

UNFINISHED BUSINESS

2. Rezoning Application No. 00502 and Development Permit Application No. 000453 for 727 Johnson Street – Update Report

Motion:

It was moved by Councillor Madoff, seconded by Councillor Thornton-Joe:

1. That Council give first, second and third reading of Housing Agreement (727 Johnson Street) Bylaw No. 17-009.
2. That Council give first and second reading to *Zoning Regulation Bylaw* Amendment Bylaw No. 17-010 for 727 Johnson Street.
3. That Council consider the following motion after the Public Hearing for Rezoning Application No. 00502, if it is approved:

That Council authorize the issuance of Development Permit Application No. 000453, in accordance with:

- a. Plans for Rezoning Application No. 00502 and Development Permit Application No. 000453, stamped August 18, 2016;
- b. Development meeting all *Zoning Regulation Bylaw* requirements;
- c. The Development Permit lapsing two years from the date of this resolution.

Carried Unanimously



Council Report

For the Meeting of January 12, 2017

To: Council **Date:** December 29, 2016
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: **Rezoning Application No.00502 and Development Permit Application No. 000453 for 727 Johnson Street**

RECOMMENDATION

1. That Council give first, second and third reading of Housing Agreement (727 Johnson Street) Bylaw No. 17-009.
2. That Council give first and second reading to *Zoning Regulation Bylaw* Amendment Bylaw No. 17-010 for 727 Johnson Street.
3. That Council consider the following motion after the Public Hearing for Rezoning Application No. 00502, if it is approved:

That Council authorize the issuance of Development Permit Application No. 000453, in accordance with:

- a. Plans for Rezoning Application No. 00502 and Development Permit Application No. 000453, stamped August 18, 2016;
- b. Development meeting all *Zoning Regulation Bylaw* requirements;
- c. The Development Permit lapsing two years from the date of this resolution.

EXECUTIVE SUMMARY

The purpose of this report is to provide Council with an update on Public Hearing conditions associated with Rezoning Application No.00502 for 727 Johnson Street. The applicant has met the conditions required by Council. The application has been reviewed by the Heritage Advisory Panel. The Panel has recommended that Council consider supporting the application subject to design revisions. The applicant has carried out design amendments that have increased the application's consistency with relevant City policy. Staff have prepared the necessary bylaws and legal agreements to authorize the proposed development and staff recommend for Council's consideration that the application advance for consideration at a Public Hearing.

PURPOSE

The purpose of this report is to provide Council with an update on Public Hearing conditions associated with Rezoning Application No.00502 for 727 Johnson Street.

BACKGROUND

At the Council meeting of May 26, 2016; Council passed the following motion:

“It was moved by Councillor Coleman, seconded by Councillor Lucas, that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No.00502 for 727 Johnson Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Registration of a legal agreement to prohibit the demolition of the existing building and secure the proposed restoration of the existing building.
2. Preparation of a Housing Agreement Bylaw that would prevent subdivision of the building by strata plan and ensure the building is occupied by non-owners for the life of the building”.

ISSUES & ANALYSIS

Heritage Advisory Panel Review

At it's meeting of June 14, 2016 the Heritage Advisory Panel reviewed the application. Minutes of the meeting are attached to this report. The Panel passed the following motion:

“That the Heritage Advisory Panel recommend to Council that Development Permit Application No. 000453 be approved subject to the redesign of the upper floors to reduce the visual impact of the rooftop addition through the use of materials and that Council recognize the need for a rooftop additions policy in general in Development Permit Areas.”

Staff had previously worked with the applicant to provide an increased setback from the uppermost storey in order to minimize the impact of the upper-storey addition on the existing building when viewed from the opposing sidewalk on Johnson Street. In response to the recommendation of the Heritage Advisory Panel the applicant has revised the fenestration and material selection for the proposed upper-storey addition. The size and position of window openings has been adjusted to improve its relationship with the existing building. The applicant has also revised the proposed material selection for the addition replacing metal cladding with a fibrous cement board. The use of the cement board acknowledges the vertical architectural elements on the existing building. Staff recommend that Council consider supporting the design amendments as presented.

The applicant has indicated that they plan on advancing an application for Heritage Designation at a later stage in the development when the heritage restoration is closer to completion.

Housing Agreement

A Housing Agreement Bylaw has been prepared for Council's consideration. The proposed bylaw prohibits the subdivision of individual residential units under *The Strata Property Act*. However,

the agreement does permit the subdivision of the commercial and residential portions of the building.

Legal Agreement

Staff have secured the design and rehabilitation of the proposed building through a legal agreement. This is to ensure that additional residential density is only permitted if the building is constructed and rehabilitated as per the approved plans. The agreement prohibits the demolition of the existing building.

Zoning Regulation Bylaw Amendment

Staff have prepared a *Zoning Regulation Bylaw* amendment for Council's consideration. The Bylaw contemplates increased density in exchange for amenities. These amenities include conformance with the proposed housing agreement that requires all of the residential be occupied by non-owners in perpetuity and a legal agreement that secures the retention and rehabilitation of the existing building.

CONCLUSIONS

The applicant has met the conditions required by Council. The design amendments have increased the application's consistency with relevant City policy. Staff have prepared a recommendation for Council's consideration to give relevant bylaws first and second reading and to forward the application for consideration at a Public Hearing .

Respectfully submitted,


Mike Wilson
Senior Planner – Urban Design


Jonatharr Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: December 22, 2016

List of Attachments

- Meeting Minutes of Heritage Advisory Panel - June 14, 2016
- Proposed Zoning Amendment Bylaw
- Proposed Housing Agreement Bylaw
- Proposed Legal Agreement
- Letter from Applicant
- Plans date Stamped August 18, 2016

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**CITY OF VICTORIA
HERITAGE ADVISORY PANEL
MEETING MINUTES
June 14, 2016**

Present: Richard Linzey, Chair
John Dam
Rick Goodacre
Ken Johnson
Hal Kalman

Absent: Kelly Black
Keri Briggs
Chloe Fox Miller
Stuart Stark

Guest: Councillor Pamela Madoff

Staff: Steve Barber, Senior Heritage Planner (Interim)
Adrian Brett, Heritage Planner
Lauren Martin, Heritage Secretary

The Chair called the meeting to order at noon.

