



Council Report

For the Meeting of November 23, 2017

To: Council **Date:** November 10, 2017
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: **Update Report for Rezoning, Development Permit and Development Variance Applications No. 00538 for 335 Moss Street**

RECOMMENDATION

Rezoning Application

That Council give first and second reading of Zoning Regulation Bylaw Amendment (No. 17-111) for Rezoning Application No. 00538 for a portion of 335 Moss Street, and a Public Hearing date be set.

That Council, after giving notice and after the Public Hearing for Rezoning Application No. 00538, if it is approved, consider this updated motion:

Development Permit

"That Council authorize the issuance of a Development Permit for the subdivided portion of 335 Moss Street, in accordance with:

1. Plans date stamped September 25, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. The Development Permit lapsing two years from the date of this resolution."

Development Variance Permit

"That Council authorize the issuance of a Development Variance Permit for the existing house at 335 Moss Street, in accordance with:

1. Plans date stamped September 25, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the minimum required side yard setback from 3.00m to 1.30m
 - ii. reduce the minimum required combined side yard setback from 4.5 m to 3.1m.
3. That prior to the issuance of the Development Variance Permit, the City receive confirmation that a car share agreement between the applicant and MODO has been established for three memberships, to the satisfaction of the Director of Sustainable Planning and Community Development.
4. The Development Variance Permit lapsing two years from the date of this resolution."

EXECUTIVE SUMMARY

The purpose of this report is to update Council on the Rezoning, Development Permit and Development Variance Permit Applications for 335 Moss Street. At the Committee of the Whole meeting on July 6, 2017, Council requested that a new petition be conducted before the Applications advance to Council (minutes attached.) Since that time, the applicant has undertaken a new petition process and has also made changes to the site plan and landscaping to retain a rock wall along the property line. The applicant has also voluntarily offered to purchase three car share memberships in perpetuity for tenants in the existing house conversion. The staff recommendation, provided for Council's consideration, has been amended to reflect these changes.

BACKGROUND

The proposal is to subdivide 335 Moss Street and rezone the new lot to the R1-S2 Zone, Restricted Small Lot (Two Story) District. The existing house would remain in the R1-B Zone, Single Family Dwelling District, and requires a Development Variance Permit related to reduced side yard setbacks.

New Petition

Since the July 6, 2017 Committee of the Whole Meeting, the applicant reconducted the small lot house rezoning petition. As per policy, only the immediate neighbours and those located 10 metres or less away are required to be consulted (to capture anomalies such as neighbours separated by the driveway of a panhandle lot, for example). Despite this policy, the applicant also included the owners of 1 Briar Place, because they are part of a Strata that owns the private common property neighbouring to the rear of 335 Moss Street.

Based on this survey, the applicant reports that 78.3% were in support of the Application. Under Council's policy, "satisfactory support" is considered to be support in writing for the project by 75 percent of the neighbours. If the policy was rigorously followed and the residents of 1 Briar Place were not included in the survey, the level of support for the Application would be 85.7%. The new Small Lot House Rezoning Petitions and Summary provided by the applicant are attached to this report.

Plans

The landscape and site plans have changed slightly in order to maintain a rock wall along the south property line. The rock wall does not affect setbacks nor off street parking and would help maintain the present streetscape. New plans date stamped September 25, 2017 are attached to this report and the recommendation provided for Council's consideration reflects these updates.

Car share

The applicant has voluntarily offered to provide three car share memberships, in perpetuity, for tenants at 335 Moss Street in order to help alleviate potential on-street parking concerns. There is currently one off-street parking space for the house conversion, the legal non-conformity would not change and the proposed small lot house would comply with the required number of spaces as per Schedule C: Off-Street Parking. There are at least three MODO vehicles within a ten minute walk of the subject property (Oxford and Moss, 140m; Fairfield and Trutch, 500m; and on Chapman between Linden and Cook, 700 m).

While the car share agreement is entirely voluntary, the motion has been updated to ensure staff receive confirmation of a car share agreement being established between the applicant and MODO prior to the issuance of the Development Variance Permit.

CONCLUSIONS

As per Council's Committee of the Whole motion on July 6, 2017, the applicant has reconducted the neighbourhood petition and staff have prepared the necessary bylaw amendments. Since Council last considered this application, the applicant has made changes to the site plan in order to retain the rock wall on the south edge of the property line, and has offered to provide three car share memberships in perpetuity for tenants of the existing house.

As the applicant has carried out the recommendations set forth by Council, Staff recommend for Council's consideration that Council advance Rezoning Application No. 00538 to a Public Hearing.

Respectfully submitted,

Chelsea Medd, Planner
Sustainable Planning and Community
Development Department

Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:

Date:

Nov 15, 2017

List of Attachments:

- Attachment A: Minutes from July 6th, 2017 Committee of the Whole
- Attachment B: Letter to Council from Applicant dated October 25, 2017
- Attachment C: New Small Lot House Rezoning Neighbourhood Support Petition
- Attachment D: Tenant Petitions (335 Moss) not included in Petition Summary
- Attachment E: Plans date stamped September 25, 2017
- Attachment F: Correspondence.

6. LAND USE MATTERS

6.1 Rezoning Application No. 00538 & Development Permit Application No. 00538 for 335 Moss Street (Fairfield)

Committee received a reports dated June 7, 2017, from the Director of Sustainable Planning and Community Development regarding applications to subdivide the lot to create one small lot, while maintaining the existing house on a regular lot.

Councillor Lucas withdrew from the meeting at 10:06 a.m. and returned at 10:08 a.m.

Committee discussed:

- The height of the retaining wall and configuration of the parking space.

Councillor Alto withdrew from the meeting at 10:17 a.m. and returned at 10:18 a.m.

Motion:

It was moved by Councillor Coleman, seconded by Councillor Alto:

1. That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No.00538 for 335 Moss Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set.
2. That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00538, if it is approved, consider the following motion:
"That Council authorize the issuance of Development Permit with Variances Application No. 00538 for 335 Moss Street, in accordance with:
 1. Plans date stamped May 19, 2017.
 2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances for the Existing Dwelling:
 - i. Part 1.2.5 (c) - reduce the minimum required side yard setback from 3.00m to 1.30m
 - ii. Part 1.2.5 (d) - reduce the minimum required combined side yard setback from 4.5m to 3.1m.
 3. The Development Permit lapsing two years from the date of this resolution.

Amendment: It was moved by Councillor Thornton-Joe, seconded by Councillor Alto, that the motion be amended in the following point:

1. That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No.00538 for 335 Moss Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set **and that a new petition be conducted before the application comes to a public hearing.**

Amendment to the amendment:

It was moved by Councillor Isitt, seconded by Councillor Young, that the amendment be amended as follows:

and that a new petition be conducted before the application comes to a public hearing Council.

On the amendment to the amendment:

CARRIED 17/COTW

For: Mayor Helps, Councillors Coleman, Isitt, Loveday, Lucas, Madoff,
Thornton-Joe, and Young
Against: Councillor Alto

On the amendment:

CARRIED UNANIMOUSLY 17/COTW

Committee discussed:

- Concerns about the building's massing and site coverage.
- The original goals of the R1-S Zone and the current goals the City is trying to achieve with housing.

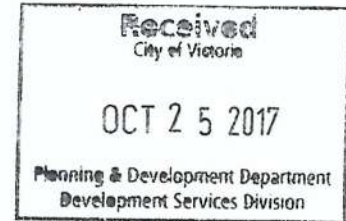
Main motion as amended:

1. That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No.00538 for 335 Moss Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set and that a new petition be conducted before the application comes to Council.
2. That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00538, if it is approved, consider the following motion:
"That Council authorize the issuance of Development Permit with Variances Application No. 00538 for 335 Moss Street, in accordance with:
 1. Plans date stamped May 19, 2017.
 2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances for the Existing Dwelling:
 - i. Part 1.2.5 (c) - reduce the minimum required side yard setback from 3.00m to 1.30m
 - ii. Part 1.2.5 (d) - reduce the minimum required combined side yard setback from 4.5m to 3.1m.
 3. The Development Permit lapsing two years from the date of this resolution.

On the main motion as amended:

CARRIED 17/COTW

For: Mayor Helps, Councillors Alto, Coleman, Loveday, Lucas, Madoff,
Thornton-Joe, and Young
Against: Councillor Isitt



October 25, 2017

Mayor and Council
City of Victoria
1 Centennial Square
Victoria BC V8W 1P6

Dear Mayor and Council,

Re: Small Lot Rezoning & Subdivision Application for 335 Moss Street (#REZ00538) – Updated Correspondence

Due to circumstances advised by City staff, I would request that my letter dated September 27, 2017, be replaced with this letter and my comments contained herein, in response to the Committee of the Whole Meeting of July 6, 2017.

This letter is a follow up to my email of July 15, 2017, with respect to my small lot subdivision and rezoning application for 335 Moss Street. As requested in your motion at Committee of the Whole, I have reconducted the Small Lot House Rezoning Neighbourhood Support Petition.

Before recommencing the petition process, I again sought confirmation by City staff of the scope of properties that I was to petition. The list of properties was the same as the one I was provided for the first petition, including properties that fall outside of the scope of the small lot petition policy. I took City staff's direction and petitioned the resident electors of each of these properties.

I am pleased to report that I have exceeded the threshold required by the petition policy guidelines, obtaining a support level of 78.3%. Copies of the petitions have been submitted to City staff and I understand that they are preparing a report to Council, as per your motion at Committee of the Whole.

During the petition period, I also took the opportunity to follow up with my tenants at 335 Moss Street, other neighbours and also with various councillors, to better understand what other concerns there may be with this application. The two main trends were: (1) on-street parking and (2) housing affordability.

Street Parking

The proposed small lot does not require a parking variance and will not impact on-street parking in the 300 block of Moss Street. That said, the donor property (335 Moss St) housing the four-unit rental building, provides one unit of off-street parking and is legally non-conforming. In order to help address this issue and to take advantage of this highly walkable and cyclable location, I am prepared to purchase three carshare memberships in perpetuity for the four-unit rental building, in order to make up the difference. This will help make it easier for existing and future (carless) tenants, who may choose to live here based on access to a carshare vehicle; and also help to alleviate these on-street parking issues.

Housing Affordability

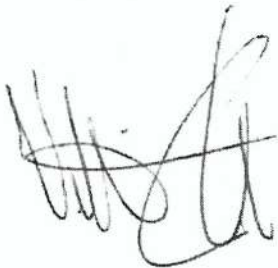
During the Committee of the Whole meeting, concerns were raised about how small lot subdivisions tend to not be affordable and therefore do not cater to those citizens looking for affordable housing. The Director of Sustainable Planning suggested in the meeting that the market will establish the price of the proposed small-scale housing development and that it will have the positive affect of adding to the housing stock and the mix of housing options available. Like many of the comments I heard at the meeting, I agree that we need to add supply along the entire range of housing options. That said, I also agree that housing affordability continues to be a concern in the City.

I have seen innovative and courageous proposals put forth at the council table, with respect to housing affordability. Back in July, I note that the Inclusive Housing and Community Amenity Policy proposal was tabled to City Council. Although still up for discussion, I think that it is a fine piece of policy work that provides one-time developers like myself an opportunity to participate in the City's overall affordability housing strategy.

Now that the Neighbourhood Support Petition has been redone with a positive outcome, I respectfully request that the application be advanced to a Public Hearing, upon receipt of a report from City staff.

Please don't hesitate to get in touch if you have any questions or concerns about this application.

Thank you,

A handwritten signature in black ink, appearing to read 'Vittorio Cheli', with a stylized, cursive script.

Vittorio Cheli

SUMMARY SMALL LOT HOUSE REZONING PETITION

I, Vittorio Francesco Cheli, have petitioned the adjacent neighbours* in compliance with
(applicant)
the *Small Lot House Rezoning Policies* for a small lot house to be located at 335 Moss Street
(location of proposed house)

_____ and the petitions submitted are those collected by August 22, 2017 **
(date)

Address	In Favour √	Opposed √	Neutral (30-day time expired) √
333 Moss Street	1	1	1
339 Moss Street	2	0	0
1-352 Moss Street	2	0	0
2-352 Moss Street	2	0	0
1272 McKenzie Street	3	0	0
354 Moss Street	2	0	0
356 Moss Street	4	0	0
1311 Fairfield Road	2	0	0
1 Briar Place	0	2	0
3 Briar Place	0	2	0

SUMMARY	Number	%
IN FAVOUR	18	78.3
OPPOSED	5	21.7
TOTAL RESPONSES	23	100%

*Do not include petitions from the applicant or persons occupying the property subject to rezoning.

**Note that petitions that are more than six months old will not be accepted by the City. It is the applicant's responsibility to obtain new petitions in this event.

Received
City of Victoria

21 2017

Planning Department
Services Division

Blue = Subject Property
Green = Resident Electors in Support
Red = Resident Electors in Opposition
White = Resident Electors are Neutral

333 Moss Street
339 Moss Street
352 Moss Street/1272 McKenzie Street
354 Moss Street
356 Moss Street
1311 Fairfield Road
1 Briar Place
3 Briar Place

SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli

(print name)

, am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) MARK ALLDRITT (see note above)

ADDRESS: 333 MOSS ST.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

SEP 18, 2017

Date

Mark Aldritt

Signature

Received
City of Victoria

SEP 21 2017

Planning & Development Department
Development Services Division

SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli

(print name)

, am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Anya Aldvitt (see note above)

ADDRESS: 333 Moss St.

Are you the registered owner? Yes ☐

No ☒

I have reviewed the plans of the applicant and have the following comments:

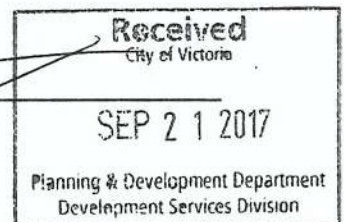
☐ I support the application.

☒ I am opposed to the application.

