



Council Report

For the Meeting of May 11, 2017

To: Council **Date:** April 27, 2017
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: **Update Report - Development Permit with Variances Application No. 00025 for 848 and 852-856 Yates Street and 845 and 849 Johnson Street**

RECOMMENDATION

That Council authorize the issuance of Development Permit Application No. 00025 for 848 and 852-856 Yates Street and 845 and 849 Johnson Street in accordance with:

1. Plans date stamped April 27, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 3.67.5(2) - increase the building height from 30m to 59.7m;
 - b. Section 3.67.5(2) - increase the number of storeys from 10 storeys to 21 storeys;
3. Preparation and registration of the following documents, signed and executed by the applicant, to the satisfaction of the Director of Planning and Sustainable Development:
 - a. Section 219 covenant to ensure the security gates on the through block walkway remain open to the public between 7 a.m. and 10 p.m. in the form satisfactory to the City Solicitor;
 - b. Statutory Right-of-Way of a minimum of 1.22m along the western property line to allow for the expansion of the through-block walkway to the satisfaction of the Director of Planning;
 - c. Housing Agreement to ensure that future strata bylaws cannot restrict the age of occupants or prohibit strata owners from renting residential strata units.
4. Receipt of evidence that the application is in compliance with the Ministry of Environment's Environmental Management Act as it pertains to potentially contaminated sites;
5. That Council authorize the Mayor and City Clerk to execute an Encroachment Agreement for a fee of \$750, plus \$25 per m² of exposed shored face during construction in a form satisfactory to the Director of Engineering and Public Works. This is to accommodate shoring for construction of the underground parking structure if the method of construction involves anchor pinning into the public Right-of-Way;
6. Final plans to be generally in accordance with the plans identified above to the satisfaction of the Director of Planning and Sustainable Development;
7. The Development Permit lapsing two years from the date of this resolution unless the permit holder substantially starts construction.

EXECUTIVE SUMMARY

The purpose of this report is to update Council with recent information that has come to light in relation to the Development Permit with Variances Application for the properties located at 848 and 852-856 Yates Street and 845 and 849 Johnson Street, and to provide an updated recommendation for Council's consideration.

The proposal is to construct a mixed-use building comprised of two towers, both at 21 storeys, with ground-floor retail facing Johnson Street and Yates Street and residential above. The variances are related to an increase in the building height and number of storeys.

BACKGROUND

On April 6, 2017 Committee of the Whole (minutes attached), recommended Development Permit application with Variances Application for the properties located at 848 and 852-856 Yates Street and 845 and 849 Johnson Street proceed to an opportunity for public comment. Since this meeting, new information has come to light by the applicant in relation to the intentions for the proposed development.

ISSUES & ANALYSIS

Phasing and Design Implications

In the architectural plans presented at the Committee of the Whole meeting of April 6, 2017, the application was for a development that would be constructed in a single phase with two market condominiums towers. However, the applicant is in active discussions with BC Housing to secure financing which would allow for modification of the Johnson Street tower to be marketed as "affordable condominiums". To facilitate those discussions while allowing the rest of the project to proceed without delay, the applicant now wishes to pursue a two-phased strata plan under the *Strata Property Act*.

In the event that the Johnson Street tower was not constructed in Phase 2, the building would terminate at the two storey podium level. In assessing the design implications, this would result in a streetwall that does not comply with the design guidelines, namely the Downtown Core Area Plan (DCAP). The guidelines require a primary street wall between 15m and 20m high and this would only be achieved with the construction of the Johnson Street tower. In the event that Phase 2 did not proceed, the roof of the podium would be landscaped with an "extensive green roof" as demonstrated on the phased landscape plans. Although a two storey street wall is not a desirable built form condition, active uses at the street level would still be achieved and appropriate landscaping would be incorporated on the podium roof. Under this scenario, no variances to the current R-48 Harris Green District zone, would be triggered, so it would still be compliant with the zoning regulations.

Affordable Housing

Although the applicant has indicated that discussions with BC Housing are ongoing, there is no formal commitment being offered to secure an affordable housing component. The current application, if approved by Council, would permit either two market condominium towers potentially constructed in phases. The Housing Agreement referenced in the recommendation is

intended only to ensure future strata bylaws cannot restrict the age of occupants or prohibit strata owners from renting residential strata units. Should the applicant be successful in securing funding from BC Housing, an amendment to the Development Permit would be required to address exterior changes to the Johnson Street tower, as a result of smaller residential units.

Ministry of Environment

The Ministry of Environment (MOE) has informed City staff that the Development Permit Application is to be suspended until the proponent has applied for and obtained one of the following: a determination that the site is not contaminated, a Voluntary Remediation Agreement, Approval in Principle of a remediation plan or a Certificate of Compliance confirming the satisfactory remediation of the site. Consistent with the normal process, the Development Permit cannot be issued until the MOE requirements have been met and the updated staff recommendation includes wording to reflect this requirement.

CONCLUSIONS

Although the newly presented phasing plans has the potential to result in an overall design that does not meet the intent of the guidelines as it relates to street wall height along Johnson Street, staff are satisfied that the interim solutions for the podium roof and the active uses at street level are supportable.

Respectfully submitted,



Charlotte Wain
Senior Planner – Urban Design
Development Services Division



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: May 3, 2017

List of Attachments

- Letter from applicant to Mayor and Council dated April 27, 2017
- Revised plans, dated April 26 2017

April 27, 2017

Mayor & Council
City of Victoria
City Hall
1 Centennial Square
Victoria, BC V8W 1P6



Dear Mayor & Council,

Re: 848 Yates – Mixed-Use Development including Residential, Retail and Commercial Parking

Situated mid-block between Blanshard and Quadra streets, the mixed-use project currently proposed by Chard Development at 848 Yates is a transformational undertaking that will reshape the 800 block of Yates and Johnson streets. Providing increased housing alternatives, an enhanced streetscape, increased retail vitality, substantial publicly-accessible commercial parking, an improved City tax base and significant job creation, the development is a unique opportunity to facilitate the ongoing urban enhancement of downtown Victoria.

The development is comprised of two residential towers with 113 residential homes on Johnson and 111 residential homes on Yates. At street level, both towers will offer shops and services designed to enhance the streetscapes along Yates and Johnson streets. In addition, the development will include 81 below-grade, publicly-accessible commercial parking stalls and 146 residential parking stalls.

The two residential towers are connected by a two-level podium which incorporates townhomes facing west, grade level secure bicycle parking rooms and other storage and service facilities. A landscaped habitat garden atop the podium and two rooftop terrace amenities at the top of each tower will provide dog runs, children's play areas, garden plots and BBQ areas for use by residents.

The benefits of this significant downtown development are many. Further to the provision of more than 200 homes ideally situated where residents work and play, the development has been designed to increase vitality along both street fronts with grade-level shops and services. In addition, publicly-accessible commercial parking will directly benefit downtown merchants, who will see further benefit from the 300+ residents who will call these towers home. Additional direct benefits include an improved property tax base for the City of Victoria and significant job creation during the design, development and construction of the project.

The Downtown Residents Association (DRA) and Council have asked how the developer will mitigate noise generated by Sugar Nightclub in a manner that considers both the comfort of residents and the ongoing success of this long-standing downtown establishment. This question has been given careful consideration throughout the planning and design of the development.

Mitigating actions will include:

- Double-paned, sealed window units throughout the entire project.
- Individually-controlled hydronic air cooling and heating systems in suites within the tower adjacent Sugar Nightclub.

Secondly, the DRA has asked that the developer include gates on the mid-block walkway to the west to ensure the safety of residents after business hours and to minimize nighttime noise. These gates would be closed in the early evening to early morning.

At Chard Development, we are builders of – and believers in – downtown Victoria. We believe that the development of 848 Yates can only help to facilitate the ongoing success of this community. Council's support and approval is much appreciated.

Sincerely,

Chard Development Ltd.



David Chard
President

CC: Charlotte Wain, Senior Planner

April 27, 2017

Mayor & Council
City of Victoria
City Hall
1 Centennial Square
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Chard Development Ltd.



David Chard
President

CC: Charlotte Wain, Senior Planner

848 YATES STREET: RESIDENTIAL

PROJECT INFORMATION

PROJECT ADDRESS 848 YATES STREET, VICTORIA, B.C.
NEIGHBOURHOOD HARRIS GREEN
DCAP DISTRICT CENTRAL BUSINESS DISTRICT
DEVELOPMENT PERMIT AREA DPA 2 (HC) CORE BUSINESS
LEGAL DESCRIPTION LOTS 374, 375, 380 AND 381 VICTORIA

ZONING R-48

SITE AREA 29,400 ft² (2,731 m²)

TOTAL FLOOR AREA 222,270 ft² (20,650 m²)
214,420 ft² (19,920 m²) RESIDENTIAL
7,850 ft² (729 m²) RETAIL/OFFICE

SITE COVERAGE 26,102 ft² (2,425 m²) / 29,400 ft² (2,731 m²) = 88.8%

OPEN SITE SPACE 3,882 ft² (361 m²) / 29,400 ft² (2,731 m²) = 13.2%

FLOOR SPACE RATIO

R-48
NONE (7.57 THEORETICAL FSR)

PROPOSED
220,270 ft² / 29,400 ft² = 7.56
(20,650 m² / 2,731 m² = 7.56)

FLOOR PLATE SIZE

REQUIRED UNDER DCAP
65.6' (20m)-98.4' (30m); max 10,010 ft² (930 m²)
over 98.4' (30m): max 7,000 ft² (650 m²)

PROPOSED
max 6,210 ft² (577 m²)
max 4,850 ft² (451 m²)

GRADE

65.98' (20.11 m)

HEIGHT

REQUIRED UNDER R-48
98.4' (30 m)
REQUIRED UNDER DCAP
196.8' (60.0m)

PROPOSED
195.67' (59.70m)

NUMBER OF STOREYS

21 STOREYS

BUILDING SETBACKS

REQUIRED UNDER R-48
FRONT YARD: 1.64' (0.5m)

PROPOSED
4.92' (1.5m) Building Face
3.94' (1.2m) Balcony

MINIMUM UNIT FLOOR AREA

530 ft² (49m²)

DRAWING LIST

	24"x36" SHEETS	11"x17" SHEETS
A001 PROJECT DATA	N.T.S.	N.T.S.
A100 CONTEXT PLAN	AS NOTED	AS NOTED
A101 EXISTING SITE PLAN	AS NOTED	AS NOTED
A102 SITE PLAN	AS NOTED	AS NOTED
A201 FLOOR PLAN P3	1/8"=1'-0"	AS NOTED
A202 FLOOR PLAN P2	1/8"=1'-0"	AS NOTED
A203 FLOOR PLAN P1	1/8"=1'-0"	AS NOTED
A204 FLOOR PLAN L1	1/8"=1'-0"	AS NOTED
A205 FLOOR PLAN L2	1/8"=1'-0"	AS NOTED
A206 FLOOR PLAN L3	1/8"=1'-0"	AS NOTED
A207 FLOOR PLAN L4	1/8"=1'-0"	AS NOTED
A208 FLOOR PLAN L6 (BLDG A) L7 (BLDG B)	1/8"=1'-0"	AS NOTED
A209 FLOOR PLAN L10	1/8"=1'-0"	AS NOTED
A210 FLOOR PLAN L14 (BLDG A) L16 (BLDG B)	1/8"=1'-0"	AS NOTED
A211 FLOOR PLAN L18	1/8"=1'-0"	1/16"=1'-0"
A212 ROOF PLAN	1/8"=1'-0"	1/16"=1'-0"
A213 MECH PENTHOUSE PLAN	1/8"=1'-0"	1/16"=1'-0"
A300 BUILDING SECTION	1/16"=1'-0"	1/32"=1'-0"
A400 ELEVATIONS NORTH AND SOUTH (BLDG A)	1/16"=1'-0"	1/32"=1'-0"
A401 ELEVATIONS NORTH AND SOUTH (BLDG B)	1/16"=1'-0"	1/32"=1'-0"
A402 ELEVATIONS EAST	1/16"=1'-0"	1/32"=1'-0"
A403 ELEVATIONS WEST	1/16"=1'-0"	1/32"=1'-0"
A404 ENLARGED ELEVATIONS NORTH AND SOUTH	1/8"=1'-0"	1/16"=1'-0"
A405 ENLARGED ELEVATIONS WEST	1/8"=1'-0"	1/16"=1'-0"
A406 JOHNSON STREETSCAPE	1/32"=1'-0"	1/64"=1'-0"
A407 YATES STREETSCAPE	1/32"=1'-0"	1/64"=1'-0"
A500 SHADOW STUDY EQUINOX	N.T.S.	N.T.S.
A600 DACP VIEWS	N.T.S.	N.T.S.
A601 3D VIEW	N.T.S.	N.T.S.
A602 3D VIEW	N.T.S.	N.T.S.
A603 3D VIEW	N.T.S.	N.T.S.
A604 RENDERING	N.T.S.	N.T.S.
L01 LANDSCAPE PLAN	1/8"=1'-0"	N.T.S.
L02 L3 HABITAT GARDEN & AMENITY ROOF LANDSCAPE	1/8"=1'-0"	N.T.S.
L03 L3 HABITAT GARDEN & AMENITY ROOF PLANTING	1/8"=1'-0"	N.T.S.
L04 SECTIONS	1/8"=1'-0"	N.T.S.
Appendix PHASE 1 ONLY DRAWINGS	AS NOTED	N.T.S.



AREA CALCULATION AND UNIT, PARKING, BIKE AND STORAGE COUNTS

RESIDENTIAL							RESIDENTIAL						
Tower A on Johnson Street							Tower B on Yates Street						
Level	Residential in ft²	Residential in m²	Retail / Office in ft²	Retail / Office in m²	1 bed	2 bed	3 bed	Residential in ft²	Residential in m²	Retail in ft²	Retail in m²	1 bed	2 bed
L1	4,540	422	2,300	214	1			6,740	626	5,550	516		
L2	7,180	667						6,750	627				
L3	6,850	636			5	1		7,040	654			4	2
L4	6,850	636			5	3		7,040	654			4	2
L5	6,850	636			5	3		7,040	654			4	2
L6	6,090	566			6	2		7,040	654			4	2
L7	6,090	566			6	2		6,080	565			4	1
L8	6,090	566			6	2		6,080	565			4	1
L9	6,090	566			6	2		6,080	565			4	1
L10	4,670	434			5	1		4,730	439			4	2
L11	4,670	434			5	1		4,730	439			4	2
L12	4,670	434			5	1		4,730	439			4	2
L13	4,670	434			5	1		4,730	439			4	2
L14	4,260	396			3	2		4,730	439			4	2
L15	4,260	396			3	2		4,730	439			4	2
L16	4,260	396			3	2		4,380	405			4	2
L17	4,260	396			3	2		4,380	405			4	2
L18	4,260	396			3	2		4,380	405			4	2
L19	4,010	373					1	3,600	334				
L20	4,010	373					1	3,600	334				
Roof	620	58						620	58				
TOTAL	105,250	9,778	2,300	214	75	36	2	109,170	10,142	5,550	516	52	3
Total number of units 113							Total number of units 111						
FSR CALCULATION							PARKING						
	in ft²	in m²					Proposed	Provided					
Total Commercial	7,850	729							Class 1	Class 2			
Total Residential	214,420	19,920											
Total GFA	222,270	20,650											
Site Area	29,400	2,731											
Proposed FSR	7.56												
Theoretical FSR	7.57												
BIKE STORAGE							STORAGE LOCKERS						
							Requirement	Proposed					
Commercial							4						
Residential													
Tower A (0.5/unit)	57						1/unit = 6 bike rack						
Tower B (0.67/unit)	74												
Visitors (10%)	15												
Residential	146												
Total	227												
Total							Total						

MCM

Musson
Cattell
Mackay
Partnership

Architects
Designers
Planners

A Partnership
Of Corporations

848 Yates Street
Victoria, BC

Project #
216017

25 April 2017
Planning
27 March 2017
Planning
12 February 2017
Planning
12 October 2016
Planning

Project Data

A001

**Musson
Cattell
Mackey
Partnership**

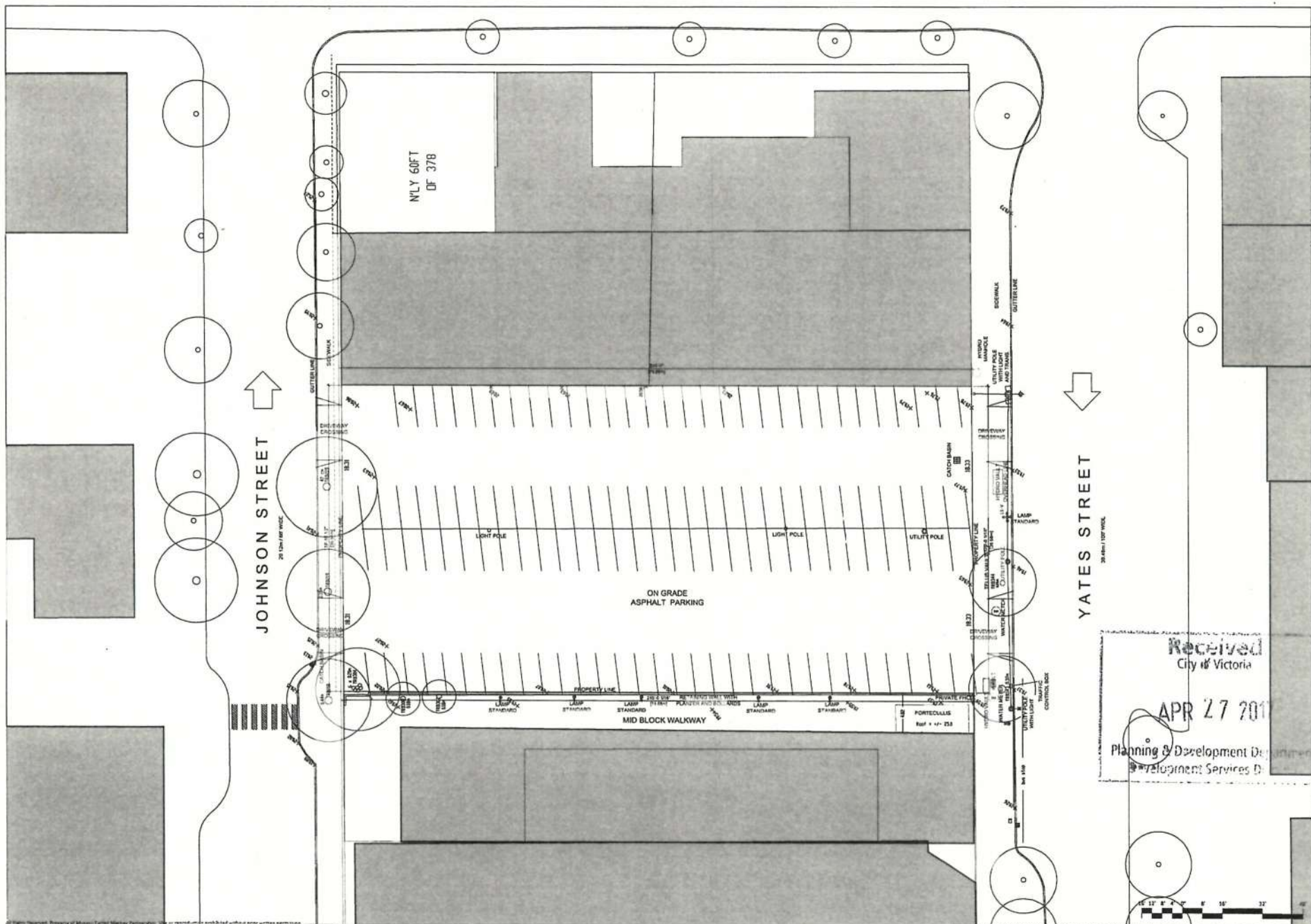
A Partnership Of Corporations

Project #
216017

N.T.S.