1. Approval of the Agenda

Moved

Seconded

Carried

2. Declaration of Conflict or Bias - nil

3. Announcements

- This is Steve Barber's last meeting as the Interim Senior Heritage Planner. Adrian Brett will act as the Senior Heritage Planner during July and August. The new Senior Heritage Planner, Merinda Conley, will begin working full time as of August 29.

4. Adoption of the Minutes of the May 10, 2016 Meeting

Moved

Seconded

That the minutes of the May 10, 2016 meeting be adopted as amended.

Carried

5. **727 - 729 Johnson Street**
Development Permit Application No. 000453

Attendees: Jim Wong and Egor Revenko, Studio One Architecture Inc.; Michael Alston, Alston Properties Ltd.

Senior Heritage Planner

- The application is for a Development Permit concurrent with a Rezoning Application to restore the existing building and to add a two-storey addition to the roof which is stepped back from the front and rear elevations.
- The proposed finishes for the addition are prefinished metal cladding, aluminum windows, and painted concrete block on the side elevation.
- The project preserves the scale, massing and proportion of the original structure.
- The original street façade will be recreated to match the details based on archival photographs and original architectural drawings. The restored façade will include painted concrete with wood frame windows, storefronts and doors.
- A Conservation Plan by Donald Luxton and Associates, dated October 2015, is appended to the application.
- Council has also requested that the Panel consider the issues raised in the most recent letter from the Downtown Residents Association, dated May 16, 2016, expressing concern about the modern expression of the two new storeys.
- Staff recommend that the Panel recommend that Council consider supporting the application.

Jim Wong

- The proposal is for commercial space on the ground floor, residential on the two existing upper floors, and two new rooftop floors also for residential.
- The building has been vacant for many years and was purchased by Michael Alston about one year ago.
- The owner has extensive experience in the restoration of similar heritage buildings (e.g. 566-570 Yates Street).
- The original building is concrete construction with tile and stucco applied over the years.
- The façade will be restored to the original.
- Currently, the ground floor is a corridor/arcade from front to back. New services and bicycle storage will be added to the rear. There will be one tenant space with a new entrance and exit.
- Originally there was a large garage door and it will be replicated on the ground floor.
- The upper floors will have 30 rental units with new wood windows, elevator, stairs and exiting.
- The two new upper floors will step back from Johnson Street and will have metal railings, grey/white metal cladding and a modern expression.
- On the third floor, a door will be replicated for a Juliet balcony.
- Paint colours for the concrete were reviewed by the project's heritage consultant, Donald Luxton.
- Signage for the ground floor will have a heritage look.

Michael Alston

- The building is the same age and very similar to The Churchill (at 1140 Government Street) with 14 foot ceiling heights on the ground floor.
- The owner has applied for heritage designation which will be considered by Council once the façade is restored.
- The building will connect with Yates Street through an existing walkway.

Panel

- Why is a rezoning application required? Senior Heritage Planner: It is required due to the increased height and density. Egor Revenko: The existing façade projects into the envelope as will the new addition.
- In response to the Downtown Residents Association's concerns, the addition is clearly distinguishable from the existing building as per the Standards and Guidelines.
- What is the condition of the concrete? Michael Alston: There is stucco and tile on mesh attached by shallow pins to the concrete. The pits from the pins will be patched and the concrete parged. There are a few cracks that will be repaired by epoxy injection. There is no/little salt air damage of the reinforcing steel. The building will be seismically upgraded.
- The Statement of Significance (SOS) does not assess the quality of the significance of the building, i.e. the architectural and structural value. This is a 1910 reinforced concrete building which is a very early use, especially for exposed concrete on the façade (more common in the 1920s). This is a precocious use of concrete and it is not stated as one of the values in the SOS. It is significant and deserves greater respect and sensibility. If the building is a hidden gem, it would be worth deferring further review of the application until more information about the early use of reinforced concrete is obtained.
- Senior Heritage Planner: According to the Standards and Guidelines, there are several approaches that can be used for the restoration of and addition to heritage properties. An addition can include rehabilitation and/or restoration. A Panel member stated that in this case, the façade restoration is primary and the storefront rehabilitation is secondary. The additions are not part of the restoration. Another member stated that all restoration is rehabilitation.
- One Panel member is not in favour of the numerous stepped back rooftop additions in the Downtown Core or the use of modern materials on the additions. The applicant should provide confirmation that the rooftop addition will not be visible and compatible materials will be used. Another Panel member stated that the additional floors create value and an incentive for the applicant which is necessary in today's market.
- Each building has significance and this should be met in the restoration. The Panel member is fine with the addition and appreciates the effort to ensure the building retains its character; however, the design is not very inspired.
- Concern was expressed by one panel member that the Statements of Significance created by heritage consultants and provided to the applicants can be written to support a particular outcome. However, the City has accepted the SOS for this building. How is the use of reinforced concrete germane to the current proposal? How was the concrete expressed on the original building?
- The Downtown Residents Association states in their letter, and the Panel member agrees, that there is a need for guidelines regarding rooftop additions in Development Permit Areas.

Moved

No Second

That the application be deferred, that the Senior Heritage Planner commission a study into the early use of reinforced concrete in Victoria and assess the significance of the subject building in light of the new research, and that the City determine a new management approach for these buildings.

Motion Failed

Panel

- 1910 is early for a reinforced concrete building in Victoria. However, there are other examples of reinforced concrete buildings built before WWI in Victoria, including the Hudson Bay building and the Union Club. The concrete was likely parged and painted and there was probably brick infill on the spandrels. The proposal is to restore the façade to the original and this is admirable.

Moved

No Second

That the Heritage Advisory Panel recommend to Council that Development Permit Application No. 000453 be approved.

Motion Failed

Moved

Seconded

That the Heritage Advisory Panel recommend to Council that Development Permit Application No. 000453 be approved subject to the redesign of the upper floors to reduce the visual impact of the rooftop addition through the use of materials and that Council recognize the need for a rooftop additions policy in general in Development Permit Areas.

Moved (4 in favour, 1 abstention)

Adrian Brett, Heritage Planner, and Michael Wilson, Senior Planner - Urban Design, will discuss the Panel's review further.