Comments:

09/17/2017
Date

Anya Aldvitt
Signature



In preparation for my rezoning application to the City of Victoria, I,

Henrietta Cusack, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-SZ

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Please review the plans and indicate the following:

NAME: (please print) Anne Marie Hogg (see note above)

ADDRESS: 339 Moss St

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 23/17
Date

[Signature]
Signature

In preparation for my rezoning application to the City of Victoria, I,

VITTORIO CHELI, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Brock Horta (see note above)

ADDRESS: 339 Moss St

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

May 23/17
Date

[Signature]
Signature

In preparation for my rezoning application to the City of Victoria, I,

VITOLOO CHELE
(print name), am conducting the petition requirements for the

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

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Please review the plans and indicate the following:

NAME: (please print) Andrew Wrean (see note above)

ADDRESS: 352 Moss St

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Use the space, more homes needed.

Aug 20 / 17
Date

Andrew Wrean
Signature

In preparation for my rezoning application to the City of Victoria, I,

HERNANDO CUELO, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Danelle Heron (see note above)

ADDRESS: 352 Moss St

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Aug 20/17
Date

Danelle Heron
Signature

In preparation for my rezoning application to the City of Victoria, I,

HERNANDO CUELE, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) JEFF SIMS (see note above)

ADDRESS: 352 MOSS ST

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

NO WORK AFTER 6 PM & WEEKENDS

July 27/17
Date

[Signature]
Signature

In preparation for my rezoning application to the City of Victoria, I,

VERONICA CHOLE
(print name)

, am conducting the petition requirements for the

property located at 335 Moss STREET

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) LAURENCE SIMS (see note above)

ADDRESS: 352 MOSS ST

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 27/12
Date

[Signature]
Signature

In preparation for my rezoning application to the City of Victoria, I,

HERO CUELE
(print name)

, am conducting the petition requirements for the

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Max Doak (see note above)

ADDRESS: 1272 McKenzie Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 26 2017
Date

MAX DOAK
Signature

In preparation for my rezoning application to the City of Victoria, I,

Honoreo Chale, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Mireille Tahiani (see note above)

ADDRESS: 1272 McKenzie Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 26, 17
Date

Mireille Tahiani
Signature

In preparation for my rezoning application to the City of Victoria, I,

VINCENTO CUELO, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) R B Doath (see note above)

ADDRESS: 1272 McKenzie Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 26, 17
Date

R B Doath
Signature

In preparation for my rezoning application to the City of Victoria, I,

VIMARIO CHILE, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

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Please review the plans and indicate the following:

NAME: (please print) Vassilena Johns (see note above)

ADDRESS: 354 Moss St

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Parking for new development
is key.

Aug 20, 2017
Date

[Signature]
Signature

In preparation for my rezoning application to the City of Victoria, I,

HERNANDO CUELLI, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) DANIEL DOLINS (see note above)

ADDRESS: 354 Moss St.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Parking considerations
are paramount given
added density

Aug 20, 2017
Date

[Signature]
Signature

SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli

(print name)

, am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) DIANNE JONES (see note above)

ADDRESS: #308 1007 BOWEN RD NANAIMO (OWNER OF 356 MOSS)

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Aug. 15 / 2017
Date

Dianne E Jones
Signature

In preparation for my rezoning application to the City of Victoria, I,

VERONICA CHELSE, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Chance Pryds (see note above)

ADDRESS: 356 Moss st.

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 23/17
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

Herold Chels, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Talia Sturton (see note above)

ADDRESS: 356 Moss St.

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

August 7 / 2017
Date

T Sturton
Signature

In preparation for my rezoning application to the City of Victoria, I,

Hernando CHELE, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Mat Clarke (see note above)

ADDRESS: 356 Moss Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 22/2017
Date

M/C
Signature

In preparation for my rezoning application to the City of Victoria, I,

VERONICA CHELSE, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) MARK MALLET (see note above)

ADDRESS: 1311 FAIRFIELD RD.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

In general, I am supportive of increased housing density in
our neighbourhood near the downtown core. I would prefer
to see more rental housing (2-3 smaller units instead of
one large 2400 sqft house) in this location, in exchange for
a relaxing of setbacks as requested.

AUG 21, 2017
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

VERONICA CHEL, am conducting the petition requirements for the
(print name)

property located at 335 Moss STREET

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Rachel Mallet (see note above)

ADDRESS: 1311 Fairfield Rd

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

We support increased density in the neighbourhood.
It would be great to see a development with
smaller units, instead of one big house, that
could become rental units, or at least more
affordable units for people to buy.

AUG 22 / 17
Date


Signature

Received
City of Victoria

AUG 21 2017

Planning & Development Department
Development Services Division

In preparation for my rezoning application to the City of Victoria, I,

HEROISE CHOLE
(print name)

, am conducting the petition requirements for the

property located at

335 Moss Street

to the following Small Lot Zone:

R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) CHRISTINE BECHER (see note above)

ADDRESS: 1 BRIAR PLACE

Are you the registered owner? Yes ☒

No ☐

I have reviewed the plans of the applicant and have the following comments:

☐ I support the application.

☒ I am opposed to the application.

Comments:

- ① There is already inadequate parking in neighbourhood & this makes it worse
- ② House proposed is too large for the lot
- ③ The proposal contravenes the minimum setbacks required.
- ④ There is a 10 foot utilities easement that will be adversely affected and probably disturbed. The proposal is for landscaping over the easement.

21 August 2017

Date

Christine Becher

Signature

Received
City of Victoria

AUG 21 2017

Planning & Development Department
Development Services Division

In preparation for my rezoning application to the City of Victoria, I,

HERO CHERE
(print name)

, am conducting the petition requirements for the

property located at

335 Moss Street

to the following Small Lot Zone:

R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) PAUL BOUKE (see note above)

ADDRESS: #1 BRIAR PLACE, VICTORIA

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☐ I support the application.

☒ I am opposed to the application.

Comments:

- ① There is insufficient land to support a rezoning, FOR a small lot.
- ② This is not a "hardship" case - M.R. CHERE DOES NOT LIVE at 335 Moss and has no intention of building a home for himself - he intends to sell the lot as soon as he receives permission.
- ③ The proposed set back on the north side is too close to the existing house.
- ④ 4 houses on Briar Place have comments on the proposed lot.

Date

Signature

CITY OF VICTORIA

x August 21, 2017 x Paul Bouke

In preparation for my rezoning application to the City of Victoria, I,

_____, am conducting the petition requirements for the
(print name)

property located at _____

to the following Small Lot Zone: _____

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Please review the plans and indicate the following:

NAME: (please print) MEGHAN DAY (see note above)

ADDRESS: 3 BRIAR PL.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☐ I support the application.

☒ I am opposed to the application.

Zoning and setback requirements were established after extensive community consultation and consideration. We built our home 5 years ago and assumed these rules would be applied equitably. Though narrow, the proposed new home will be 2400 square feet and will not increase the affordable housing stock in the area. The new owner of 335 Moss stands to profit handsomely should he be granted set back variances for subdivision. His intention is to sell the narrow lot should council agree to narrower setbacks than what is permitted under the current zoning. Shading, fire safety and utility impacts are of primary concern.

Underground utilities easement granted to the Briar residents through 335 Moss will be disrupted. They were installed at great cost to the Briar residents over the past few years. The property owner at Moss should be required to be responsible for any short or long-term utility issues resulting from changes made proposed subdivision. Four Briar Pl properties are on title for the utility easement that traverses 335 Moss St. It is our feeling that all 4 should be petitioned.

8/21/2017
Date

MLang
Signature

In preparation for my rezoning application to the City of Victoria, I,

_____, am conducting the petition requirements for the
(print name)

property located at _____

to the following Small Lot Zone: _____

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) JEFF DAY (see note above)

ADDRESS: _____

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☐ I support the application.

☒ I am opposed to the application.

Zoning and setback requirements were established after extensive community consultation and consideration. We built our home 5 years ago and assumed these rules would be applied equitably. Though narrow, the proposed new home will be 2400 square feet and will not increase the affordable housing stock in the area. The new owner of 335 Moss stands to profit handsomely should he be granted set back variances for subdivision. His intention is to sell the narrow lot should council agree to narrower setbacks than what is permitted under the current zoning. Shading, fire safety and utility impacts are of primary concern.

Underground utilities easement granted to the Briar residents through 335 Moss will be disrupted. They were installed at great cost to the Briar residents over the past few years. The property owner at Moss should be required to be responsible for any short or long-term utility issues resulting from changes made proposed subdivision. Four Briar PI properties are on title for the utility easement that traverses 335 Moss St. It is our feeling that all 4 should be petitioned.

8/21/17
Date

[Signature]
Signature

Received
City of Victoria

OCT 03 2017

Planning & Development Department
Development Services Division

SMALL LOT HOUSE REZONING PETITION

Not part of Petition Summary

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli

(print name)

, am conducting the petition requirements for the

property located at 335 Moss Streetto the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) William Wright (see note above)ADDRESS: #1 - 335 MOSS ST.Are you the registered owner? Yes ☐No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.☐ I am opposed to the application.

Comments:

July 18, 2016
Date[Signature]
Signature



SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli,

(print name)

am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Sekoya Wellings (see note above)

ADDRESS: #1 - 335 MOSS ST.

Are you the registered owner? Yes ☐

No ☒

I have reviewed the plans of the applicant and have the following comments:

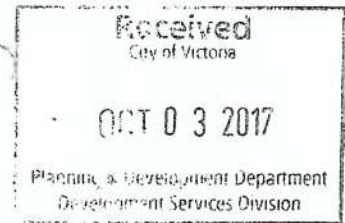
☒ I support the application.

☐ I am opposed to the application.

Comments:

July 18, 2016
Date

Sekoya Wellings
Signature



SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli,

(print name)

am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) KIRSTIE SOMMER (see note above)

ADDRESS: #1-335 MOSS ST.

Are you the registered owner? Yes ☐

No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 18, 2016
Date

Kirstie Sommer
Signature



SMALL LOT HOUSE REZONING PETITION

Not part of petition summary

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Celler, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Cameron Marshall (see note above)

ADDRESS: 2-335 Moss Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

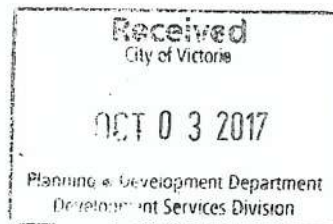
☒ I support the application.

☐ I am opposed to the application.

Comments:

May 24, 2016
Date

[Signature]
Signature



SMALL LOT HOUSE REZONING PETITION

Not part of petition summary

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli

(print name)

, am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Kyle Marshall (see note above)

ADDRESS: #3 - 335 Moss St.

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

July 19 / 2016

Date

Kyle Marshall

Signature



SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Patrick Glanc (see note above)

ADDRESS: 335 Moss Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Subj 19th 2018
Date

[Signature]
Signature



SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,

Vittorio Francesco Cheli

(print name)

, am conducting the petition requirements for the

property located at 335 Moss Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Rodney Aiken (see note above)

ADDRESS: 4-335 MOSS ST V8V 4M9

Are you the registered owner? Yes ☐

No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Aug 17 / 2016

Date

Rodney Aiken

Signature



SMALL LOT HOUSE REZONING PETITION

In preparation for my rezoning application to the City of Victoria, I,
Vittorio Francesco Cheli, am conducting the petition requirements for the
(print name)

property located at 335 Moss Street
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Kate Jackson (see note above)

ADDRESS: 4-335 Moss Street

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Aug 17 / 2016
Date

[Signature]
Signature

335 Moss St.



An aerial photograph of a coastal area, likely a beach or dune region. A red circle is drawn on the image, highlighting a specific location. The circle is centered on a small, dark, irregularly shaped area that appears to be a building or a structure. The surrounding area is mostly light-colored, suggesting sand or dunes, with some darker patches and lines indicating vegetation or other features. The image is somewhat grainy and has a vintage appearance.

SITE ADDRESS: 335 MOSS STREET VICTORIA, B.C.
V8V 4M8

LOT 15, PLAN VIP1456, SECTION FF.LD, LAND
DISTRICT 57, AMENDED LOT 15 (D079076-1)

OWNER: 0975116 BC LTD.

ZONE:	R1-B
LOT AREA:	878.3m2
LOT COVERAGE:	EXISTING
HOUSE	19.8% (173.6m/878.3m)

A0.0 COVER SHEET

A1.0 COMMUNITY PLAN

A1.1 EXISTING & PROPOSED NEIGHBORHOOD PLAN

A2.1 EXISTING & PROPOSED SITE PLAN

A1.3 PROPOSED SITE SERVICE PLAN

A1.4 EXISTING & PROPOSED LANDSCAPE PLAN

A1.5 SITE IMAGES

A1.6 DEVELOPMENT ELEVATIONS

A1.7 DEVELOPMENT PERSPECTIVES

A1.8 DEVELOPMENT PERSPECTIVES

A2.0 LOT A - COVER SHEET

A2.1 LOT A - FLOOR PLANS

A2.2 LOT A - SECTION

A3.0 LOT A - ELEVATIONS

A2.4 LOT A - PERSPECTIVES

A3.0 LOT B - COVER SHEET

A3.1 LOT B - FLOOR PLANS

A3.2 LOT B - FLOOR PLANS

A3.3 LOT B - SECTION

A3.4 LOT B - ELEVATIONS

A3.5 LOT B - ELEVATIONS

A3.6 LOT B - PERSPECTIVES

DESIGNER:	RYAN HOYT DESIGNS INC. 250.999.9893
GENERAL CONTRACTOR:	TBD
STRUCTURAL ENGINEER	TBD
SURVEYOR:	BRAD CUNNING LAND SURVEYOR LTD 250.381.2257

1.) SUBDIVISION OF EXISTING R1-B
PARCEL INTO ONE R1-B (LOT B)
& ONE R1-S2 (LOT A).