Planning & Development Department
Development Services Division



MCM

Musson
Cattell
Mackey
Partnership

Architects
Designers
Planners

A Partnership
Of Corporations

848 Yates Street
Victoria, BC

Project #
216017

26 April 2017
27 March 2017
27 February 2017
26 November 2016
13 October 2016

Existing Site Plan

1/16" = 1'-0"

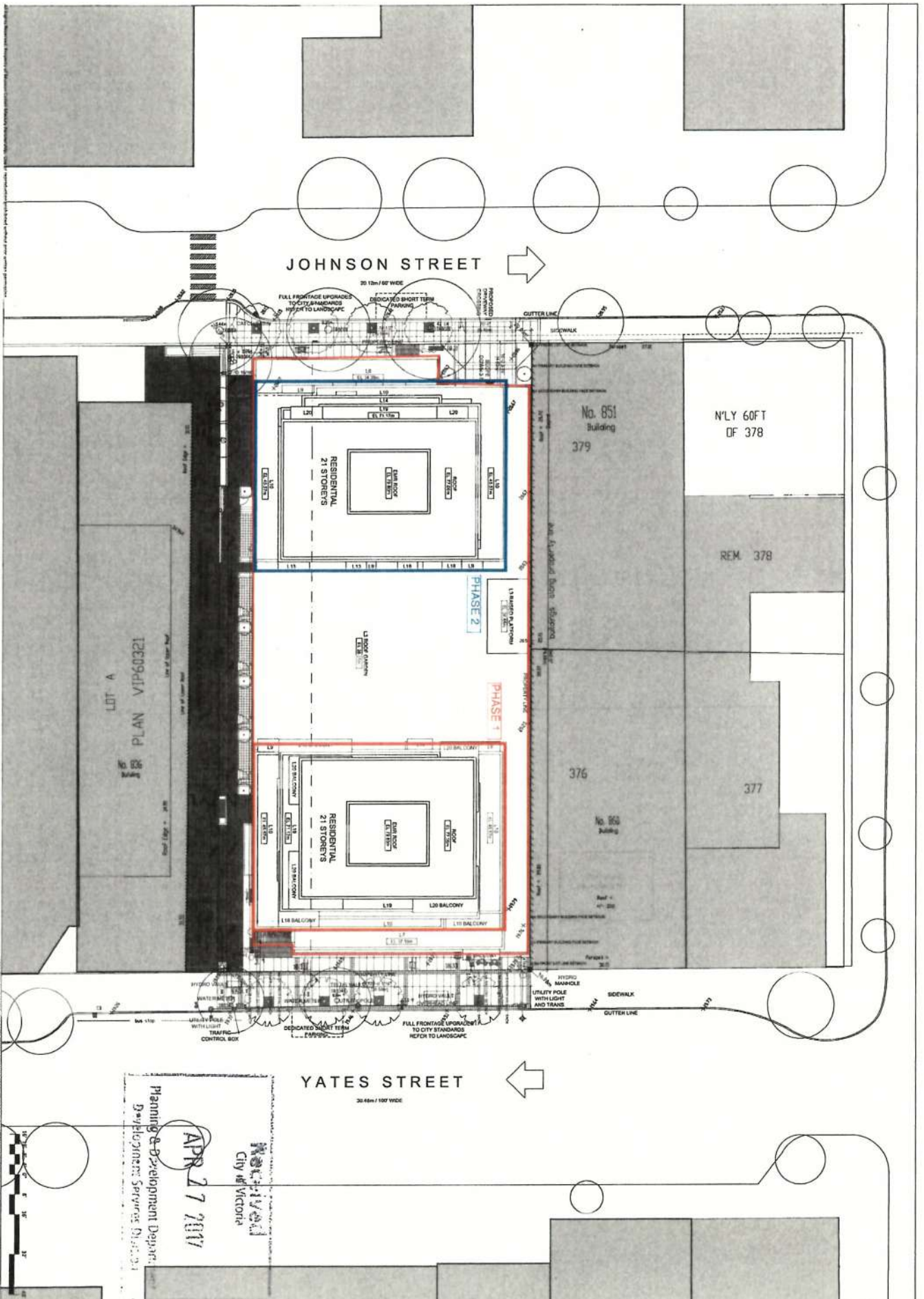


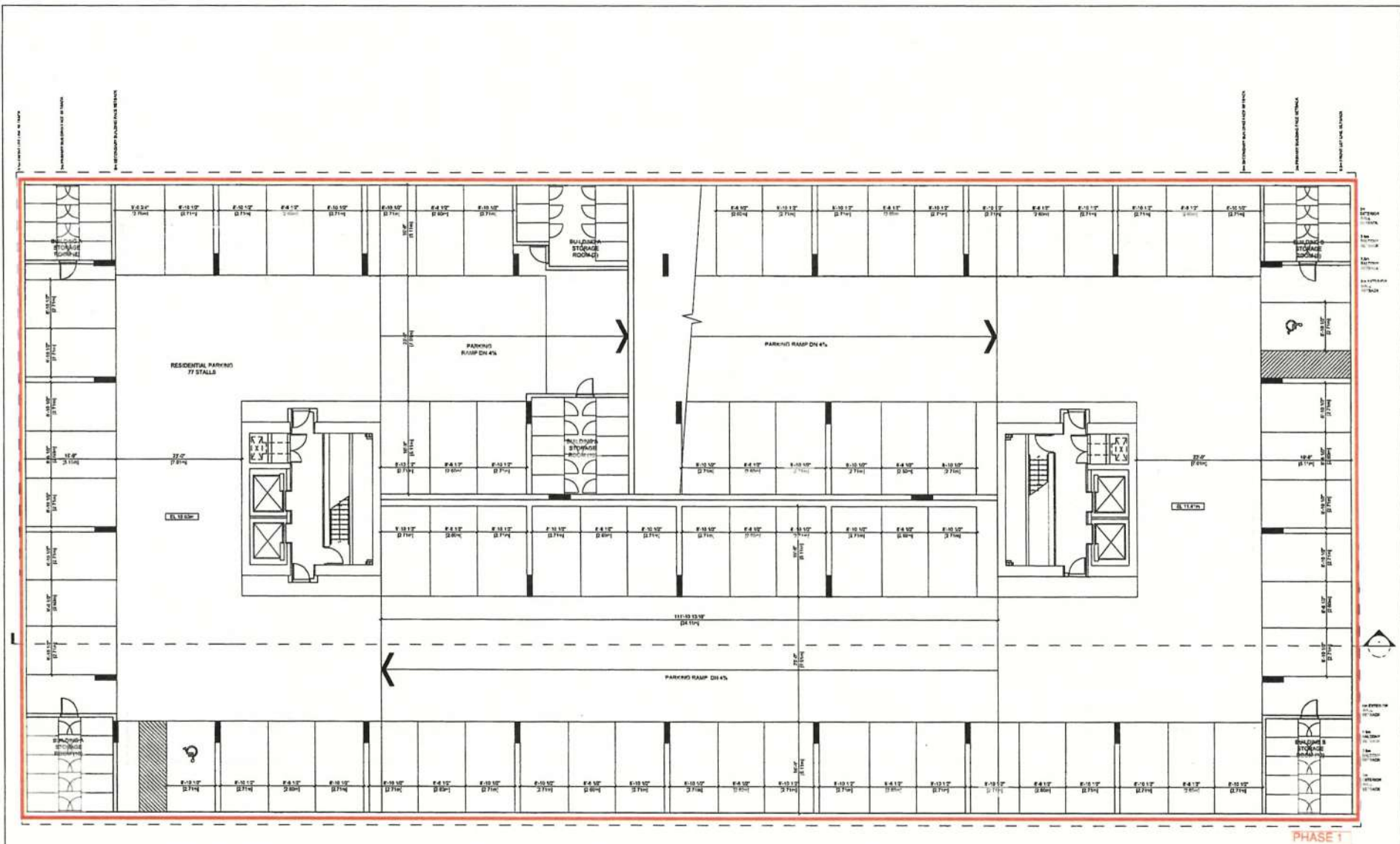
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A Partnership Of Corporations

Project #
216017
$$1/16'' = 1' \cdot 0''$$

A102



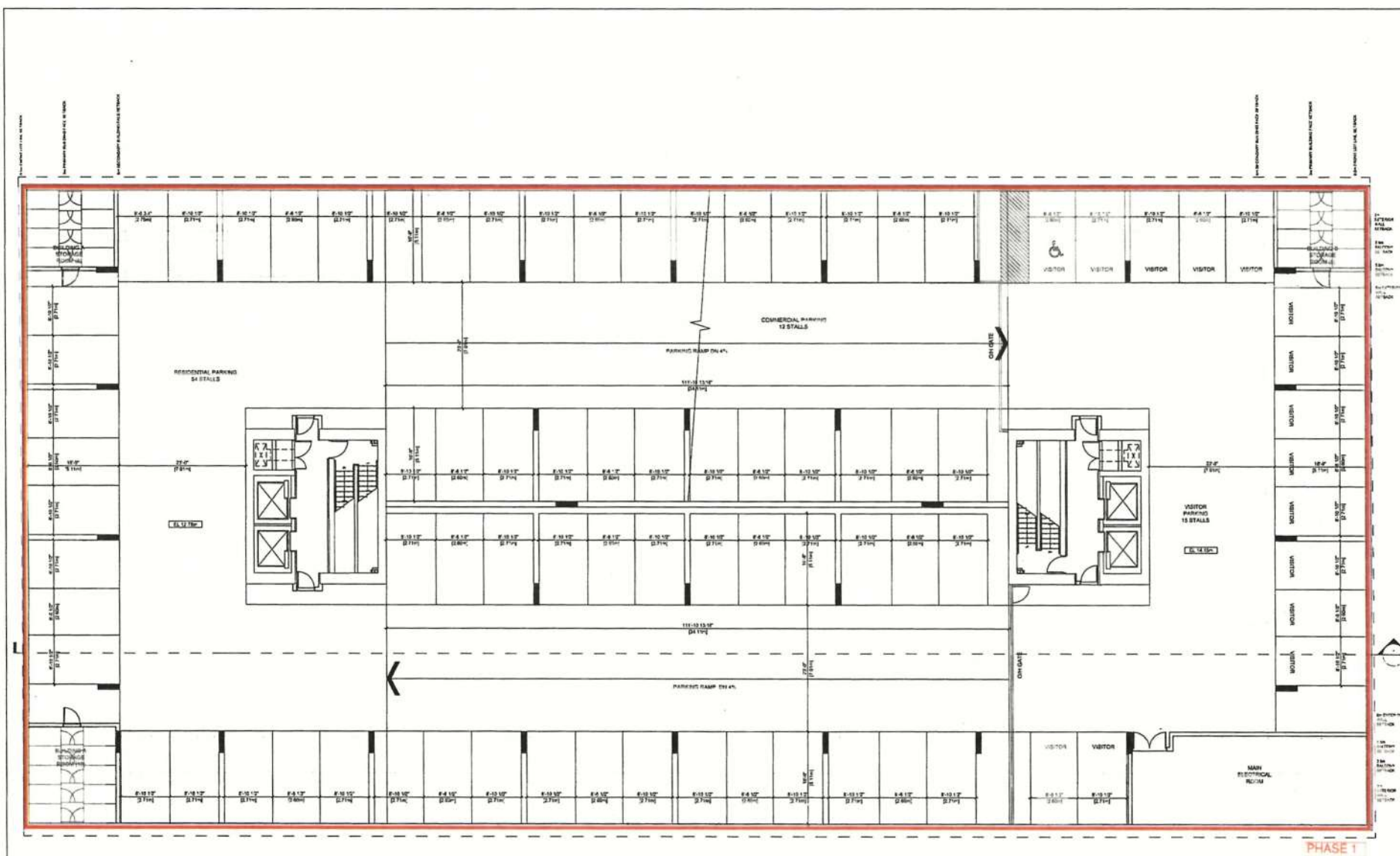
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APR 27 2017

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1" = 12' 0"

1/8" = 1'-0"



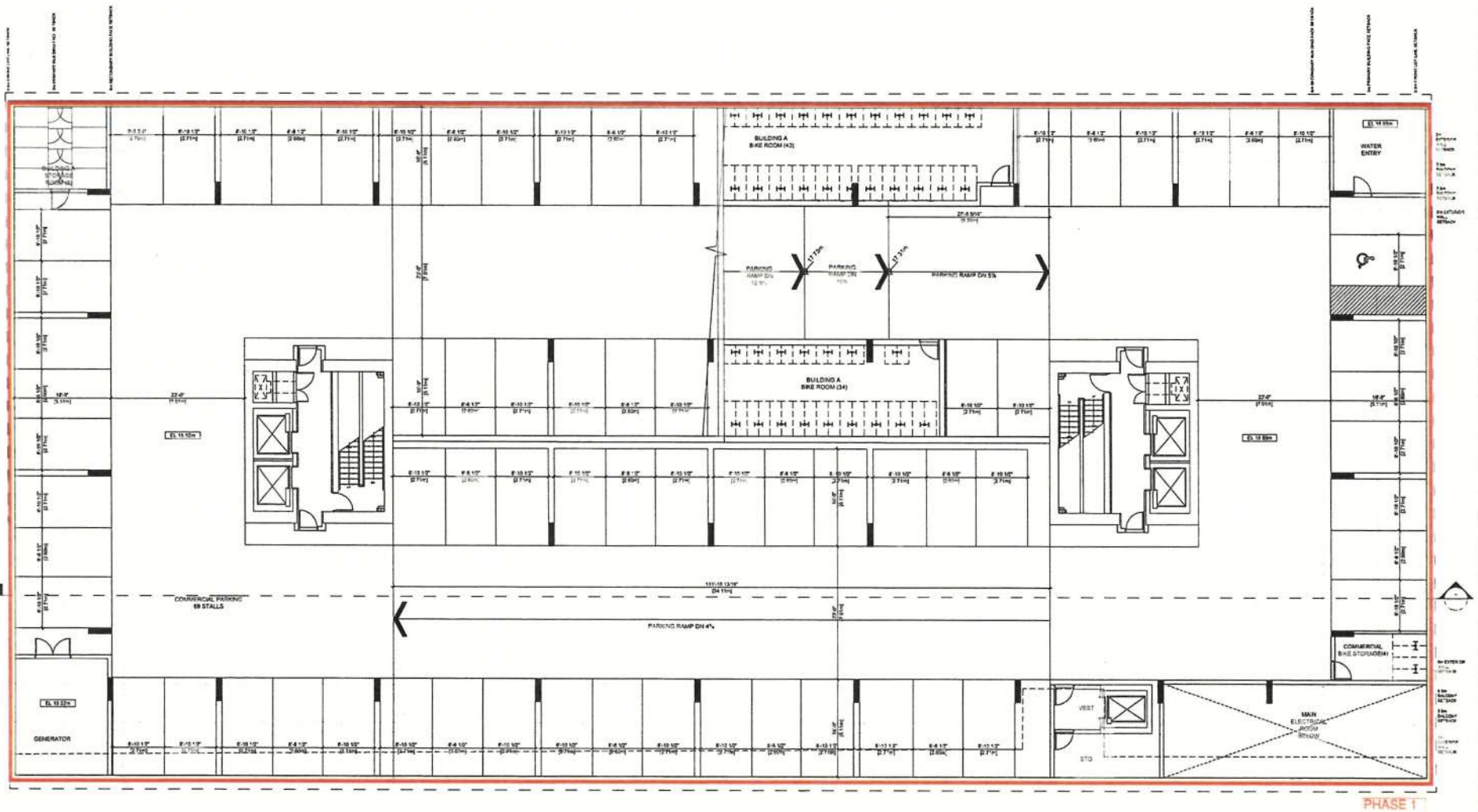
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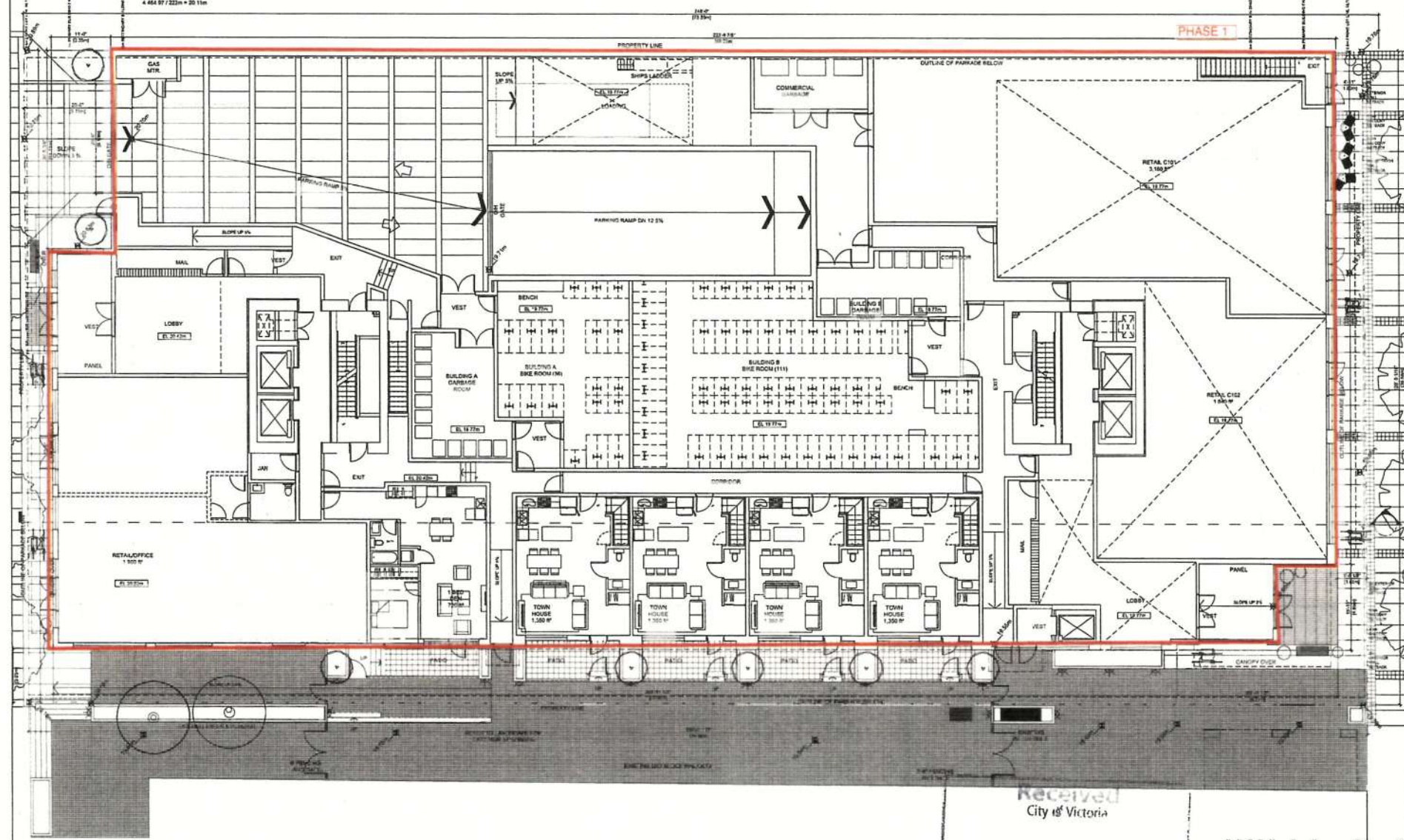
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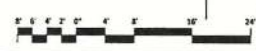
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1/8" = 1'-0"

