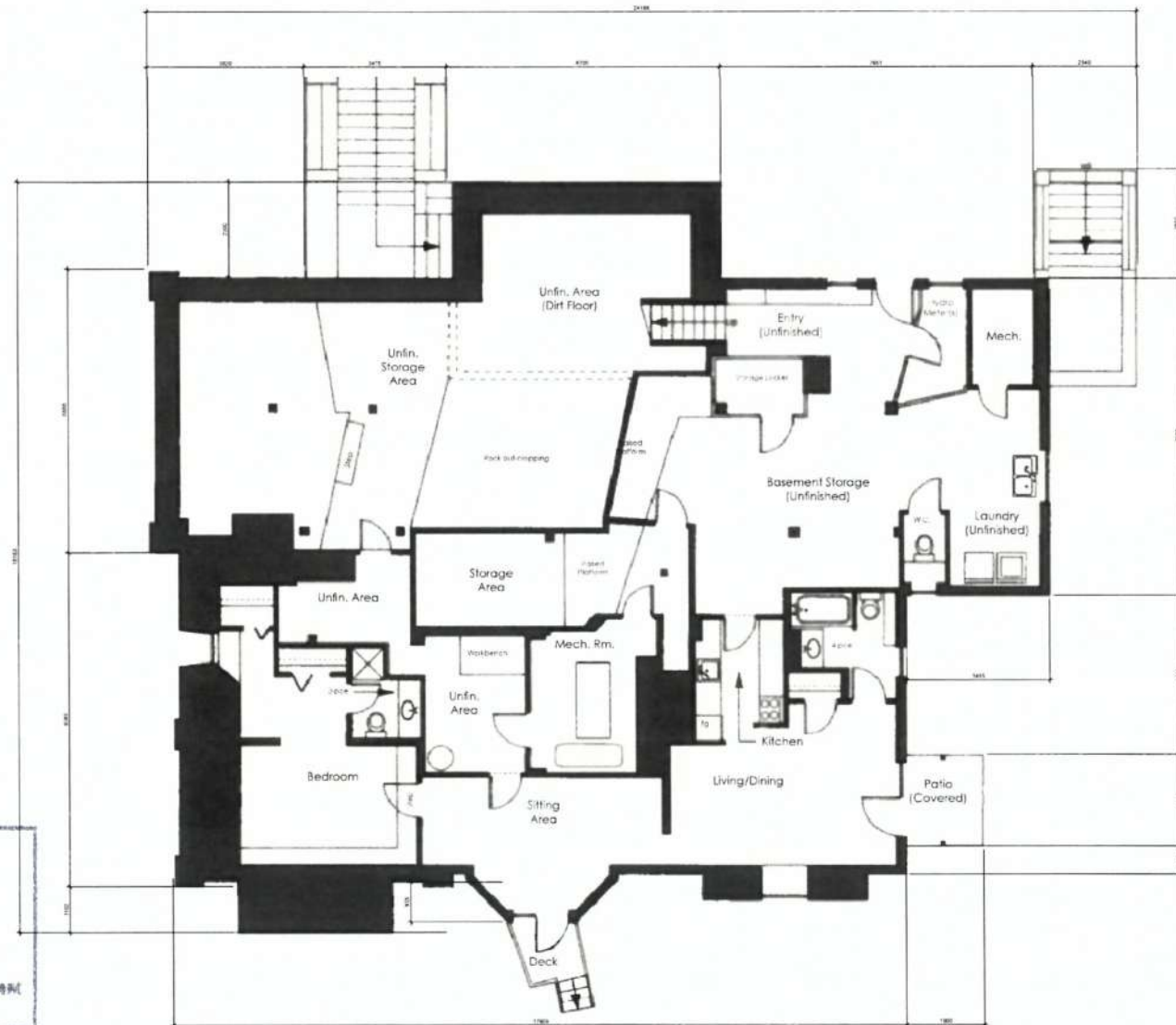
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Title: House "D" Existing Mansion Basement Floor Plan	
Scale: 1:50	Rev: 1
Date:	DWG #
Drawn:	A2.6
Reviewed:	Revised: August 04, 2017



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House D Existing Mansion Basement Floor
Scale: 1:50

515 Foul Bay Road



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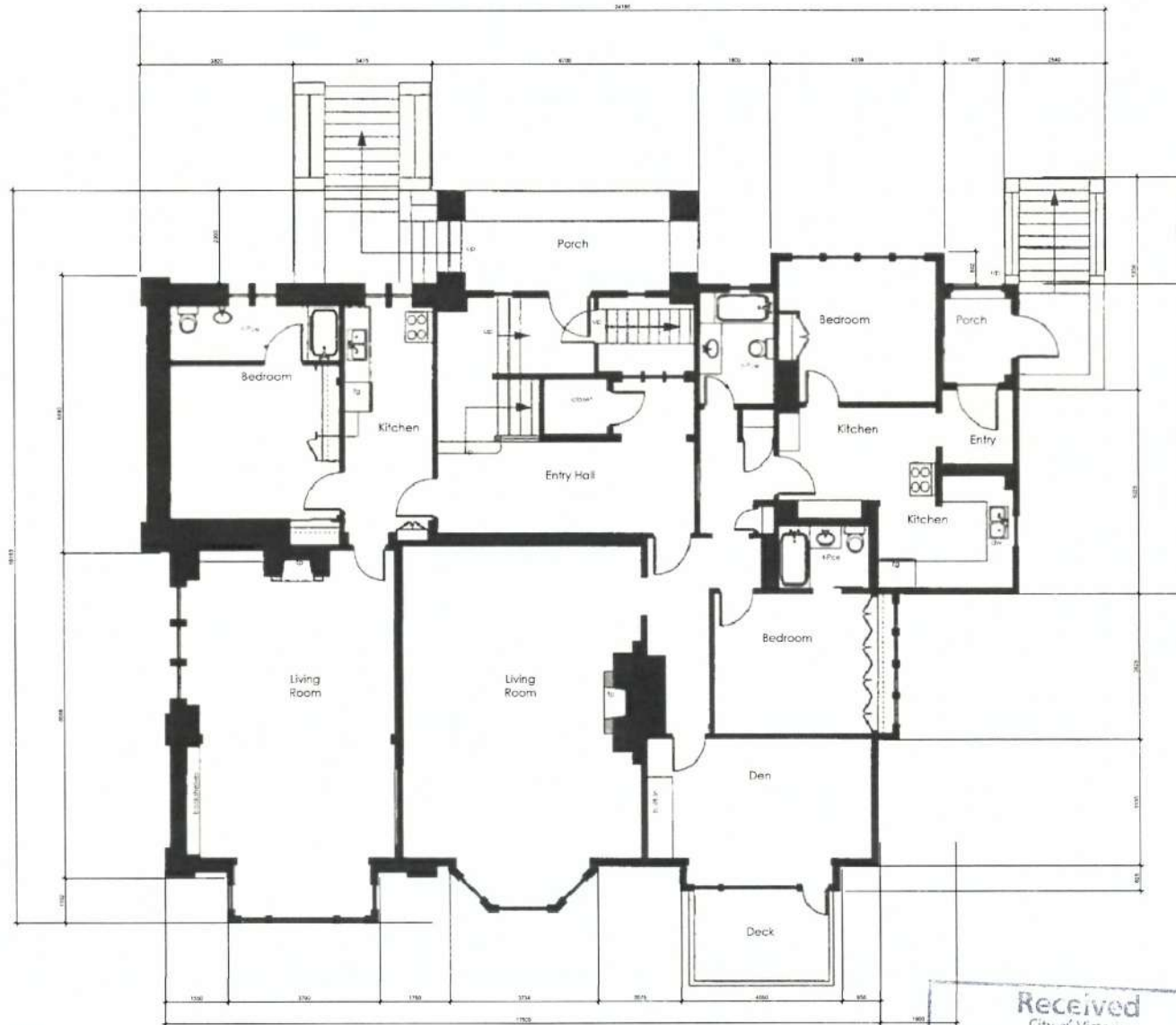


Title: House "D" Existing Mansion Main Floor Plan	
Scale: 1:50	File:
Date:	UWG #
Drawn:	A2.7
Reviewed:	Revision: August 04, 2017

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Development Services Division



House D Existing Mansion Main Floor Plan
Scale: 1:50

515 Foul Bay Road



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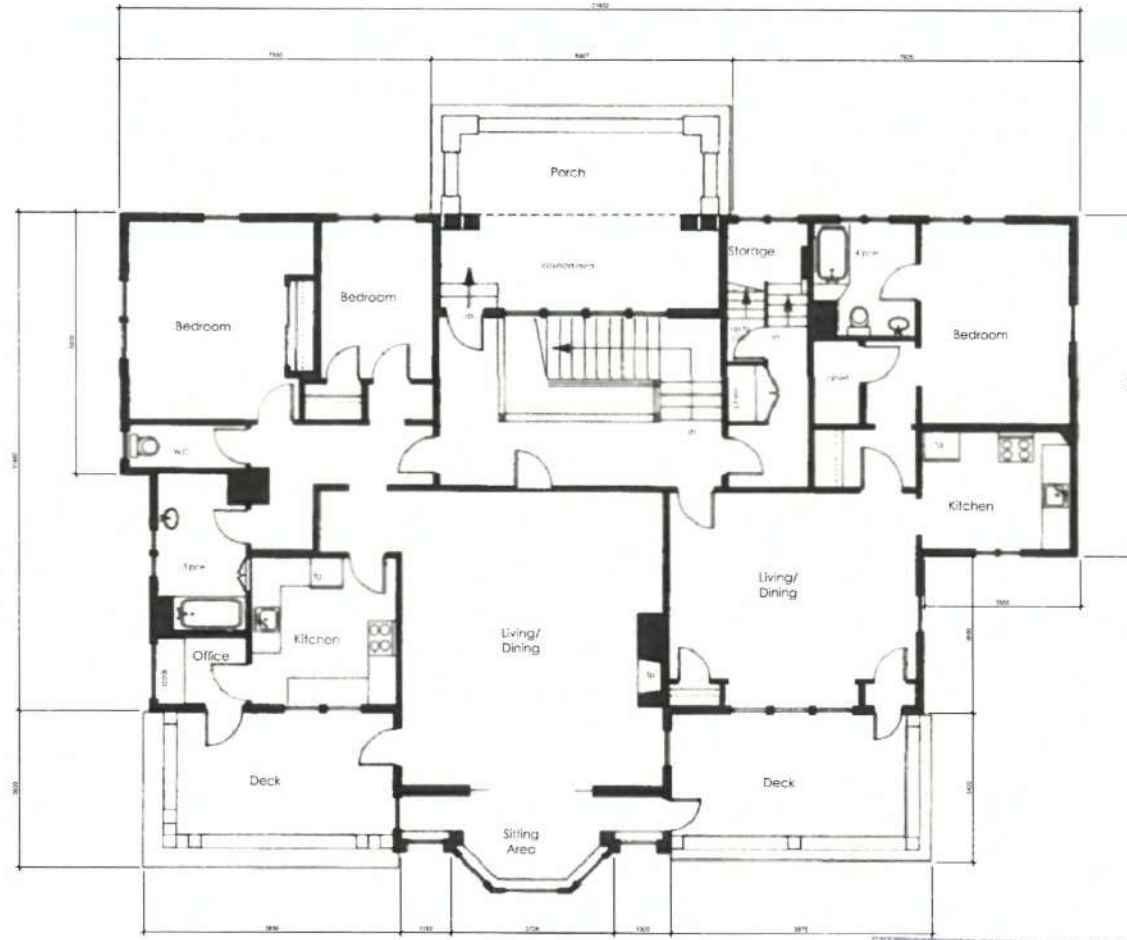
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Title: House "D" Existing Mansion Second Floor Plan	
Scale: 1:50	Rev:
Date:	DWG #
Drawn:	A2.8
Reviewed:	Revision:
	Aug. 04, 2017