SEP 25 2017

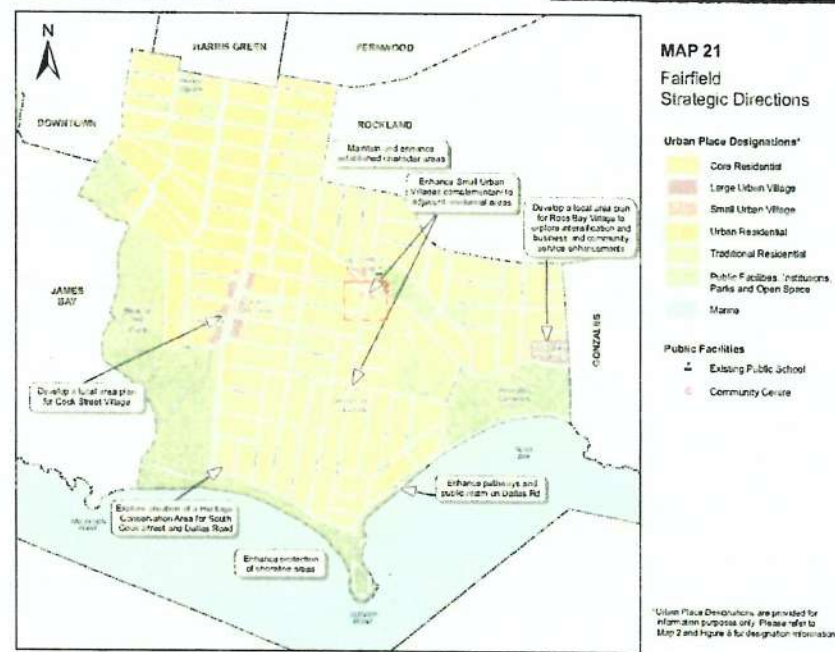
Planning & Development Department
Development Services Division

[illegible]

Project:	3335 Moss Street
Sheet Title:	Cover Sheet

Project No.: 16031

Sheet: A0.0 



Received
City of Victoria

SEP 25 2017

Planning & Development Department
Development Services Division


40 *Journal of Management Inquiry* 16(1)

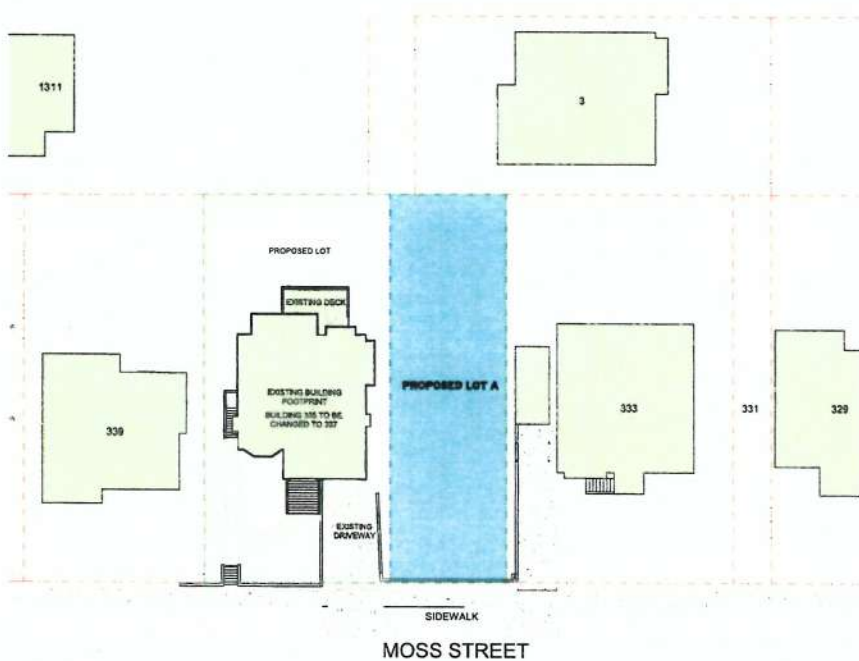
Date	Description	By	No.
16Nov98	Issued for Recycling	RH	1
17Feb00	Receiving Reclamation	RH	2
17Apr00	Receiving Reclamation	RH	3
17May00	Receiving Reclamation	RH	4
17Jun01	Receiving Reclamation	RH	5

rh
Ryan Hoyt Designs Inc.
Suite 207, 4475 Viewmont Ave.
Victoria, BC V8Z 6L8
250.999.9893
info@ryanhoyt.com

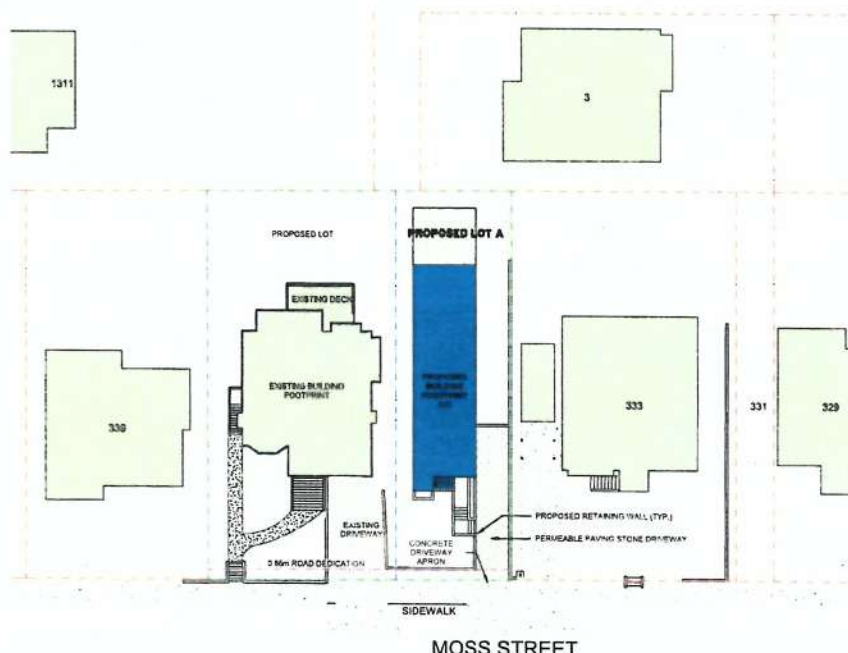
Project: 335 Moss Street	Sheet Title: Community Plan
------------------------------------	---------------------------------------

Project No.: 16031

Sheet: **A1.0** 



① Existing Neighborhood Plan
1:200



② Proposed Neighborhood Plan
1:200

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City of Victoria

SEP 25 2017
Planning & Development Department
Development Services Division

GENERAL NOTES

1. All drawings shall comply with the City of Victoria's Planning & Development Department's standards and specifications for all drawings.
2. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
3. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
4. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
5. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
6. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
7. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
8. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
9. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.
10. All drawings shall be submitted to the City of Victoria's Planning & Development Department for review and approval.

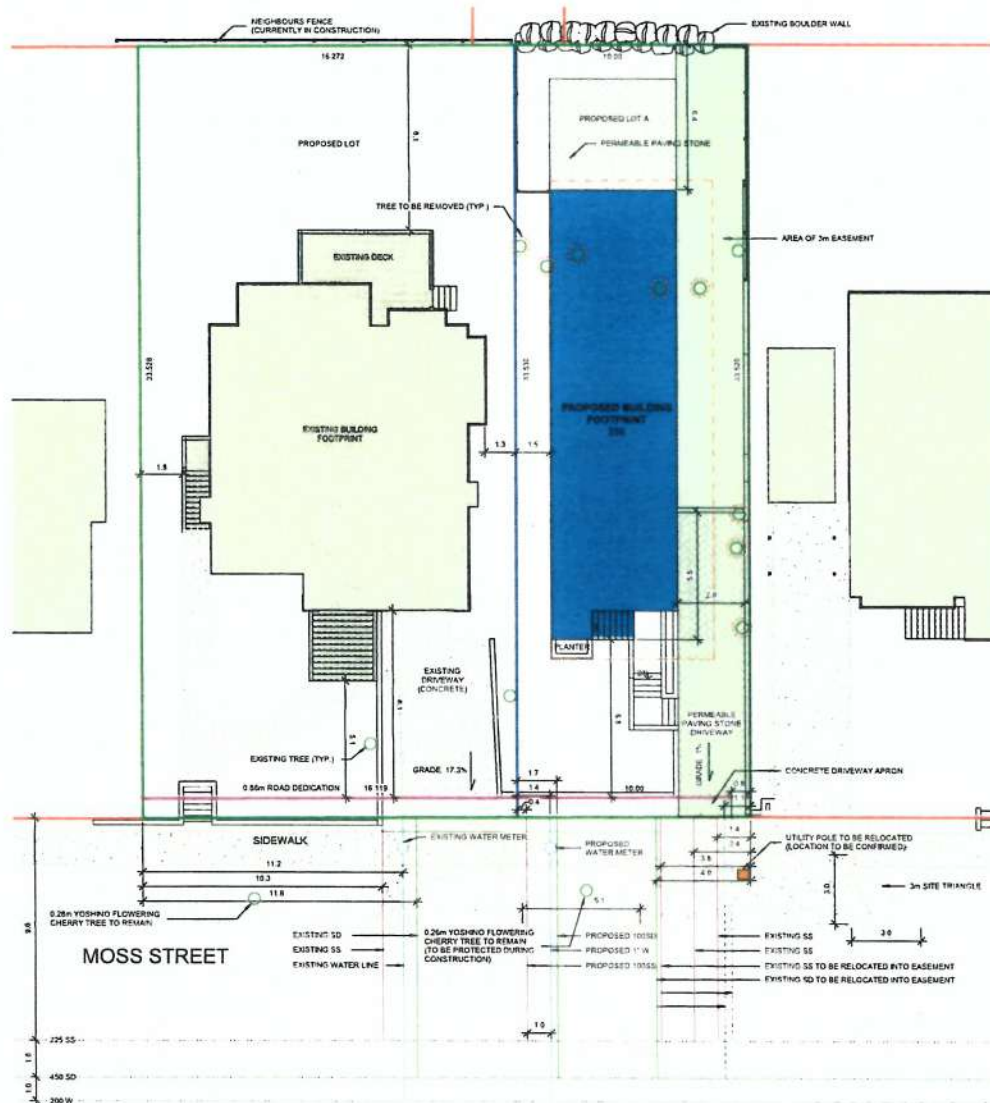
Date	Description	By	No.
18 Nov 08	Issue for Reconsideration	RH	1
17 Feb 10	Reconsideration	RH	2
17 Apr 05	Reconsideration	RH	3
17 May 07	Reconsideration	RH	4
17 Sep 07	Reconsideration	RH	5

City of Victoria
Ryan Reed Design Inc.
250 599 8893
info@ryanreeddesign.com
www.ryanreeddesign.com

Project: 335 Moss Street
Sheet Title: Existing & Proposed Neighborhood Plan

Project No.: 16031

Sheet: A1.1



1. Proposed Site Servicing Plan
1:100

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SEP 25 2017
Planning & Development Department
Development Services Division

GENERAL NOTES

1. All dimensions are in meters, unless otherwise stated.
2. The proposed building footprint is shown in blue. The existing building footprint is shown in yellow.
3. The proposed building footprint is shown in blue. The existing building footprint is shown in yellow.
4. The proposed building footprint is shown in blue. The existing building footprint is shown in yellow.

Date	Description	By	No.
18Nov08	Issue for Reconciliation	RH	1
17Feb10	Reconciliation Resubmission	RH	2
17Apr05	Reconciliation Resubmission	RH	3
17May17	Reconciliation Resubmission	RH	4
17Sep21	Reconciliation Resubmission	RH	5

chd
Ryan Hoyt Design Inc.
Suite 207, 4475 Westminster Ave.
Victoria, BC V8L 2K6
250.999.9893
info@ryanhoytdesign.com
www.ryanhoytdesign.com

Project: 335 Moss Street
Sheet Title: Proposed Site Servicing Plan

Project No.: 16031

Sheet: A1.3



PHOTO #1: VIEW OF PROPOSED LOT LOOKING NORTH EAST FROM MOSS STREET. NOTE AREA OF EXISTING SIDE YARD AVAILABLE



PHOTO #2: VIEW OF PROPOSED LOT LOOKING EAST FROM MOSS STREET. NOTE EXISTING FOLIAGE TO BE REPLACED TO PROVIDE PRIVACY FOR NEIGHBOUR



PHOTO #3: VIEW OF PROPOSED LOT LOOKING NORTH EAST FROM MOSS STREET. NOTE EXISTING RETAINING WALL TO BE SALVAGED AND RE USED DURING CONSTRUCTION



PHOTO #4: VIEW OF PROPOSED LOT LOOKING SOUTH EAST FROM MOSS STREET. NOTE EXISTING BOULEVARD TREE TO REMAIN. HYDRO POLE TO BE RELOCATED TO ACCOMMODATE PROPOSED DRIVEWAY

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SEP 25 2017
Planning & Development Department
Development Services Division

DISPAL NOTES

1. All streets are shown, including the proposed streets and the existing streets. The proposed streets are shown in red and the existing streets are shown in black. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters.

2. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters.

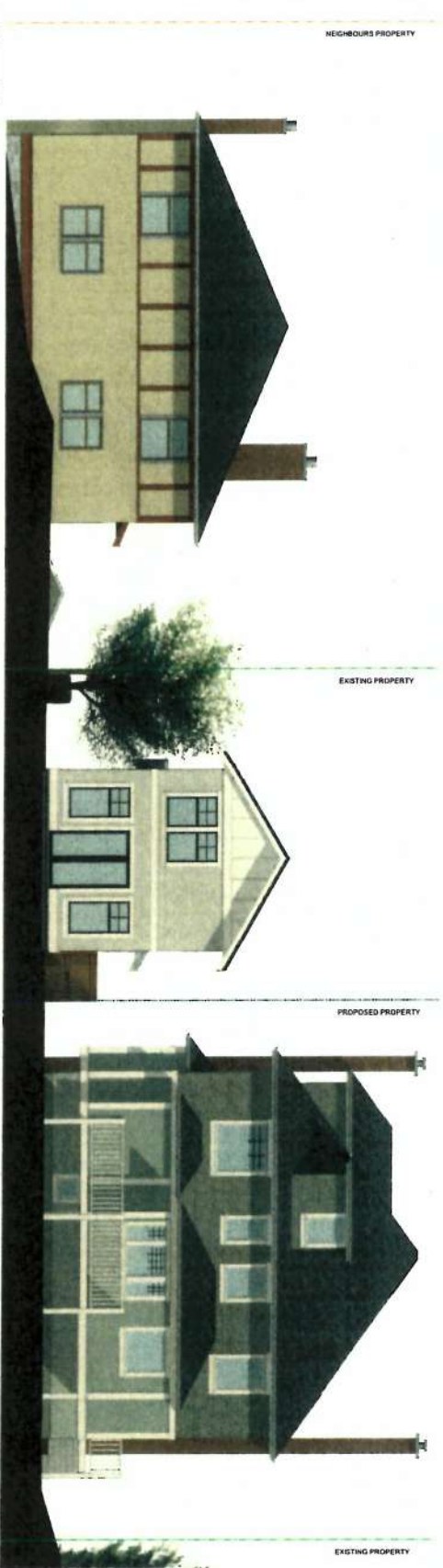
3. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters.

4. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters. The proposed streets are shown with a width of 12 meters and the existing streets are shown with a width of 12 meters.

Date	Description	By	No.
15/05/2017	Issue for Engineering	RM	1
17/05/2017	Revisions	RM	2
17/05/2017	Revisions	RM	3
17/05/2017	Revisions	RM	4
17/05/2017	Revisions	RM	5

City of Victoria
Ryan Hoyt Design Inc.
Suite 207, 4475 Viewmont Ave.
Victoria, BC V8Z 6L8
Tel: 250-479-9999
www.ryanhoysdesign.com

Project: 335 Moss Street
Sheet Title: Site Images
Project No.: 16031
Sheet: A1.5



EXISTING PROPERTY

PROPOSED PROPERTY

EXISTING PROPERTY

NEIGHBOURS PROPERTY

NEIGHBOURS PROPERTY

EXISTING PROPERTY

PROPOSED PROPERTY

EXISTING PROPERTY

Development East
318 - 1.0

Development West
318 - 1.0

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City of Victoria

SEP 25 2017

Planning & Development Department
Development Services Division

Sheet:
A1.6

Project No.:
16031

Project:
335 Moss Street

Sheet Title:
Development
Elevations

rh d
RYAN HEYDT
Ryan Heydt Designs Inc.
Suite 207, 4475 Viewmont Ave.
Victoria, BC V8Z 6L9
250.999.9993
info@ryanheytdesigns.com
www.ryanheytdesigns.com

Date:	Description:	By:	No.:	Comments:
16Nov08	Issue for Rezoning	RH	1	
17Feb10	Rezoning Resubmission	RH	2	
17Apr05	Rezoning Resubmission	RH	3	
17May17	Rezoning Resubmission	RH	4	
17Sep21	Rezoning Resubmission	RH	5	

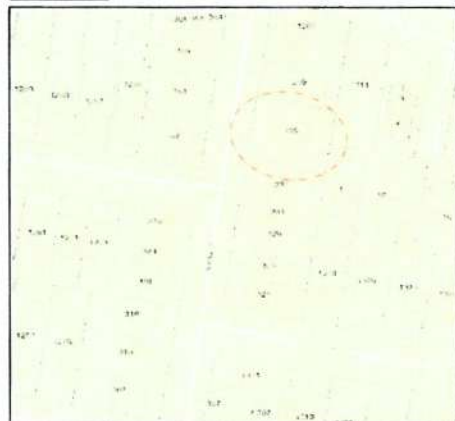
NOTES:
1. All elevations are to be constructed in accordance with the City of Victoria's Development Bylaw.
2. All elevations are to be constructed in accordance with the City of Victoria's Development Bylaw.
3. All elevations are to be constructed in accordance with the City of Victoria's Development Bylaw.
4. All elevations are to be constructed in accordance with the City of Victoria's Development Bylaw.
5. All elevations are to be constructed in accordance with the City of Victoria's Development Bylaw.

PROPOSED SINGLE FAMILY DWELLING:

335 Moss St. (Lot A)

VICTORIA, BC

KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 335 MOSS STREET
LOT 15, PLAN V1456, SECTION FFLD, LAND DISTRICT 57, AMENDED LOT 15 (DD79076-1)
OWNER: VITTORIO CHELI

SCOPE OF WORK:

1.) CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.
250.999.9893

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: BRAD CUNNING LAND SURVEYOR LTD
250.381.2257

ZONING ANALYSIS:

ZONE: R1-S2
LOT AREA: 335.3m²

GRADES: AVERAGE GRADE: 12.7m

F.S.R.: ALLOWABLE 0.60 PROPOSED 0.47

GROSS FLOOR AREA: ALLOWABLE 80.7m² PROPOSED 77.6m²
MAIN FLOOR: 80.7m²
SECOND FLOOR: 77.6m²
BASEMENT: 69.8m² — CEILING HEIGHT BELOW 1.8m ABOVE GRADE THEREFORE AREA IS EXEMPT FROM TOTAL FLOOR SPACE
TOTAL: 190.0m² 158.3m² (80.7m² + 77.6m²)

LOT COVERAGE: ALLOWABLE 40% (127'11" x 142' + 134' 1m²) PROPOSED 103.3m² (103.3m x 235.5m² + 30.8%)

HEIGHT: ALLOWABLE 7.5m PROPOSED 7.31m

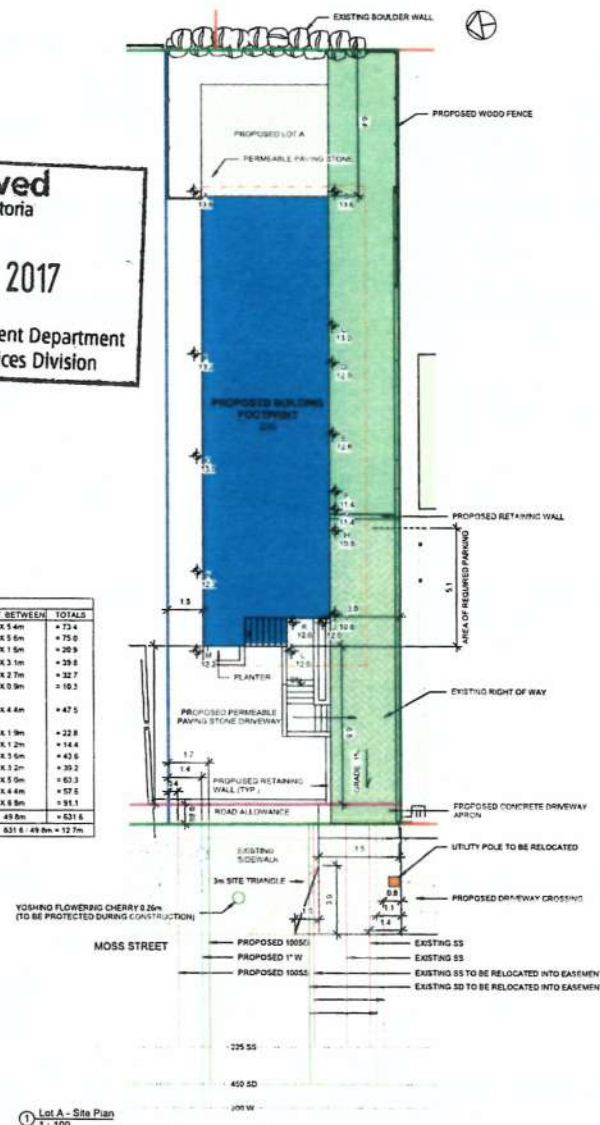
SETBACKS: ALLOWABLE 6.0m PROPOSED 6.8m
FRONT (W): 6.0m
REAR (E): 6.0m
SIDE (N): 1.5m
SIDE (S): 1.5m

SHEET INDEX:

A2.0 LOT A - COVER SHEET
A2.1 LOT A - FLOOR PLANS
A2.2 LOT A - SECTION
A2.3 LOT A - ELEVATIONS
A2.4 LOT A - PERSPECTIVES



AVG. GRADE CALC.	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	13.6m	A-B (13.6 x 13.6) / 2	X 5.4m = 73.4
POINT "B"	13.6m	B-C (13.6 x 13.6) / 2	X 5.6m = 75.0
POINT "C"	13.5m	C-D (13.5 x 13.5) / 2	X 1.5m = 20.9
POINT "D"	12.5m	D-E (12.5 x 12.5) / 2	X 3.1m = 39.8
POINT "E"	12.6m	E-F (12.6 x 12.6) / 2	X 2.7m = 32.7
POINT "F"	11.4m	F-G (11.4 x 11.4) / 2	X 0.9m = 10.3
POINT "G"	11.4m	G-H (11.4 x 11.4) / 2	X 0.9m = 10.3
POINT "H"	12.4m	H-I (12.4 x 12.4) / 2	X 4.4m = 47.5
POINT "I"	12.9m	I-J (12.9 x 12.9) / 2	X 1.9m = 22.8
POINT "J"	12.9m	J-K (12.9 x 12.9) / 2	X 1.2m = 14.4
POINT "K"	12.9m	K-L (12.9 x 12.9) / 2	X 3.5m = 42.6
POINT "L"	12.2m	L-M (12.2 x 12.2) / 2	X 3.2m = 39.2
POINT "M"	12.3m	M-N (12.3 x 12.3) / 2	X 5.9m = 63.3
POINT "N"	13.0m	N-O (13.0 x 13.0) / 2	X 4.4m = 57.5
POINT "O"	13.2m	O-P (13.2 x 13.2) / 2	X 6.8m = 91.1
TOTAL			49.8m = 621.6
GRADE CALCULATION			621.6 / 49.8m = 12.7m



① Lot A - Site Plan
1:100

NOTES:

1. All existing structures, including existing walls, fences, and foundations, shall be removed and replaced with new structures as shown on the plans. The new structures shall be constructed in accordance with the City of Victoria Building Bylaw and the applicable provisions of the British Columbia Building Code.
2. The proposed building footprint shall be constructed in accordance with the City of Victoria Building Bylaw and the applicable provisions of the British Columbia Building Code. The building footprint shall be constructed on a foundation of concrete piers and shall be finished with a concrete floor.
3. The proposed driveway shall be constructed in accordance with the City of Victoria Building Bylaw and the applicable provisions of the British Columbia Building Code. The driveway shall be constructed on a foundation of concrete piers and shall be finished with a concrete floor.
4. The proposed retaining wall shall be constructed in accordance with the City of Victoria Building Bylaw and the applicable provisions of the British Columbia Building Code. The retaining wall shall be constructed on a foundation of concrete piers and shall be finished with a concrete floor.

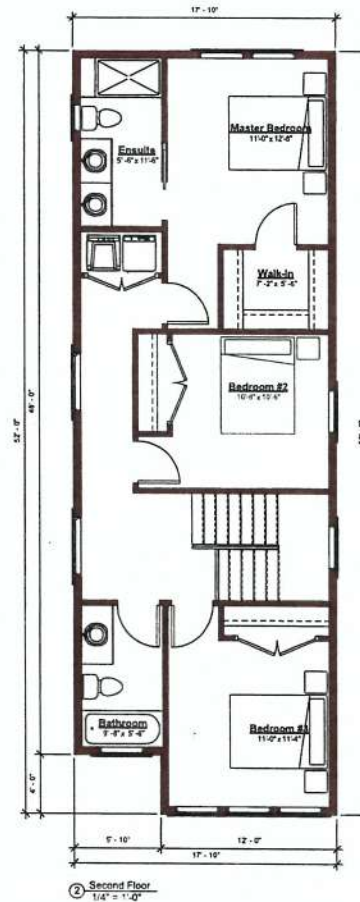
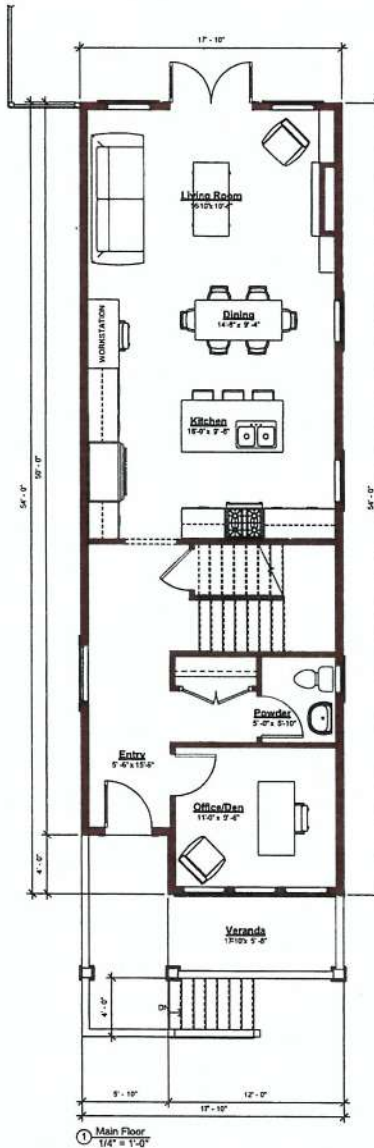
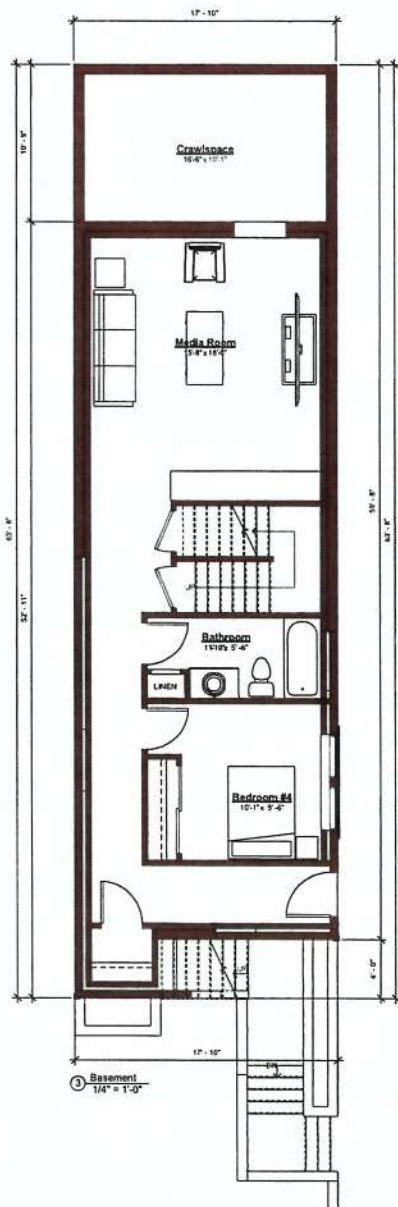
Date	Description	By	No.
16Nov08	Issue for Rezoning	RH	1
17Feb10	Rezoning Re-submission	RH	2
17Mar05	Rezoning Re-submission	RH	3
17Mar17	Rezoning Re-submission	RH	4
17Mar21	Rezoning Re-submission	RH	5

RYAN HOYT DESIGNS INC.
P.O. Box 110
335 Moss Street
Victoria, BC V8Z 4L8
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info@ryanhoytdesigns.com
www.ryanhoytdesigns.com

Project: 335 Moss Street
Sheet Title: Lot A - Cover Sheet

Project No.: 16031

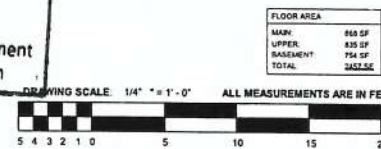
Sheet: A2.0



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City of Victoria

SEP 25 2017

Planning & Development Department
Development Services Division



NOTES

1. All work shall be done in accordance with the City of Victoria Building Bylaw and the National Building Code of Canada.
2. The owner shall be responsible for obtaining all necessary permits and approvals from the City of Victoria.
3. The owner shall be responsible for ensuring that all work is done in accordance with the approved plans and specifications.
4. The owner shall be responsible for ensuring that all work is done in accordance with the approved plans and specifications.
5. The owner shall be responsible for ensuring that all work is done in accordance with the approved plans and specifications.