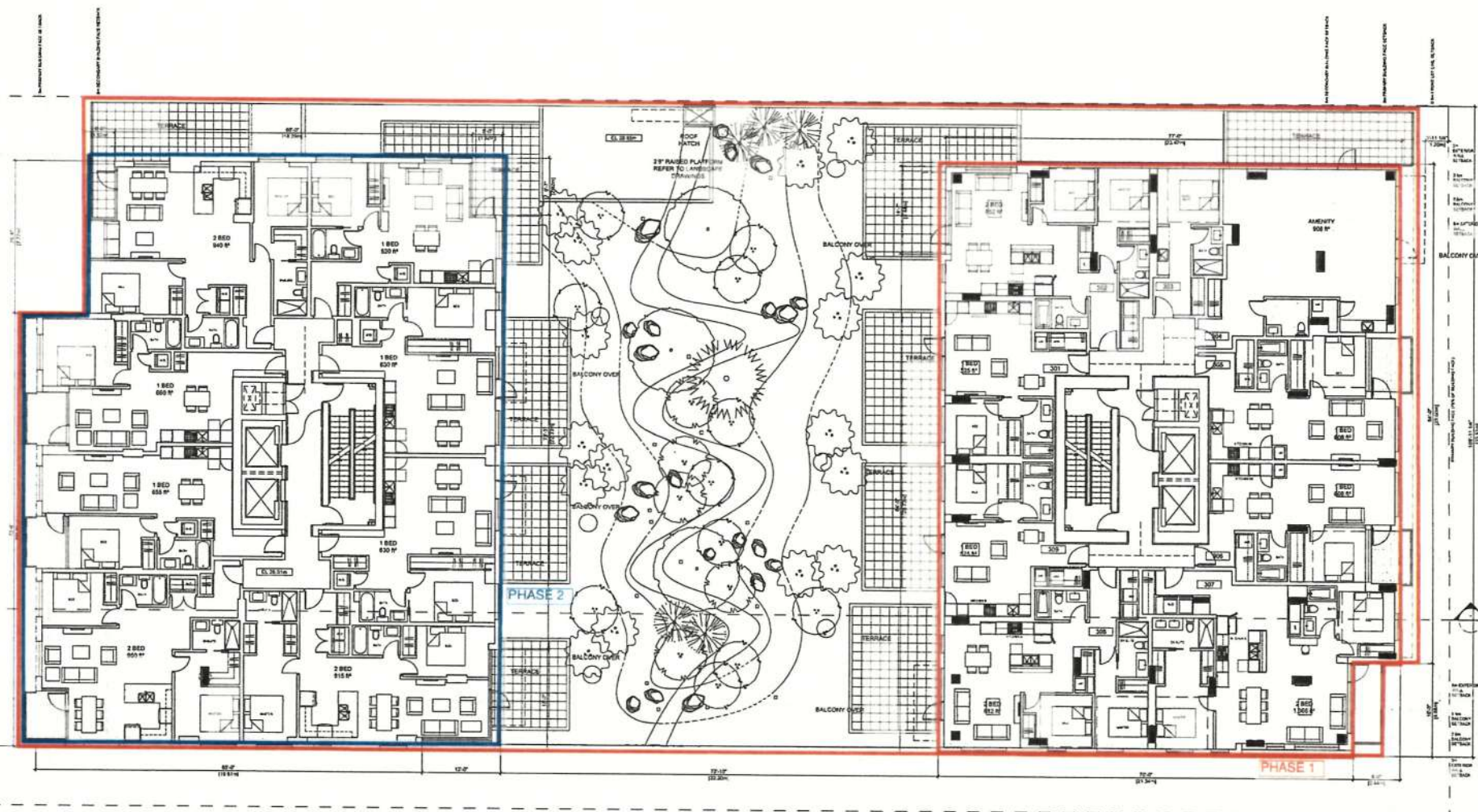
GRADE:
NORTH 320.18m + 20.00m(65') X 35.54m + 750.03
EAST 320.03m + 18.78m(62') X 34.54m + 1,514.14
SOUTH 319.78m + 18.78m(62') X 35.54m + 715.23
WEST 319.03m + 20.18m(66') X 74.45m + 1,481.01
GRADE CALCULATION
4,485.97/223m = 20.13m



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City of Victoria
APR 27 2017
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A - PRIMARY BUILDING FACE (L3)
6,850 ft²

B - PRIMARY BUILDING FACE (L3)
7,040 ft²

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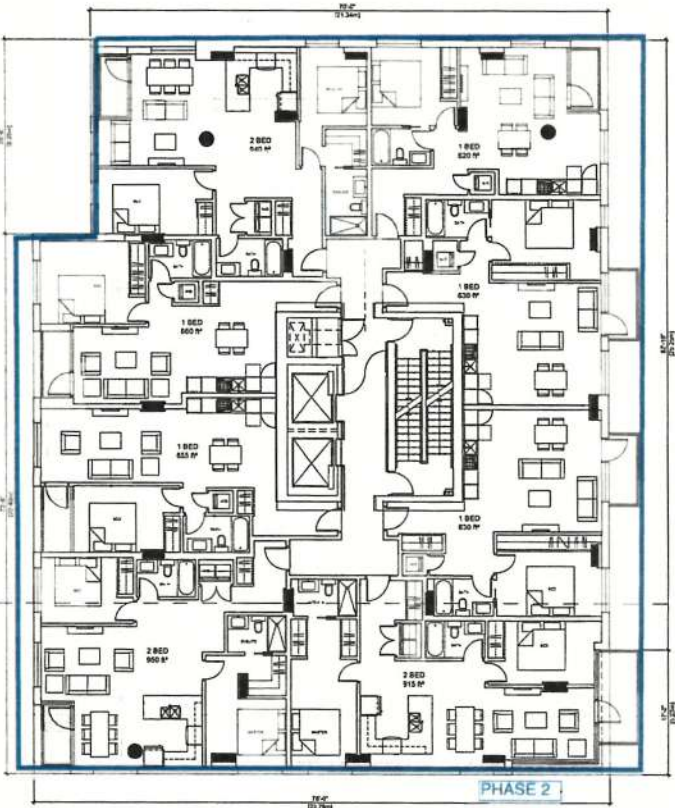
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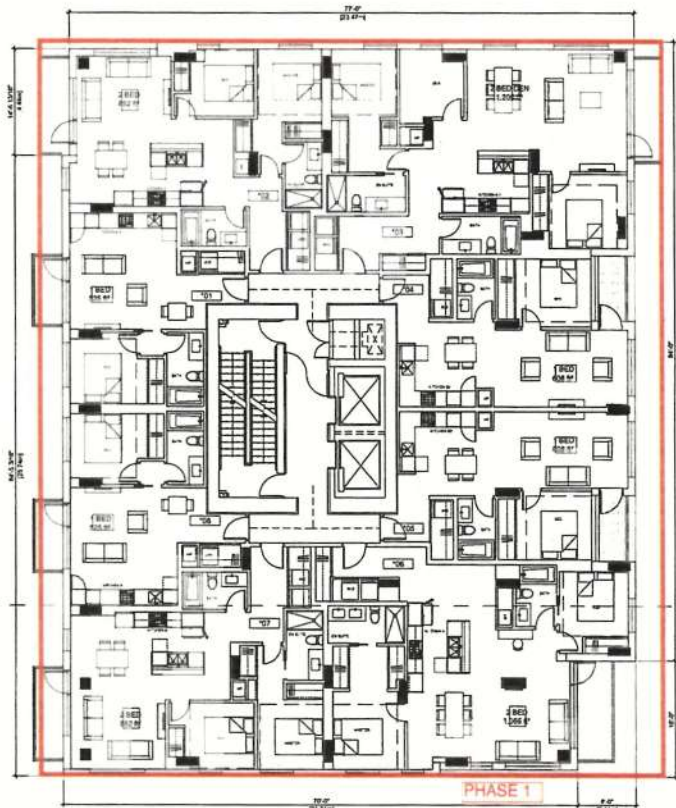


LEVEL 4
LEVEL 5

LEVEL 4
LEVEL 5
LEVEL 6



A - PRIMARY BUILDING FACE (L4-L5)
6,850 R²



B - PRIMARY BUILDING FACE (L4-L6)
7,040 R²

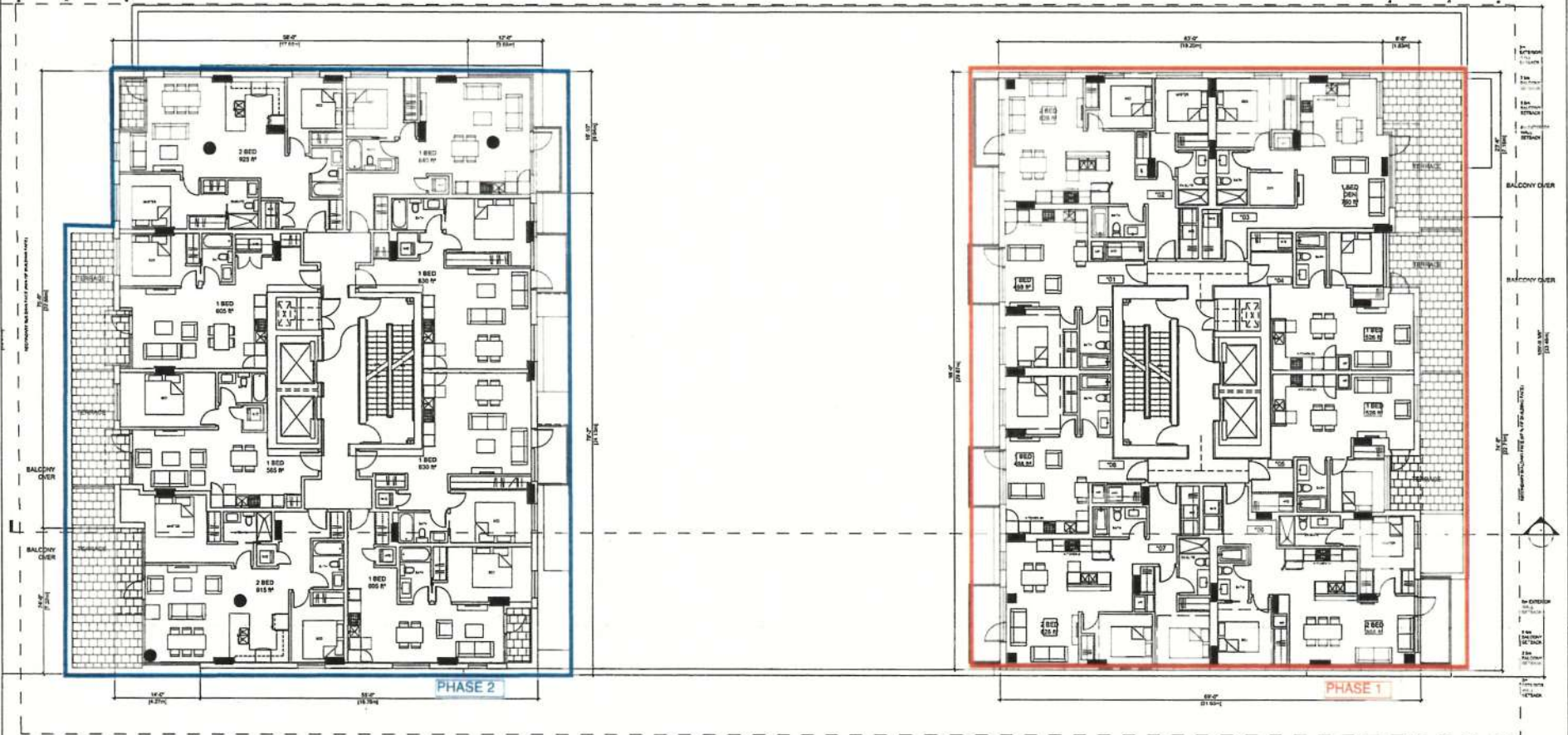
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LEVEL 6 61,34.75m
LEVEL 7 61,37.30m
LEVEL 8 61,39.85m
LEVEL 9 61,42.40m

LEVEL 7 61,37.30m
LEVEL 8 61,39.85m
LEVEL 9 61,42.40m



A - SECONDARY BUILDING FACE (L6-L9)
6,090 ft²

B - SECONDARY BUILDING FACE (L7-L9)
6,080 ft²

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APR 7 7 2017

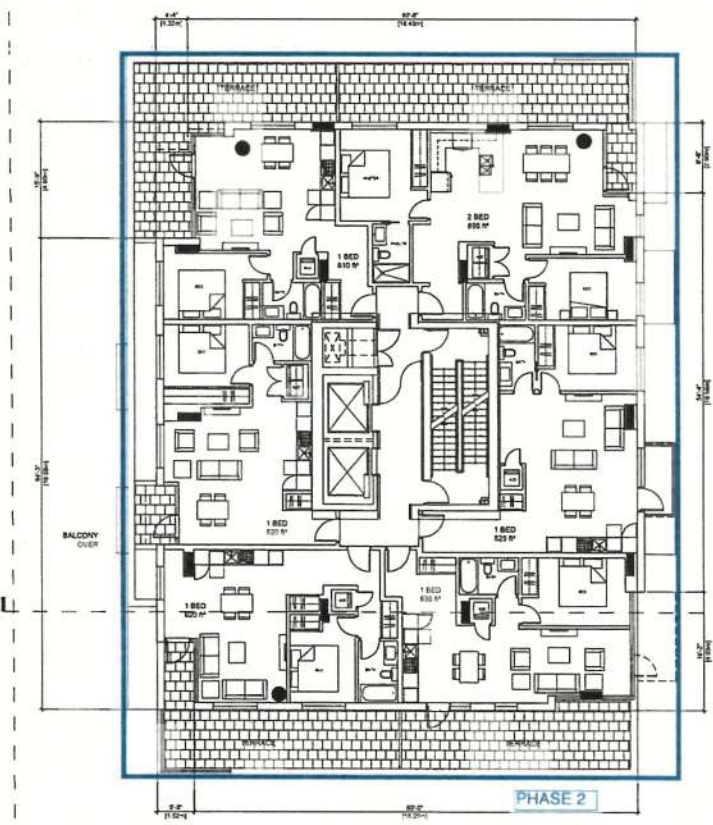
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LEVEL 10 [BL 46.370']
LEVEL 11 [BL 47.160']
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LEVEL 13 [BL 47.350']

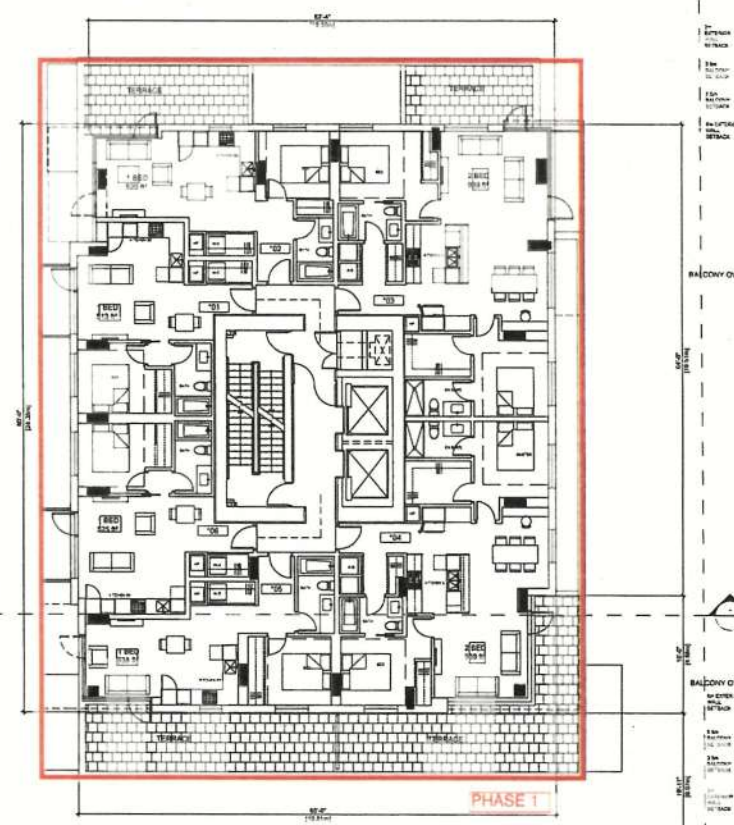
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LEVEL 11 [BL 46.350']
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LEVEL 14 [BL 46.350']
LEVEL 15 [BL 46.350']



A - BUILDING MASS (L10-L13)
4,670 ft²

BALCONY OVER

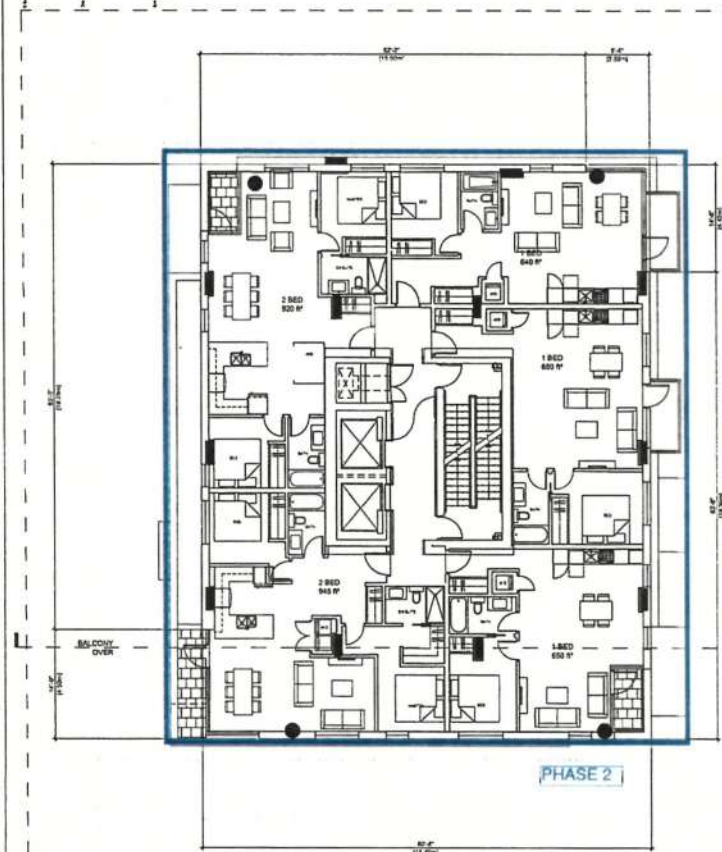
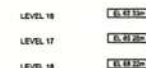
BALCONY OVER



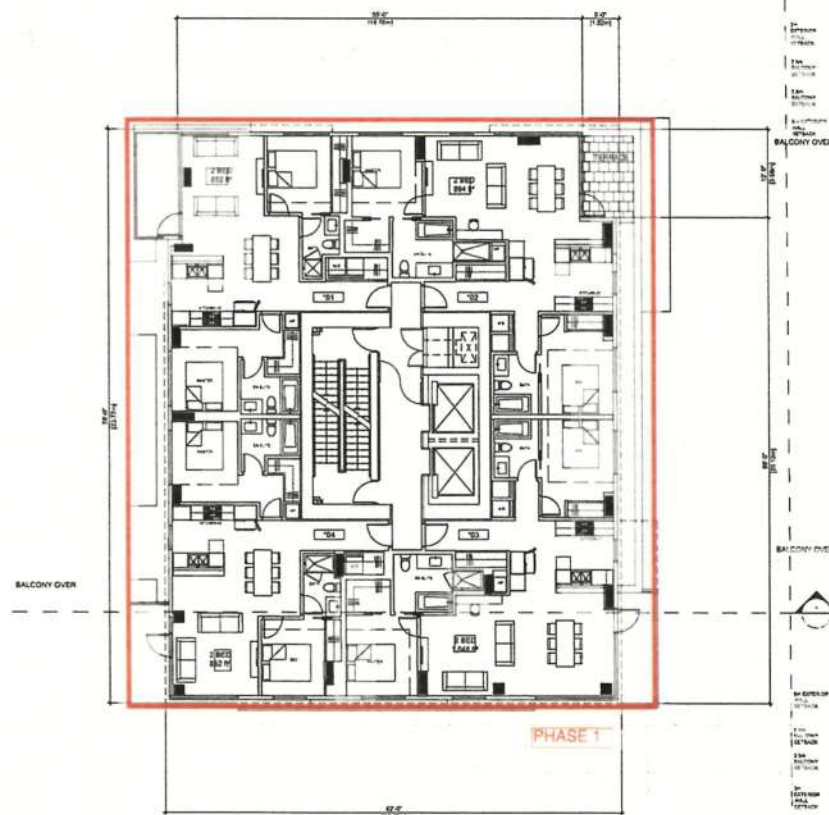
B - BUILDING MASS (L10-L15)
4,730 ft²

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A - BUILDING MASS (L14-L18)
4,260 ft²



B - BUILDING MASS (L16-L18)
4,360 ft²

Received
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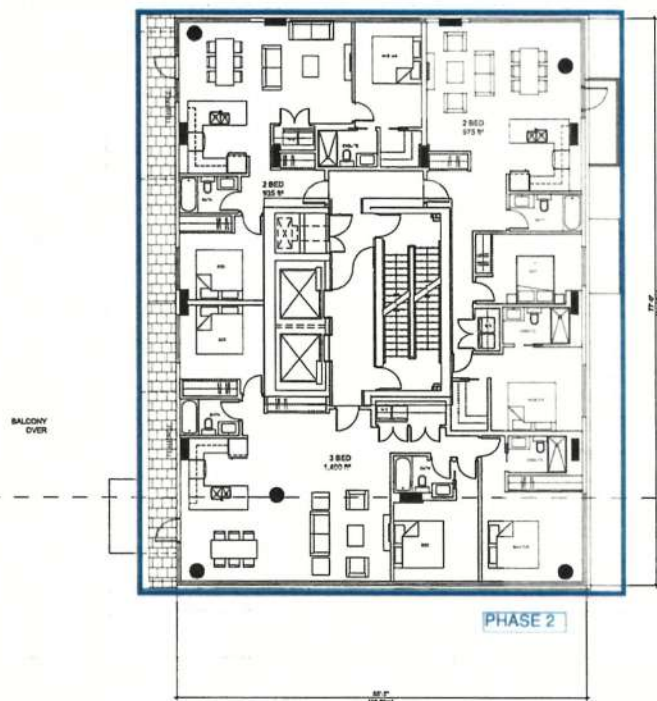
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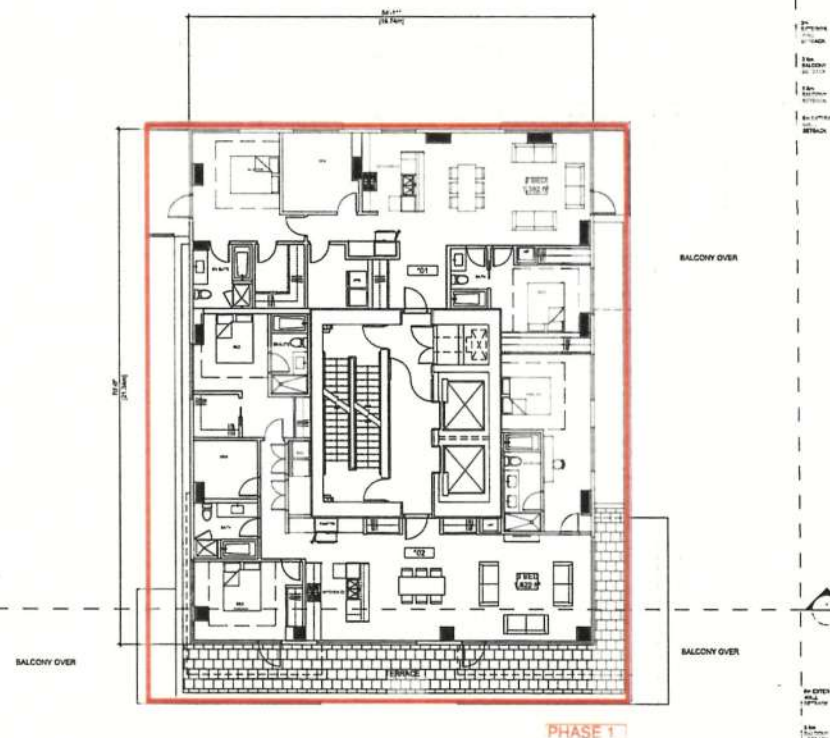