House D Existing Mansion Second Floor
Scale: 1:50

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Lots 3 + A (DDC82174)
Section 68, Victoria District
PLAN 12877

Title: House "A" Elevations	
Scale: 1/8"	Rev:
Date:	Drawn: A3.0
Reviewed:	Reviewed: August 24, 2017

Orientation 1 of 10



1. Dark wood (existing)

2. Light stone (existing)

3. Dark stone (existing)

4. Dark stone (existing)

5. Light stone (existing)

6. Dark stone (existing)

7. Dark wood (existing)

8. Dark stone (existing)

9. Dark stone (existing)

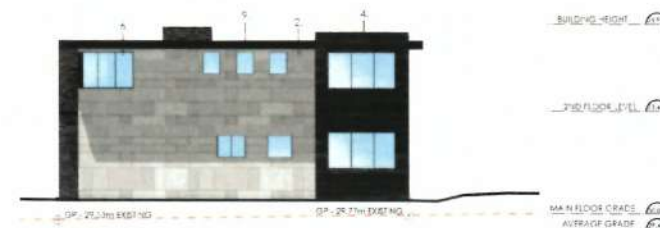
10. White outline (existing)

LEGEND
(X) - Datum Point



West Elevation

South Elevation



East Elevation

North Elevation

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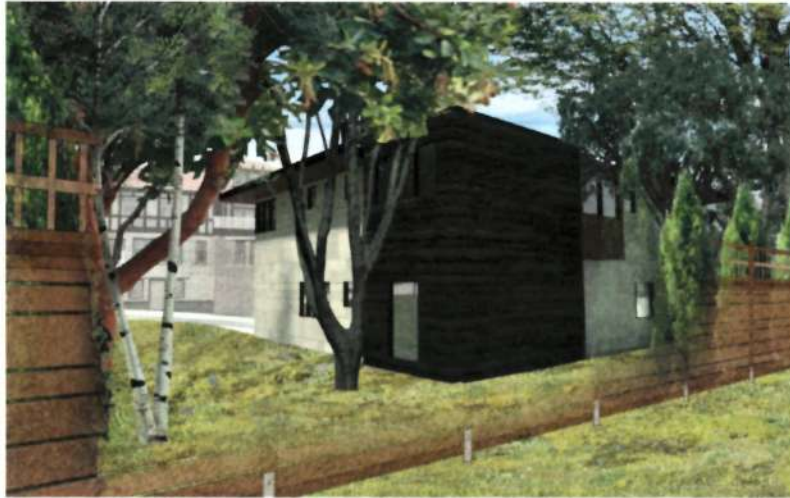
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Lots 3 + A (DDC82174)
Section 68, Victoria District
PLAN 12677



Edwin Lane "A" Perspectives

Scale: N.T.S.	Rev:
Date:	Drawn: A3.1
Drawn:	Reviewed: August 04, 2017
Reviewed:	



HOUSE A - NORTH EAST VIEW



HOUSE A - SOUTH WEST VIEW



HOUSE A - SOUTH EAST VIEW

House A Perspective Views

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1111 House "B" Elevations	
Scale: 1:75	Rev:
Date:	UWG #1
Drawn:	A3.2
Reviewed:	Reviewed: August 04, 2017



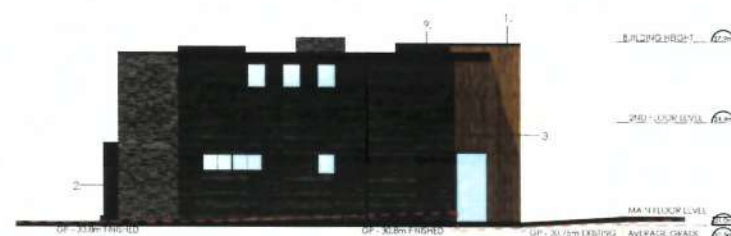
East Elevation



North Elevation



West Elevation



South Elevation



515 Foul Bay Road



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Title: House "B" Perspectives	
Scale: N.T.S.	Rev:
Date:	DWG #:
Drawn:	A3.3
Reviewed:	Revision: August 04, 2017



HOUSE B NORTH EAST VIEW



HOUSE B SOUTH WEST VIEW



HOUSE B SOUTH EAST VIEW

House B Perspective Views

View of 613 Foul Bay -
at Property Line Fencing



Photo #1

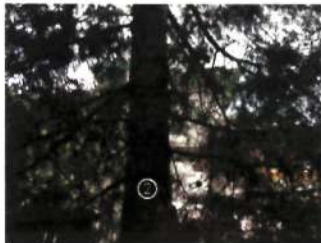


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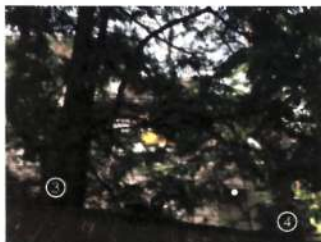
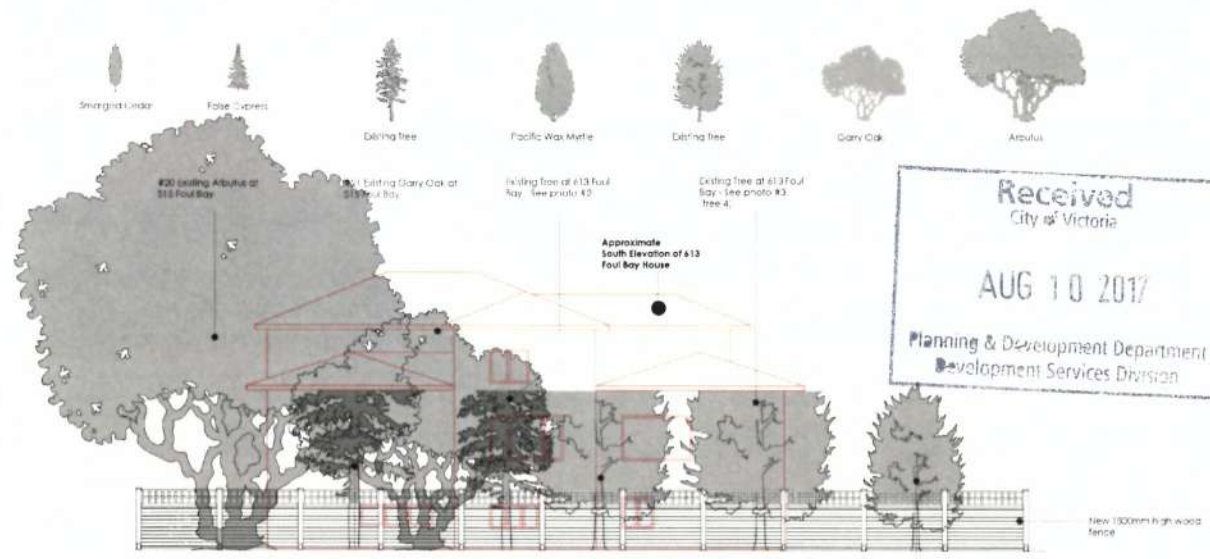
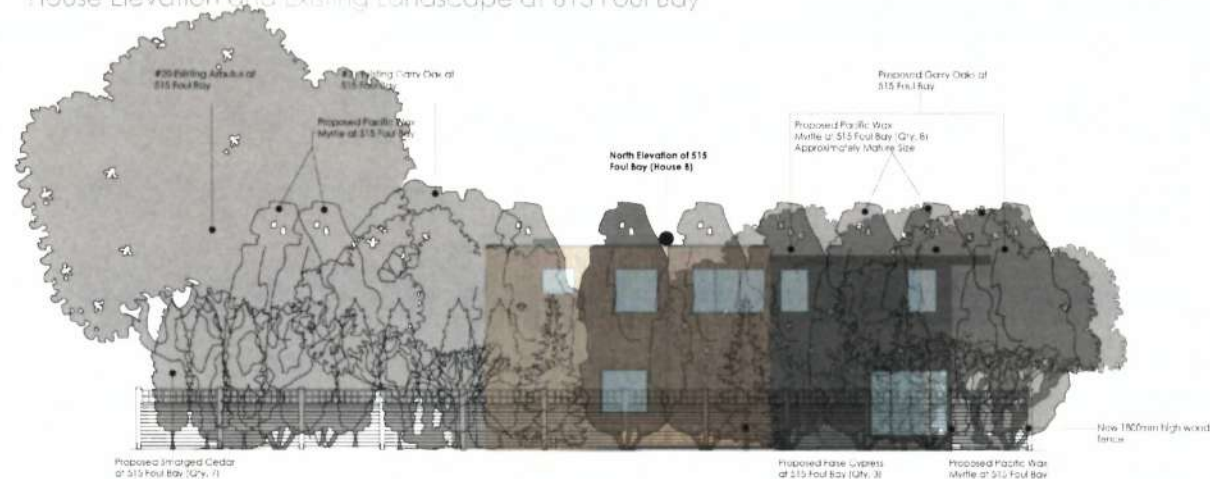