6. **1737 Rockland Avenue
Heritage Alteration Permit Application No. 00222**

Attendees: Rus Collins, Zebra Design Group, on behalf of Earl Large, owner

Senior Heritage Planner

- The proposal is to construct a covered wood deck on the front elevation of the heritage-registered house.
- A roof and deck was built without the required permits in order to address water leaking into the basement of the house.
- The application generally complies with the heritage guidelines. While additions to heritage buildings are not normally considered acceptable on the front elevation, this house is oriented in such a way that the front elevation faces the driveway to the north. Therefore the addition, while facing the street, can be considered to be located on a side elevation of the house.

- The roof covering the deck is modest in scale and does not have a significant negative impact on the heritage building. The chamfered posts and wood brackets ensure the roof is sympathetic to the character of the main building.
- Staff recommend that the Panel recommend that Council authorize the issuance of Heritage Alteration Permit No. 00222.

Moved

Seconded

That the Panel recommend to Council that Heritage Alteration Permit Application No. 00222 be approved.

Carried (unanimous)

**7. 2536 Richmond Road
Request for addition to the Heritage Register (HAF 00067)**

Senior Heritage Planner

- The Garfield Vye Residence is a wood-frame, one-storey house with Queen Anne Revival style details, located on the southwest corner of Richmond Avenue and Haultain Street in the North Jubilee neighbourhood.
- Built c.1906, the house is valued as one of several remaining houses from the historic Richmond Farm and is symbolic of the early pattern of neighbourhood settlement as farms were subdivided for early suburbs.
- Based on the heritage values described in the Statement of Significance, the house has sufficient value to warrant it being added to the City's Heritage Register.

Moved

Seconded

That the Panel recommend to Council that the house at 2536 Richmond Road be added to the Heritage Register.

Carried (unanimous)

**8. 539 - 545½ Fisgard Street and 16 - 20 Fan Tan Alley
Heritage Designation Application No. 000159**

Senior Heritage Planner

- The Sheam & Lee Building is valued as part of a grouping of early buildings that contribute to the historic character and urban pattern of Victoria's Chinatown National Historic Site. The building is further valued as a representation of the dominant role Chinese merchants played in Chinatown. The building also links to the interior of the block via Fan Tan Alley.
- The owner's request for heritage designation of the property is consistent with City policies and guidelines; therefore, staff recommend that the Panel recommend that Council consider its designation.

Panel

- There is an original oculus / skylight on the second floor of this building. It was suggested that the Senior Heritage Planner discuss with the owner whether they would be willing to include the oculus as a protected interior feature in the heritage designation of the property.

Moved

Seconded

That the Panel recommend to Council that the request for heritage designation of the building at 539 - 545½ Fisgard Street and 16 - 20 Fan Tan Alley be approved.

Carried (unanimous)

9. **564 - 572 Fisgard Street and 1706 - 1708 Government Street
Heritage Designation Application No. 000160**

Senior Heritage Planner

- The George Joe Building, constructed in 1946, is valued as part of a grouping of early buildings that contribute to the historic character and urban pattern of Victoria's Chinatown National Historic Site. The building is significant as evidence of the continuing dominance of Chinese merchants in Victoria's Chinatown and the area's ongoing commercial function. The present restaurant is a much loved gathering place dating back to the 1950s and retains its original neon signs and decorative neon ceiling.
- The owner's request for heritage designation of the property is consistent with City policies and guidelines; therefore, staff recommend that the Panel recommend that Council consider its designation.

Panel

- Is the parapet part of the original building? Senior Heritage Planner: Yes.

Moved

Seconded

That the Panel recommend to Council that the request for heritage designation of the building at 564 - 572 Fisgard Street and 1706 - 1708 Government Street be approved.

Carried

10. **Business Arising from the May 10, 2016 Minutes - nil**

11. **New Business - nil**

12. **Adjournment - 1:43 pm**

NO. 17-010

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the CA-78 Zone, Central Area (Garesche) District, and to rezone land known as 727 Johnson Street from the CA-4 Zone, Central Area Commercial Office District to the CA-78 Zone, Central Area (Garesche) District.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the "ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1083)".
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of Schedule "B" under the caption PART 6.92 by adding the following words:

"6.92 CA-78 Zone, Central Area (Garesche) District"
- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 6.92 the provisions contained in Schedule 1 of this Bylaw.
- 4 The land known as 727 Johnson Street, legally described as Lot 33 Victoria City and shown hatched on the map attached to and forming part of this Bylaw as Appendix 1, is removed from the CA-4 Zone, Central Area Commercial Office District, and placed in the CA-78 Zone, Central Area (Garesche) District.

READ A FIRST TIME the	day of	2017
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READ A SECOND TIME the	day of	2017
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Public hearing held on the	day of	2017
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READ A THIRD TIME the	day of	2017
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ADOPTED on the	day of	2017
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CITY CLERK

MAYOR

PART 6.92 – CA-78 ZONE, CENTRAL AREA (GARESCHE) DISTRICT**6.92.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Uses and regulations permitted in the CA-4 Zone, Central Area Commercial District, subject to the regulations set out in Part 6.8 of the Zoning Regulation Bylaw

6.92.2 Community Amenities

The following must be provided as a condition of additional density pursuant to Part 6.92.3:

- a. Rehabilitation of the existing building on the lands in accordance with the heritage conservation plan in Schedule B of the restrictive covenant registered against title to the lands pursuant to section 219 of the Land Title Act; and
- b. Provision of a housing agreement pursuant to section 483 of the Local Government Act to require that all residential dwellings are to be used and occupied only as rental units in perpetuity.

6.92.3 Lot Area

- | | |
|-------------------------------|-------------------|
| a. <u>Lot area</u> (minimum) | 668m ² |
| b. <u>Lot width</u> (minimum) | 18m |

6.92.4 Floor Area and Additional Density

- | | |
|---|--------|
| a. <u>Floor space ratio</u> (maximum) where the community amenity has not been provided, referred to in Part 6.92.2 | 3.0:1 |
| b. <u>Floor Space Ratio</u> (maximum) where the community amenity has been provided, referred to in Part 6.92.2 | 4.35:1 |

6.92.5 Height, Storeys

- | | |
|---|-----|
| a. Principal <u>building height</u> (maximum) | 43m |
|---|-----|

6.92.6 Bicycle Parking

- | | |
|-------------------------------------|--|
| a. Bicycle parking Class 1(minimum) | Subject to the regulations in Schedule "C" |
| b. Bicycle parking Class 2(minimum) | Not required |

A BYLAW OF THE CITY OF VICTORIA

HOUSING AGREEMENT (727 JOHNSON STREET) BYLAW

The purpose of this Bylaw is to authorize an agreement for rental housing for the lands known as 727 Johnson Street, Victoria, BC.