LEVEL 19	EL 76.11m
LEVEL 20	EL. 74.52m

LEVEL 10	EL. 74.57m
LEVEL 20	EL. 74.12m



A - PENTHOUSE (L19-L20)
4,010 ft²



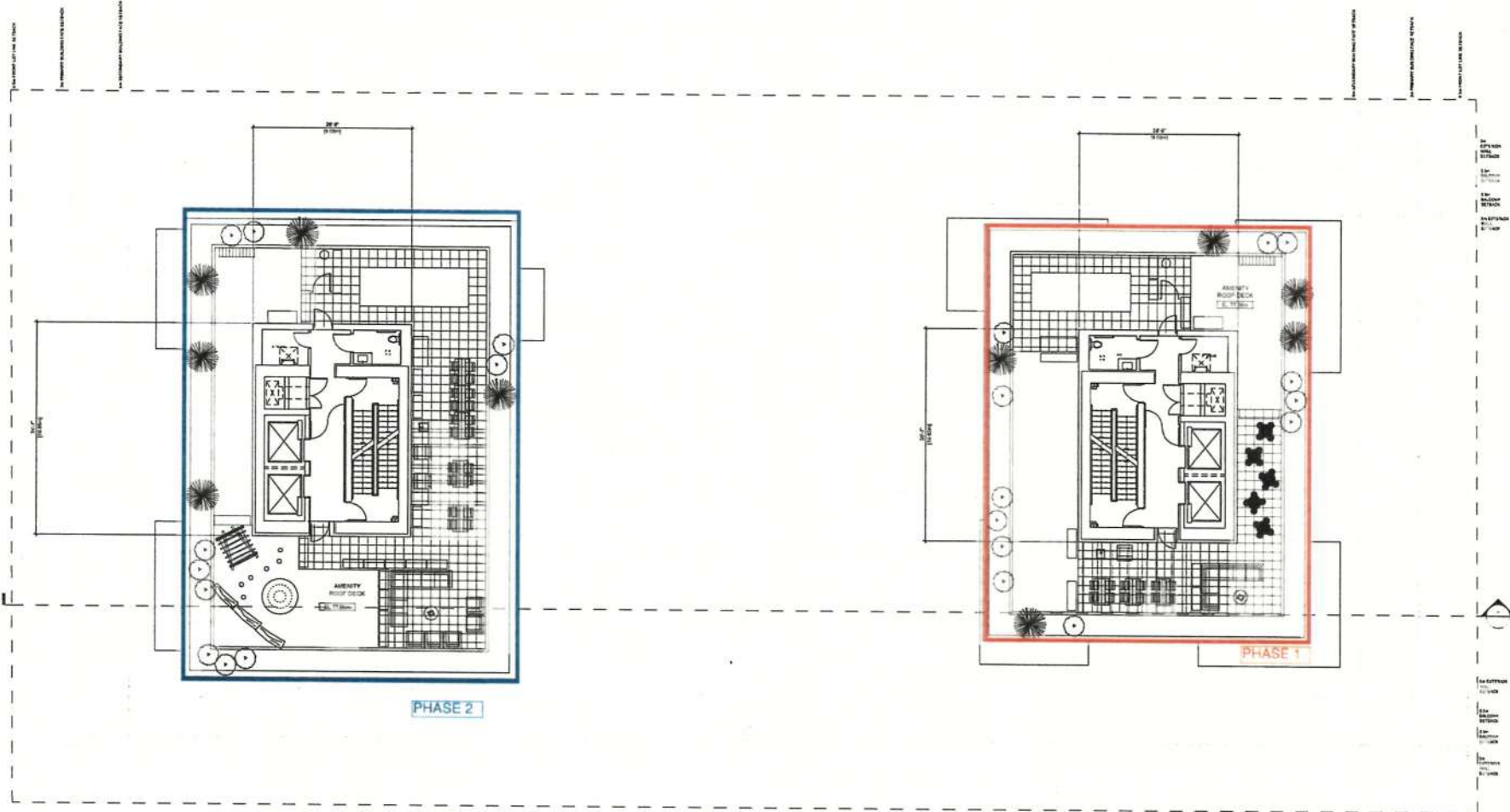
B - PENTHOUSE (L19 - L20)
3,600 ft²

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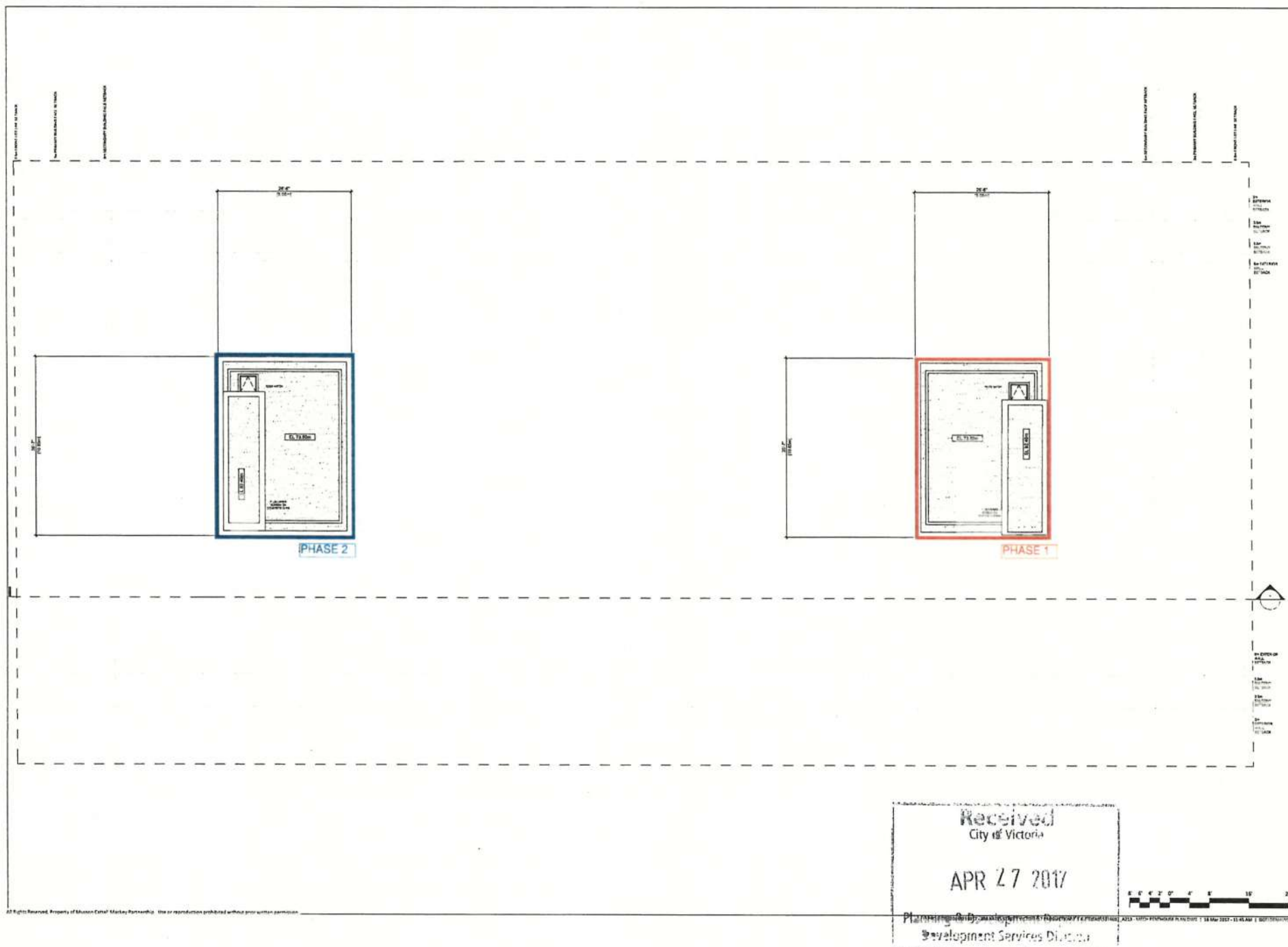


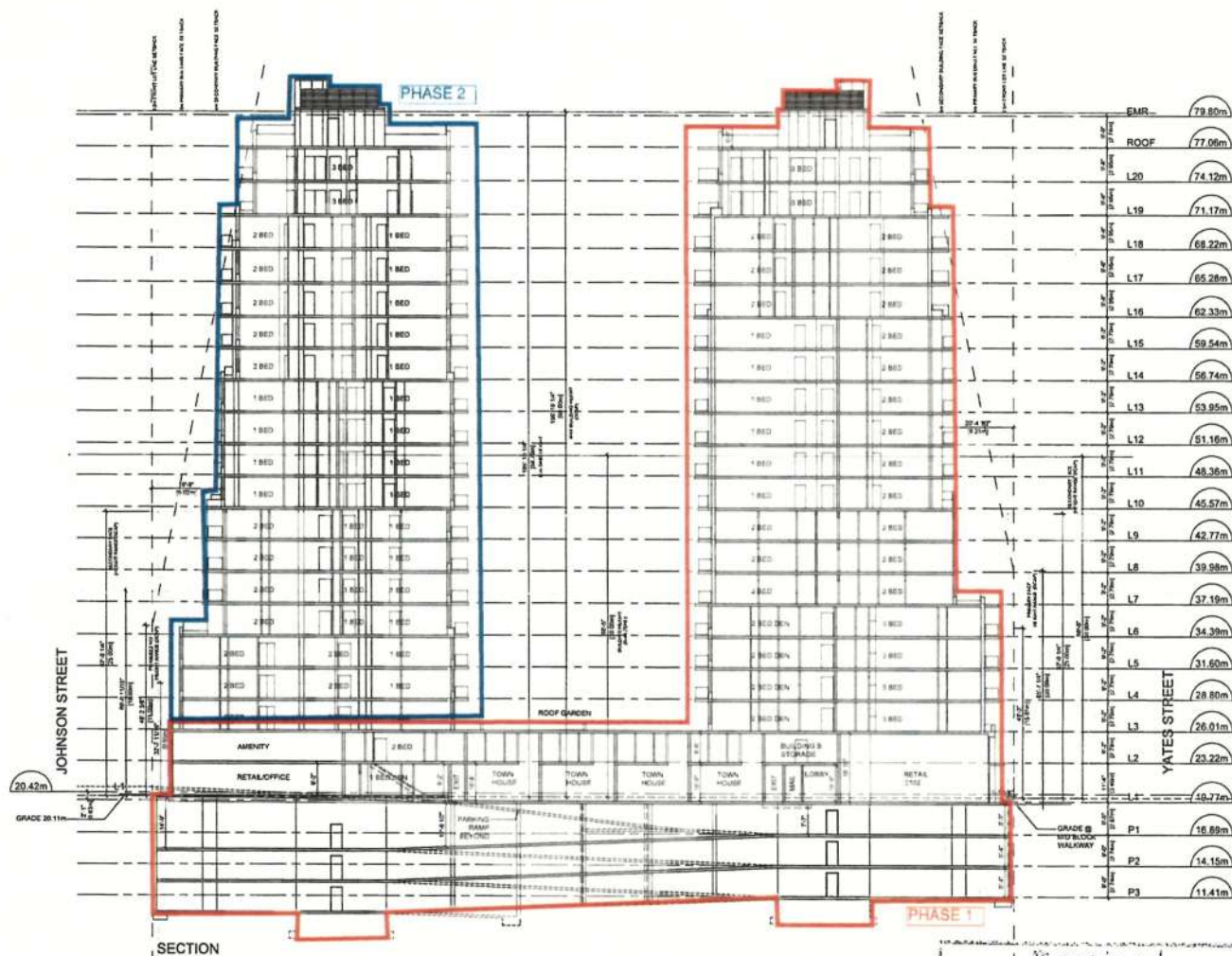
A - ROOF
620 ft²

B - ROOF
620 ft²

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MATERIAL LEGEND - BUILDING A

1. CLEAR DOUBLE GLAZING IN DARK GREY ALUM FRAME
2. GLASS SPANDREL IN DARK GREY ALUM FRAME
3. ANODIZED ALUM EXTENDED MULLION CAP
4. CHARCOAL BRICK CLADDING
5. GREY BRICK CLADDING
6. GREY COMPOSITE METAL PANEL
7. DARK GREY DECK COATING @ SLAB EDGE
8. GREY DECK COATING @ BALCONY SOFFIT
9. CLEAR GLASS GUARDRAIL IN DARK GREY ALUM FRAME
10. DARK GREY STEEL AND FROSTED GLASS CANOPY
11. GREY ALUM LOUVERS



1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



1,2,3. DARK GREY ALUM FRAME



6. GREY COMPOSITE METAL PANEL



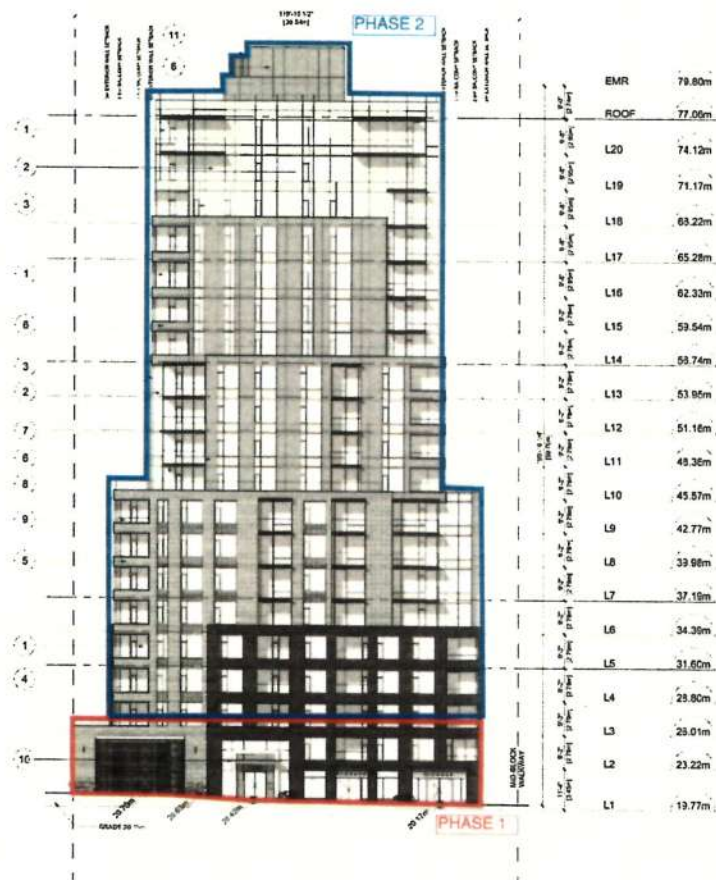
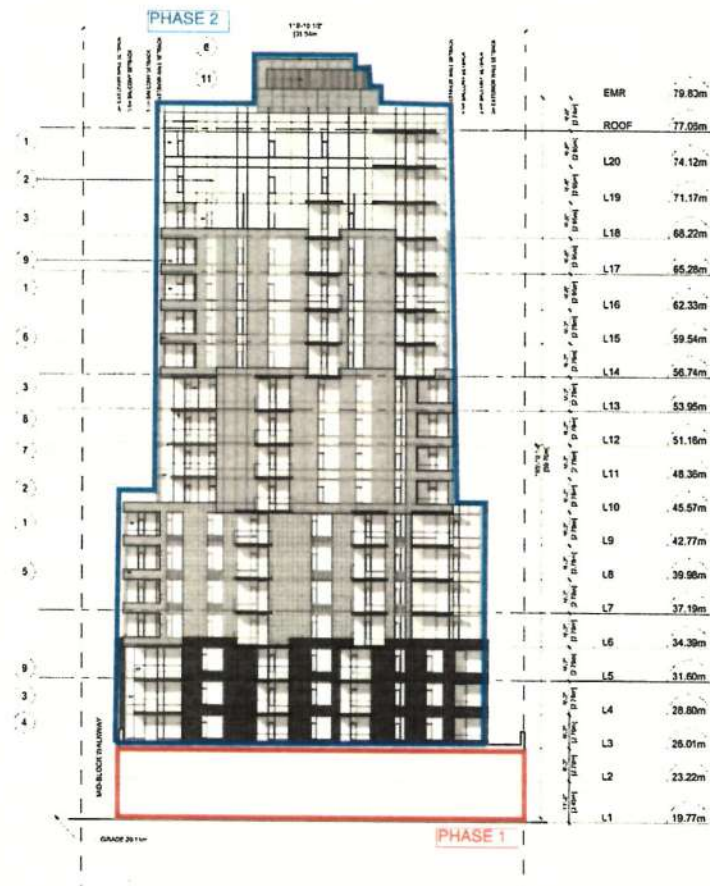
7. DARK GREY DECK COATING @ SLAB EDGE



5. GREY BRICK CLADDING



4. CHARCOAL BRICK CLADDING

BUILDING A
NORTH ELEVATIONBUILDING A
SOUTH ELEVATIONReceived
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MATERIAL LEGEND - BUILDING B

1. CLEAR DOUBLE GLAZING IN ANODIZED ALUM FRAME
2. GLASS SPANDREL IN ANODIZED ALUM FRAME
3. ANODIZED ALUM EXTENDED MILLION CAP
4. GREY BRICK CLADDING
5. WHITE BRICK CLADDING
6. WHITE COMPOSITE METAL PANEL
7. WHITE DECK COATING @ SLAB EDGE
8. WHITE DECK COATING @ BALCONY SOFFIT
9. CLEAR GLASS GUARDRAIL IN ANODIZED ALUM FRAME
10. SILVER COLOR STEEL AND FROSTED GLASS CANOPY
11. ANODIZED ALUM LOUVERS
12. STONE CLADDING