Date	Description	By	No.
15/06/08	Issue for Preparation	RM	1
17/06/08	Revisions	RM	2
17/06/08	Revisions	RM	3
17/06/08	Revisions	RM	4
17/06/08	Revisions	RM	5

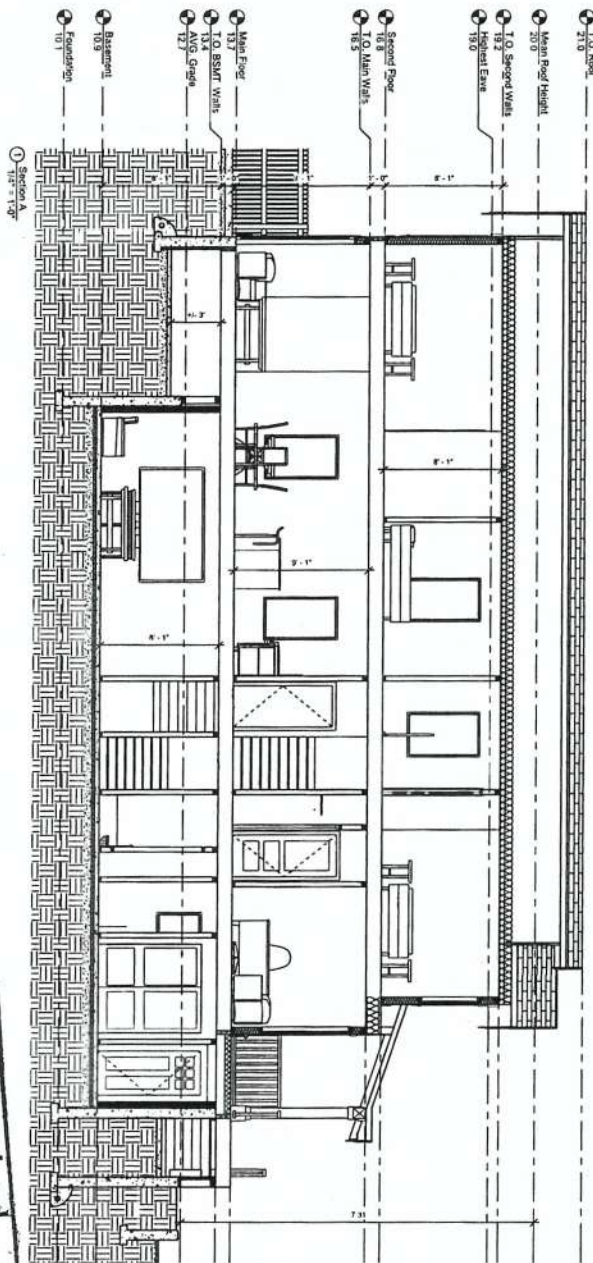
Project: 335 Moss Street

Sheet Title: Lot A - Floor Plans

Project No.: 16031

Sheet: A2.1


RYAN HAYT DESIGN INC.
207 4475 Viewmont Ave.
Victoria, BC V8E 6L6
250.999.9999
www.ryanhaytdesign.com



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Development Services Division

DRAWING SCALE: 1/4" = 1'-0"
ALL MEASUREMENTS ARE IN FEET
5 4 3 2 1 0 5 10 15 20

FLOOR AREA	MAIN	BASE	TOTAL
SQ FT	1225	1225	2450
SQ M	114	114	228

Sheet: A2.2	Project No.: 16031	Project: 335 Moss Street	 Ryan Hayt Designs Inc. Suite 207, 4475 Viewmont Ave. Victoria, BC V8C 6L8 250.999.9893 info@ryanhaytdesigns.com www.ryanhaytdesigns.com	<table border="1"> <thead> <tr> <th>Date</th> <th>Description</th> <th>By</th> <th>No.</th> </tr> </thead> <tbody> <tr> <td>16Nov08</td> <td>Issue for Rezoning</td> <td>RH</td> <td>1</td> </tr> <tr> <td>17Feb10</td> <td>Rezoning Resubmission</td> <td>RH</td> <td>2</td> </tr> <tr> <td>17Apr05</td> <td>Rezoning Resubmission</td> <td>RH</td> <td>3</td> </tr> <tr> <td>17May17</td> <td>Rezoning Resubmission</td> <td>RH</td> <td>4</td> </tr> <tr> <td>17Sept21</td> <td>Rezoning Resubmission</td> <td>RH</td> <td>5</td> </tr> </tbody> </table>	Date	Description	By	No.	16Nov08	Issue for Rezoning	RH	1	17Feb10	Rezoning Resubmission	RH	2	17Apr05	Rezoning Resubmission	RH	3	17May17	Rezoning Resubmission	RH	4	17Sept21	Rezoning Resubmission	RH	5	<p><small>1. The City of Victoria is not responsible for the accuracy or completeness of the information provided in this document. The City of Victoria is not responsible for the accuracy or completeness of the information provided in this document. The City of Victoria is not responsible for the accuracy or completeness of the information provided in this document.</small></p>
Date	Description	By		No.																									
16Nov08	Issue for Rezoning	RH	1																										
17Feb10	Rezoning Resubmission	RH	2																										
17Apr05	Rezoning Resubmission	RH	3																										
17May17	Rezoning Resubmission	RH	4																										
17Sept21	Rezoning Resubmission	RH	5																										
Sheet Title: Lot A - Section																													

GENERAL NOTES

1. All drawings are made to scale, except where noted. Dimensions shown on drawings are to be used for construction.

2. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3. The drawings are for informational purposes only and do not constitute a contract. The contract documents shall govern.

4. The drawings are based on the information provided by the owner and the existing conditions shown on the drawings.

5. The drawings are not to be used for any other purpose without the written consent of the architect.

Date	Description	By	No.
15/05/2017	Issue for Engineering	RH	1
17/06/2017	Revisions Reproduction	RH	2
17/06/2017	Revisions Reproduction	RH	3
17/06/2017	Revisions Reproduction	RH	4
17/06/2017	Revisions Reproduction	RH	5

YASHOYAN
 YASHOYAN DESIGN INC.
 Suite 207, 4475 Fairview Ave.
 Victoria, BC V8Z 6L8
 250.999.5995
 www.yashoyandesign.com

Project: 335 Moss Street
Sheet Title: Lot A - Elevations

Project No.: 16031

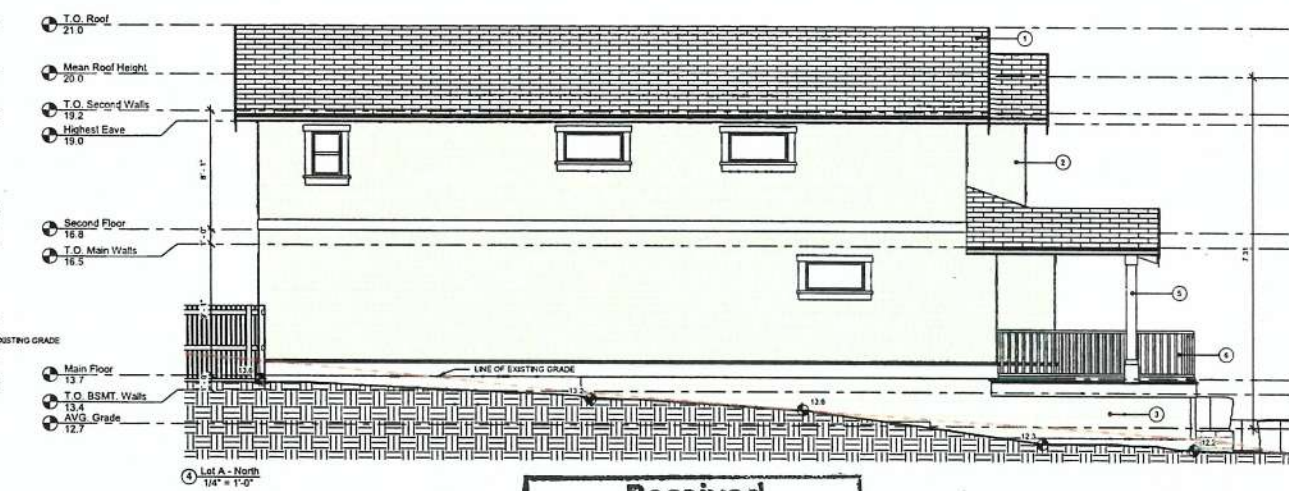
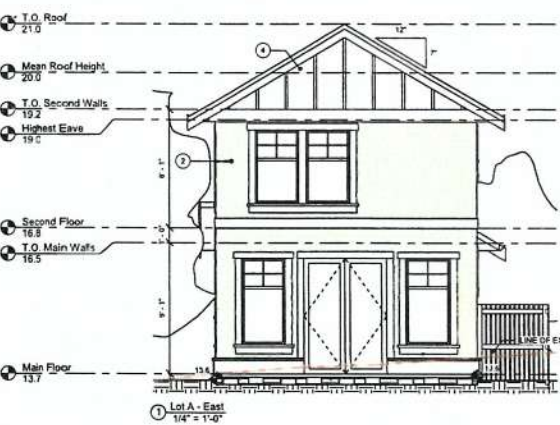
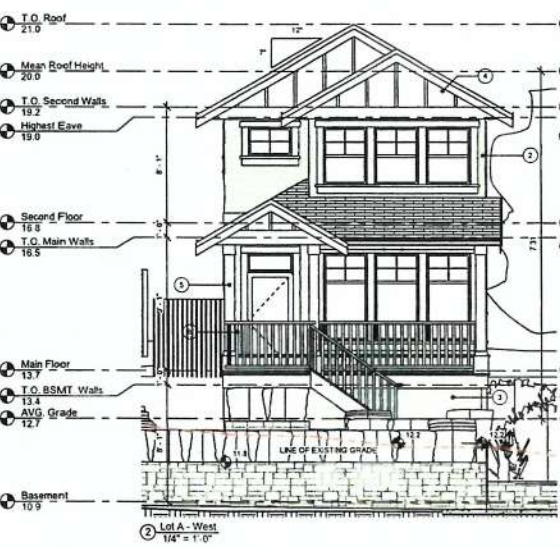
Sheet: A2.3

FLOOR AREA	
UPPER	868 SF
BASEMENT	794 SF
TOTAL	1662 SF

DRAWING SCALE: 1/4" = 1'-0" **ALL MEASUREMENTS ARE IN FEET**

5 4 3 2 1 0 5 10 15 20

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 Planning & Development Department
 Development Services Division



- ELEVATION LEGEND**
- 1 30 YEAR LAMINATE ASPHALT SHINGLE
 - 2 PAINTED CEDAR SHINGLES
 - 3 PAINTED FIBRE CEMENT LAP
 - 4 PAINTED FIBRE CEMENT PANEL (1/2\"/>

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SEP 25, 2017

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Development Services Division

SPECIAL NOTES

1. The proposed development is a two-story, detached house with a finished basement. The house is located on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1.
2. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1.
3. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1.
4. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1. The house is proposed to be built on a lot that is currently zoned RS-1.