Under its statutory powers, including section 483 of the *Local Government Act*, the Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the "HOUSING AGREEMENT (727 JOHNSON STREET)
BYLAW".

Agreement authorized

- 2 The Mayor and the City Clerk are authorized to execute the Housing Agreement:
- (a) substantially in the form attached to this Bylaw as Schedule A;
 - (b) between the City and Alston Properties Ltd. or other registered owners from time to time of the lands described in subsection (c); and
 - (c) that applies to the lands known as 727 Johnson Street legally described as:
Lot 33 Victoria City.

READ A FIRST TIME the _____ day of _____ 2017

READ A SECOND TIME the _____ day of _____ 2017

READ A THIRD TIME the _____ day of _____ 2017

ADOPTED on the _____ day of _____ 2017

CITY CLERK

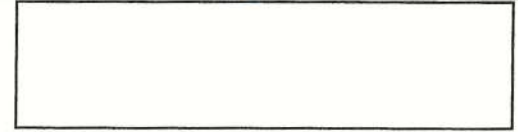
MAYOR

LAND TITLE ACT
FORM C (Section 233) CHARGE
GENERAL INSTRUMENT - PART 1 Province of British Columbia

COPY

PAGE 1 OF 63 PAGES

Your electronic signature is a representation that you are a subscriber as defined by the Land Title Act, RSBC 1996 c.250, and that you have applied your electronic signature in accordance with Section 168.3, and a true copy, or a copy of that true copy, is in your possession.



1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

Johns Southward Glazier Walton & Margetts LLP
 Barristers and Solicitors
 204 - 655 Tyee Road
 Victoria BC V9A 6X5

Tel: 250-381-7321
 File: 151515

Deduct LTSA Fees? Yes ☒

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
 [PID] [LEGAL DESCRIPTION]

005-137-993 LOT 33, VICTORIA CITY

STC? YES ☐

3. NATURE OF INTEREST

Covenant

CHARGE NO.

ADDITIONAL INFORMATION

Section 219

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) ☐ Filed Standard Charge Terms D.F. No.

(b) ☒ Express Charge Terms Annexed as Part 2

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

ALSTON PROPERTIES LTD. (INC. NO. BC0815589)

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

THE CORPORATION OF THE CITY OF VICTORIA

#1 CENTENNIAL SQUARE

VICTORIA

BRITISH COLUMBIA

V8W 1P6

CANADA

7. ADDITIONAL OR MODIFIED TERMS:

N/A

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

Eric A. Kerr
 Barrister and Solicitor
 #204 - 655 Tyee Road
 Victoria, BC V9A 6X5

Execution Date

Y	M	D
16	10	03

Transferor(s) Signature(s)

ALSTON PROPERTIES LTD.

by its authorized signatory:

Michael Alston

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

**LAND TITLE ACT
FORM D**

EXECUTIONS CONTINUED

PAGE 2 of 63 PAGES

Officer Signature(s)

Execution Date

Transferor / Borrower / Party Signature(s)

Y M D

16

THE CORPORATION OF THE CITY
OF VICTORIA by its authorized
signatory(ies):

Print Name:

Print Name:



OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

TERMS OF INSTRUMENT - PART 2

THIS AGREEMENT is made with effect as of the 3rd day of October, 2016.

BETWEEN:

ALSTON PROPERTIES LTD. (INC.NO. BC0815589)

Unit 5, 602 Barbon Street

Victoria, B.C.

V8Z 1C5

(the "**Owner**")

OF THE FIRST PART

AND:

THE CORPORATION OF THE CITY OF VICTORIA

#1 Centennial Square

Victoria, B.C.

V8W 1P6

(the "**City**")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee-simple of those lands and premises located within the City of Victoria, in the Province of British Columbia, with a civic address of 727 Johnston Street, Victoria, B.C. and legally described as:

PID: 005-137-993

Legal Description: Lot 33, Victoria City

(the "**Lands**");

- B. The Owner has applied to the City for an amendment to the City's Zoning Regulation Bylaw No. 80-159 (the "**Zoning Bylaw**") in relation to the Lands, and for a Development Permit to permit the development of a five (5) storey mixed-use building, including retail or other commercial uses on the ground floor and approximately thirty (30) residential units on the upper four (4) floors of the building.
- C. Section 219 of the *Land Title Act* provides that a covenant, whether of negative or positive nature,

- (a) in respect of the use of land or the use of a building on or to be erected on land;
- (b) that land is to be built on in accordance with the covenant;
- (c) that land is not to be used, built on or subdivided;
- (d) that land or specified amenities be protected, preserved, conserved, maintained, enhanced, restored or kept in their natural or existing state;

may be granted in favour of the City and may be registered as a charge against the title to that land.

NOW THEREFORE THIS AGREEMENT WITNESSES that under Section 219 of the *Land Title Act*, and in consideration of the premises and the mutual covenants and agreements contained herein, and the sum of ONE (\$1.00) DOLLAR of lawful money of Canada now paid to the Owner by the City (the receipt and sufficiency of which is hereby acknowledged), and for other good and valuable consideration, the parties covenant and agree each with the other as follows:

1. The Owner covenants, promises and agrees that, notwithstanding the uses permitted from time to time by the City's Zoning Bylaw, the Lands shall not be used except in strict accordance with this Covenant.
2. In this Agreement, "Design Drawings" means the Design Drawings prepared by Studio One Architecture Inc. on file with the City of Victoria and dated stamped April 7, 2016, a copy of which is attached hereto as Schedule "A".
3. In this Agreement, "Heritage Conservation Plan" means the Conservation Plan prepared by Donald Luxton and Associates Inc. dated October 2015, a copy of which is attached hereto as Schedule "B".
4. The Owner further covenants and agrees with the City that from and after the date of adoption of the bylaw amending the City's Zoning Bylaw in relation to the Lands, the Owner shall:
 - (a) not demolish any buildings on the Lands;
 - (b) not design, site, construct or finish any building on the Lands except in strict accordance with the Design Drawings and, without limitation, the finish on the buildings on the Lands shall be in accordance with pages A2.0 and A2.1 of the Design Drawings; and
 - (c) preserve, rehabilitate, restore and maintain the building which exists on the Lands on the date on which this instrument is registered in accordance with Heritage Conservation Plan.