1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



1,2,3. WHITE ALUM FRAME



6. WHITE COMPOSITE METAL PANEL



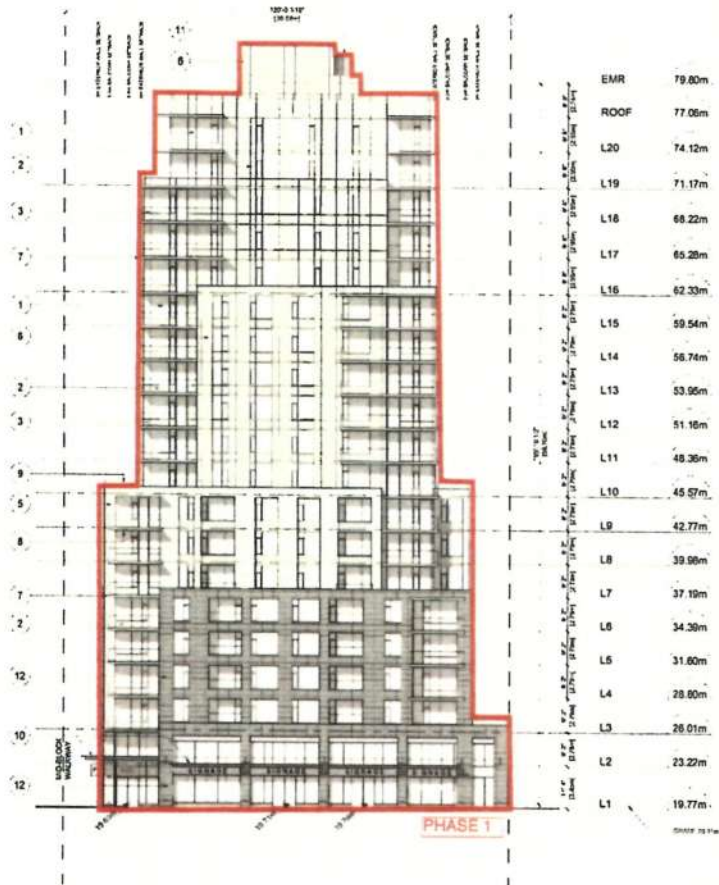
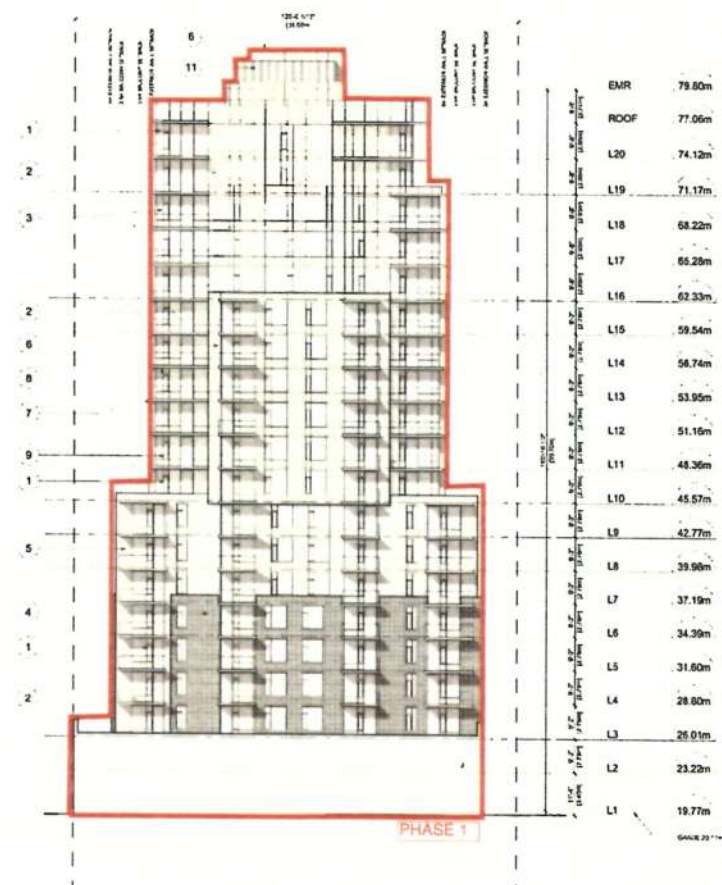
7. WHITE DECK COATING @ SLAB EDGE



5. WHITE BRICK CLADDING



4. GREY BRICK CLADDING

BUILDING B
SOUTH ELEVATIONBUILDING B
NORTH ELEVATIONReceived
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1" = 16' 0"

MATERIAL LEGEND - BUILDING A

1. CLEAR DOUBLE GLAZING IN DARK GREY ALUM FRAME
2. GLASS SPANDREL IN DARK GREY ALUM FRAME
3. ANODIZED ALUM EXTENDED MULLION CAP
4. CHARCOAL BRICK CLADDING
5. GREY BRICK CLADDING
6. GREY COMPOSITE METAL PANEL
7. DARK GREY DECK COATING @ SLAB EDGE
8. GREY DECK COATING @ BALCONY SOFFIT
9. CLEAR GLASS GUARDRAIL IN DARK GREY ALUM FRAME
10. DARK GREY STEEL AND FROSTED GLASS CANOPY
11. GREY ALUM LOUVERS



1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



1,2,3. DARK GREY ALUM FRAME



6. GREY COMPOSITE METAL PANEL



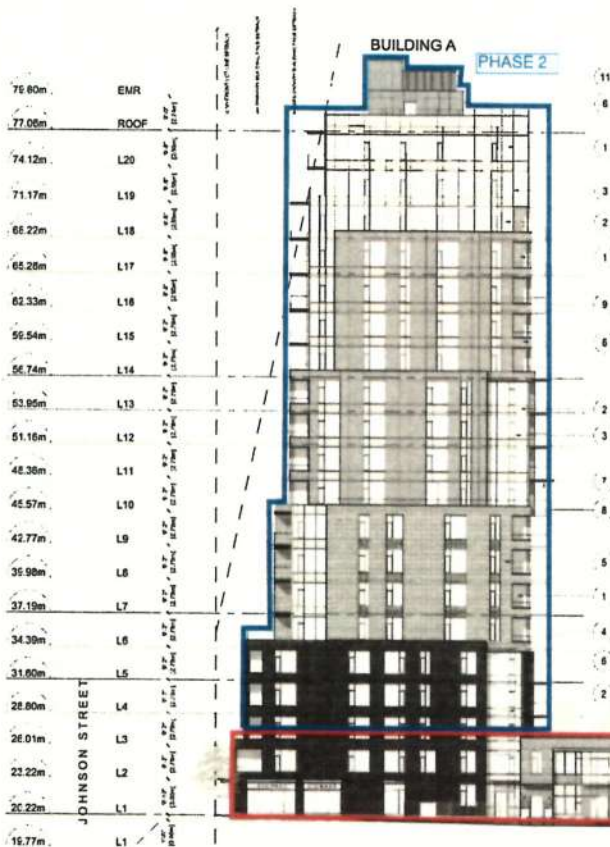
7. DARK GREY DECK COATING @ SLAB EDGE



5. GREY BRICK CLADDING



4. CHARCOAL BRICK CLADDING



WEST ELEVATION

MATERIAL LEGEND - BUILDING B

1. CLEAR DOUBLE GLAZING IN ANODIZED ALUM FRAME
2. GLASS SPANDREL IN ANODIZED ALUM FRAME
3. ANODIZED ALUM EXTENDED MULLION CAP
4. GREY BRICK CLADDING
5. WHITE BRICK CLADDING
6. WHITE COMPOSITE METAL PANEL
7. WHITE DECK COATING @ SLAB EDGE
8. WHITE DECK COATING @ BALCONY SOFFIT
9. CLEAR GLASS GUARDRAIL IN ANODIZED ALUM FRAME
10. SILVER COLOR STEEL AND FROSTED GLASS CANOPY
11. ANODIZED ALUM LOUVERS
12. STONE CLADDING



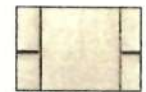
1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



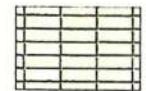
1,2,3. WHITE ALUM FRAME



6. WHITE COMPOSITE METAL PANEL



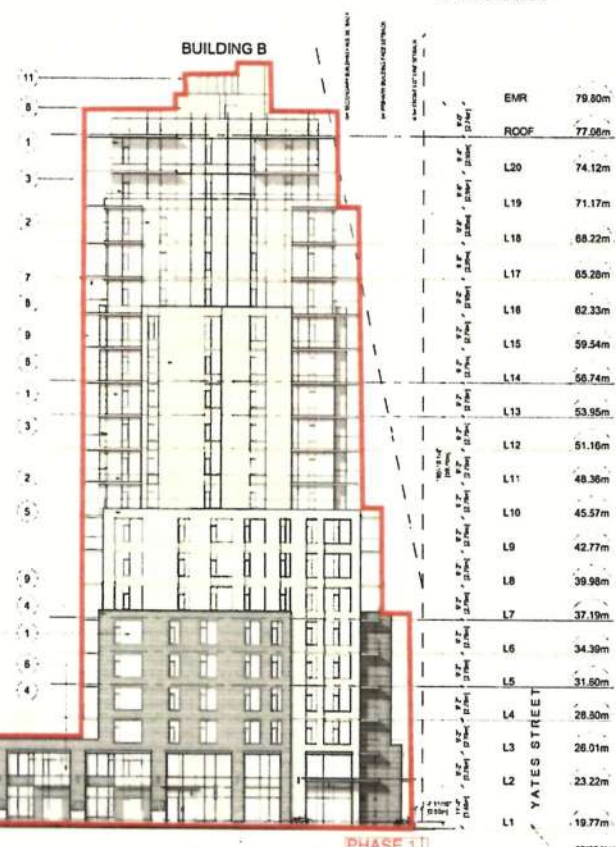
7. WHITE DECK COATING @ SLAB EDGE



5. WHITE BRICK CLADDING



4. GREY BRICK CLADDING



PHASE 1

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MATERIAL LEGEND - BUILDING B

1. CLEAR DOUBLE GLAZING IN ANODIZED ALUM FRAME
2. GLASS SPANDREL IN ANODIZED ALUM FRAME
3. ANODIZED ALUM EXTENDED MULLION CAP
4. GREY BRICK CLADDING
5. WHITE BRICK CLADDING
6. WHITE COMPOSITE METAL PANEL
7. WHITE DECK COATING @ SLAB EDGE
8. WHITE DECK COATING @ BALCONY SOFFIT
9. CLEAR GLASS GUARDRAIL IN ANODIZED ALUM FRAME
10. SILVER COLOR STEEL AND FROSTED GLASS CANOPY
11. ANODIZED ALUM LOUVERS
12. STONE CLADDING

MATERIAL LEGEND - BUILDING A

1. CLEAR DOUBLE GLAZING IN DARK GREY ALUM FRAME
2. GLASS SPANDREL IN DARK GREY ALUM FRAME
3. ANODIZED ALUM EXTENDED MULLION CAP
4. CHARCOAL BRICK CLADDING
5. GREY BRICK CLADDING
6. GREY COMPOSITE METAL PANEL
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11. GREY ALUM LOUVERS



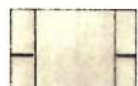
1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



1.2.9. WHITE ALUM FRAME



6. WHITE COMPOSITE METAL PANEL



7. WHITE DECK COATING @ SLAB EDGE



5. WHITE BRICK CLADDING



4. GREY BRICK CLADDING



1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



1.2.9. DARK GREY ALUM FRAME



6. GREY COMPOSITE METAL PANEL



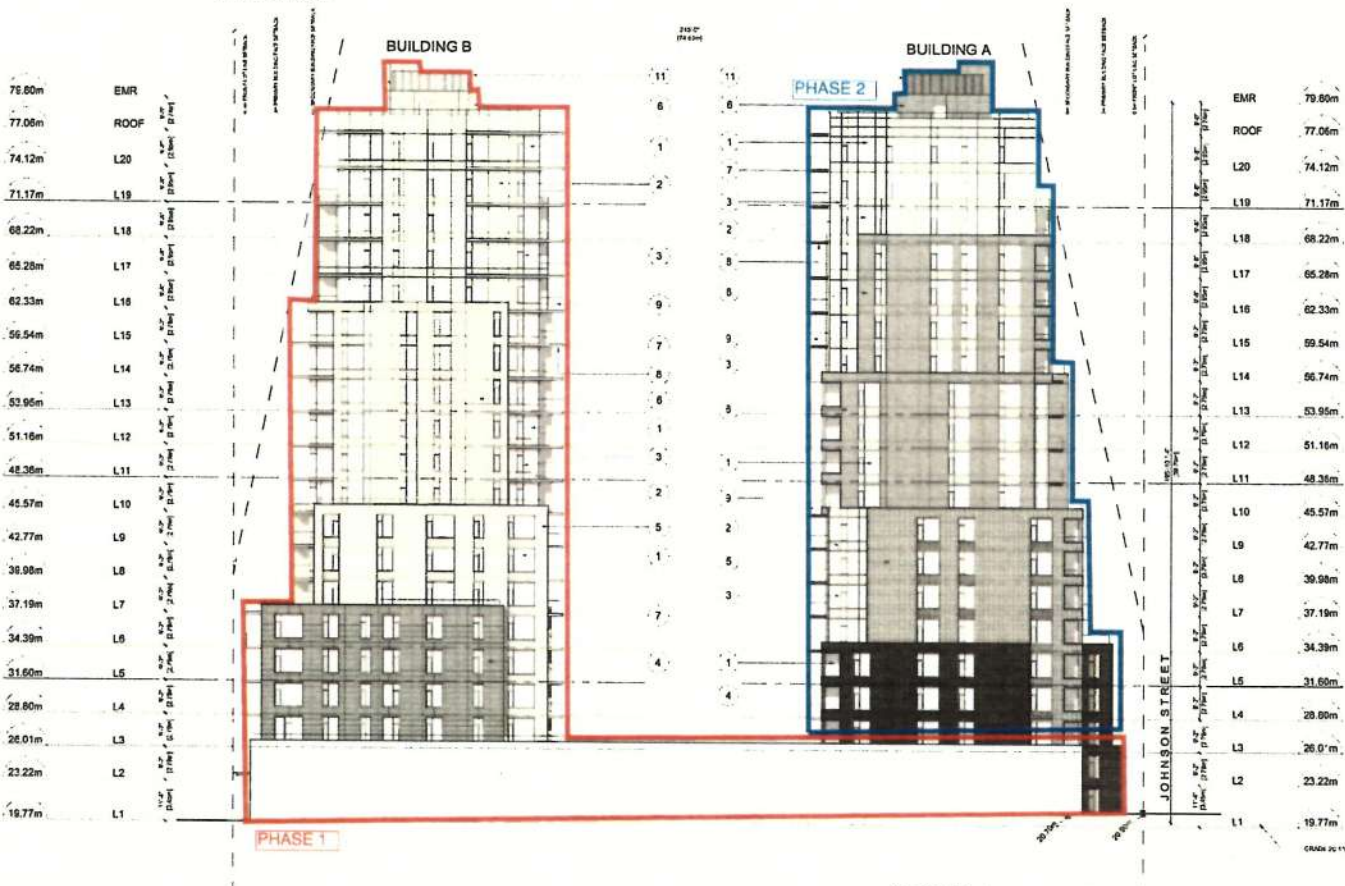
7. DARK GREY DECK COATING @ SLAB EDGE



5. GREY BRICK CLADDING



4. CHARCOAL BRICK CLADDING



EAST ELEVATION

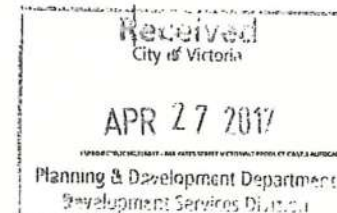
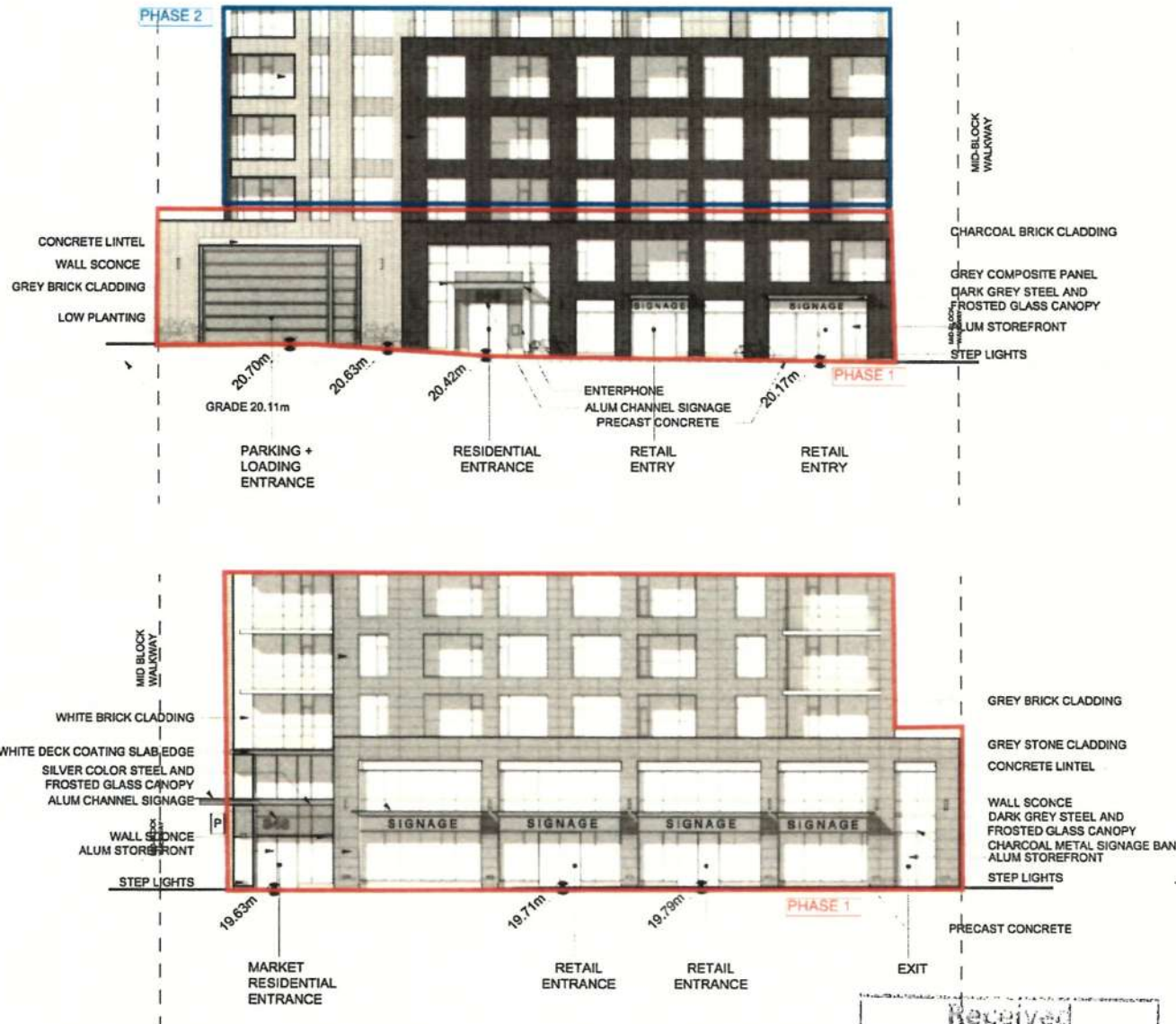
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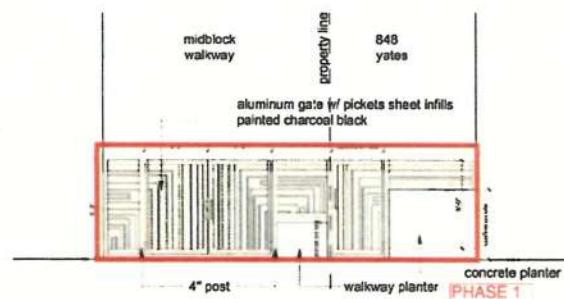
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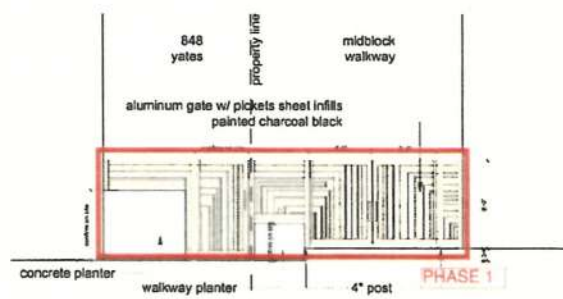
16' 12' 8' 4' 0' 8' 16' 32' 48'

UNPUBLISHED

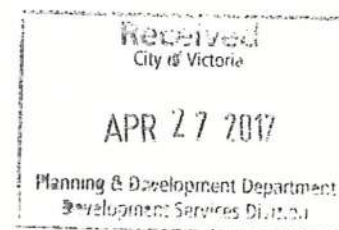




MIDBLOCK WALKWAY GATE (YATES STREET)



MIDBLOCK WALKWAY GATE (JOHNSON STREET)





JOHNSON STREET ELEVATION 1/32"=1'-0"

YATES & JOHNSON ST.

"AGELESS LIVING MARKET"
- 851 JOHNSON ST.

PROPOSED "848 YATES"

"BC ENVIRONMENTAL
ASSESSMENT OFFICE"
- 836 JOHNSON ST.