Photo #3



House Elevation and Existing Landscape at 613 Foul Bay



House Elevation and Existing and Proposed Landscape at 613 Foul Bay



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Title: Existing and Proposed Tree Study of 613 and 515 Foul Bay	
Scale: N.T.S.	File:
Date:	Drawn: A3.4
Drawn:	Revised: August 04, 2017
Revised:	

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515 Foul Bay Road



View of 613 Foul Bay -
at Property Line Fencing

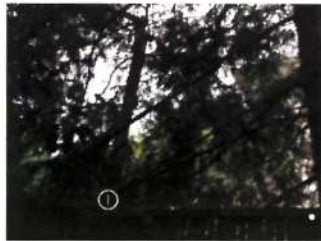
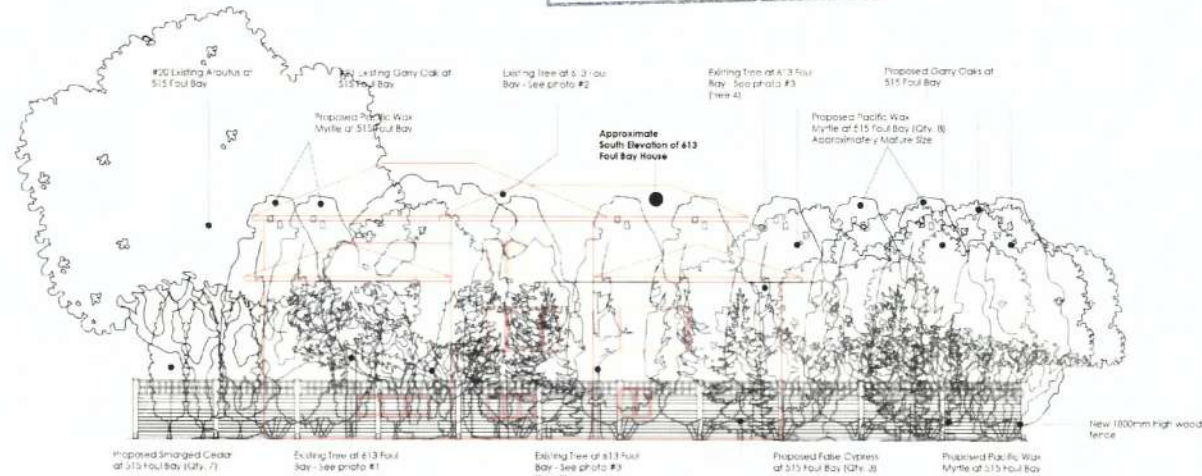
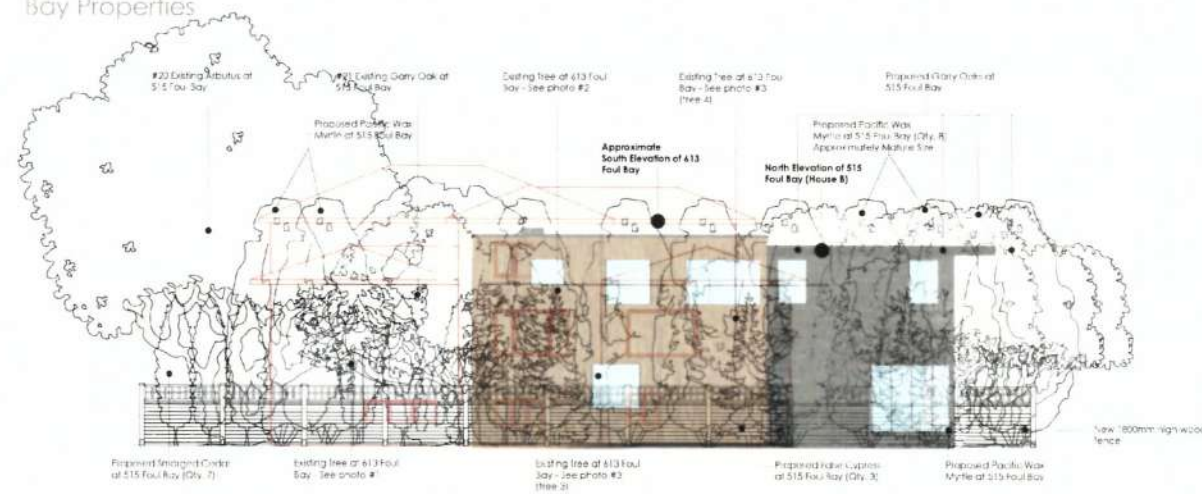


Photo #1



613 Foul Bay House Elevation with All Existing and Proposed Landscape on Both 613 and 515 Foul Bay Properties



House Elevation with All Existing Landscape and Proposed Landscape on Both Properties - 613 and 515 Foul Bay

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Neighboring Window Comparison	
Scale: 1:15	Plan
Date:	Drawn #
Drawn:	A3.5
Reviewed:	Revision: August 04, 2017

515 Foul Bay Road



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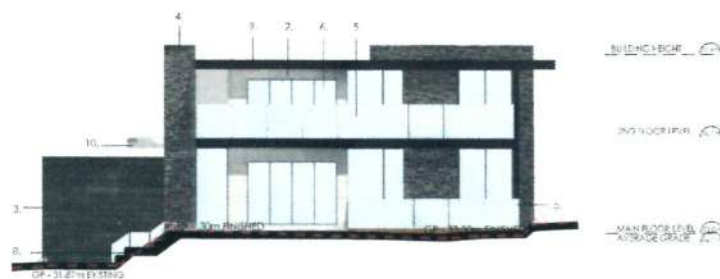
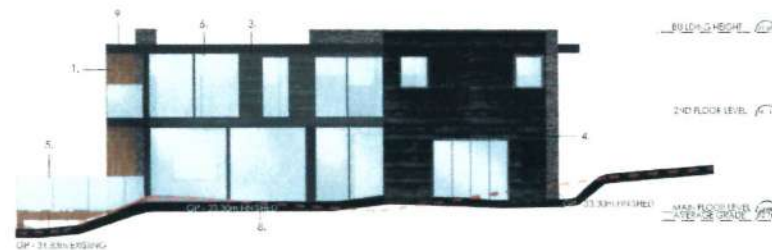
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PLAN 12877



Title: House "C" Elevations

Scale: 1/25	File:
Date:	DWG #:
Drawn:	Revision:
Reviewed:	August 04, 2017



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House C Elevations

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515 Foul Bay Road

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PLAN 12677



Site: House "C" Perspectives

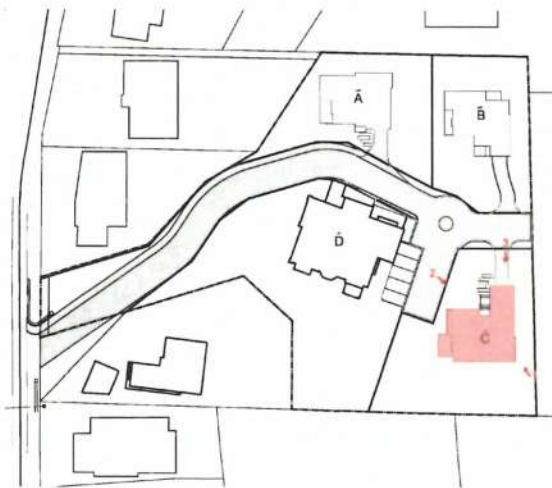
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Date:	UWG #:
Drawn:	A3.7
Reviewed:	Reviewed: August 04, 2017



HOUSE C WEST VIEW



HOUSE C NORTH WEST VIEW



HOUSE C SOUTH WEST VIEW

House C Perspective Views



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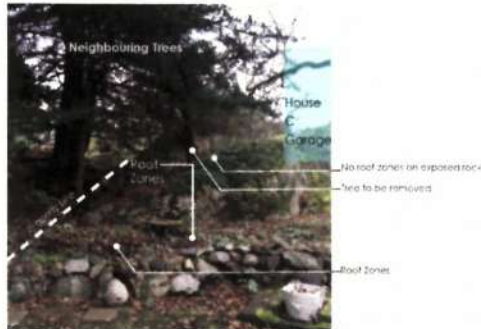
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Section 68, Victoria District
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Title: Privacy Study of 515 Foul Bay Road	
Scale: N.T.S.	Rev:
Date:	UWG #:
Drawn:	A3.8
Reviewed:	Envision: August 04, 2017

Privacy Study of 615 Foul Bay



Existing Trees at 615 Foul Bay



Elevation 615 Foul Bay



Legend

⊙ Existing Garry Oak Tree



View from 615 Foul Bay

Lot C, Express #22, to remain

Developer to provide soil + rocks for 5' 5' Foul Bay owner to add new trees

Lot C future owner to provide new 1800mm high wood fence



View from 615 Foul Bay to Proposed House C



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Section 68, Victoria District,
PLAN 12877



1st House "D" Elevations

Scale: 1/35	Rev:
Date:	UWG #1
Drawn:	A3.9
Reviewed:	Revised: August 04, 2017



BUILDING HEIGHT 12.0m
EXISTING EAVES 6.5m
3RD FLOOR LEVEL 6.5m
2ND FLOOR LEVEL 5.5m
MAIN FLOOR LEVEL 4.5m
AVERAGE GRADE 4.5m



BUILDING HEIGHT 12.0m
EXISTING EAVES 6.5m
3RD FLOOR LEVEL 6.5m
2ND FLOOR LEVEL 5.5m
MAIN FLOOR LEVEL 4.5m
AVERAGE GRADE 4.5m



BUILDING HEIGHT 12.0m
EXISTING EAVES 6.5m
3RD FLOOR LEVEL 6.5m
2ND FLOOR LEVEL 5.5m
MAIN FLOOR LEVEL 4.5m
AVERAGE GRADE 4.5m



BUILDING HEIGHT 12.0m
EXISTING EAVES 6.5m
3RD FLOOR LEVEL 6.5m
2ND FLOOR LEVEL 5.5m
MAIN FLOOR LEVEL 4.5m
AVERAGE GRADE 4.5m

House D Elevations

515 Foul Bay Road



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Planning & Development Department
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PLAN 12877



Title: Site Elevations	
Scale: 1:500	Rev:
Date:	DWG #
Drawn:	A4.0
Reviewed:	Revision August 24, 2017



Site Elevations

515 Foul Bay Road



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Section 68, Victoria District
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Title: Site Sections