Date	Description	By	No.
17Dec09	Issue for Rezoning	RH	1
17Feb10	Revised Rezoning	RH	2
17Aug05	Revised Rezoning	RH	3
17Mar17	Revised Rezoning	RH	4
17Sep21	Revised Rezoning	RH	5

RYAN HART
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www.ryanhartdesigns.com

Project: 335 Moss Street
Sheet Title: Lot A - Perspectives

Project No.: 16031

Sheet: A2.4



1 Lot A - 3D View 3



2 Lot A - 3D View 2



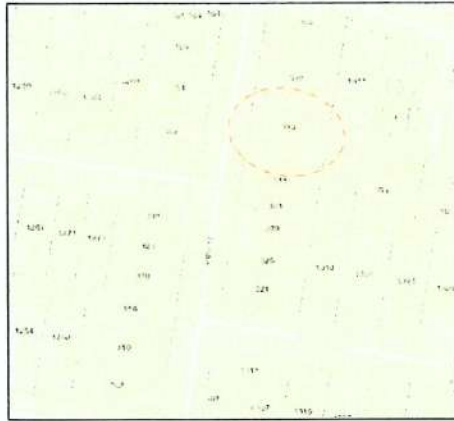
4 Lot A - 3D View 4



3 Lot A - 3D View 1

EXISTING SINGLE FAMILY DWELLING: 337 Moss St. (Lot B) VICTORIA, BC

KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 337 MOSS STREET

LOT 15, PLAN VIP1456, SECTION FLD, LAND
DISTRICT 57, AMENDED LOT 15 (D079076-1)

OWNER: VITTORIO CHELI

SCOPE OF WORK:

1.) MODIFICATION OF EXISTING BUILDING

PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.
250.999.9893

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: BRAD CUNNING LAND SURVEYOR LTD.
250.351.2257

SHEET INDEX:

A3.0 LOT B - COVER SHEET
A3.1 LOT B - FLOOR PLANS
A3.2 LOT B - FLOOR PLANS
A3.3 LOT B - SECTION
A3.4 LOT B - ELEVATIONS
A3.5 LOT B - ELEVATIONS
A3.6 LOT B - PERSPECTIVES

ZONING ANALYSIS:

ZONE: R1-B

LOT AREA: 543.0m²

GRADES: AVERAGE GRADE: 13.2m

F.S.R.:	ALLOWABLE	EXISTING
	(N/A)	0.78 (N/A)
GROSS FLOOR AREA:	ALLOWABLE	EXISTING
BASEMENT:	280.0m ²	113.5m ²
MAIN FLOOR:		117.9m ²
SECOND FLOOR:		124.9m ²
THIRD FLOOR:		65.3m ²
TOTAL:	300.0m ² (AS PER R1-B ZONING)	421.6m ²
LOT COVERAGE:	ALLOWABLE	EXISTING
HOUSE:	40% (0.40 * 543.0m ² = 217.1m ²)	173.6m ² (173.6/543.0 = 32.0%)
HEIGHT:	ALLOWABLE	EXISTING
HOUSE:	7.5m	10.57m
SETBACKS:	ALLOWABLE	EXISTING
FRONT (F):	7.5m	9.0m
REAR (R): (25% LOT DEPTH)	8.4m	8.1m
SIDE (N): (10% LOT WIDTH)	1.62m	1.8m
SIDE (S):	3.0m	1.3m

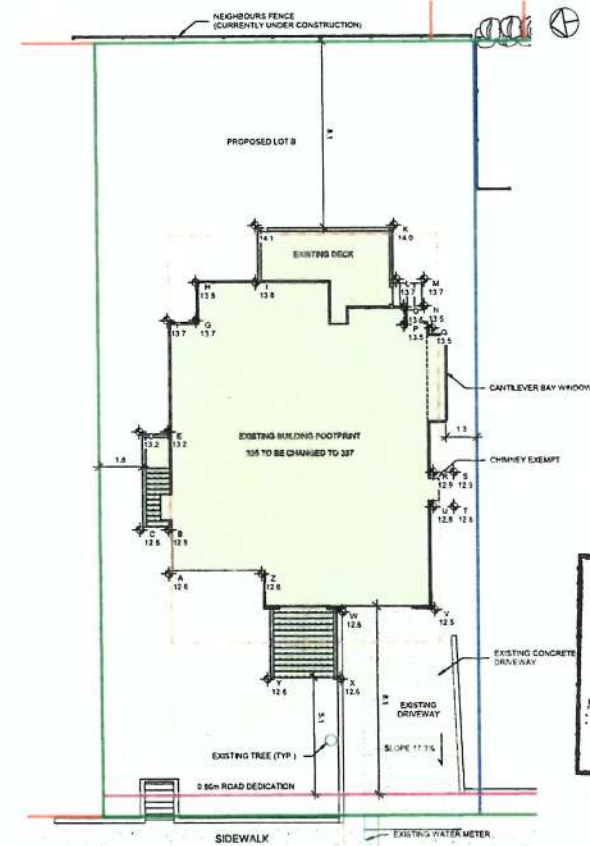
PROPOSED
0.78 (N/A) (NO CHANGE)

PROPOSED
113.5m² (NO CHANGE)
117.9m² (NO CHANGE)
124.9m² (NO CHANGE)
65.3m² (NO CHANGE)
421.6m² (113.5+117.9+124.9+65.3) (NO CHANGE)

PROPOSED
173.6m² (173.6/543.0 = 32.0%) (NO CHANGE)

PROPOSED
10.57m (NO CHANGE)

PROPOSED
8.1m (REDUCED BY 0.8m FOR ROAD DEDICATION)
8.1m (NO CHANGE)
1.8m (NO CHANGE)
1.3m (NO CHANGE)



EXISTING BOULEVARD TREE TO REMAIN

1 Lot B - Site Plan
1:100



GRADE POINTS	AUG. OF POINTS	DIST. BETWEEN	TOTALS
POINT A 32.6	13.7 * (13.7+13.0)/2	1.9	24.1
POINT B 32.8	13.8 * (13.8+13.0)/2	1.2	15.5
POINT C 32.8	13.0 * (13.0+13.2)/2	3.9	50.6
POINT D 33.2	13.2 * (13.2+13.2)/2	1.2	15.8
POINT E 33.2	13.4 * (13.4+13.2)/2	5.0	67.0
POINT F 33.7	13.7 * (13.7+13.2)/2	1.2	16.4
POINT G 33.7	13.7 * (13.7+13.0)/2	1.6	21.0
POINT H 33.8	13.8 * (13.8+13.0)/2	2.6	35.9
POINT I 33.8	13.8 * (13.8+13.0)/2	2.6	36.2
POINT J 34.0	14.0 * (14.0+13.0)/2	5.9	82.7
POINT K 34.0	13.9 * (13.9+13.0)/2	2.8	38.8
POINT L 33.7	13.7 * (13.7+13.0)/2	1.2	16.4
POINT M 33.7	13.6 * (13.7+13.0)/2	0.9	12.2
POINT N 33.5	13.5 * (13.5+13.0)/2	1.2	16.3
POINT O 33.5	13.5 * (13.5+13.0)/2	0.5	6.8
POINT P 33.5	13.5 * (13.5+13.0)/2	1.4	18.9
POINT Q 33.5	13.2 * (13.5+13.0)/2	6.8	89.8
POINT R 32.9	12.9 * (12.9+13.0)/2	0.4	5.3
POINT S 32.9	12.9 * (12.9+13.0)/2	1.3	14.2
POINT T 32.8	12.8 * (12.8+13.0)/2	0.4	5.1
POINT U 32.8	12.7 * (12.8+13.0)/2	4.5	57.1
POINT V 32.5	12.6 * (12.8+13.0)/2	3.6	45.2
POINT W 32.4	12.6 * (12.8+13.0)/2	1.2	40.2
POINT X 32.6	12.6 * (12.6+13.0)/2	1.6	45.2
POINT Y 32.6	12.6 * (12.6+13.0)/2	4.7	59.1
POINT Z 32.6	12.6 * (12.6+13.0)/2	1.9	49.1
TOTAL			891.5

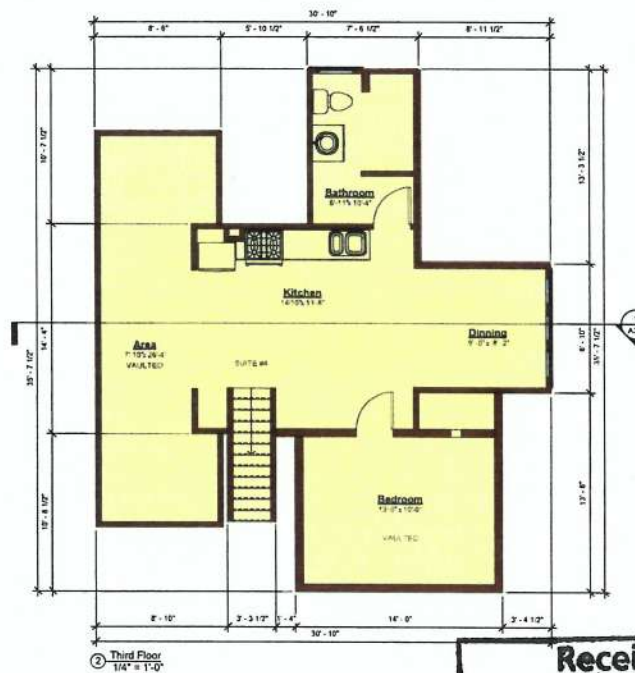
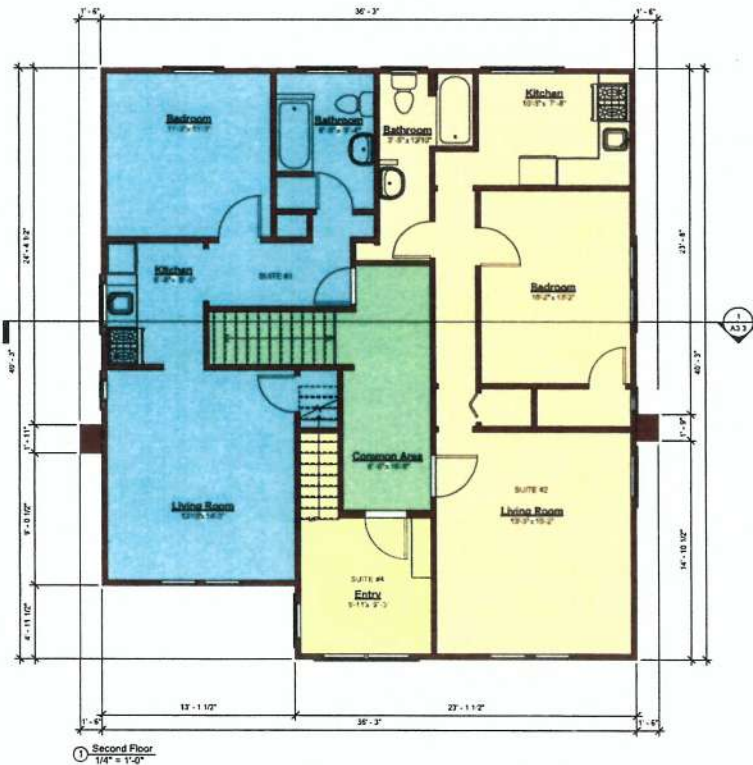
GRAPH CALCULATION 17.3 255.5/13.7 = 13.2m

NOTES:
1. All dimensions are in meters, unless otherwise specified.
2. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The owner is responsible for ensuring that the proposed modifications comply with all applicable zoning and building codes.
4. The owner is responsible for ensuring that the proposed modifications do not adversely affect the structural integrity of the existing building.
5. The owner is responsible for ensuring that the proposed modifications do not obstruct the view of the existing building.
6. The owner is responsible for ensuring that the proposed modifications do not obstruct the view of the existing building.
7. The owner is responsible for ensuring that the proposed modifications do not obstruct the view of the existing building.
8. The owner is responsible for ensuring that the proposed modifications do not obstruct the view of the existing building.
9. The owner is responsible for ensuring that the proposed modifications do not obstruct the view of the existing building.
10. The owner is responsible for ensuring that the proposed modifications do not obstruct the view of the existing building.

Date:	Description:	By:	No.:
15/09/2017	Issue for Registration	RH	1
17/09/2017	Registration	RH	2
17/09/2017	Registration	RH	3
17/09/2017	Registration	RH	4
17/09/2017	Registration	RH	5

Plan & Design Inc.
Suite 207, 4475 Vancouven Ave.
Victoria, BC V8L 6L8
250.999.9893
www.ryanhoymdesigns.com

Project: 335 Moss Street
Sheet Title: Lot B - Cover Sheet
Project No.: 16031
Sheet: A3.0

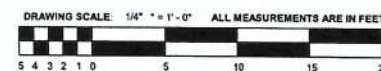


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City of Victoria

SEP 25 2017

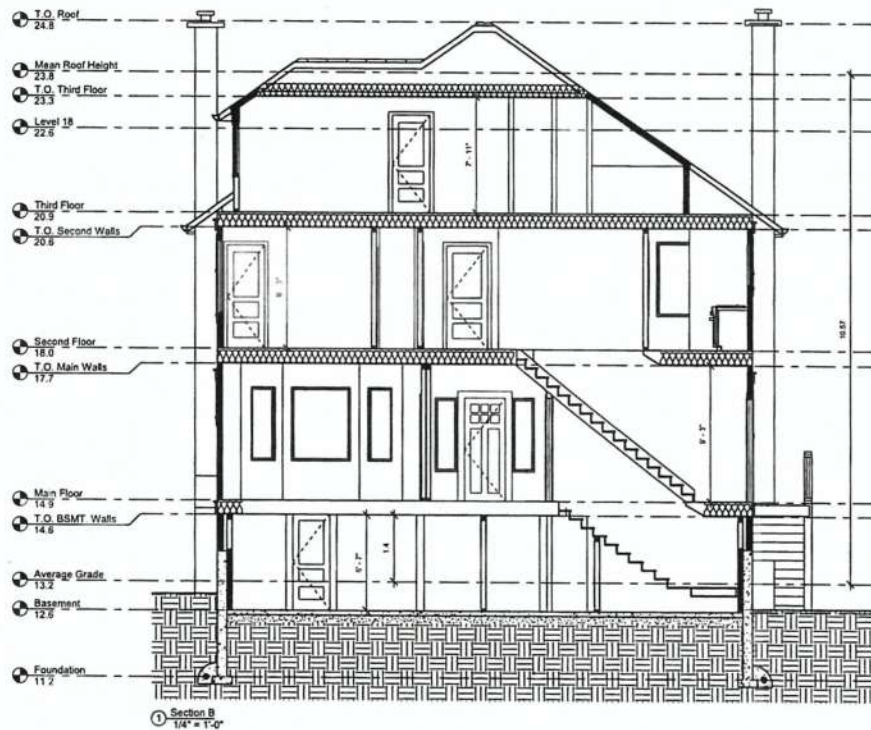
Planning & Development Department
Development Services Division

SUITE LOCATION & SIZE		FLOOR AREA	
SUITE #1	2453 SF	BASEMENT	1909 SF
SUITE #2	574 SF	MAIN	1296 SF
SUITE #3	508 SF	SECOND	1293 SF
SUITE #4	784 SF	THIRD	354 SF
COMMON AREA	171 SF	TOTAL	3822 SF
		GARAGE	2493 SF