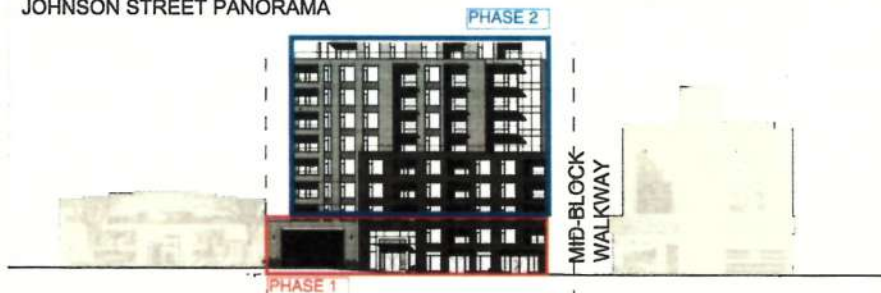
"TELUS"

"FIX & PIG BBQ JOINT"
- 1325 BLANSHARD ST.

JOHNSON & BLANSHARD ST.

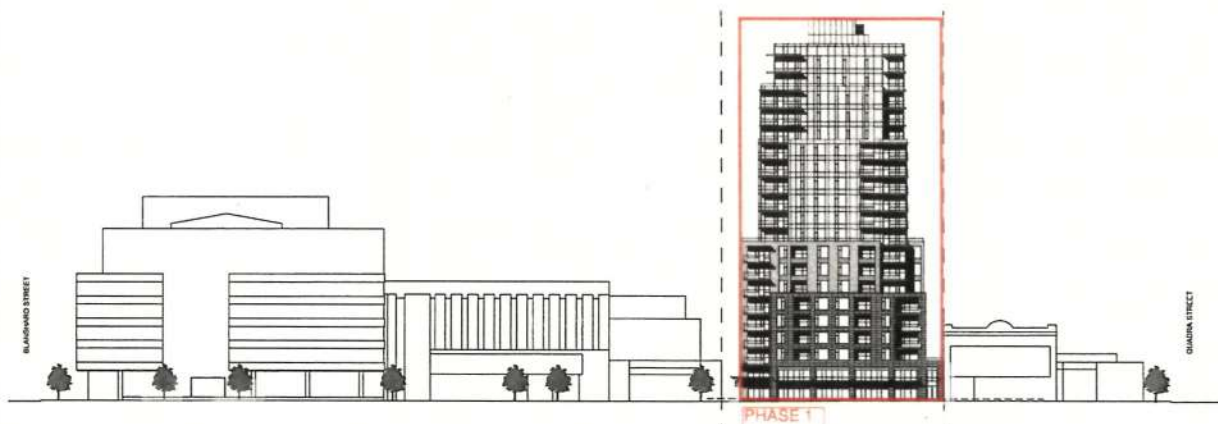


JOHNSON STREET PANORAMA

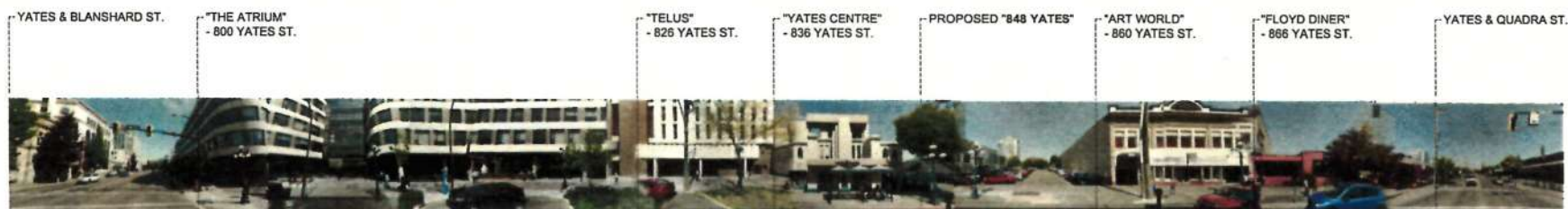


JOHNSON STREET (ADJACENT BUILDINGS)





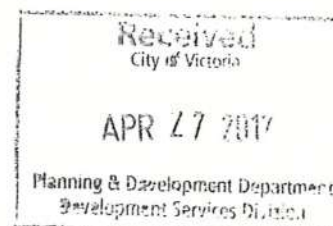
YATES STREET ELEVATION 1/32"=1'-0"



YATES STREET PANORAMA



YATES STREET (ADJACENT BUILDINGS)

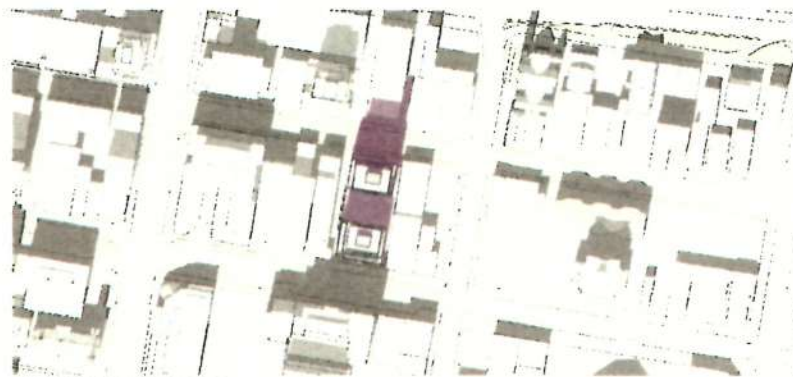




EQUINOX / MARCH 20 & SEPT 22 / 10:00 AM



EQUINOX / MARCH 20 & SEPT 22 / 12:00 PM



EQUINOX / MARCH 20 & SEPT 22 / 2:00 PM

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Musson
Cattell
Mackey
Partnership

Architects
Designers
Planners

A Partnership
Of Corporations

848 Yates Street
Victoria, BC

Project #
216017

- 26 April 2017
Project #
- 17 March 2017
Examination of the Whole
- 2 February 2017
Site Review Worksheet
- 13 October 2016
Report for the Applicant

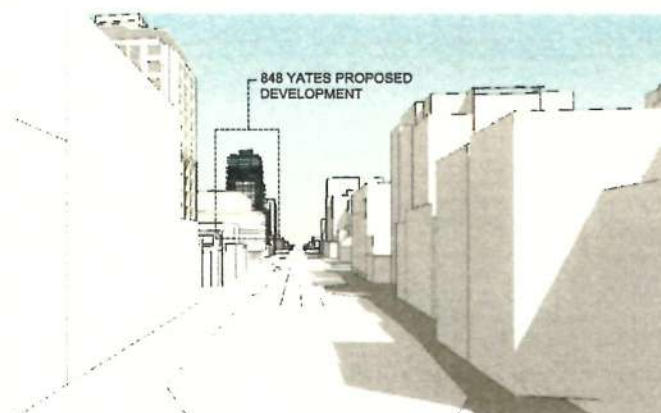
Shadow Study
Equinox



A500



PUBLIC EXTERNAL VIEW: LAUREL POINT TO DOWNTOWN CORE AREA





VIEW WEST FROM QUADRA ST, AND YATES ST.





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MCM

Musson
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Mackey
Partnership

Architects
Designers
Planners

A Partnership
Of Corporations

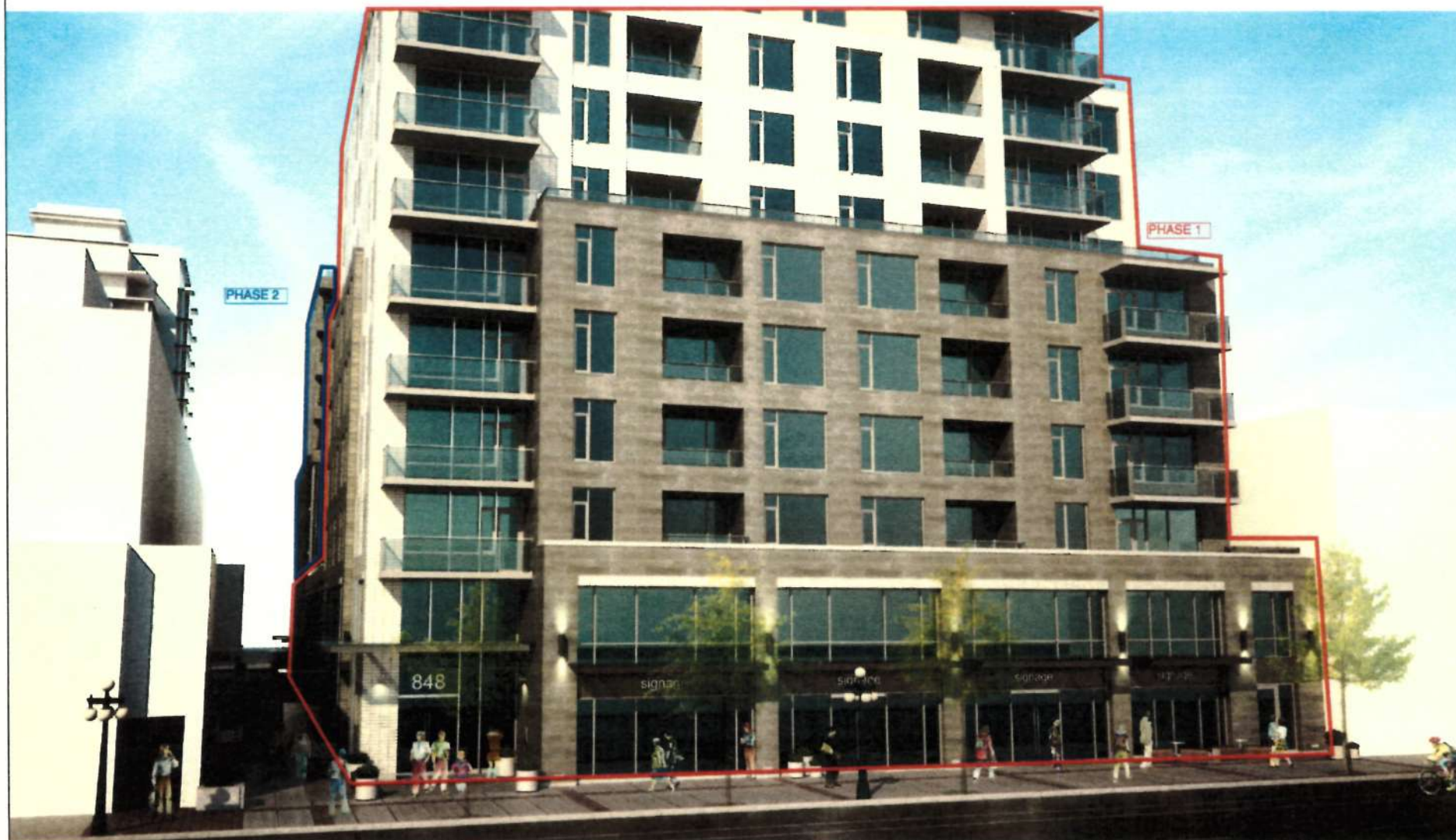
848 Yates Street
Victoria, BC

Project #
216017

• 28 April 2017
Planning plan
• 17 March 2017
Examination of the plan
• 7 February 2017
Review of the plan
• 15 October 2016
Review of the plan

Rendering

A604



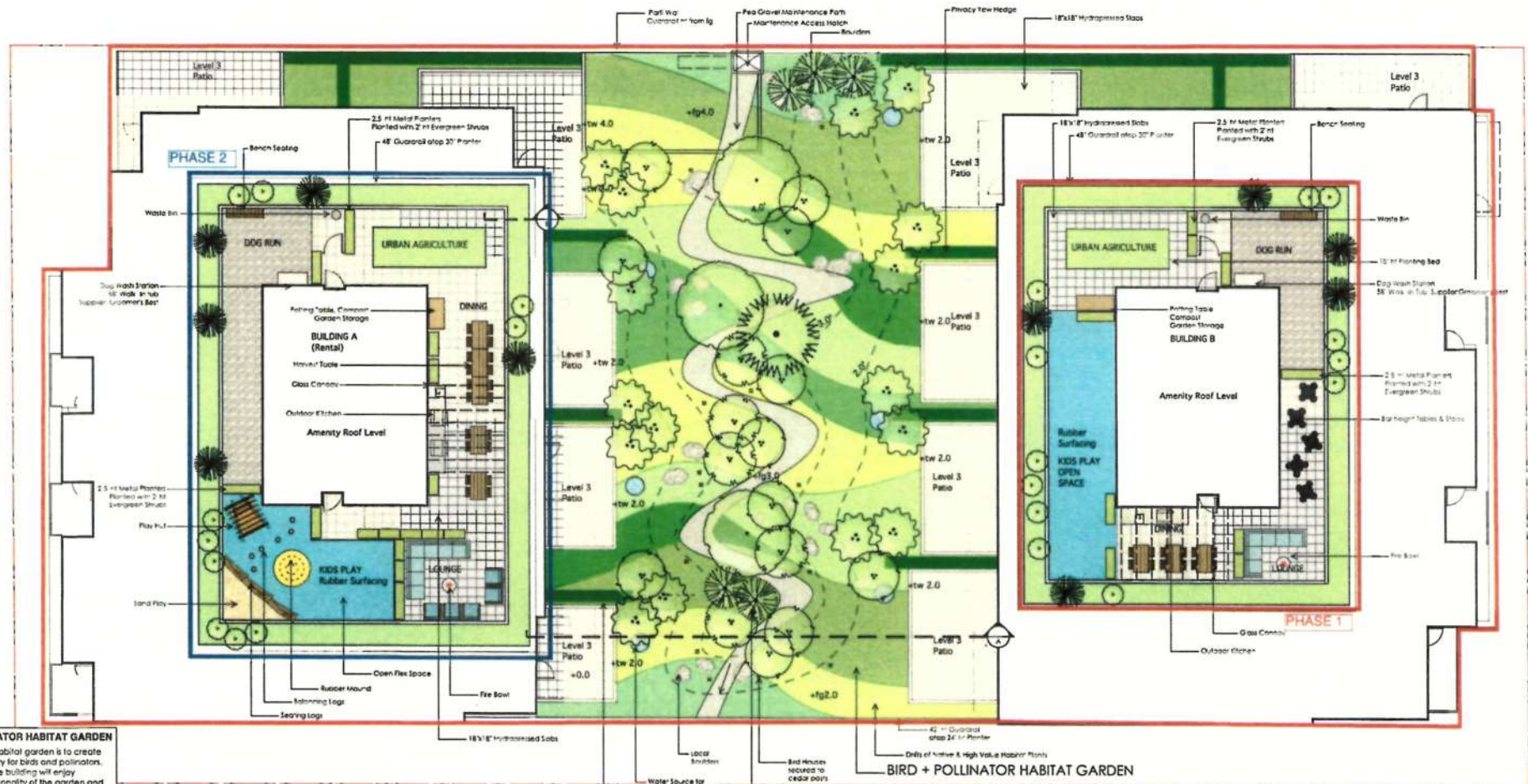
VIEW THROUGH MID-BLOCK WALKWAY FROM YATES STREET

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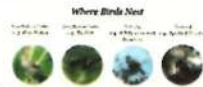


BIRD + POLLINATOR HABITAT GARDEN

The intent of the habitat garden is to create an urban sanctuary for birds and pollinators. The residents of the building will enjoy observing the seasonality of the garden and listening to the song birds from their patios, windows and balconies. The habitat garden is designed with the following guiding principles for designing for bird habitat:

- Maximize Biodiversity**
 - provide a diversity of native trees and shrubs
 - provide all high value habitat plants
 - eliminate lawn area
 - planting design for vertical complexity
 - create high value 'mixed forest' habitat adapted for the urban environment
 - provide nesting boxes designed specifically for target bird species
 - incorporate natural elements such as boulders and wood
 - provide water for birds and pollinators to drink and bathe

- Minimize direct disturbance from humans**
 - the only physical access to the habitat garden will be for garden maintenance
 - eliminate access of cats and dogs



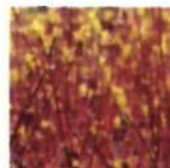
Habitat typology
source: Vancouver Bird-friendly strategy



Bird Nesting Boxes/Houses



Water for Birds and Pollinators



Cornus sericea



Berberis aquifolium



Vaccinium ovatum



Polystichum murinum



Amelanchier x Grandiflora



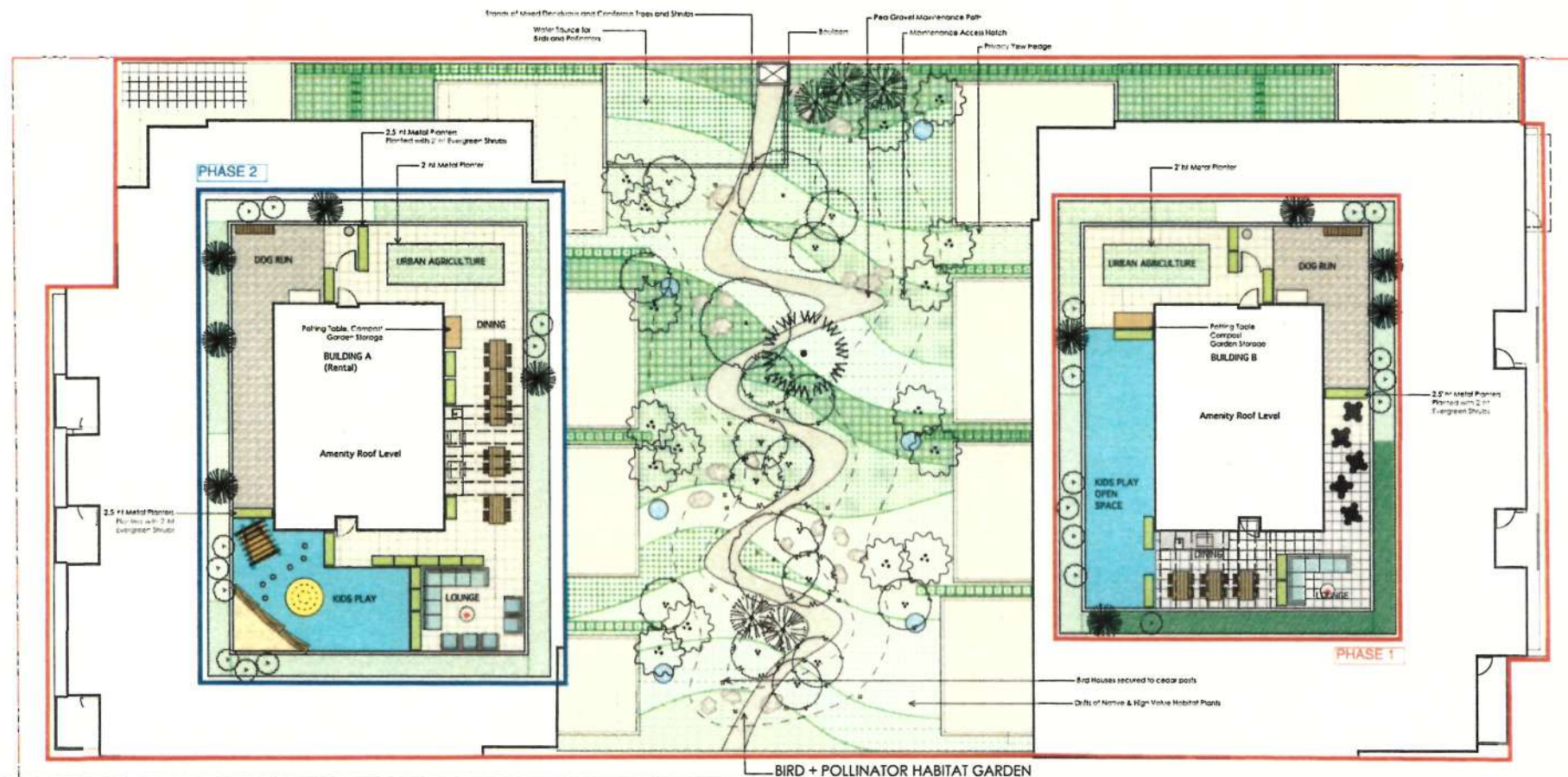
Rosa nutkana

L3 HABITAT GARDEN & AMENITY ROOF LEVELS LANDSCAPE PLAN 848 YATES STREET



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PLANT LIST

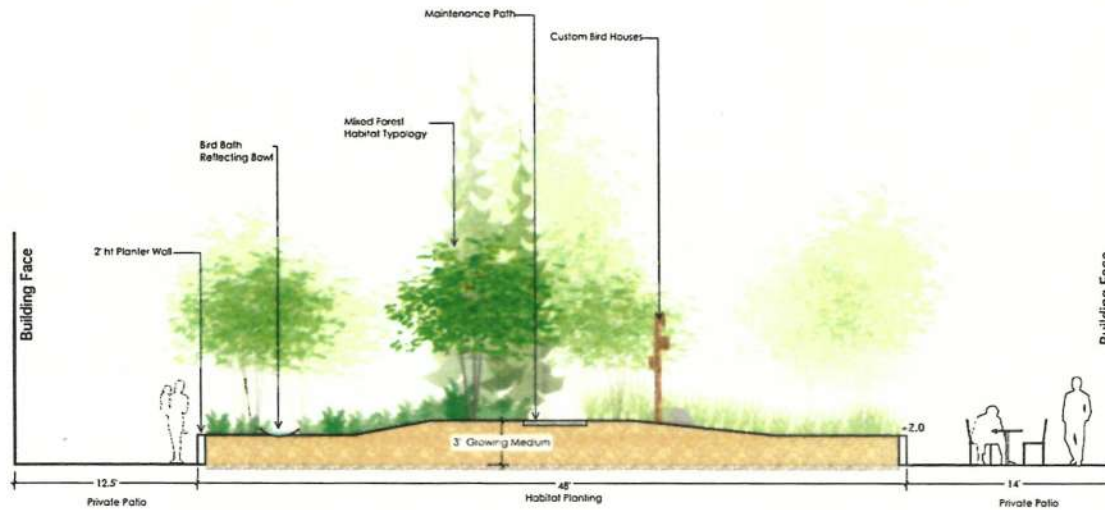
Trees									
SYM	QTY	BOTANIC NAME	COMMON NAME	SIZE					
3		Acer rubrum 'October Glory'	Red Maple	7cm cal					
15		Acer circinatum	Vine maple	2.5m ht, multi-stem					
22		Amelanchier alnifolia	Saskatoon Berry	1.5m ht, multi-stem					
11		Amelanchier x grandiflora	Serviceberry	2.5m ht, multi-stem					
6		Cornus nuttallii 'Starlight'	Starlight Pacific Dogwood	5cm cal, low-branching					
5		Pinus contorta contorta	Shore Pine	3m ht					
10		Pinus parviflora 'Templehof'	Japanese White Pine	1.5m ht					
1		Tsuga heterophylla	Western Hemlock	3m ht					