Scale: 1:200	Rev:
Date:	DWG #:
Drawn:	A4.1
Reviewed:	Revision:
	August 04, 2017

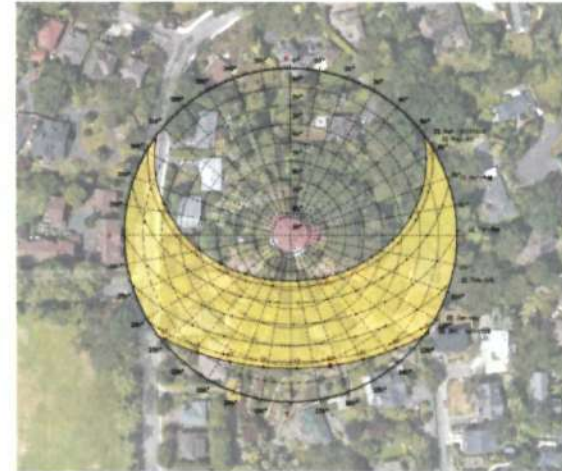
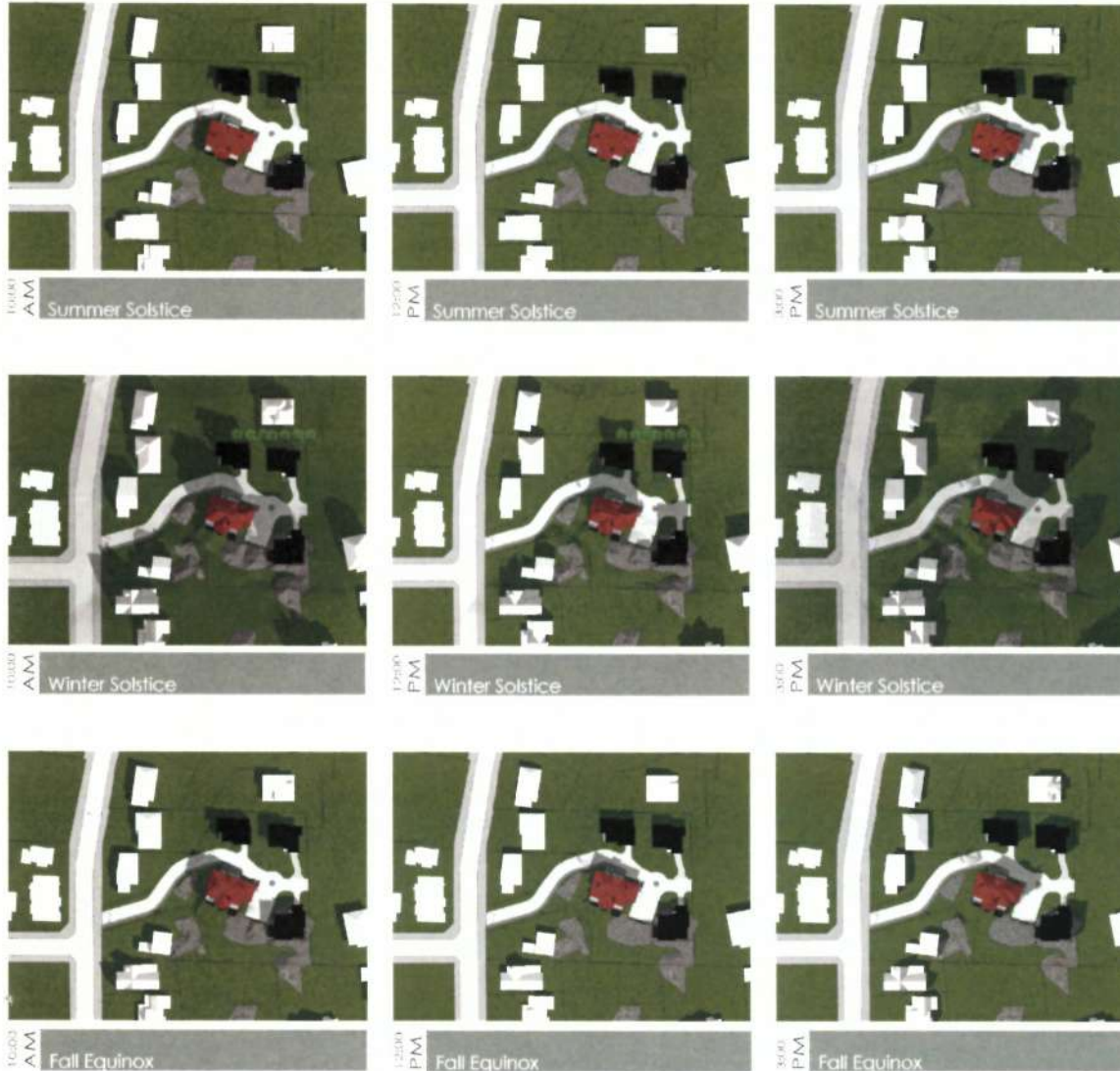


FIGURE 1: SITE SECTION A



FIGURE 2: SITE SECTION B

Sun/Shadow Study



Sun Path Diagram



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Title: Sun/Shadow Study	
Scale: N.T.S.	Rev:
Date:	DWG #:
Drawn:	A5.0
Reviewed:	Revised: August 04, 2017

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Development Services Division

515 Foul Bay Road

SUSTAINABLE FEATURES

SITE

- The site is characterized by rolling topography, rock outcrops and many mature Garry Oaks and Arbutus trees. The Arborist mapped out the bylaw protected trees for their canopies and root zones. The houses are located and designed around the trees to preserve the trees sizes and locations.
- The subdivided lot areas and house sizes were determined by the tree preservation and to be below the allowable areas to meet the bylaws of the FSR and allowable site coverage.
- The road surface in the residential area is to be constructed of permeable pavers to allow the rainwater to replenish the groundwater table and feed tree roots.
- The main floor slab levels are raised just above the root zones to ensure they are not disturbed.
- We are adding 24 new Garry Oaks to ensure successive planting throughout the site.

- The removal of invasive species is planned, and the new plantings will be native, drought tolerant species.

ENERGY

- The houses are oriented to maximize passive solar heat gains from southern exposure. The existing site trees provide solar shading in the summer months.
- Natural daylighting is designed throughout.
- High performance glazing and building envelope thermal performance.

MATERIALS

- The exterior cladding materials are high quality, durable materials such as stone, fiber cement board and wood, that also compliment the existing character of the mansion.



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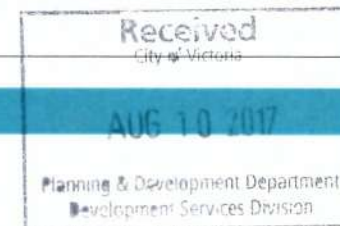
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EDWIN LANE
515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A(DDC62174)
Section 68, Victoria District
PLAN 12677



11m Sustainability Features

Scale: N1:3	Rev:
Date:	UNWG #:
Drawn:	A6.0
Reviewed:	Revision: August 04, 2017



515 Foul Bay Road



Client:
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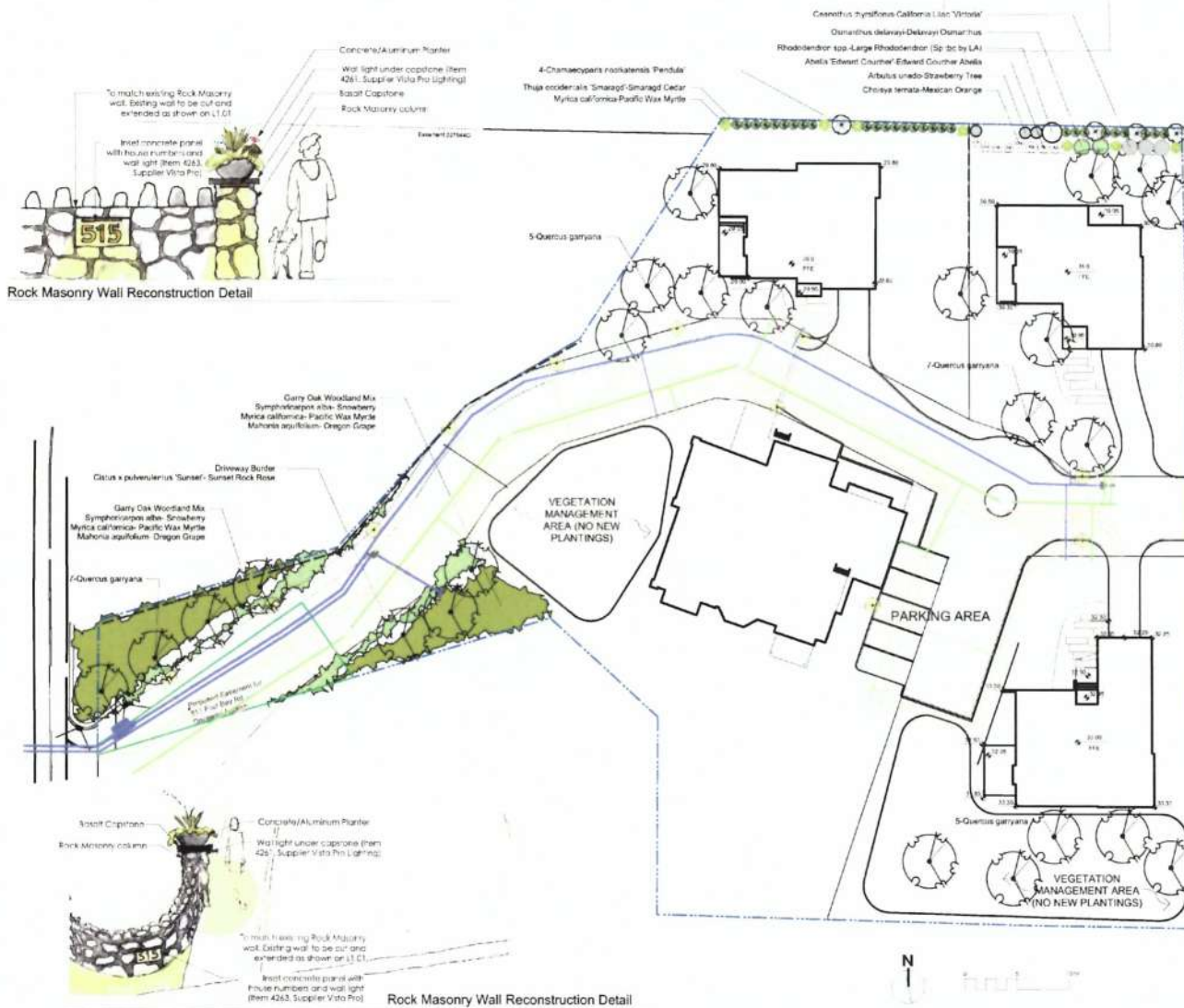
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EDWIN LANE
515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A (DDC82174)
Section 68, Victoria District
PLAN 12677