5. The Owner and the City agree that the Director of Sustainable Planning and Community Development for the City (the "**Director**") may approve, in writing, minor non-substantive amendments to the Development Drawings attached as Schedule "A" which, in the opinion of the Director, do not significantly affect the integrity of the building design and landscaping design or the form and character of the development on the Lands.
6. The Owner and the City agree that enforcement of this Agreement shall be entirely within the discretion of the City and that the execution and registration of this covenant against title to the Lands shall not be interpreted as creating any duty on the part of the City to the Owner or to any other person to enforce any provision or prevent or restrain the breach of any provision of this Agreement.
7. The Owner shall indemnify and save harmless the City and each of its elected and appointed officials, officers, employees, agents and contractors, from any and all claims, causes of action, suits, demands, fines, penalties, costs or expenses or legal fees whatsoever which anyone has or may have, whether as owner, occupier or user of the Lands, or by a person who has an interest in or comes onto the Lands, or otherwise, which the City incurs as a result of any loss or damage or injury, including economic loss, arising out of or connected with:
 - (a) the breach of any covenant in this Agreement;
 - (b) the use of the Lands contemplated under this Agreement; and
 - (c) restrictions or requirements under this Agreement.
8. The Owner hereby releases and forever discharges the City and each of its elected and appointed officials, officers, employees, agents and contractors, of and from any claims, causes of action, suits, demands, fines, penalties, costs or expenses or legal fees whatsoever which the Owner can or may have against the City for any loss or damage or injury, including economic loss, that the Owner may sustain or suffer arising out of or connected with:
 - (a) the breach of any covenant in this Agreement;
 - (b) the use of the Lands contemplated under this Agreement; and
 - (c) restrictions or requirements under this Agreement.
9. At the Owner's expense, the Owner must do everything necessary to secure priority of registration and interest for this Agreement and the Section 219 Covenant it creates over all registered and pending charges and encumbrances of a financial nature against the Lands.
10. Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions under any enactment

and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

11. Where the City is required or permitted by this Agreement to form an opinion, exercise a discretion, express satisfaction, make a determination or give its consent, the Owner agrees that the City is under no public law duty of fairness or natural justice in that regard and agrees that the City may do any of those things in the same manner as if it were a private party and not a public body.
12. Time is of the essence of this Agreement.
13. The Owner covenants and agrees for itself, its heirs, executors, successors and assigns, that it will at all times perform and observe the requirements and restrictions set out in this Agreement and they shall be binding upon the Owner as personal covenants only during the period of its respective ownership of any interest in the Lands.
14. This Agreement shall enure to the benefit of the City and shall be binding upon the parties hereto and their respective heirs, executors, successors and assigns.
15. This Agreement is the entire agreement between the parties hereto regarding its subject.
16. It is mutually understood, acknowledged and agreed by the parties hereto that the City has made no representations, covenants, warranties, guarantees, promises or agreements (oral or otherwise) with the Owner other than those contained in this Agreement.
17. The waiver by a party of any breach of this Agreement or failure on the part of the other party to perform in accordance with any of the terms or conditions of this Agreement is not to be construed as a waiver of any future or continuing failure, whether similar or dissimilar, and no waiver shall be effective unless it is in writing signed by both parties.
18. Wherever the singular, masculine and neuter are used throughout this Agreement, the same is to be construed as meaning the plural or the feminine or the body corporate or politic as the context so requires.
19. No remedy under this Agreement is to be deemed exclusive but will, where possible, be cumulative with all other remedies at law or in equity.
20. The restrictions and covenants herein contained shall be covenants running with the Lands, and shall continue to bind all of the Lands when subdivided, and shall be registered in the Victoria Land Title Office pursuant to section 219 of the *Land Title Act* as covenants in favour of the City as a first charge against the Lands.

21. The Owner agrees to execute all other documents and provide all other assurances necessary to give effect to the covenants contained in this Agreement.
22. By executing and delivering this Agreement each of the parties intends to create both a contract and a deed executed and delivered under seal.
23. If any part of this Agreement is found to be illegal or unenforceable, that part will be considered separate and severable and the remaining parts will not be affected thereby and will be enforceable to the fullest extent permitted by law.
24. If the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement
25. This Agreement is to be construed in accordance with and governed by the laws applicable in the Province of British Columbia.

The Owner and City acknowledge that this Agreement has been duly executed and delivered by the parties executing Forms C and D to which this Agreement is attached and forms a part hereof.

Schedule A
[SEE ATTACHED]



PROPOSED RENOVATION | 727 JOHNSON STREET, VICTORIA, B.C.

RE-ISSUED FOR DEVELOPMENT PERMIT & REZONING

CONSULTANTS

Architects:
STUDIO ONE ARCHITECTURE INC.
 240 - 388 West 8th Avenue
 Vancouver, BC V5Y 3X2
 Tori Voss
 P: 604.731.1966
 F: 604.734.1121

Engineer:
DONALD LUXTON & ASSOCIATES INC.
 1030 - 470 Granville Street
 Vancouver, BC V6C 1V5
 Donald Luxton
 P: 604.682.1216

DRAWING LIST:

- A0.0 COVER PAGE
- A0.1 PROJECT STATISTICS
- A0.5 SITE PLAN
- A1.1 PROPOSED & EXISTING GROUND FLOOR PLAN
- A1.2 PROPOSED & EXISTING 2nd & 3rd FLOOR PLANS
- A1.3 PROPOSED 4th & 5th FLOOR PLANS
- A2.0 BUILDING ELEVATIONS
- A2.1 SIDE ELEVATIONS & MATERIALS
- A2.2 FRONT FACADE DETAILS
- A3.0 BUILDING SECTION & RENDERINGS


240 - 388 West 8th Avenue
 Vancouver, B.C. V5Y 3X2
 Tel: 604-731-1966
 Fax: 604-734-1121
 development@studioone.ca
 studioone.ca

studioone
 architecture inc.

April 7, 2016

studio**one**
architecture inc.

[illegible]

project no. : 15061	
drawn by: EN	
checked by: JN	
date: APR 02, 2016	
scale: AS SHOWN	

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Drawing (a)

AGF

A0.5

FIELD
The Field Institute

[illegible]

247 - 386 West 4th Ave.
Vancouver, B.C. V5Y 3X2
Tel: 604 - 731 - 3066
Fax: 604 - 734 - 1121
The Lister-Harris Group Ltd.
P.O. Box 404, North Vancouver, B.C.

studioone
architecture inc.