Shrubs/Grass/Perennials/Ferns									
SYM	QTY	BOTANIC NAME	COMMON NAME	SIZE					
142		Cornus sericea 'Kelseyii'	Kelsey's Red Osier Dogwood	#2 pot, 7" o.c.					
800		Carex marshallii	Japanese sedge	#1 pot, 12" o.c.					
425		Gaultheria shallon	Salal	#1 pot, 18" o.c.					
580		Mahonia nervosa	Creeeping Oregon Grape	#1 pot, 15" o.c.					
618		Polystichum munifolium	Sword Fern	#1 pot, 18" o.c.					
222		Rosa nutkana	Nootka Rose	#3 pot, 7" o.c.					
708		Silene tenuisima	Mexican feather grass	#1 pot, 15" o.c.					
450		Vaccinium ovalum	Evergreen Huckleberry	#2 pot, 18" o.c.					
		Urban Agriculture	Variety of Edible Perennials	#1 pot					
146		Taxus Hicksii	Yew Hedge	4 ht S&B					

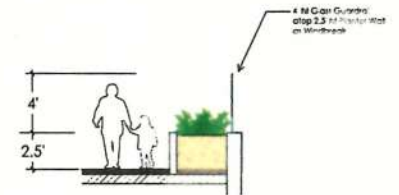
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L3 HABITAT GARDEN & AMENITY ROOF LEVELS PLANTING PLAN 848 YATES STREET

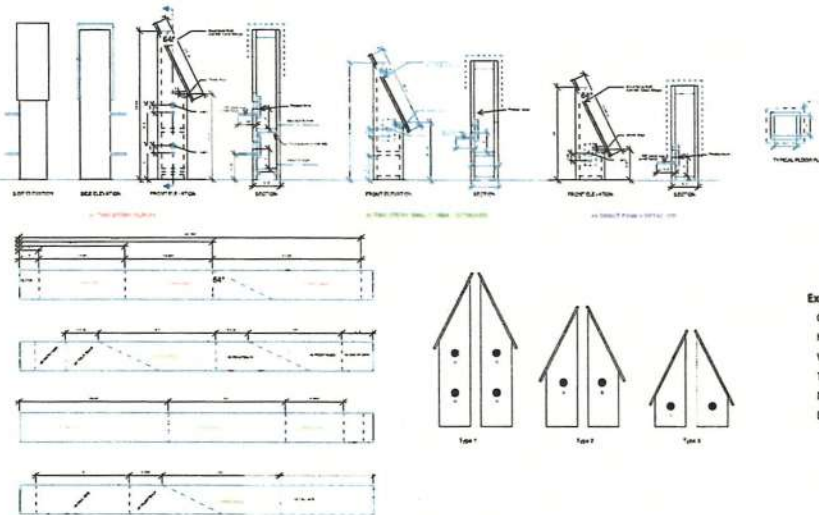




A SECTION THROUGH BERM LOOKING EAST
1/4"=1'



B SECTION THROUGH PLANTER AT ROOF PARAPET
1/4"=1'



Exact Entry Hole Dimensions
 Chickadees 1inch to 1 1/8"
 House wrens 1 1/8"
 Violet-green swallows 1 1/4"
 Tree swallows 1 1/4"
 Nuthatches 1 1/4"
 Bluebirds 1 1/2"



LD-1 BIRD HOUSE DETAIL
1"=1'

SECTIONS 848 YATES STREET

PROJECT INFORMATION

PROJECT ADDRESS	848 YATES STREET, VICTORIA, B.C.	
NEIGHBOURHOOD	HARRIS GREEN	
DCAP DISTRICT	CENTRAL BUSINESS DISTRICT	
DEVELOPMENT PERMIT AREA	DPA 2 (HC) CORE BUSINESS	
LEGAL DESCRIPTION	LOTS 374, 375, 380 AND 381 VICTORIA	
ZONING	R-48	
SITE AREA	29,400 ft ² (2,731 m ²)	
TOTAL FLOOR AREA	128,740 ft ² (11,960 m ²) 120,890 ft ² (11,231 m ²) RESIDENTIAL 7,850 ft ² (729 m ²) RETAIL/OFFICE	
SITE COVERAGE	28,102 ft ² (2,425 m ²) / 29,400 ft ² (2,731 m ²) = 88.8%	
OPEN SITE SPACE	3,882 ft ² (361 m ²) / 29,400 ft ² (2,731 m ²) = 13.2%	
FLOOR SPACE RATIO	R-48 NONE (7.57 THEORETICAL FSR)	PROPOSED 128,740 ft ² / 29,400 ft ² = 4.38 (11,960 m ² / 2,731 m ² = 7.56)
FLOOR PLATE SIZE	REQUIRED UNDER DCAP 65.6' (20m)- 98.4' (30m): max 10,010 ft ² (930 m ²) over 98.4' (30m): max 7,000 ft ² (650 m ²)	PROPOSED max 6,210 ft ² (577 m ²) max 4,850 ft ² (451 m ²)
GRADE	65.96' (20.11 m)	
HEIGHT	REQUIRED UNDER R-48 98.4' (30 m) REQUIRED UNDER DCAP 196.8' (60.0m)	PROPOSED 195.67' (59.70m)
NUMBER OF STOREYS	21 STOREYS	
BUILDING SETBACKS	REQUIRED UNDER R-48 FRONT YARD: 1.64' (0.5m) REQUIRED UNDER DCAP AS INDICATED ON PLANS	PROPOSED 4.92' (1.5m) Building Face 3.94' (1.2m) Balcony
MINIMUM UNIT FLOOR AREA	530 ft ² (49m ²)	

DRAWING LIST

	24"x36" SHEETS	11"x17" SHEETS
A001 PROJECT DATA	N.T.S.	N.T.S.
A100 CONTEXT PLAN	AS NOTED	AS NOTED
A101 EXISTING SITE PLAN	AS NOTED	AS NOTED
A102 SITE PLAN	AS NOTED	AS NOTED
A201 FLOOR PLAN P3	1/8"=1'-0"	AS NOTED
A202 FLOOR PLAN P2	1/8"=1'-0"	AS NOTED
A203 FLOOR PLAN P1	1/8"=1'-0"	AS NOTED
A204 FLOOR PLAN L1	1/8"=1'-0"	AS NOTED
A205 FLOOR PLAN L2	1/8"=1'-0"	AS NOTED
A206 FLOOR PLAN L3	1/8"=1'-0"	AS NOTED
A207 FLOOR PLAN L4 - L6	1/8"=1'-0"	AS NOTED
A208 FLOOR PLAN L7 - L9	1/8"=1'-0"	AS NOTED
A209 FLOOR PLAN L10 - L15	1/8"=1'-0"	AS NOTED
A210 FLOOR PLAN L16 - L18	1/8"=1'-0"	AS NOTED
A211 FLOOR PLAN L19 - L20	1/8"=1'-0"	1/16"=1'-0"
A212 ROOF PLAN	1/8"=1'-0"	1/16"=1'-0"
A213 MECH PENTHOUSE PLAN	1/8"=1'-0"	1/16"=1'-0"
A300 BUILDING SECTION	1/16"=1'-0"	1/32"=1'-0"
A401 ELEVATIONS NORTH AND SOUTH	1/16"=1'-0"	1/32"=1'-0"
A402 ELEVATIONS WEST	1/16"=1'-0"	1/32"=1'-0"
A403 ELEVATIONS EAST	1/16"=1'-0"	1/32"=1'-0"



AREA CALCULATION AND UNIT, PARKING, BIKE AND STORAGE COUNTS

RESIDENTIAL									
Phase 1									
Residential in ft ²	in m ²	Retail in ft ²	in m ²	1 bed	1 bed den	2bed	2bed den	3bed	2bed TH
11,280	1,048	7,850	729	1					4
13,930	1,294								
7,040	654			4	1		1	1	
7,040	654			3	1	1	2	1	
7,040	654			3	1	1	2	1	
7,040	654			3	1	1	2	1	
6,080	565			2	2	4			
6,080	565			2	2	4			
6,080	565			2	2	4			
4,730	439			4		2			
4,730	439			4		2			
4,730	439			4		2			
4,730	439			4		2			
4,730	439			4		2			
4,360	405					4			
4,360	405					4			
4,360	405					4			
3,600	334							2	
3,600	334							2	
520	58								
120,890	11,231	7,850	729	44	10	40	7	8	4

Total number of units 113

FSR CALCULATION	
	in ft ²
Total Retail	7,850
Total Residential	120,890
Total GFA	128,740
Site Area	29,400
Proposed FSR (Phase 1)	4.38
Theoretical FSR	7.57

PARKING	
	Provided
Commercial	81
Residents	131
Visitors	15
Residential	146
Total	227

BIKE STORAGE	
Requirement	Provided
	Class 1
Residential	
1/unit+6 racks	224
Commercial	
2	4
	228

STORAGE LOCKERS	
Requirement	Provided
	Class 1
1/unit+113	224

MCM

**Musson
Cattell
Mackey
Partnership**

Architects
Designers
Planners

A Partnership Of Corporations

848 Yates Street
Victoria, BC

Project #
216017

- 21 April 2017
Phase 1
- 17 March 2017
Consultation of the White Paper
- 2 February 2017
29 Review Response
- 18 October 2016
Issued for 29 Application

Project Data

Received
City of Victoria

APR 27 2017

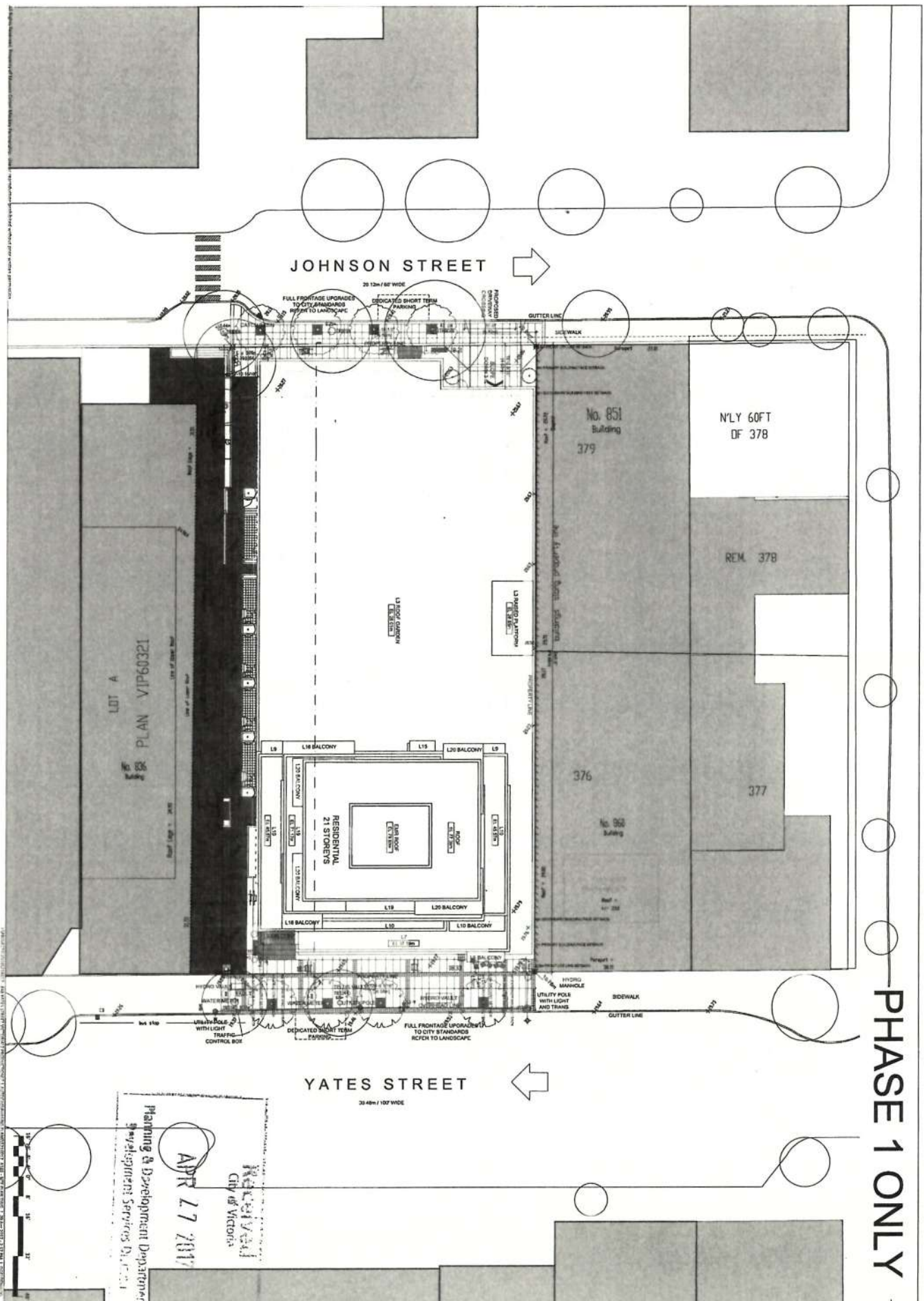
Planning & Development Department
Development Services Division

PHASE 1 ONLY
A001

A Partnership Of Corporations

Project #
216017
$$1/16'' = 1.0''$$

PHASE 1 ONLY
A102



MCM

**Musson
Cattell
Mackey
Partnership**

Architects
Designers
Planners

**A Partnership
Of Corporations**

848 Yates Street
Victoria, BC

Project #
216017

- 21 April 2017
Phase 1
- 17 March 2017
Committee of the Whole
- 2 February 2017
GP Review Response
- 13 October 2016
Issued for GP Application

North and South Elevations

$$1/16^{\circ} = 1'-0''$$

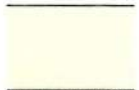

PHASE 1 ONLY
A401



1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



1.2.9. WHITE ALUM FRAME



5. WHITE COMPOSITE METAL PANEL

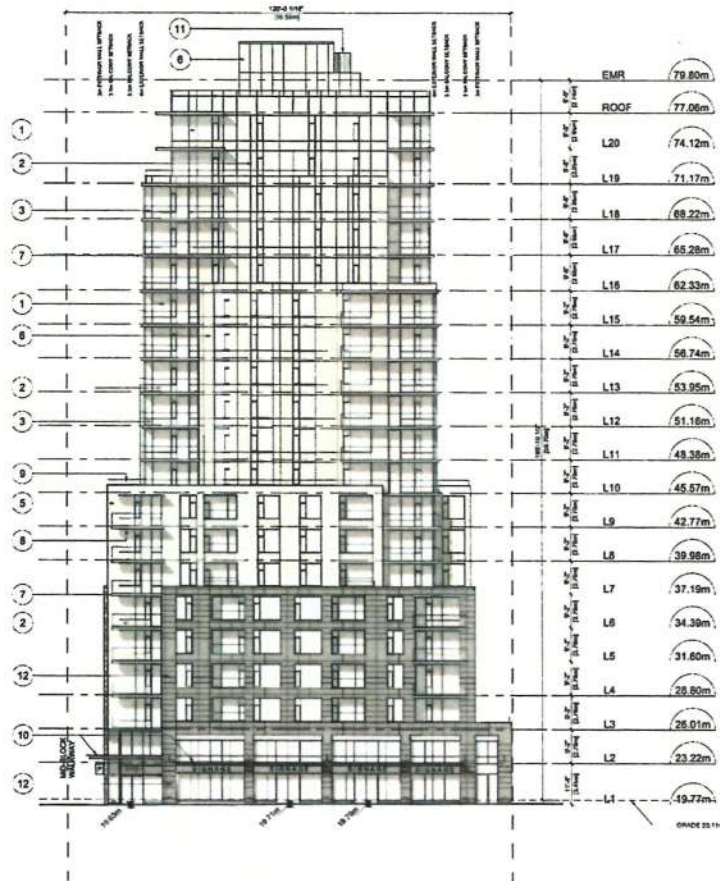
7. WHITE DECK COATING
@ SLAB EDGE



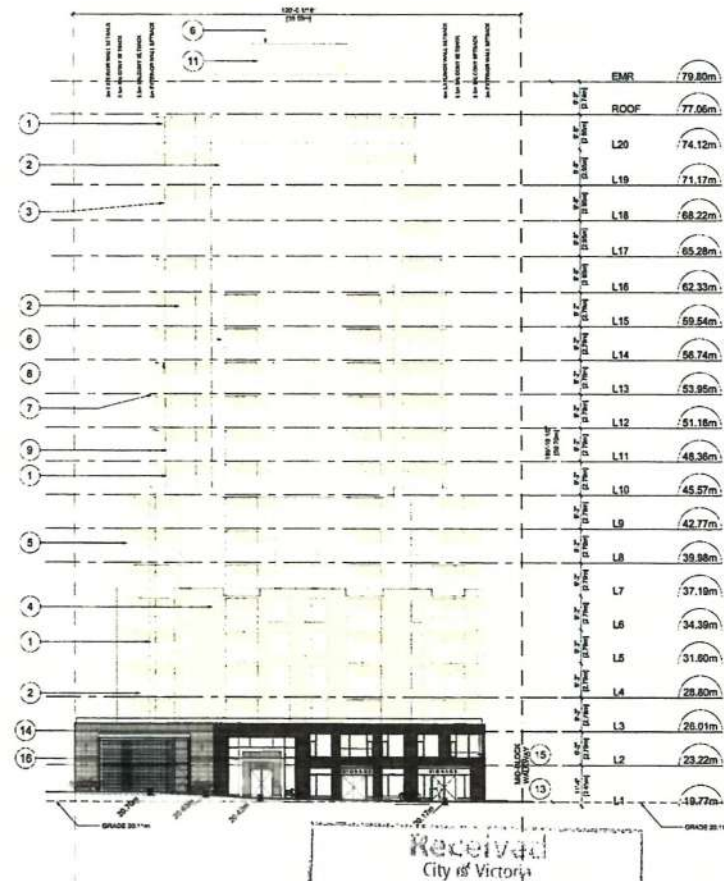
5. WHITE BRICK CLADDING



4. GREY BRICK CLADDING



SOUTH ELEVATION



NORTH ELEVATION



13. DARK GREY
ALUM FRAME



14. CHARCOAL BRICK CLADDING

Received
City of Victoria

APR 27 2017

Planning & Development Department
Development Services Division



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Cattell
Mackey
Partnership

Architects
Designers
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Of Corporations

848 Yates Street
Victoria, BC

Project #
216017

11 April 2017
17 March 2017
13 February 2017
28 January 2017
25 December 2016
10 November 2016

East Elevation

1/16" = 1'-0"