Title: Landscape Planting	
Scale: 1:200	Rev:
Date:	UNW #1
Drawn:	L1.1
Reviewed:	Revised: August 04, 2017



Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TABLE				
4		Chamaecyparis nootkatensis 'Pendula'	The Nootka Island Cypress	2.5 m Ht.
24		Quercus garryana	Garry Oak	4.0 m x 4.0 m
DETAIL				
Ab	3	Abelia Edward Courcier'	Edward Courcier	4.2 m Ht.
Au	3	Arbutus unedo	Strawberry Tree	1.2 m x 1.2 m
Ch	3	Ceanothus thyrsiflorus	California Lilac	4.0 m Ht. (Specimen 4.0 m Ht.)
Ch	5	Choisya ternata	Mexican Orange	4.0 m Ht.
Co	29	Cistus x pulverulentus 'Sunset'	Sunset Rock Rose	4.0 m Ht.
Ma	39	Muhlenbergia aquifolium	Oregon Grape	4.0 m Ht.
My	2	Myrica californica	Pacific Wax Myrtle	4.0 m Ht.
Or	7	Ornithoglossum delavayi	Delavayi Ornithoglossum	4.0 m Ht. (Specimen 4.0 m Ht.)
Rh	14	Rhododendron spp.	Large Rhododendron	4.0 m Ht. (Specimen 4.0 m Ht.)
St	14	Symphoricarpos alba	Snowberry	4.0 m Ht.
Th	28	Thuja occidentalis 'Smaragd'	Smaragd Cedar	2.4 m Ht.
Q				



PLANTING NOTES

1. Location of all replacement garry oaks to be field B. Each location may vary due to site constraints (field rock location).
2. Planting in residential lots to use site adapted plant material.

DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plant dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all plantings to current BASC Standards and Contract Specifications.
7. Landscape Installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the BCIA/NCMA Landscape Standards.
9. General Contractor/contractor responsible for all costs related to production and submission to consultant of all landscape as built information including irrigation.

AUG 10 2017

Planning & Development Department
Equipment Services Division

515 Foul Bay Road

Client:
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515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A(DDC82174)
Section 68, Victoria District
PLAN 12677

11.0: Tree Management Plan

Scale: N.T.S.

Drawn: AB1.0

Reviewed: August 24, 2017



TREE PROTECTION MEASURES

- Before site preparation begins, install tree protection fencing as indicated in sections adjacent to trees designated for removal. Fencing will be erected after tree removal and grubbing is complete. Chip up tree branches and waste chip mulch on site for distribution within sensitive tree areas (see Note 6 below).
- The proposed work will be limited to sensitive tree removal, grubbing, excavation, service trenching, site grading or blasting within or adjacent to the Tree Protection Area (TPA).
- Proceed with tree removal or blasting only after the TPA has been established.
- The existing contractor will work with the arborist to develop a tree protection plan that minimizes impacts to protected trees. This plan must then be reviewed and approved by the City of Victoria prior to implementation.
- Tree removal shall be done in place of blasting for rock removal in sensitive tree areas at the crest of the project abutment.
- Blasting vibration in the vicinity of the Tree Protection Area is not to exceed a measured peak particle velocity (PPV) of 25 mm/sec. A daily record of all PPVs will be recorded and reviewed by the project arborist.
- Use Dynamite as the explosive product. No fertiliser-based explosives (ANFO) is permitted, due to its toxicity to tree roots.
- The contractor will prevent rock from the road side from entering the TPA.
- If the Project Arborescences require regular inspection during the site preparation and construction phases of the project to the City of Victoria.
- Where trenching is to be achieved by excavation, the remaining root zone must be kept drained with 10cm of free chip mulch.
- Damage to roots or branches will be repaired by the project arborist.
- The vertical face of excavated cuts adjacent to the TPA will be securely covered with geotextile to prevent soil degradation and erosion.
- In areas where the root zone of the tree has been reduced by excavation, the remaining root zone must be kept drained with 10cm of free chip mulch.
- Protected trees will be inspected once weekly during the dry summer period to a minimum effective depth of 300mm.
- Temporary construction access within a TPA requires arborist on and supervision of the project arborist.
- Where necessary, to facilitate site access, a "removal" can be used in place of fencing to protect sensitive root habitat. Approved measures will also be placed on a temporary cover of geotextile and 200mm of moderately compacted 3" aggregate underfoot road base.
- No equipment, materials or excavated soil will be placed or stored within the TPA. THIS PARTICULARLY INCLUDES HOWARD NO OF EXCAVATED SOILS NEEDED FOR BACKFILLING.
- 24 replacement trees (60cm dia.) will be planted in compensation for the removal of 12 by low-impact trees (2 for 1). Please see the landscape plan for location and specific details of the replacement trees.
- Where suitable erosion control is not possible, trees shall be planted in a suitable area and supported by suitable post-and-rail system to protect them from damage.
- Trees 25, 26, 29 and 30 will require removal of one or more clear surface soils to be accessed and agreed for the fighting vehicles and way point.

Tree Protection Fencing Detail

Place Tree Protection Fencing shall be constructed with 2x4 frame and 4x4 posts. One end of the 2x4 frame shall be attached to the fence. The other end of the 2x4 frame shall be attached to the fence. The fence shall be constructed with 2x4 frame and 4x4 posts. One end of the 2x4 frame shall be attached to the fence. The other end of the 2x4 frame shall be attached to the fence.



TREE LEGEND

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515 Foul Bay Rd. Victoria, BC
V8S 4G9
Tel: (250) 544-7000
Fax: (250) 544-7001
Email: info@gyeandassociates.ca
Website: www.gyeandassociates.caProject: 515 Foul Bay Rd. Victoria, BC
Client: Edwin Lane Project Ltd.
Title: Tree Management Plan for Development PermitProject No: 16-065
Date: December 20, 2016
Scale: N.T.S.
Drawn: J. Gye
Sheet No: 1 of 2



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EDWIN LANE
515 Foul Bay Road
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Lots 3 + A [DDC82174]
Section 68, Victoria District.
PLAN 12877



Title Tree Management Plan

For: NTS	Rev:
Date:	UWG #:
Drawn:	AB1.1
Reviewed:	
	Revision: August 04, 2017



Fig. 1. Interrelated facing perspectives.
(See 412 and Atlantic 412 will be retained. Minor pruning of Oak 71 is indicated to remove displaced grid values immediately upon proposed Houses on Lot A. View from the south.)



Minor pricing of Article 82 may be indicated to reduce enforcement upon proposed features on L1s & on G



Tree #23 is proposed for removal to make way for proposed house on Lot B. The stump will be ground to a maximum 15cm below grade.



Free #24 will be retained. Pruning to relieve end-weight is recommended due to weak attachment area attachment (pruned back). Reattach this part in System. (See detail image (Fig. 3))



Close up of Chel 25 with end-irradiation attachment and included bore.



^aFree K2L, K2S and K2P will be released and pruned for longer featured.



Fig. 8 (continued) facing perspective



Fig. 9 (containing perspective)



Fig. 10 north-west facing perspective



Fig. 11 (containing perspective)

Use K02 close up of grout joint. If other assessment is recommended to determine if measures are required to remove and bridge grout section.



Fig. 12 (west-facing perspective).
Tree 831 will be removed due to conflict with proposed
freeway at Lot C.



Trails #12 and #34 will be retrofitted due to conflict with proposed houses on Lot C.



Fig. 15 (cont) Facing perspective?

Does RTT still get retained? Most of playing is face-to-face

Re-release announcement upon programed feature for L & C.



Fig. 15 (North-facing perspective)
from 875 and the island.

ADDITIONAL TREE PROTECTION DETAILS



Received
City of Victoria
AUG 10 2017
Planning & Development Department
Development Services Division

515 Foul Bay Road



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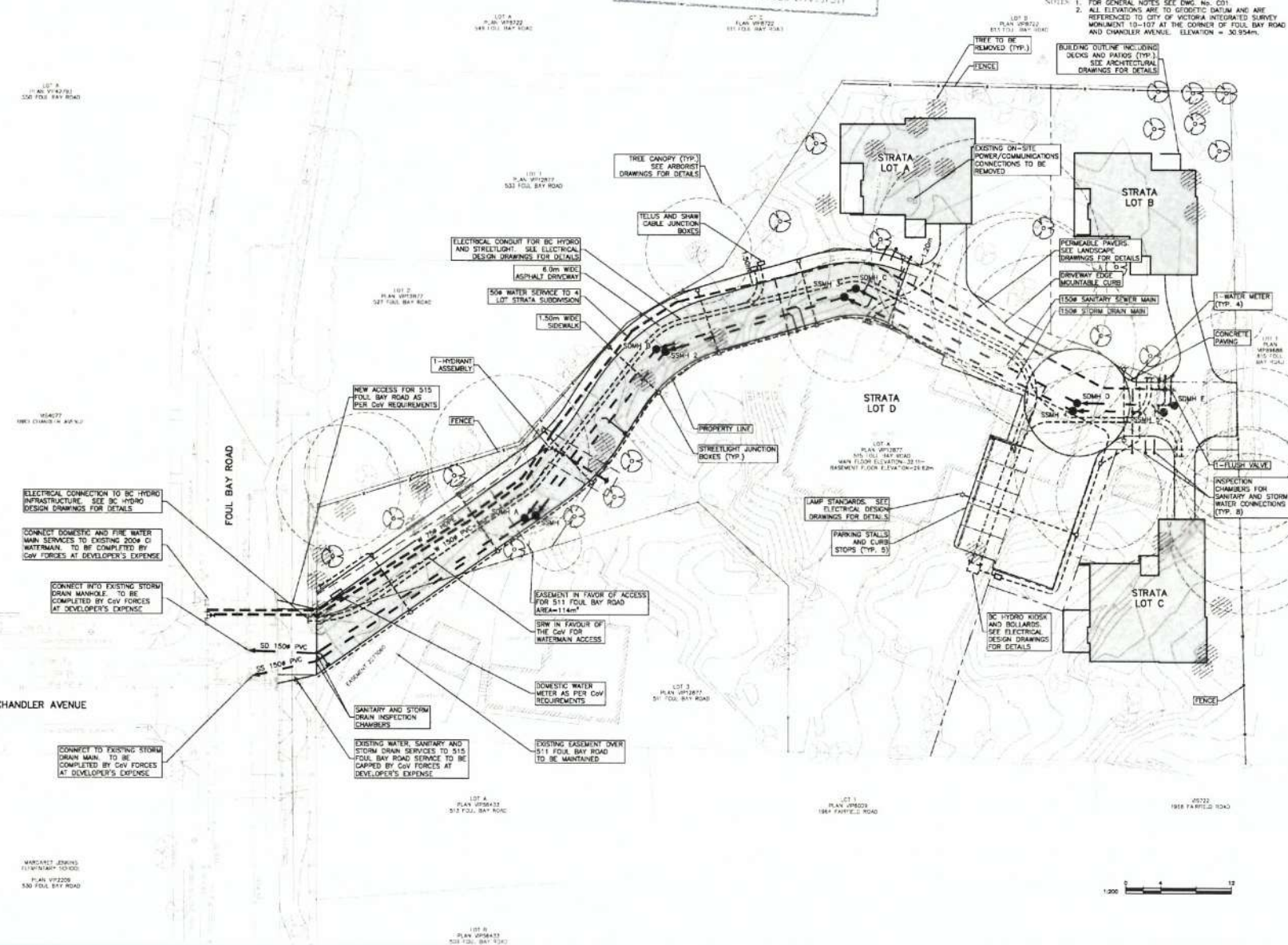
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EDWIN LANE
515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A (DDC82174)
Section 68, Victoria District,
PLAN 12877