Georgi Nersisyan is the managing director of the Center for Economic Policy Research.

no.	date	description
C	APR. 02-11	ISSUED FOR UP & FEED
B	NOV. 20-15	ISSUED FOR UP & FEED
A	JUL. 02-15	ISSUED FOR UP & FEED

project title:
727 JOHNSON STREET
VICTORIA, BC

Drawing title:
**PROPOSED & EXISTING
2nd & 3rd FLOOR PLANS**

project no.	1500
drawn by	TH
checked by	TH
date	APR 07, 2011
scale	AS SHOWN

drawn to:

A1.2

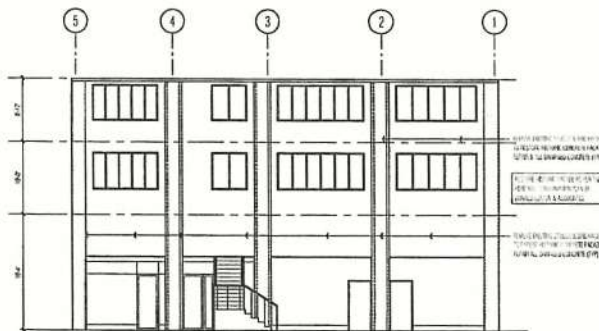


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scale: NTS

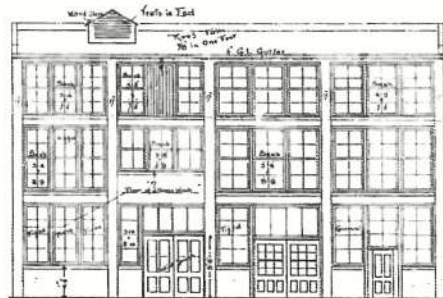


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scale: NTS

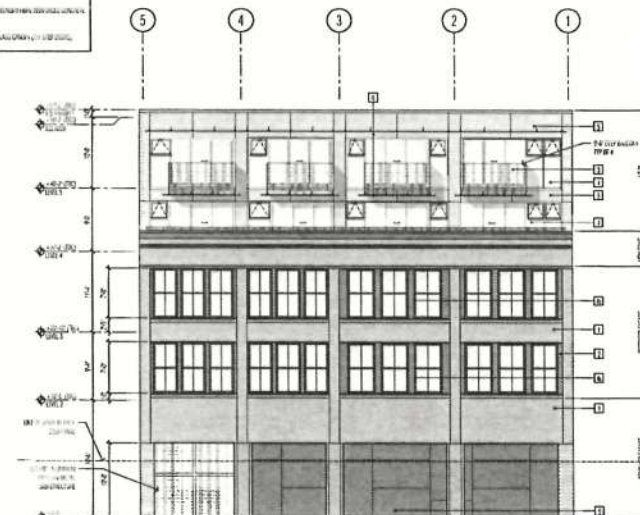
- LEGEND:**
- 1. EXISTING BUILDING MATERIALS TO BE REPAIRED OR REPLACED
 - 2. NEW BUILDING MATERIALS TO BE ADDED TO EXISTING BUILDING
 - 3. EXISTING BUILDING MATERIALS TO BE DEMOLISHED
 - 4. NEW BUILDING MATERIALS TO BE ADDED TO EXISTING BUILDING
 - 5. EXISTING BUILDING MATERIALS TO BE DEMOLISHED
 - 6. NEW BUILDING MATERIALS TO BE ADDED TO EXISTING BUILDING
 - 7. EXISTING BUILDING MATERIALS TO BE DEMOLISHED
 - 8. NEW BUILDING MATERIALS TO BE ADDED TO EXISTING BUILDING



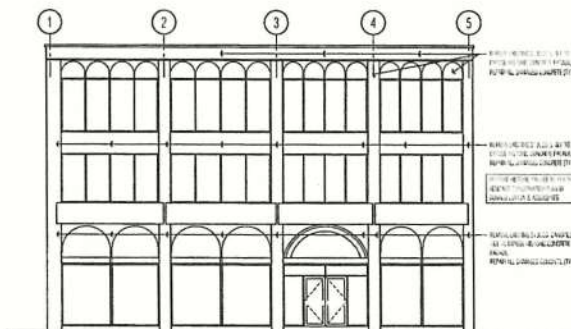
6 EXISTING REAR ELEVATION
scale: 1/8" = 1'-0"



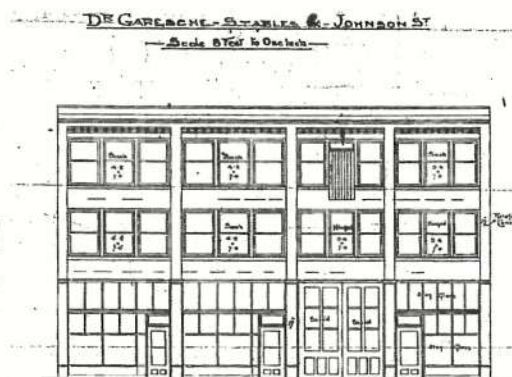
5 HERITAGE (1910) REAR ELEVATION
scale: 1/8" = 1'-0"



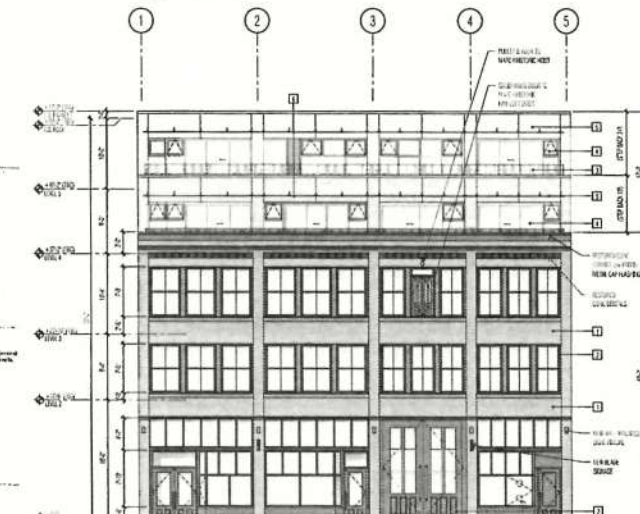
4 PROPOSED REAR ELEVATION (RESTORED TO HERITAGE)
scale: 1/8" = 1'-0"



1 EXISTING FRONT ELEVATION
scale: 1/8" = 1'-0"



7 HERITAGE (1910) FRONT ELEVATION (JOHNSON ST)
scale: 1/8" = 1'-0"



3 PROPOSED FRONT ELEVATION (RESTORED TO HERITAGE)
scale: 1/8" = 1'-0"

200-388 West 10th Ave
Victoria, B.C. V8Y 2G2
Tel: 604-731-3000
Fax: 604-731-1121
studioone inc. is
a registered member of the
British Columbia Building
Association (BCBA)

studioone
architecture inc.