NOTES

1. All dimensions are shown in feet and inches. Dimensions are shown to the nearest 1/4 inch. Dimensions are shown to the nearest 1/8 inch. Dimensions are shown to the nearest 1/16 inch. Dimensions are shown to the nearest 1/32 inch. Dimensions are shown to the nearest 1/64 inch. Dimensions are shown to the nearest 1/128 inch. Dimensions are shown to the nearest 1/256 inch. Dimensions are shown to the nearest 1/512 inch. Dimensions are shown to the nearest 1/1024 inch. Dimensions are shown to the nearest 1/2048 inch. Dimensions are shown to the nearest 1/4096 inch. Dimensions are shown to the nearest 1/8192 inch. Dimensions are shown to the nearest 1/16384 inch. Dimensions are shown to the nearest 1/32768 inch. Dimensions are shown to the nearest 1/65536 inch. Dimensions are shown to the nearest 1/131072 inch. Dimensions are shown to the nearest 1/262144 inch. Dimensions are shown to the nearest 1/524288 inch. Dimensions are shown to the nearest 1/1048576 inch. Dimensions are shown to the nearest 1/2097152 inch. Dimensions are shown to the nearest 1/4194304 inch. Dimensions are shown to the nearest 1/8388608 inch. Dimensions are shown to the nearest 1/16777216 inch. Dimensions are shown to the nearest 1/33554432 inch. Dimensions are shown to the nearest 1/67108864 inch. Dimensions are shown to the nearest 1/134217728 inch. Dimensions are shown to the nearest 1/268435456 inch. Dimensions are shown to the nearest 1/536870912 inch. Dimensions are shown to the nearest 1/1073741824 inch. Dimensions are shown to the nearest 1/2147483648 inch. Dimensions are shown to the nearest 1/4294967296 inch. Dimensions are shown to the nearest 1/8589934592 inch. Dimensions are shown to the nearest 1/17179869184 inch. Dimensions are shown to the nearest 1/34359738368 inch. Dimensions are shown to the nearest 1/68719476736 inch. Dimensions are shown to the nearest 1/137438953472 inch. Dimensions are shown to the nearest 1/274877907344 inch. 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Dimensions are shown to the nearest 1/44171176615017653135553721360829727377675285421704442625431191894884352 inch. Dimensions are shown to the nearest 1/88342353230035306271107442721659454755350570843408885250862383789768704 inch. Dimensions are shown to the nearest 1/176684706460070612542214885443318909510701141686817770501724767579537408 inch. Dimensions are shown to the nearest 1/353369412920141225084429770886637819021402283373635541003449535159074816 inch. Dimensions are shown to the nearest 1/706738825840282450168859541773275638042804566747271082006899070318149632 inch. Dimensions are shown to the nearest 1/1413477651680564900337719083546

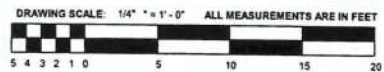


Received
City of Victoria

SEP 25 2017

Planning & Development Department
Development Services Division

FLOOR AREA	
BASEMENT	1209 SF
MARY	1296 SF
SECOND	1293 SF
THIRD	354 SF
TOTAL	3322.54
GARAGE	246 SF



GENERAL NOTES

- All drawings are made, checked, and approved by the architect. The architect is not responsible for the accuracy of the information provided by the client or for the results of any construction based on the drawings. The architect is not responsible for the construction of the project or for the safety of the construction. The architect is not responsible for the construction of the project or for the safety of the construction.
- The architect is not responsible for the construction of the project or for the safety of the construction.
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Date	Description	By	No.
18Nov08	Issue for Submission	RH	1
17Feb10	Revisions Resubmission	RH	2
17Aug05	Revisions Resubmission	RH	3
17Mar17	Revisions Resubmission	RH	4
17Sep21	Revisions Resubmission	RH	5

City of Victoria
P.O. Box 1100
Victoria, BC V8Z 6A8

Ryan Reid Designs Inc.
P.O. Box 1100
Victoria, BC V8Z 6A8
250.999.9893
www.ryanreiddesigns.com

Project: 335 Moss Street

Sheet Title: Lot B - Section

Project No.: 16031

Sheet: A3.3



ELEVATION LEGEND	
①	EXISTING ASPHALT SHINGLE
②	EXISTING LAP SIDING
③	EXISTING SHINGLE SIDING

Received
City of Victoria

SEP 25 2017

Planning & Development Department
Development Services Division

FLOOR AREA	
BASEMENT	1209 SF
MAIN	1796 SF
SECOND	1792 SF
THIRD	354 SF
TOTAL	3052 SF
GARAGE	348 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET

5 4 3 2 1 0 5 10 15 20

NOTES

1. All dimensions are given in feet and inches. Dimensions are rounded to the nearest 1/8" or 1/16".

2. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Victoria.

3. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Victoria.

4. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Victoria.

5. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Victoria.

Date:	By:	No.:
15/08/2017	RM	1
17/08/2017	RM	2
17/08/2017	RM	3
17/08/2017	RM	4
17/08/2017	RM	5
17/08/2017	RM	6
17/08/2017	RM	7
17/08/2017	RM	8
17/08/2017	RM	9
17/08/2017	RM	10
17/08/2017	RM	11
17/08/2017	RM	12
17/08/2017	RM	13
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17/08/2017	RM	27
17/08/2017	RM	28
17/08/2017	RM	29
17/08/2017	RM	30

City of Victoria

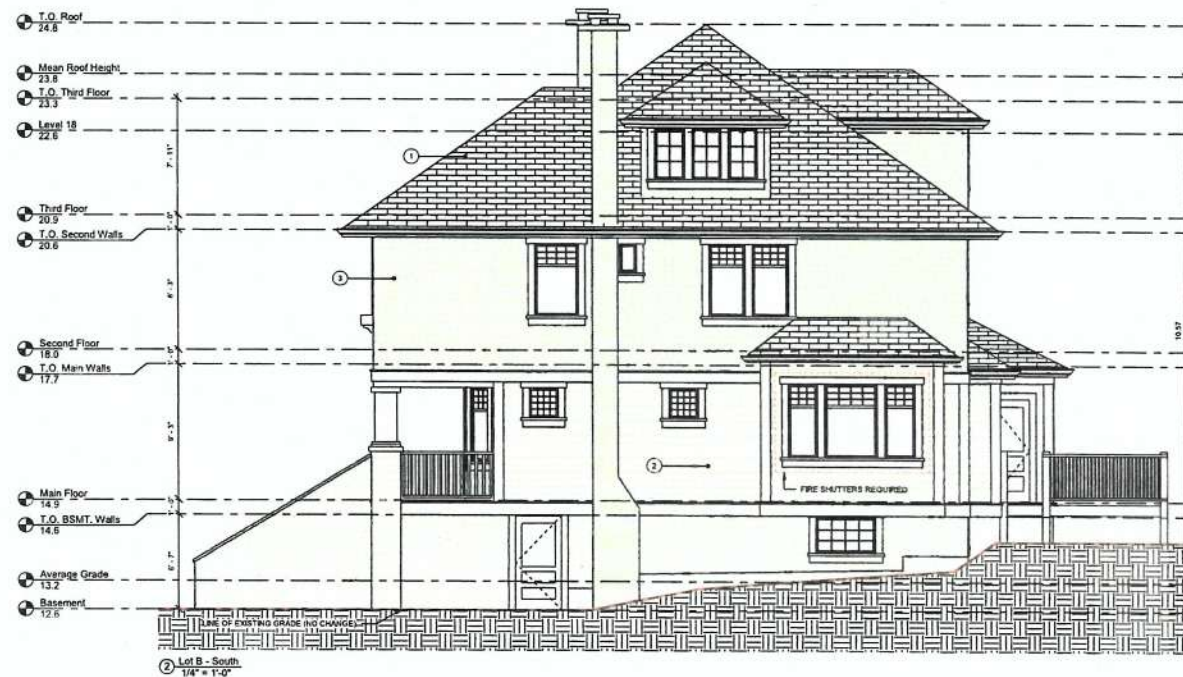
Plan: 10/10/2017
Scale: 1/4" = 1'-0"
Author: J. Smith
Date: 15/08/2017
Project: 16031
Sheet: A3.4

Project: 335 Moss Street

Sheet Title: Lot B - Elevations

Project No.: 16031

Sheet: A3.4



Received
City of Victoria

SEP 25 2017

Planning & Development Department
Development Services Division

ELEVATION LEGEND

- 1 EXISTING ASPHALT SHINGLE
- 2 EXISTING LAP SIDING
- 3 EXISTING SHINGLE SIDING

PROPOSED SOUTH ELEVATION SPACIAL SEPARATION #1

AREA OF EXPOSING BUILDING FACE (EXISTING DISTANCE)	95.5m ²
PERCENTAGE OF GLAZED AREA ALLOWABLE 8.5%	
AREA OF GLAZED OPENINGS ALLOWABLE (81.5m ² @ 8.5%)	8.6m ²
AREA OF GLAZED OPENINGS PROPOSED	7.5m ²
PERCENTAGE OF GLAZED AREA PROPOSED	7.4%

PROPOSED SOUTH ELEVATION SPACIAL SEPARATION #2

AREA OF EXPOSING BUILDING FACE (EXISTING DISTANCE)	11.5m ²
PERCENTAGE OF GLAZED AREA ALLOWABLE 7.7%	
AREA OF GLAZED OPENINGS ALLOWABLE (11.5m ² @ 7.7%)	0.9m ²
AREA OF GLAZED OPENINGS PROPOSED	3.5m ²
PERCENTAGE OF GLAZED AREA PROPOSED	30.2%

*FIRE SHUTTERS REQUIRED FOR THIS SECTION

FLOOR AREA	
BASEMENT	1909 SF
MAIN	1236 SF
SECOND	1292 SF
THIRD	354 SF
TOTAL	3833 SF
GARAGE	245 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



NOTES

1. All elevations are shown in feet and inches. The elevations are based on the existing ground level. The elevations are not to be used for any other purpose.

2. The elevations are based on the existing ground level. The elevations are not to be used for any other purpose.

3. The elevations are based on the existing ground level. The elevations are not to be used for any other purpose.

No.	Description	Date
1	Issue for Approval	12/06/08
2	Revised for Approval	12/06/08
3	Revised for Approval	12/06/08
4	Revised for Approval	12/06/08
5	Revised for Approval	12/06/08

RYAN HAYES DESIGN INC.
Suite 207, 4475 Viewmont Ave.
Victoria, BC V8E 6L8
www.ryanhayesdesign.com

Project: 335 Moss Street
Sheet Title: Lot B - Elevations

Project No.: 16031

Sheet: A3.5

Lacey Maxwell

From: Vittorio Cheli [REDACTED]
Sent: July 15, 2017 8:48 AM
To: Victoria Mayor and Council
Cc: Chelsea Medd; Alison Meyer; Jonathan Tinney; [REDACTED]
Subject: Committee of the Whole Follow Up: 335 Moss Street (#REZ00538)

Categories: Lacey in Progress, Awaiting Staff Response

Dear Mayor and Council,

Re: Small Lot Rezoning & Subdivision Application for 335 Moss Street (#REZ00538)

I am the owner of the aforementioned small lot rezoning and subdivision proposal, which was first presented to you at the Committee of the Whole Meeting of July 6, 2017. I would like to take this opportunity to address some concerns that came to light in the correspondence, resulting in the adoption of the amended motion to send to Public Hearing, pending the outcome of a new Small Lot House Rezoning Neighbourhood Support Petition.

Specifically, I would like to address the concerns raised by Committee members about how the Small Lot House Rezoning Neighbourhood Support Petition was conducted and the allegations that resident electors were not adequately or correctly consulted. I want to assure you that the process was respected, that neighbours were consulted and that good faith efforts were made to ensure that all eligible resident electors were correctly identified and given ample opportunities to submit their petitions and provide feedback.

Before undertaking the Petition, I met with the assigned area planner at the time, Mr. Robert Bateman, to confirm the scope of properties that needed to be petitioned. I presented Mr. Bateman with a map of the neighbourhood and he pointed to the properties that fell within the scope of the petition policy requirements (i.e., properties abutting the subject property and within 10m across the street). He also advised to include the tenants of 335 Moss Street, the subject property, in the petition – which I did – suggesting that they should not be excluded from having a voice simply because they would be most impacted. The subsequent area planner assigned to this application, Mr. Alec Johnston, provided direction in his first review of the plans to remove the tenants and also to include the resident electors of 1 Briar Place, who called City staff after I had submitted the petition and demanded that the scope of the petition be broadened to include them, as their property is accessed via a common strata driveway that abuts my property. I expressed my concerns that 1 Briar Place did not meet the eligibility criteria stated in the petition policy requirements. A common strata driveway is by definition uninhabited and therefore there are no resident electors to petition there. However, Mr. Johnston acquiesced to the demands of the resident electors of 1 Briar Place and requested that I petition them, despite this falling outside of the scope of the petition's eligibility criteria. I did as was requested of me, in the spirit of inclusive consultation.

I mention all of this to demonstrate that I approached the petition process methodically and that I also sought out guidance from the City not only before I undertook the petition, but also during the petition, as a measure to ensure that I followed the process as prescribed, and adapted even when that guidance changed after the fact. Although the policy requirements are explicitly stated and I followed the petition process to the letter, City staff took a broad policy interpretation beyond the scope of the policy to include ineligible resident electors. When I asked for the same broad policy lens to be applied to allow the otherwise disenfranchised tenants of the subject property to be included, City staff took a narrow policy interpretation and excluded them. It is my opinion that this creates an administrative unfairness at the common law.

I would also like to take this opportunity to specifically address the letter submitted by the resident electors residing at 3 Briar Place, as "late, late correspondence." As this property was identified to me by Mr. Bateman as a property within the scope of the petition policy requirements, naturally I sought out these resident electors for consultation. On the first two occasions, I met with the resident electors' teenaged son, with whom I left my contact information (i.e., name, mobile number and email address), a set of the proposed plans and copies of the petition forms. I asked him to please pass along the package and my contact information to his parents and have them contact me if they had any questions or concerns. On three subsequent occasions when I attended the property, no one came to the door. In my meetings with the resident electors at 1311 Fairfield Road, they had mentioned that they were friends with the resident electors at 3 Briar Place: and so I left yet another set of plans and petition with them, in hopes that they may have more luck than me in contacting them and could pass them along when they saw them next. Finally, three days before the end of the petition period, I managed make face-to-face contact with one of the resident electors herself (i.e., Mrs. Day). I went over the proposal with her and urged her to get the petition in before the deadline. She acknowledged receiving copies of the plans and petition from her son, and so I offered to wait if she wanted to fill out the petition while I waited. She wanted to speak with her husband, first, and agreed to submit the petition by the deadline. I followed up once again on the deadline day and found no one home, nor were any petition forms left out for me. As a result of my multiple good faith efforts to engage and consult with these resident electors and their lack of response, I did as the policy requirements state and marked them as Neutral.