11m Site Servicing Plan	
Scale: 1:200	Rev:
Date:	UWG #1
Drawn:	C1.0
Reviewed:	Revised:
	August 04, 2017



515 Foul Bay Road



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EDWIN LANE
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Lots 3 + A (DD82174)
Section 68, Victoria District,
PLAN 12877



This Key Plan, Drawing List & General Notes

Scale: 1:1000	Rev:
Date:	DWG #:
Drawn:	C1.1
Reviewed:	Revision: August 04, 2017

Received
City of Victoria

AUG 10 2017

Planning & Development Department
Development Services Division



LOCATION PLAN

ADDRESS: 515 FOUL BAY ROAD
LEGAL: LOTS 3 & A (DD 82174), SECTION 68, VICTORIA
CITY, PLAN 12877
ZONING: R1-10
LAND USE: RESIDENTIAL
PROPOSED: 4 LOT STRATA SUBDIVISION
EXISTING SITE AREA: 4893m²
LOT A SITE AREA: 674.0m²
LOT B SITE AREA: 660.3m²
LOT C SITE AREA: 920.4m²
LOT D SITE AREA: 1464.7m²
PLAN TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION

GENERAL NOTES

1. ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA (Cov) SPECIFICATIONS TO SUPPLEMENTARY MASTER MUNICIPAL SPECIFICATIONS, STANDARD DETAIL DRAWINGS AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS AND THE BC BUILDING CODE UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
2. THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
3. SIGNATURE BLOCK FOR SHALLOW UTILITIES TO BE SIGNED AND DATED PRIOR TO CONSTRUCTION.
4. PERMITS TO CONSTRUCT WORKS ON THE Cov RIGHT OF WAY MUST BE OBTAINED FROM THE Cov ENGINEERING DEPARTMENT PRIOR TO COMMENCING WORK. THERE PERMITS MUST BE ON SITE FOR REVIEW AS REQUIRED.
5. CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
6. CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
7. ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED. CARE TO BE TAKEN TO RETAIN AS MANY TREES AS POSSIBLE.
8. ADJUST ALL MANHOLES, WATER VALVES, HYDRO VALVES, ETC. TO MATCH NEW CONSTRUCTION.
9. ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
10. REFER TO ARBORIST REPORT, DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION WHEN WORKING AROUND PROTECTED TREES AND ROOT ZONE AREAS.
11. ALL EXCAVATED TRENCH AND SUBGRAVATION MATERIALS TO BE DISPOSED OF OFFSITE.
12. ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO CITY OF VICTORIA INTEGRATED SURVEY MONUMENT 10-107 AT THE CORNER OF FOUL BAY ROAD AND CHANDLER AVENUE. ELEVATION = 30.954m.
13. DATA SOURCES:
-TOPOGRAPHIC SURVEY COMPLETED BY BRAD CUNNING LAND SURVEYING, MAY 31 2016.
-DIGITAL AIRPHOTOS PROVIDED BY Cov.

ROAD NOTES

1. CONSTRUCT ALL SIDEWALK AND DRIVEWAY CROSSINGS IN ACCORDANCE WITH Cov STANDARDS AND MAND.
2. MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG FOUL BAY ROAD DURING CONSTRUCTION.
3. ROAD RESTORATION FOR FOUL BAY ROAD TO Cov SUPPLEMENTAL DWG. No. 50 C06.
4. THE PROVISION OF APPROVED SIGNS AND CERTIFIED TRAFFIC CONTROL PERSONNEL IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
5. ALL PAVEMENT EXCAVATIONS TO BE SCALED.
6. PROJECT FRONTAGE TO BE RESTORED.
7. PEDESTRIAN WALKING AREA TO BE DELINEATED DURING THE CONSTRUCTION OF THE WORKS AND MUST BE EASILY RECOGNIZABLE BY THE PUBLIC AND CONTAIN NO OBSTRUCTIONS TO MOBILITY SCOOTERS OR WHEELCHAIRS AND NO HAZARDOUS CONDITIONS. THE PUBLIC USING THESE AREAS MUST BE ADEQUATELY PROTECTED FROM TRAFFIC.

WATER NOTES

1. WATER SERVICE CONNECTION TO BE PER Cov STD. DWG. No. W04 SS.

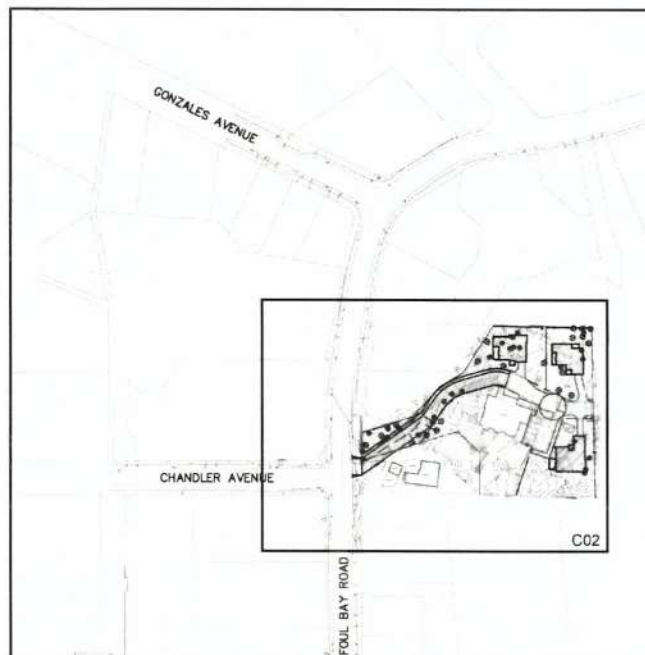
STORM DRAIN AND SANITARY SEWER NOTES

1. STORM DRAIN AND SANITARY SEWER CONNECTIONS TO BE AS PER Cov STD. DWG. No. S7 SS.
2. STORM DRAIN CONNECTION TO BE 150W PVC SIZES AT A MINIMUM GRADE OF 2.00%.
3. SANITARY SEWER CONNECTION TO BE 150W PVC SIZES AT A MINIMUM GRADE OF 2.00%.
4. STORM DRAIN CATCH BASIN TO BE AS PER Cov STD. DWG. No. S11a SS.
5. UNDERGROUND SERVICES TO BE LOCATED, EXPOSED AND ELEVATIONS CONFIRMED AT CROSSINGS PRIOR TO INSTALLATION OF CONNECTIONS.

SHALLOW UTILITY AND STREET LIGHT NOTES

LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	=====	EDGE OF PAVEMENT	---	=====	RECURSER
---	=====	CURB AND GUTTER	---	=====	FENCE
---	-----	EDGE OF DRIVE	---	-----	DRIVEWAY
---	-----	TOP/SECTION OF BANK	---	-----	WATERMAIN (SEE AND MATERIAL NOTES)
---	-----	CATCH BASIN	---	-----	SANITARY SEWER (SEE AND MATERIAL NOTES)
---	-----	WATER VALVE	---	-----	STORM DRAIN (SEE AND MATERIAL NOTES)
---	-----	PIPE HYDRANT	---	-----	LANDSCAPING TELEPHONE
---	-----	CHIPPED END	---	-----	LANDSCAPING WOTRE
---	-----	UTILITY POLE AND STREET LIGHT (LABELLED H.P./M.P./A.S. ETC.)	---	-----	WONKAMT
---	-----	MANHOLE	---	-----	PROPERTY LINE
---	-----	CLEARCUT	---	-----	DEVELOPMENT AND STATIONING
---	-----	SANITARY/STORM INSPECTION CHAMBER (CROSS BRED)	---	-----	SANITARY SEWER SERVICE CONNECTION AT MAN
---	-----	JUNCTION BOX	---	-----	ELEVATIONS
---	-----	AIR VALVE	---	-----	PAVEMENT REGIONAL
---	-----	WATER METER	---	-----	NEW UTILITY



KEY PLAN
1:1000

LIST OF DRAWINGS

DWG. No.	DESCRIPTION
C01	KEY PLAN, DRAWING LIST, & GENERAL NOTES SITE SERVING PLAN

Key Plan, Drawing List and General Notes

Mayor and Council Members
City of Victoria
1 Centennial Square
Victoria, BC
V8W 1P6

August 10, 2017

Regarding: Edwin Lane, 515 Foul Bay Road Development Permit Application –
Revised Letter

Alpha 12 Developments Ltd. is applying for a Development Permit Application for the property located at 515 Foul Bay. Alpha Project Developments is now the official owner of the property. Carolynn Wilson, as project architect and Principal at Moore Wilson Architects Inc., has provided the design for the subdivision and proposed single family residences. The consultant team also having provided services on the project includes, Herold Engineering – Civil Engineering, Murdoch de Greeff Inc. – Landscape Architect, and Gye and Associates – Arborist Consultants.