B. 1910-1915 FACADE REPAIRS
C. 1910-1915 FACADE REPAIRS
D. 1910-1915 FACADE REPAIRS
E. 1910-1915 FACADE REPAIRS

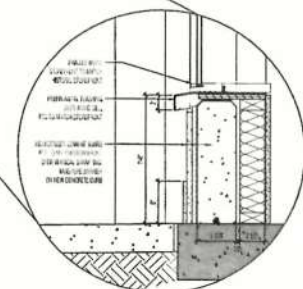
project no. 727 JOHNSON STREET
VICTORIA, BC

drawing title: BUILDING ELEVATION

prepared by: JSM
drawn by: JSM
checked by: JSM
date: APR. 27, 2015
issue: 1/1

drawing no.

A2.0



studio**one**
architecture inc.

A2.2

Schedule B

[SEE ATTACHED]

DR. GARESCHÉ STABLES & OFFICES

727 JOHNSON STREET, VICTORIA

CONSERVATION PLAN

OCTOBER 2015



DONALD LUXTON
AND ASSOCIATES INC. 

DONALD LUXTON AND ASSOCIATES INC.
1030 - 470 GRANVILLE STREET VANCOUVER BC V6C 1V5
info@donaldluxton.com 604 688 1216 www.donaldluxton.com

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Front, north-facing façade

1.0 INTRODUCTION

NAME: Garesché Stables & Offices
ADDRESS: 727 Johnson Street
FIRST OWNER: Dr. Arthur John Garesché
ARCHITECT: George C. Mesher Co.
CONTRACTOR: George C. Mesher Co.
DATE OF CONSTRUCTION: 1910

Located mid-block on the south side of the 700 block of Johnson Street, the western half of this three-storey structure was built as a stable for City Livery, with rooms for carriages on the ground floor, horse stables on the second floor and a hay loft on the top floor. The eastern half of the building was rented as stores, and soon after construction was occupied by the Plimley garage.

Alterations were made to the storefronts in 1962 when the ground floor became the temporary premises of the Bank of Nova Scotia. An extensive alteration, designed by architect L.O. Lund in December 1967, inserted a retail arcade at the ground level; at that time the front elevation windows and storefronts were completely altered.

M. Oak Bay Municipality
 VICTORIA, B.C. July 11, 1912
 IN ACCOUNT WITH
Thos. Plimley
 Bicycles and Automobiles
 Garage: 727 JOHNSON STREET Phone 697
 Office and Store: 729 JAMES STREET Phone 624

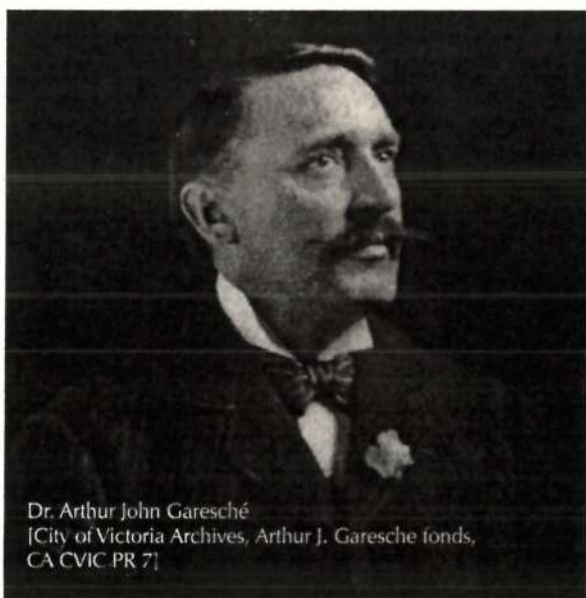
To yachting on lake wheel	90
To guard repaired & adj	50
	25
	25
	140

We hereby certify that with respect to attached account:
 Goods have been received
 Work has been performed
 Prices are in accordance with contract
 Extensions, additions, etc. are correct

W. Noble

Thomas Plimley Commercial Invoice, Victoria, BC, 1912 [www.antiquarius.com]

2.0 HISTORIC CONTEXT



Dr. Arthur John Garesché
[City of Victoria Archives, Arthur J. Garesché fonds,
CA CVIC PR 7]

2.1 FIRST OWNER: DR. ARTHUR JOHN GARESCHE

Arthur John Garesché (1860-1952) was born in Volcanoville, California on October 24, 1860 and came to Victoria in 1866 with his family. His father was Francis Garesché of the banking firm Garesché, Green and Company. He began his apprenticeship in dentistry in Portland, Oregon, in 1881 and later attended the University of Pennsylvania Dental College, graduating in 1887. He returned to Victoria in 1895 and opened a dental practice. On August 18, 1902 he married Millicent Mary Trimen, who was born at Wroxall, Isle of Wight, England on August 30, 1873. She was the daughter of architect Leonard Buttress Trimen and Susanna Mary Chaillé, and lived in Exeter, Devonshire before immigrating to Canada in September 1892. On October 3, 1892 she arrived in Victoria, where her father had already set up his architectural practice. Dr. Garesché died in Victoria, on September 14, 1952, three months after closing his practice. At the time of his death, he was reputedly the longest-serving dentist in North America.

2.2 ARCHITECT AND CONTRACTOR: GEORGE C. MESHER CO.

George Charles Mesher (1860-1938) developed an excellent reputation as a contractor in Victoria. Although not formally trained in architecture, later in his career he designed a number of very prominent buildings. Born in Weybourne, Surrey, England, in 1860, he was the oldest of eight children. His father, George Mesher, was born in Brompton, Co. Kent, England in 1831 and had earned his living in England as a builder and contractor, and his son had worked with him learning the trade. The widowed Mesher Sr. came to Victoria B.C. with his family in 1886 at the age of fifty-five. He created a new business operation called George Mesher & Co. with his son, and they offered services both as architects and builders on commercial and residential commissions.