PHASE 1 ONLY
A402

MATERIAL LEGEND

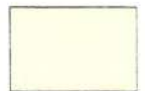
1. CLEAR DOUBLE GLAZING IN ANODIZED ALUM FRAME
2. GLASS SPANDREL IN ANODIZED ALUM FRAME
3. ANODIZED ALUM EXTENDED MULLION CAP
4. GREY BRICK CLADDING
5. WHITE BRICK CLADDING
6. WHITE COMPOSITE METAL PANEL
7. WHITE DECK COATING @ SLAB EDGE
8. WHITE DECK COATING @ BALCONY SOFFIT
9. CLEAR GLASS GUARDRAIL IN ANODIZED ALUM FRAME
10. SILVER COLOR STEEL AND FROSTED GLASS CANOPY
11. ANODIZED ALUM LOUVERS
12. STONE CLADDING
13. CLEAR DOUBLE GLAZING IN DARK GREY ALUM FRAME
14. CHARCOAL BRICK CLADDING
15. CLEAR GLASS GUARDRAIL IN DARK GREY ALUM FRAME
16. DARK GREY STEEL AND FROSTED GLASS CANOPY



1. CLEAR DOUBLE GLAZING



2. GLASS SPANDREL



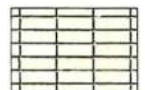
1.2.9. WHITE ALUM FRAME



6. WHITE COMPOSITE METAL PANEL



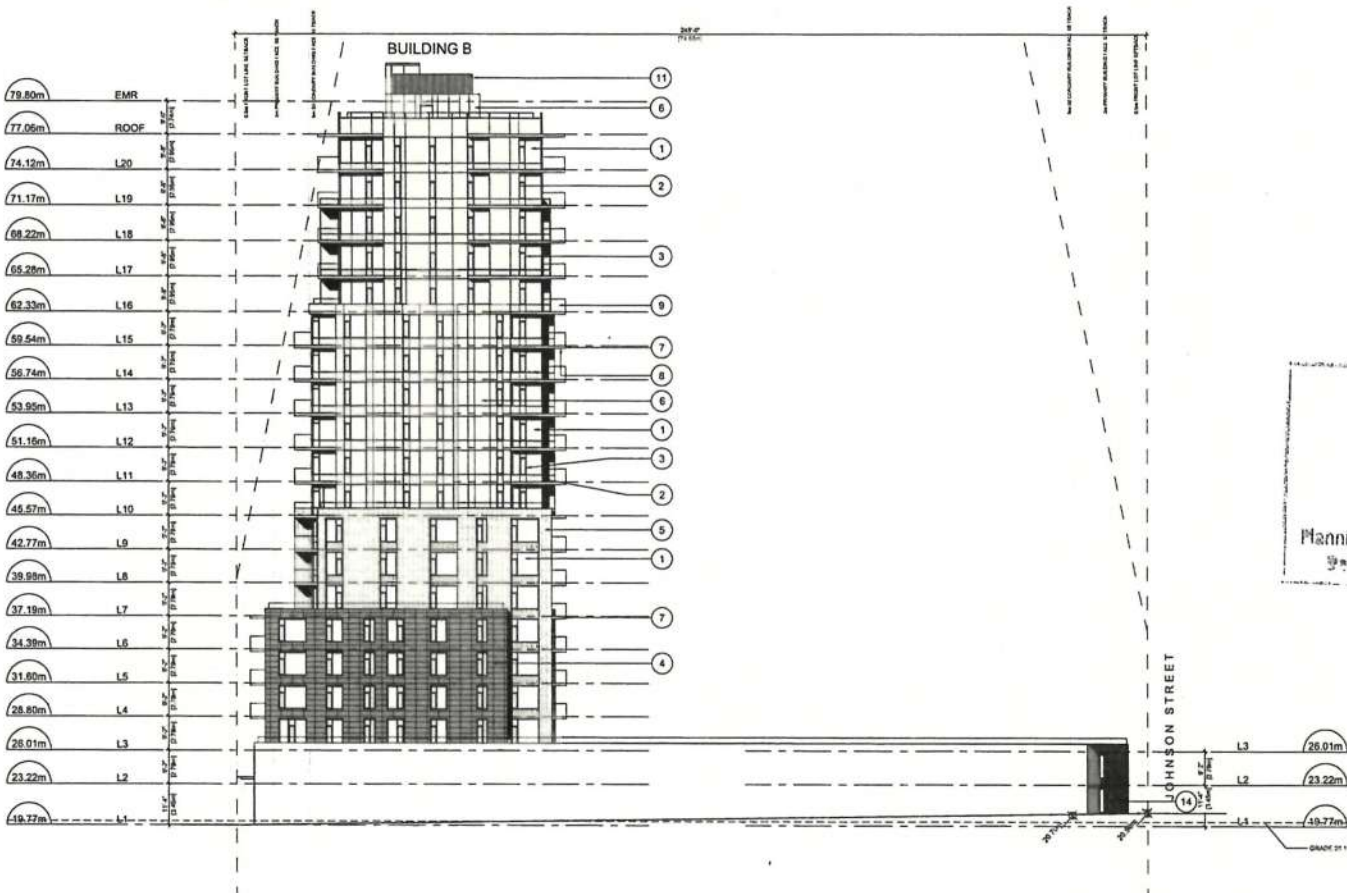
7. WHITE DECK COATING @ SLAB EDGE



5. WHITE BRICK CLADDING



4. GREY BRICK CLADDING



EAST ELEVATION



13. DARK GREY ALUM FRAME



14. CHARCOAL BRICK CLADDING



Architects
Designers
Planners

A Partnership Of Corporations

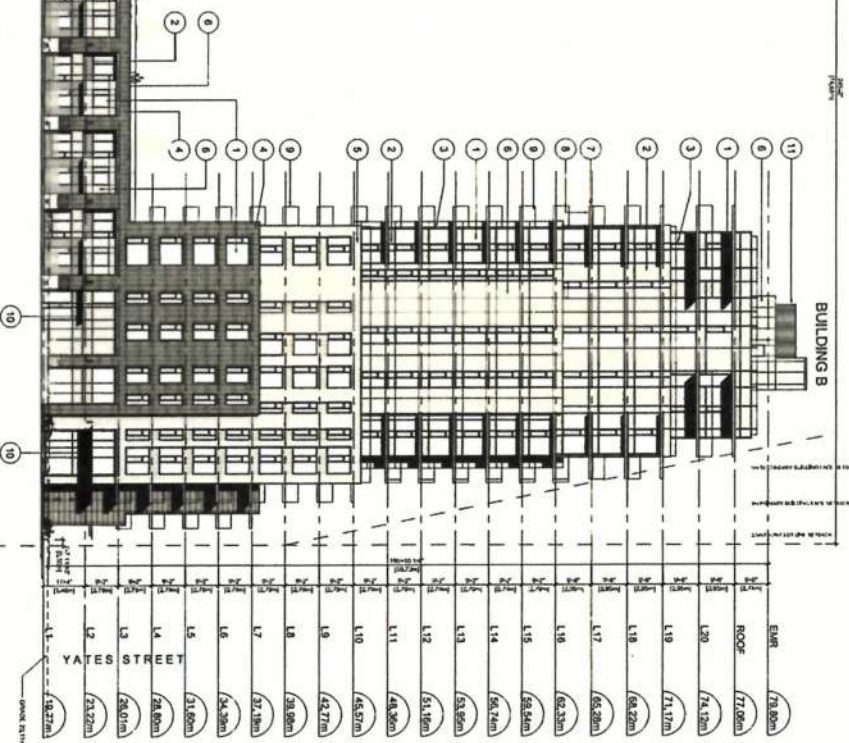
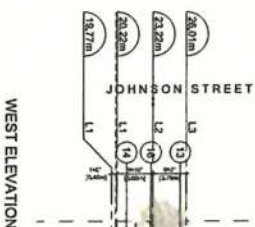
**848 Yates Street
Victoria, BC**

Project
216017

West Elevation

 $1/16" = 1'-0"$

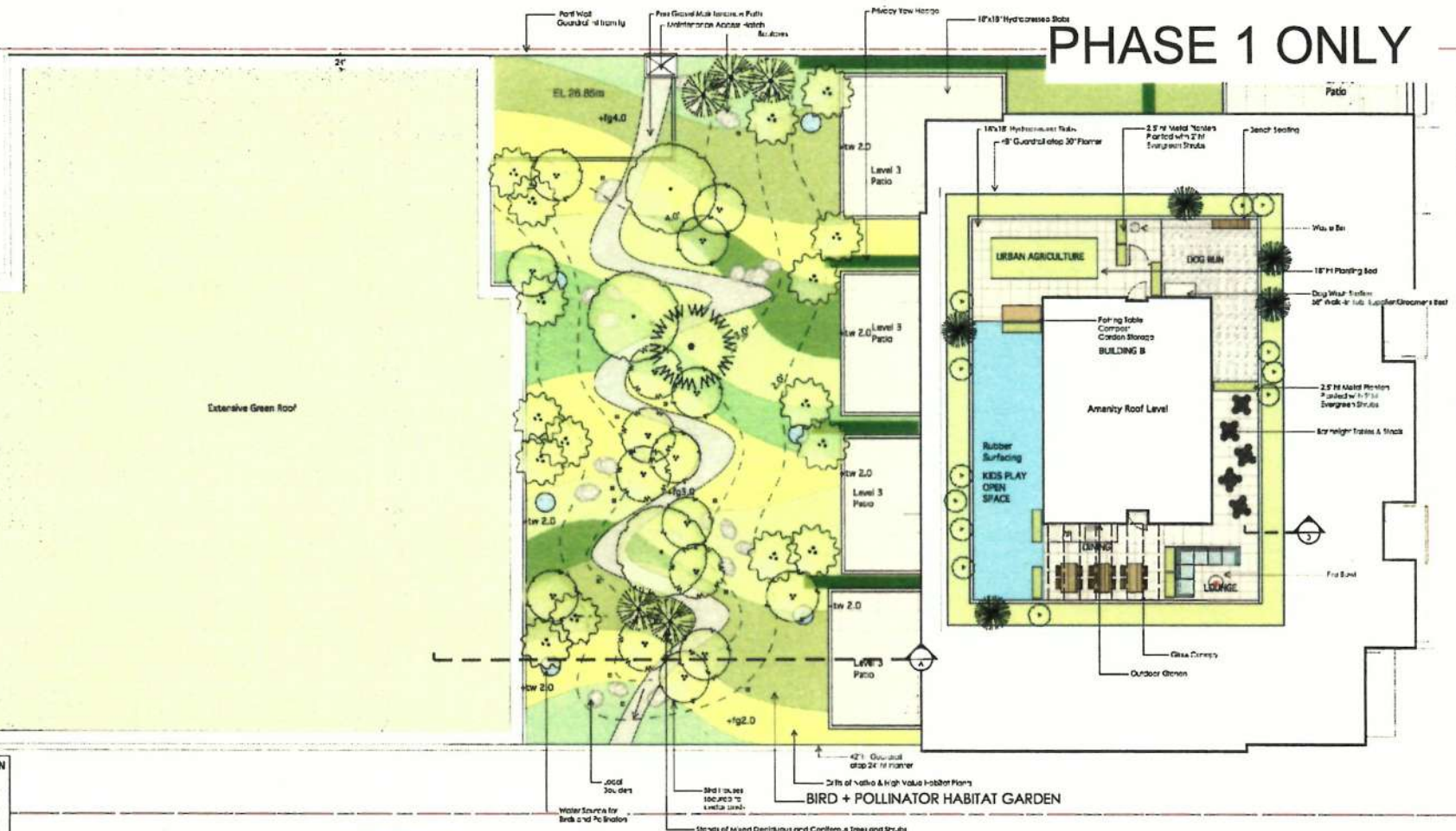
PHASE 1 ONLY
A403



At English Renaissance the concept of the nation family became prominent. This was expressed in the birth of nation without prior written agreement.

Received
City of Victoria
APR 27 1997
Planning & Development Department

PHASE 1 ONLY

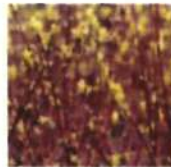


BIRD + POLLINATOR HABITAT GARDEN

The intent of the habitat garden is to create an urban sanctuary for birds and pollinators. The residents of the building will enjoy observing the seasonality of the garden and listening to the song birds from their patios, windows and balconies. The habitat garden is designed with the following guiding principles for designing for bird habitat:

- provide a diversity of native trees and shrubs
- provide a high-value habitat plants
- eliminate lawn area
- a planting design for vertical complexity
- create high value "mixed forest" habitat adapted for the urban environment
- provide nesting boxes designed specifically for target bird species
- incorporate natural elements such as boulders and wood
- provide water for birds and pollinators to drink and bathe

- minimize direct disturbance from humans
- the only physical access to the habitat garden will be for garden maintenance
- eliminate access of cats and dogs



L3 HABITAT GARDEN & AMENITY ROOF LEVELS LANDSCAPE PLAN 848 YATES STREET



08	28 APRIL	2017
04	02 FEBRUARY	2017
03	07 DECEMBER	2016
02	29 NOVEMBER	2016
01	13 OCTOBER	2016

PHASE 1
DP REVIEW RESPONSE
DP UHART RESPONSE
DP UHART RESPONSE
DP UHART RESPONSE

APR 27 2011

Planning & Development Department
Development Services Division

DATE 07 DECEMBER 2016

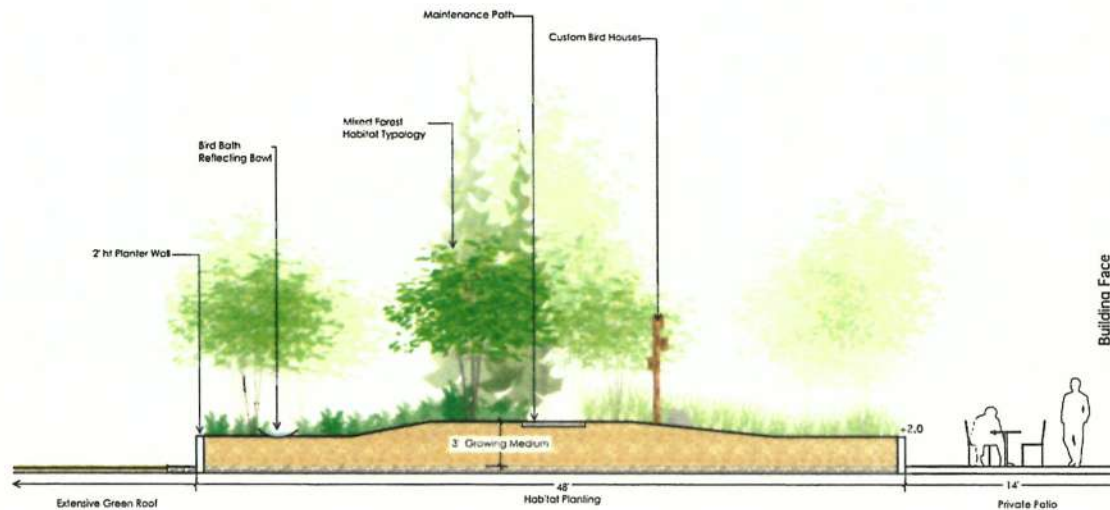
SCALE 1/8" = 1'

DRAWN K.B.

PROJECT NUMBER 16122

L02

PHASE 1 ONLY

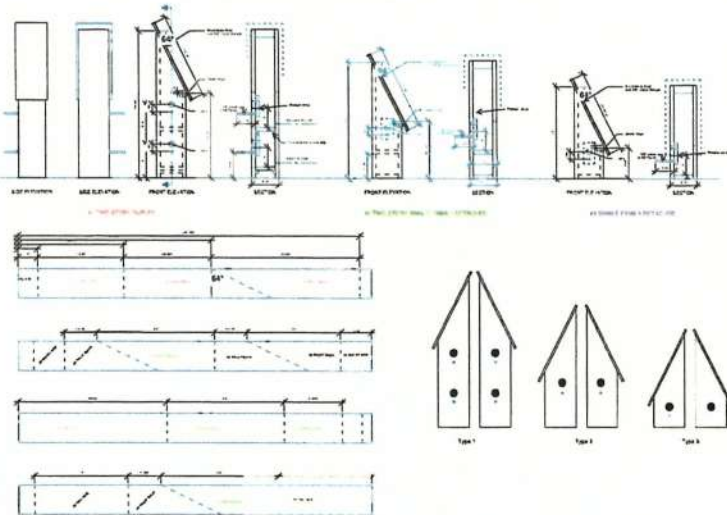


A SECTION THROUGH BERM LOOKING EAST
1/4"=1'

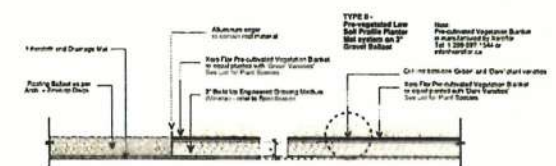
PHASE 1 ONLY



B SECTION THROUGH PLANTER AT ROOF PARAPET
1/4"=1'



LD-1 BIRD HOUSE DETAIL
1"=1'



LD-Z EXTENSIVE GREEN ROOF BUILD UP
1"=1'

4. LAND USE MATTERS

4.3 Development Permit with Variances Application No. 00025 for 848 and 852-856 Yates Street and 845 and 849 Johnson Street (Downtown)

Committee received a report dated March 23, 2017, from the Director of Sustainable Planning and Community Development regarding an application to construct a mixed-use building comprised of two towers, both at 21 storeys, with ground-floor retail facing Johnson Street and Yates Street and residential above.

Motion:

It was moved by Councillor Thornton-Joe, seconded by Mayor Helps, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00025 for 848 and 852-856 Yates Street and 845 and 849 Johnson Street in accordance with:

1. Plans date stamped March 17, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 3.67.5(2) - increase the building height from 30m to 59.7m;
 - b. Section 3.67.5(2) - increase the number of storeys from 10 storeys to 21 storeys;
3. Preparation of the following documents, signed and executed by the applicant, to the satisfaction of City Staff:
 - a. Section 219 covenant to ensure the security gates on the through block walkway remain open to the public between 7 a.m. and 10 p.m. to the satisfaction of the City Solicitor;
 - b. Statutory Right-of-Way of a minimum of 1.22m along the western property line to allow for the expansion of the through-block walkway to the satisfaction of the Director of Planning;
 - c. Housing Agreement to ensure that future strata bylaws cannot restrict the age of occupants or prohibit strata owners from renting residential strata units.
4. That Council authorize the City Solicitor to execute an Encroachment Agreement for a fee of \$750, plus \$25 per m2 of exposed shored face during construction in a form satisfactory to City staff. This is to accommodate shoring for construction of the underground parking structure if the method of construction involves anchor pinning into the public Right-of-Way;
5. Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff;
6. The Development Permit lapsing two years from the date of this resolution."

Committee discussed:

- Noise mitigation for the building to minimize impacts of the nearby nightclub.
- *Crime Prevention through Environmental Design* considerations.

Amendment: It was moved by Councillor Isitt, that the motion be amended as follows:

7. That the applicant be asked to voluntarily commit to the provincial affordable home ownership financing.

MOTION FAILED DUE TO NO SECONDED

Amendment: It was moved by Councillor Isitt, seconded by Councillor Loveday that the motion be amended in the following point:

3. Preparation of the following documents, signed and executed by the applicant, to the satisfaction of City Staff:
 - a. Section 219 covenant to ensure the security gates on the through block walkway remain open to the public between 7 a.m. and 10 p.m. to the satisfaction of the City Solicitor;
 - b. Statutory Right-of-Way of a minimum of 1.22m along the western property line to allow for the expansion of the through-block walkway to the satisfaction of the Director of Planning;
 - c. Housing Agreement to ensure that future strata bylaws cannot restrict the age of occupants or prohibit strata owners from renting residential strata units.
 - d. **Voluntary commitment by the applicant that financing will contribute to affordable home ownership.**

The Assistant Director of Development Services advised that placing restrictions such as this on a development permit is not consistent with the Local Government Act.

On the amendment:
DEFEATED 17/COTW

For: Councillors Isitt and Loveday
Against: Mayor Helps, Councillors Alto, Coleman, Lucas, Madoff, and Thornton-Joe

Main motion: That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00025 for 848 and 852-856 Yates Street and 845 and 849 Johnson Street in accordance with:

1. Plans date stamped March 17, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 3.67.5(2) - increase the building height from 30m to 59.7m;
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- c. Housing Agreement to ensure that future strata bylaws cannot restrict the age of occupants or prohibit strata owners from renting residential strata units.
4. That Council authorize the City Solicitor to execute an Encroachment Agreement for a fee of \$750, plus \$25 per m2 of exposed shored face during construction in a form satisfactory to City staff. This is to accommodate shoring for construction of the underground parking structure if the method of construction involves anchor pinning into the public Right-of-Way;
5. Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff;
6. The Development Permit lapsing two years from the date of this resolution."

On the main motion:
CARRIED 17/COTW

For: Mayor Helps, Councillors Alto, Coleman, Loveday, Lucas, Madoff, and
Thornton-Joe
Against: Councillor Isitt