The existing site is a 52,706sf (4896sm) parcel of land with an existing Mansion, built in 1910 by Edwin and Bertha Tracksell, and designed by Samuel Maclure. The Arts and Craft Revival 9774sf Mansion changed ownership many times over the following years, and was subdivided into a House Conversion around 1959 to include 5 spacious rental units. Very few interior renovations have been made since then while the mansion has been well maintained and the building structure is solid as the foundations are built on rock. The original character of the mansion is present and in excellent condition, with the detailing and materials evident.

Zoning

The existing site is zoned R1-G Panhandle. We are applying for a Bare Land Strata subdivision, creating four strata parcels, with the existing Mansion on one of the four lots, and a single family residence on three of the lots. We are maintaining this zone and applying for variances on the number of stories, building height and setbacks, with reduced building footprints to preserve the site greenspace and existing Garry Oak and arbutus trees.

We have reviewed and responded to recommended changes made by the Planning and Engineering City staff, to include colour changes to the garage doors and larger canopies of the entry areas. Other changes have been made as a result of owner communications with some of the adjacent neighbours. Changes to the proposed development to include:

- The owner has applied for Heritage Designation for the existing mansion.



The owner does not foresee major changes needed and will provide the required maintenance and upkeep to ensure the building is preserved.

- A grant of an easement in common with the registered owner of 511 Foul Bay Road (the "Property") strictly for the purposes of allowing the registered owner of the Property access to and from the existing garage on the Property and Foul Bay Road, within 7 days of a new sub-division plan for 511 Foul Bay Road being registered at the Victoria Land Title Office.
- House B was relocated further south to provide the 7.5m rear setback in order to address one of the significant concerns about protecting the Arbustus #20 rootzones as it is a significant tree on the site due to its good health and size. We also proposed increasing the rear setback to from 4.0m to 7.5m to address a concern of the adjacent neighbour to regarding the proximity between their home and House B. This change requires the removal of Garry Oak #24 on the property of 515 Foul Bay. As another benefit to this change we are able to increase the privacy buffer of mixed species hedge at the north property line, and we are able to improve the successional Garry Oak planting on the site.
- House C was relocated further west to a 4m setback from the east property line following discussions with the neighbour at 615 Foul Bay. We have agreed to move the house C to the 4m setback and prune some of the limbs of this healthy garry oak tree on the Lot C property to meet the neighbours request. We also confirmed that the root zones of the neighbouring trees will not be below the garage of House C. The Arborist will be providing a detailed root management plan to preserve the existing tree roots and will be on-site for inspections during the site excavations and road construction.
- The owner has agreed to register a covenant for tree protection on the site of the retained Garry Oaks located in the zoned identified on the added Arborist drawing AB1.2. The drawing is a conceptual sketch of the areas of the protected trees. We will continue to work with the Parks Department in registering this covenant prior to the issue of Building Permit. The project Arborist has offered the following comments on this item.
- A blasting & rock removal workplan will be developed and submitted to the City for review and approval prior to Building Permit approval. The homes were designed without basements, and House A and B are completely above natural grade, while House C is 30% above natural grade, so not incur massive rock blasting on the site which would have affected the roots of the existing site and neighbours trees as well as the heritage mansion. These measures include the following:
 - pre-shearing during the drilling phase
 - establishing a cleared area on the side of the rock away from the trees for the blast wave to move into,
 - using smaller charges
 - "decking" the charges to detonate explosives in sequence, rather than all at once;
 - measuring and maintaining a maximum acceptable peak particle velocity of 25mm/sec at the nearest edge of the protected tree area.
- Please see the Arborist letter attached that thoroughly defines the action plan for tree root preservation on Lot C and for the adjacent common road access area.

- We attended the site visit with the City of Victoria Fire Department, Parks, and Planning Staff and confirm that there are a few trees that require limbing of lower branches, that is trees #26, 29 and 30 as they are just below the required 5m clearance height for the fire trucks. The pruning required will not significantly affect the overall health of the trees, and this work will be done to ensure fire truck access is provided.
- The second floor to roof height was reduced by 300mm on all 3 houses. House C also reduce the main floor to ceiling height by 300mm, and lowered the finish floor elevation by 500mm.
- 3 Setback variances were removed by removing windows to some habital rooms and were these rooms still have windows facing another direction.
- House B width was reduced by 1000mm to remove the setback variance to the east side yard. This caused a change in the driveway configuration to the home.
- Cladding changes were made to replace the stone with wood in a few locations
- The Natural Topography covenant area was increased to the west of the mansion.
- The Driveway easement for the 511 Foul Bay owner was increased to meet the neighbours requirements for access to and from their home.
- The developer will provide the owner of 615 Foul Bay with the type of trees and quantity of trees to their choice within a \$500 budget to be planted for a privacy screen on their property. Soil and rocks to support the growth of these trees was already committed to this owner within this application.

Rental Agreement

Within this Development Permit Application, the developer is offering to commit to a 10-year Housing Rental agreement for the existing rental of the 5 Units within the Mansion as per the attached letter included to remain as rental units. Also, they will provide ongoing maintenance and repairs to the Mansion to ensure continued longevity of the building, and in preservation of the heritage character and elements of the building.

Project Benefits and Amenities:

The development offers 3 mid-sized single family homes to a community that offers many amenities such as schools, shopping areas, parks and beaches.

This development offers a 10 year rental agreement to maintaining the 5 rental units of the Mansion, and added modest densification to the neighbourhood that is within the existing zoning of the R1-G Panhandle for FSR, and site coverage.

The house footprints are unique to each lot as they are designed to accommodate the Garry Oak canopies and root zones. A minimal amount of existing Garry Oaks that are in poor condition or could not be retained are scheduled for removal and replacement. The replacement Garry Oaks will double those removed. This creates an opportunity for Garry Oak succession planning throughout the site. The existing mature

oaks are approximately of the same age and they will reach their lifespan around the same time. This upcoming dramatic change to the site, will be mitigated by the succession planting of these new trees.

Neighbourhood

The proposed development of this site offers architectural renewal to community that is characterized predominantly by older homes. Newer contemporary homes are appearing in the neighbourhood as replacements of existing homes, and in the development of older, larger lots that have been developed into Bare Land Strata developments. The mixing of older and heritage homes with contemporary residences, offering a vibrancy to this esteemed neighbourhood.

The site is a panhandle lot is accessed off of Foul Bay Road, as the entry road meanders up a hill and the mansion perches on the rock at an upper level of the site. A glimpse of the mansion is seen from the street, Views of the neighbouring properties cannot be seen through the existing vegetation on the site and on the neighbours sites. The proposed homes will not be evident from Foul Bay Road due to their siting locations and elevations. The proposed homes are of the same heights, while the mansion is considerably higher due to the basement level that is partially above grade and its sloped roof. Homes A and B are just above natural grade and are approximately the same height as the mansion level 2 floor. Building C resides in the south-east corner of the site, elevated on the rock outcrop to reduce site changes, and shares a similar eaves line of the mansion.

Design and Development Permit Guidelines

The size of the proposed lots and houses are proportioned to meet the existing zoning bylaws for density, green space and site coverage that is also suitable for the neighbourhood. Variances are requested on the number of stories from one storey, to two, so that the building footprints can be reduced and create maximum greenspace and preservation of existing trees. The variances for building height is to accommodate the 2 storey homes. The Garry Oak trees on the site have a strong presence and are bylaw protected, therefore, the structure of the proposed homes encroach into the setbacks, as the preservation of the existing Garry Oaks and Arbutus trees are the main priority for the siting of the homes. As the proposed subdivided sites create irregular lots, the largest rectangle has been determined, and setbacks for the 4m (non habituated rooms) and 7.5m setback for the (habituated) rooms indicated on the submitted drawings. Variances on these setbacks is sought to allow for a development that meets the density of the FSR, Site Coverage, open space and preserves existing bylaw protected trees.

The proposed landscaping modifications comprises of replacement Garry Oaks, columnar cedar hedging along the north property line as a privacy screening, the removal of invasive species and new native, drought tolerant plantings are proposed along the entrance borders off of Foul Bay Road. This is to beautify the landscaping in an area that is currently unkept and occupied with smaller invasive plants. Additionally, the bush along the northern property line that will be removed for the

homes A and B, is generally scrub plantings with minimal landscape appeal and invasive species. The Garry Oaks and Arbutus trees in this area will be retained, maintained for health improvements, cedar hedge added and a new fence to provide privacy for future home owners and the adjacent neighbours. Future landscaping immediately around the homes will be at the discretion of the future owners.

The size and scale of the homes are modest, and their character contemporary, inspired by the character of the mansion. The character defining features of the mansion include main floor rubble stone entry porch and side cladding, white stucco, with black painted timber accents, black timber horizontal banding at the second floor level, upper level roof decks, banked windows in groups of four, cantilevered projections and recessed decks. All of these features were included in the design of the proposed homes, with stone cladding, black timber cladding and white fiber cement board. The black horizontal bands of the mansion are mimicked in the homes. Recessed balconies and projection balconies and decks are included. The mansion is well lit throughout, as are the proposed homes, with banks of windows in fours and single smaller windows in rooms requiring privacy.

Community Consultation

All of the immediately adjacent neighbours were invited to Moore Wilson Architects' office on the evening of September 28th, 2016. All of the neighbours attended the meeting. Fred Rohani, the developer was present and responded to the questions asked, as was Carolyn Wilson, the project architect, Scott Murdoch the Landscape Architect and Jeremy Gye the Arborist who presented the proposed development to the neighbours. As the property borders one neighbor to the north, that neighbor was interested in the maintenance of her privacy from the development. While there is a new fence proposed at that boundary, preserved Garry Oaks and an Arbutus, we also added after the meeting a tall cedar hedge, that will grow quickly and add another layer of privacy screening between the homes. The neighbours that flank the entry driveway to the north and south of the driveway had many questions regarding our decision to relocate the driveway onto the 515 Foul Bay site. The existing driveway is shared with the neighbor to the south, and exists on their property in an easement. We had proposed moving the driveway as we considered that the neighbours would not want an increase of vehicles on this shared driveway. We discovered at the meeting and in following discussions that the owner to the south preferred the driveway to remain in the easement in its' current location. The driveway has been widened to permit fire truck access and turnaround, requiring the existing rubble stone wall along Foul Bay to be partially demolished and rebuilt to widen the driveway. As part of the wall is in very poor condition, improvements will be made to this wall. The neighbour to the north of the driveway requested a new fence to divide the 2 properties and for the driveway to remain in its current location. Both changes requested have been provided. Many questions were focused on the preservation of existing trees on the site and ability of the City of Victoria to ensure that this Development Permit will be enforced should the homes be constructed by private owners of the subdivided lots.