In reading the resident electors' letter to the Committee of the Whole, I was shocked and confused to read that they "had never met with the applicant." This is untrue. It is also untrue that, "[n]one of the Briar residents were not (sic) notified of this or subsequent CALUC Meetings." Of course, City staff mailed out CALUC notices to residents within a 100m radius of my property – which includes all of Briar Place – and the proposal is listed on the City's Development Tracker. I also had several conversations with the resident elector for 1 Briar Place, who indicated to me that he was the ringleader for the strata and that he was engaging me on behalf of them all. It is further untrue that, "[o]nly two residents were able to attend on such short notice." Mr. Day omitted to mention that he did indeed attend the CALUC meeting that evening, along with two other Briar Place residents; however, he could not be bothered to stay long enough for me to make my presentation, which was last on the agenda. The resident elector from 1 Briar Place informed me that Mr. & Mrs. Day had a "date night" planned and could not stick around for my presentation. It is unfortunate that the CALUC meeting did not mesh with Mr. & Mrs. Day's social calendar. As Councilor Coleman mentioned, the meeting was "passionate." The two Briar Place residents verbally assailed me moments into my presentation, and I did my best to respond to their barrage. It is a shame that the Acting Chair of CALUC allowed the meeting to get out of control in this manner. The previous presentations that evening were much more orderly, with the applicant allowed to present and attendees asking questions afterwards. There were also neighbours in attendance from Franklin Terrace that were supportive of my application.

Unfortunately, given the nature of Committee of the Whole, I was unable dispute the claims made in the letter nor was even table the petition notes I had made, capturing the dates, times and outcomes of my petitioning efforts. The lateness of the correspondence also meant that I was unable to discuss the letter with the planner before the meeting, nor was I able show her my notes, disputing the veracity of the resident electors' false claims. With the other side of the story unable to come to light at the time, the Committee's resulting unease was understandable and I empathize with having to make a decision based on imperfect information. Perhaps Committee members would have voted to send this application directly to Public Hearing, rather than amending the motion and requiring me to redo a petition that was conducted methodically, in good faith and as per the petition policy requirements.

Notwithstanding these events, I am now preparing to undertake the petition process once again, as per the amended motion. I certainly hope that the version of events that I have presented in this letter will help to demonstrate that I undertook a methodical and good faith approach to administering the Small Lot House Rezoning Neighbourhood Support Petition and at least have assuaged any prejudices or misgivings against me, and that I somehow tried to subvert the process or "pull a fast one" on my neighbours. Humbly, I hope that I have demonstrated that this is not the case.

Thank you for considering my correspondence.

Vitto

Vittorio Cheli

Chelsea Medd

From: Paul Lima [REDACTED]
Sent: August 16, 2017 11:02 AM
To: Victoria Mayor and Council
Cc: Chelsea Medd; [REDACTED]
Subject: Re: Small Lot Subdivision an Rezoning Proposal for 335 Moss Street

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I see this application as a wonderfully opportunity for a family to call Fairfield home.

While I do not live in Fairfield, I am a resident of the City of Victoria and feel compelled to support any project that adds units of housing in a minimally invasive manner. I feel that Victoria needs more sympathetic infill housing like this to add to the scarce supply of housing. To that end, I appreciate that the applicant has found a way to add an additional unit of housing while maintaining the existing four units of much needed rental housing. This application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn.

The addition of a new family home makes perfect sense in this space. The home fits perfectly onto this site, provides important off-street parking and the design is in keeping with the rest of the homes on this street. While a new build on this property is not likely to be affordable, it will give a family an opportunity to live in Fairfield while potentially freeing up another more affordable space elsewhere in town. Victoria needs housing all along the affordability spectrum.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at 335 Moss Street and have also spoken with the applicant. I am sensitive to changes in the neighbourhood and I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four.

I think will be a wonderful addition to our neighbourhood and I fully support this application.

Chelsea Medd

From: Laurens Besier [REDACTED]
Sent: August 16, 2017 10:49 AM
To: Victoria Mayor and Council
Cc: Chelsea Medd; Vittorio Cheli
Subject: Small Lot Subdivision and Rezoning Proposal : 335 Moss Street

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I currently live in Fairfield, within walking distance of the property and I love my neighbourhood! It provides a diversity of housing and services, catering to renters and homeowners alike.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at 335 Moss Street and have also spoken with the applicant. I am sensitive to changes in the neighbourhood and I feel that this application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn. I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four much needed units of rental housing.

The addition of a new family home makes perfect sense in this space. The home fits perfectly onto this site, provides important off-street parking and the design is in keeping with the rest of the homes on this street. While a new build on this property is not likely to be affordable, it will give a family an opportunity to live in Fairfield while potentially freeing up another more affordable space elsewhere in town. Victoria needs housing all along the affordability spectrum.

I think this will be a wonderful addition to our neighbourhood and I fully support this application!

Regards,

Laurens Besier

Chelsea Medd

From: Lee Herrin [REDACTED]
Sent: August 17, 2017 10:04 AM
To: Victoria Mayor and Council
Cc: Chelsea Medd; Vittorio Cheli
Subject: Small Lot Subdivision and Rezoning Proposal for 335 Moss Street

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I live within walking distance of the property and so have seen the sign and studied the proposal.

I am sensitive to changes in the neighbourhood and I feel that this application respects the existing neighbourhood character. The proposed new home fits well on the site, provides off-street parking and the design is in keeping with the rest of the homes on this street. I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four much needed units of rental housing.

Affordability is about more than price. It's also about the total cost of ownership and the costs of living in a particular location. A new home at 335 Moss is walking distance to the Cook Street Village, cycling distance to the services at Fairfield Plaza, and an easy bike ride or bus trip from downtown. While the owner will likely have a car, they may in fact end up using it very little. And for a family with children, the new home is also a block from a school with the Fairfield Gonzales Community Association and all of its services located on the same site.

I think this is an intelligent infill and I am in full support of the proposal.

Sincerely,

Lee Herrin

1145 Collinson Street

Chelsea Medd

From: Sarah Murphy [REDACTED]
Sent: August 18, 2017 11:04 AM
To: Victoria Mayor and Council
Cc: Chelsea Medd; [REDACTED]
Subject: Small Lot Subdivision an Rezoning Proposal for 335 Moss Street

Dear Mayor and Council,

I am writing to support of the small lot rezoning and subdivision application associated with **335 Moss Street**. I rent an apartment in the Fairfield/Rockland area, spend a lot of time walking around this neighbourhood and attending community events. I love how my neighbourhood provides a diversity of housing and services that caters to renters and homeowners alike.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at **335 Moss Street** and have also spoken with the applicant. I feel that this application respects the existing character of the neighbourhood, while adding a much needed unit of housing to what is currently an underused space. I am also relieved that the applicant is not demolishing the existing building on the lot, which is a lovely house that provides four units of rental housing (much needed in Victoria). The addition of a new family home makes perfect sense in this space. The home fits perfectly onto this site, provides important off-street parking and the design is in keeping with the rest of the homes on this street. I think will be a wonderful addition to my neighbourhood and I fully support this application.

Thanks,

Sarah

Chelsea Medd

From: Susan Fowles [REDACTED]
Sent: August 18, 2017 1:34 PM
To: Victoria Mayor and Council
Cc: Chelsea Medd; Vittorio Cheli
Subject: Re: Small Lot Subdivision and Rezoning Proposal for 335 Moss Street

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I see this application as a wonderful opportunity for a family, such as mine, to purchase our first home in an area where I spent most of my childhood (Thurlow Road).

Currently, my husband and I, along with our 2 year old son, live in an overpriced rental in Saanich that is falling apart and will be torn down within the next year. My husband and I both grew up in Victoria and Oak Bay and work in well-paying professional jobs and are struggling to purchase a home due to the shortage in supply, fierce competition and increasing prices.

It is extremely devastating being a professional family that works hard and saves money, to not be able to purchase a home. Add on top of that, having a toddler and constantly living in a state of instability in your living situation because you rent, is very stressful and emotional.

I feel that Victoria needs more sympathetic infill housing like this to add to the scarce supply of housing and to keep young families such as mine from being priced out of the city completely. Having to potentially move a grandson away from his grandparents because we cannot afford to live in the same city, would be heartbreaking.

As my husband works as a project manager in construction management, it is obtainable for us to purchase a lot like 335 Moss Street and implement the plans that the applicant has brought forward. I appreciate that the applicant has found a way to add an additional unit of housing on this lot while maintaining the existing four units of much needed rental housing. This application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn.

The home would fit perfectly onto this site, provide important off-street parking, and the design is in keeping with the rest of the homes on this street. This home would allow me to walk to work instead of drive and park downtown, and also allows my toddler to walk to school once he is of age. Most importantly, a home like this provides stability for my child and my family, knowing we will potentially always be in the same neighbourhood and school catchment.

If for some reason a new build on this property is not affordable for us, it will give another family similar to ours an opportunity to live in Fairfield while potentially freeing up another more affordable space elsewhere in town. Victoria needs housing all along the affordability spectrum.

I think this will be a wonderful addition to the neighbourhood and I fully support this application.

Regards,

Susan Fowles
Saanich, B.C.



From: Jordan Thome [REDACTED]
Sent: August 21, 2017 2:59 PM
To: Victoria Mayor and Council
Cc: Chelsea Medd; Vittorio Cheli
Subject: Support of the proposed lot Subdivision located at 335 Moss st

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I see this application as a wonderfully opportunity for a family to call Fairfield home. I am currently a active Realtor and I have seen first hand what the lack of housing available has done to the market and also the rental market.

While I do not live in Fairfield, I am a resident of the City of Victoria and live only 5 min away which makes me feel compelled to support any project that adds units of housing in a minimally invasive manner. I feel that Victoria needs more sympathetic infill housing like this to add to the scarce supply of housing. To that end, I appreciate that the applicant has found a way to add an additional unit of housing while maintaining the existing four units of much needed rental housing. This application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn.

The addition of a new family home makes perfect sense in this space. The home fits perfectly onto this site, provides important off-street parking and the design is in keeping with the rest of the homes on this street. While a new build on this property is not likely to be affordable, it will give a family an opportunity to live in Fairfield while potentially freeing up another more affordable space elsewhere in town. Victoria needs housing all along the affordability spectrum.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at 335 Moss Street and have also spoken with the applicant. I am sensitive to changes in the neighbourhood and I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four.

I think will be a wonderful addition to our neighbourhood and I fully support this application.

Regards Jordan T.

From: Ally Downs [REDACTED]
Sent: August 19, 2017 10:51 PM
To: Victoria Mayor and Council
Cc: Vittorio Cheli; Chelsea Medd
Subject: Re: Small Lot Subdivision and Rezoning Proposal for 335 Moss Street

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I have lived in Fairfield for the past 6 years, initially as a renter and now as a home owner. I live within walking distance of the property and I love my neighbourhood! I like that it provides a diversity of housing that caters to renters and homeowners alike while keeping the neighbourhood feel.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at 335 Moss Street and have also spoken with the applicant. As it is my intention to live and raise my family in Fairfield I am sensitive to changes in the neighbourhood. I feel that this application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn. I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four much needed units of rental housing.

The addition of a new family home makes perfect sense in this space. The home fits perfectly onto this site, provides important off-street parking and the design is in keeping with the rest of the homes on this street. I also feel this small lot style of house will allow for a more affordable option for a family trying to make beautiful Fairfield their home. Victoria needs housing all along the affordability spectrum.

I think will be a wonderful addition to our neighbourhood and I fully support this application.

Sincerely,

Ally Downs

Lacey Maxwell

From: Pheng Heng [REDACTED]
Sent: August 21, 2017 12:27 PM
To: Victoria Mayor and Council
Cc: Chelsea Medd [REDACTED]
Subject: Small Lot Subdivision and Rezoning Proposal for 335 Moss Street

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I currently live in Fairfield on Moss Street with my family and walk by the property on my daily walk to work. We appreciate that the community has a diversity of housing and services, catering to renters and homeowners alike.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at 335 Moss Street and have also spoken with the applicant. As a homeowner, I feel that this application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn. I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four much needed units of rental housing.

The addition of a new family home would fit perfectly onto this site, provides important off-street parking (as this particular part of Moss Street is very congested with street parking) and the design is in keeping with the rest of the homes on this street. While a new build on this property is not likely to be affordable, it will give a family an opportunity to live in Fairfield while potentially freeing up another more affordable space elsewhere in town. Victoria needs housing all along the affordability spectrum.

I think this would be a wonderful addition to our neighbourhood and I fully support this application.

Yours truly,

Pheng C. Heng
2-1308 Dallas Road
Victoria, BC
V8S 1A1

Chelsea Medd

From: michael Colwill [REDACTED]
Sent: August 22, 2017 8:45 AM
To: Victoria Mayor and Council
Cc: Vittorio Cheli; Chelsea Medd
Subject: 335 Moss Street Letter of Support

Dear Mayor and Council,

I am writing in support of the small lot rezoning and subdivision application associated with 335 Moss Street. I currently live at 1457 Richardson Street, within walking distance of the property and I love my neighbourhood! It provides a diversity of housing and services, catering to renters and homeowners alike.

I have had an opportunity to review the proposal and the drawings for the proposed small lot house at 335 Moss Street and have also spoken with the applicant. I am sensitive to changes in the neighbourhood and I feel that this application respects the existing neighbourhood character while adding a much needed unit of housing to what is currently an underused patch of lawn. I am also relieved that the applicant is not demolishing the existing building on the lot, which provides four much needed units of rental housing.

The addition of a new family home makes perfect sense in this space. The home fits perfectly onto this site, provides important off-street parking and the design is in keeping with the rest of the homes on this street. While a new build on this property is not likely to be affordable, it will give a family an opportunity to live in Fairfield while potentially freeing up another more affordable space elsewhere in town. Victoria needs housing all along the affordability spectrum.

I think will be a wonderful addition to our neighbourhood and I fully support this application.

Sincerely,

Michael Colwill