Transportation

The proposed parking provided for the Mansion House Conversion and single family residences meet the bylaw requirements, and do not exceed or reduce the required quantities. As the Mansion houses five apartments the requirements for Class A and Class Bike lock-ups are provided with outdoor racks adjacent to the main entrance and indoor lock-ups in the common area of the basement.

The existing driveway is shown as a widened road, at 6m wide plus a 1.5m sidewalk for the overall required width for fire truck access.

Heritage

The existing Mansion built in 1910, and designed by Francis McClure, is a registered Heritage building, and is not a designated Heritage building. The view the mansion will remain as is, while the proposed homes, are smaller in scale and are located towards the borders preserving the original experience of entry to the site, with the mansion perched on the rocks and large Garry Oaks in the center of the site.

The exterior of the Mansion appears to be in excellent condition, and the developer is committed to preserving the exterior of the Heritage Mansion, and will provide ongoing repairs and maintenance to Mansion as required to prevent deterioration of the building.

Green Building Features

The homes are designed to maximize southern exposure, for passive solar heat gains. Shading is provided from large overhangs are created by balconies, and the existing site and neighbouring trees that provide shade in the summer and heat gains in the winter months. The exterior materials offer high durability, quality materials that will provide longevity and low maintenance to the exterior. The building envelopes and glazing will have higher performing thermal values.

The entry driveway is asphalt up to the main level of the homes, which then changes to permeable pavers. This will allow rainwater to replenish the ground water and tree roots, and not overburden the storm water system. Greenspace is maximized with the 2 storey buildings, that provide a reduced footprint. Mature, existing trees are preserved by having the homes designed 'around' the tree canopies and roots. Where small amounts of roots maybe located below a slab, the slab will be supported by piles rather than foundation walls. Landscape irrigation is not provided as the site landscaping is of native, drought tolerant species.

Infrastructure

Please see the attached letter provided by Herold Engineering for the Infrastructure description.

We look forward to meeting with you soon on this application.

Yours Truly,

A handwritten signature in cursive script, appearing to read "Carolyn Wilson".

Carolynn Wilson
Architect AIBC – Principal
Moore Wilson Architects Inc.

Community Meeting Executive Summary

Location of proposed development: **515 Foul Bay Road, Queen Ann Heights**

COMMUNITY MEETING DETAILS

Date: August 3rd, 2017

Location of Meeting : Meeting hosted by: the Fairfield Gonzales Community Association, in the Garry Oak Room on Thurlow Street.

CHAIR: Alice J. Albert

Councillor Chris Coleman was recognized by the Chair

Note Taker: David Barlow, CALUC member and additional notes by Susan Kaimer and Robin Jones. Excused: David Biltek

Approximate total number of people in attendance: 23, exclusive of the CALUC members*.

PROPOSED DEVELOPMENT DETAILS

Applicant represented by: The architect, Carolynn Wilson of Moore Wilson Architects
Fred Rahani, Alpha Developments Ltd

The applicant explained that this proposal is to change the zoning and/or Official Community Plan for the subject property to accommodate the following proposal:

To sub-divide the lot at 515 Foul Bay Rd., presently zoned R1 Gonzales SFD

Community Concerns:

- OCP and Panhandle lots an issue;
- Potential damage and inconvenience to adjacent properties from construction/blasting/traffic;
- Loss of privacy due to clearing of undergrowth/trees
- Loss of protection to Abkhazi Gardens at boundary with 515 Foul Bay Rd;
- Concerns re: number of trees being removed—especially Gary Oaks; compacting of roots; size and number of replacement trees; impact on neighbouring tree roots
- Parking for houses/visitors;
- Storm Water Run off;
- Modern, box houses and fit with existing McClure mansion;
- Affordability as family homes;
- Height of houses;
- Shallow soil.

Community Meeting Feedback Form

Location of proposed development: **515 Foul Bay Road, Queen Ann Heights**

COMMUNITY MEETING DETAILS

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The applicant explained that this proposal is to change the zoning and/or Official Community Plan for the subject property to accommodate the following proposal:

This presentation was for the revised Development Permit Application following input from the City and from CALUC (June 16th 2017) and from neighbours who had met with the Architect.

The following are three aspects of the proposal:

- To sub-divide a large parcel, presently zoned R1 Gonzales SFD, into four strata parcels, one for the existing mansion and a new single 2-story dwelling on each of the other three parcels, all with a shared panhandle driveway off Foul Bay Road. The Applicant is not asking for variances or a change in zoning.
- Heritage designation is being sought for the existing McClure mansion, built in 1905, and which had been converted into five rental units: they will remain rental units for 10 years. The present, shared, driveway to the mansion will become the panhandle driveway
- Landscaping and tree removal. Approximately 19 mature Garry oak and other trees will be removed as well as some invasive species.
See the additional comments re: plans for landscaping &etc

Community Questions and Answers:

Panhandle lots and OCP: Many neighbours informed the CALUC that the proposed development is not consistent with the current OCP, the current Gonzales Local Area Plan and the new, just being completed, Gonzales Local Area Plan re: recommendation no more panhandle lots. Current Gonzales LAP excludes small lots in Queen Anne Heights from panhandle development.

The Architect responded that she has cited several precedents.

Parking: there was concern that there will not be enough parking for cars/visitors. People will park on the Fire Truck Turnaround. During construction vehicles may park on root zones. Since there is no parking on Foul Bay Road and no visitor parking has been included, visitor parking should be included in the plan. Parking for the mansion?

The Architect replied that: there will be no parking on the Fire Truck Turnaround; nor on root zones. The City has requested a reduction of parking spaces for the houses. It is possible that visitors can park on driveway of homes.

Trees/soil/undergrowth/privacy concerns/Abkhazi Gardens:

The Abkhazi Garden is a treasured local Victoria garden and visited by many tourists. A representative from Abkhazi Garden made the following points:

1. What will be the impact of construction to the garden?
2. Deer fence proofing is needed (necessary) during construction and after construction to protect the plants of Abkhazi Garden.
3. Use caution during construction to protect the trees.
4. Sight lines from Abkhazi should not be impacted by house "C".

The Architect responded that Covenants will be included in the area below the mansion toward Abkhazi Garden and 511 Foul Bay to protect the existing natural landscape.

- Tree and understory protection: arborist recommended removing understory.
Only invasive species should be removed not all the understory. A list of invasive species should be available and tagged before construction begins.
- The resident of 592 Foul Bay said that with the current plan his property will lose a considerable degree of privacy re: loss of trees. Requesting from developer some kind of screening and careful attention to protecting trees and understory which protect his privacy.

- There should be 2 tree replacements for every tree removed.
- Several present expressed concern that there will be a serious loss of Garry oak trees; 19 will be cut down out of 37 on the site. The replacement trees would be too small and would take too long to replace the present leaf canopy.
- The Architect responded that in fact the large trees would be sourced for their replacements. Revised plans showed how the design locates the houses around the trees and root zones and based on the advice of the arborist Scott Murdoch of Gye and Associates and the Civil Engineers, Murdoch de Greef and Associates. There will be additional plantings to create a privacy buffer on the north side. Parts of the site have shallow soil and additional soil would be brought in where needed and irrigation would be provided. There will be a tree-preservation plan.
- Soil should not be raised around oak or Arbutus trunks
- Questions arose about root compaction of the root zone of their trees which extends approximately 8 metres into the property of 515 Foul Bay during construction.
- Requesting no dumping of building materials or machinery on these root zones to protect trees. Area needs to be fenced off. These trees provide both privacy and screen for both properties.

The Architect replied: No heavy machinery or storage of construction material should be allowed on the root zones during construction.

- Ensure the Arborist is on site during blasting and protective fencing installed for tree root zones. Could further ensure that on site machinery/storage of &etc kept off the root zones.(see below)

Drawings/Design/Blasting/Drainage

- There was also concern about the blasting and potential damage to adjacent houses, also the use of the permeable areas during the construction and the loss of privacy with the big change in tree canopy.

The Architect assured the meeting that the arborist would be on site during any blasting which will be low impact and only on one lot (Lot C).

- Some suggest that the houses are too modern to be sited next to a McClure mansion: resemble modern boxes.

In response The Architect said, "the materials, for example, will complement and not mimic the mansion".

- How will the height of the houses be in relation to the mansion?

In response, The Architect explained that the height of the new buildings, which had been reduced from the first application, was due to the elimination of basements, thus avoiding extensive blasting.

- Members of the CALUC asked about changes with storm water run off from construction and how the construction and removal of existing trees will effect the eco system below the development.

The Architect replied that storm water should be retained on site however changes in drainage will/may affect the health of existing trees.

- Care needs to be taken to ensure the health of the remaining trees and those of neighbours'.

How are the proposed houses different from the original designs?

The Architect, in her presentation said: The heights of the houses have been lowered, setbacks and windows changed to eliminate variances and to preserve trees and improve privacy. The road surfaces are of permeable materials: the main floors are raised above the root-zones. There will be a blasting plan as part of the Building Permit application. Underground services to the new buildings will be routed to minimize damage to the trees and storm-water will be retained on site.

Community Comments (including positive, negative, and neutral):

- these houses, designed for families, would be too expensive. There are examples of this on Chandler Street.
- additional traffic would be generated.
- Many neighbours stated that the present oak and other trees were highly valued and that they were not confident that the remaining trees and new planting would survive the project even if the proposal included specialists in tree preservation and blasting. Some felt that the proposed houses would be too large and inappropriate for this heritage area.
- Is this proposal an appropriate use of the land?

511 Foul Bay Road: FGCA CALUC meeting Aug. 3rd,

- There were no supportive comments.
- What is happening to the five rental units currently?

Fred Rahani, Alpha Developments, explained that there will be a covenant and the units will remain rentals for 10 years. They are currently unoccupied.

- Who is building the new houses?

Fred Rahani stated that the Development Permit would be sold with the property to a construction company and including Building Permits and etc. That company would have to comply with the approved Development Permit.

- Questions were asked about this information which was new.
- Many in the audience declared that there were opposed to the development in its entirety.

- What happens next?

Councillor Coleman explained that there would be a Public Hearing with an opportunity for further comments and questions as part of the process. He thought that November was the earliest for the next presentation to Council.

*CALUC members in attendance: Alice J. Albert, chair (editor); David Wales, David Barlow (note taker); Susan Kaimer and Robin Jones; Megan Parry. David Biltek, excused.