The Meshers were fortunate to arrive in Victoria when a building boom was underway. One factor in their success was the abundant energy of G.C. Mesher. His grandson recalled that he only “needed four hours sleep” and “he liked to get up early.” Now established, the Mesher family built a large home at 60 Second Street in 1888. The following year they bought three adjacent lots and built two more houses. Their growing reputation soon led to some of the largest contracts of their career, and they were busy constructing mansions in the prestigious Rockland district as well as a number of downtown commercial blocks. Their biggest contract in the 1890s was a four-storey office building, the Five Sisters Block, designed by Sorby & Wilson. This was followed by the contract to construct Maclure’s Temple Building on lower Fort Street.

Despite a busy work life, G.C. Mesher found time in 1892 to go to England and bring back a bride, Janet Elizabeth McDonald. The couple soon had two daughters, Theresa and Violet. A few years later George bought lots on South Turner Street in James Bay and built a large residence, a fine example of Queen Anne style, along with a similar house he

built in the Cowichan Valley; for these houses Mesher was probably adapting pattern book plans. Mesher Sr. retired in the mid-1890s, although he kept his hand in the business almost until his death in 1912. Though construction was slow after 1892, Mesher kept busy by developing property in the Rockland, Fairfield, and James Bay neighbourhoods. Around 1900 he entered into an investment partnership with Dr. I.W. Powell, an important figure in B.C.'s early political history. Among their acquisitions was a two-acre parcel fronting on Dallas Road, where Mesher put up several residences. The finest and largest house built on the Dallas parcel was the one he designed for his own family, completed in 1904.

During Victoria's great building boom, 1907-12, Mesher worked increasingly as an architect. Undoubtedly his diverse experience gave him confidence, and he designed almost all the major buildings he constructed during this period. To Victoria's burgeoning downtown, Mesher contributed three reinforced concrete structures, each six storeys high, with ground floor retail and upper floor offices. Sparsely ornamented and functional, they reveal the influence of the popular Chicago School. The largest belonged to Pemberton & Sons, the city's most successful real estate development firm. The exterior of the Pemberton Block, 1911, was a grid of large window bays separated by clean horizontal and vertical lines and crowned by a wide bracketed cornice. It was one of Mesher's most accomplished buildings and, for a while, the largest office block in the city. This building also demonstrated that Mesher was one of the pioneers of the use of reinforced concrete construction on the west coast. He made innovative use of flat plate construction in the Pemberton Building by extending floor slabs to form outer wall beams that are boldly expressed on the facade of this substantial office building. The Sayward Block, 1911, on the corner of Douglas and View Streets, resembled the Pemberton Block, and was named

after its principal investor, prominent businessman J.A. Sayward. The last of this triumvirate was the Metropolis Building on Yates Street, 1913, similar to the others but with the upper floors used as a hotel.

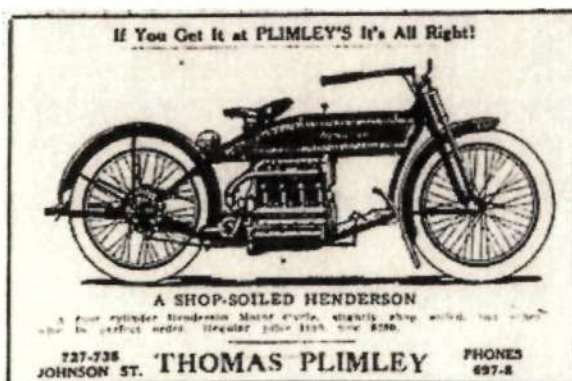
During the boom period, attractive apartment blocks with all the facilities for independent and respectable living sprang up in Victoria, and Mesher built three of the finest: October Mansion, 1910; The Savoy Mansion, 1911; and Hampton Court, 1913. There was little construction work available after the outbreak of the First World War. Although Mesher was a prolific builder and generated considerable income, he was not a good business manager. According to his grandson he ran into financial difficulties in 1916 and for a time relied upon liquor revenue from a Yates Street hotel in which he had interests, but that was lost when prohibition started in 1919. Mesher retired about 1924 and in 1928 moved to the Alberni Valley where he built a large house with his own hands. He died in Vancouver in 1938.



George Mesher [courtesy John R.H. Ley family]

2.3 THOMAS PLIMLEY

This building is also associated with pioneer auto dealer Thomas John Plimley (1871-1929) who trained as a machinist in his hometown of Birmingham, England. He immigrated to Victoria in 1893, worked with Albion Iron Works, and then opened a bicycle shop called Plimley & Ritchie Limited. In 1905, he established one of the first automobile businesses in Western Canada. He was dedicated to bringing the newest transportation technologies to the people of Victoria, and in 1901 he sold the first car in the city, a tiller-steered Oldsmobile. The firm sold a number of the famous early autos: Daimler, Hupmobile, and Overland. His wife Rhoda (née Hanis, 1872-1927), born in Staffordshire, England, was the area's first female driver. In 1907, Thomas's brother, Allan, moved from England to join him. Plimley's Garage opened at this Johnson Street location in 1910. The business continued to expand, and in 1922 the company was incorporated as Thomas Plimley Limited. In 1927, Thomas Plimley built a new used car showroom at 1010 Yates Street. Their son, Thomas Horace Plimley, took over the family business in 1929, and opened a British car dealership in Vancouver in 1936. From 1957 to 1986, Horace's son Basil was one of the few third generation executives of a B.C. business.



Clockwise from Top: Plimley Automobile Co. Ltd. Showroom, 606 Government Street, circa 1905 [British Columbia Archives A-03052]; Plimley Victoria Automobile Emblem [The Spanner: Dedicated to British Motoring in BC, Volume 21, August 2012]; Plimley Advertisement [Victoria Daily Colonist, 1915]; Thomas Plimley [The Spanner: Dedicated to British Motoring in BC, Volume 21, August 2012]

HISTORIC CONTEXT



Above: City of Victoria Archives M00707. Below: City of Victoria Archives M01247.

3.0 STATEMENT OF SIGNIFICANCE

DESCRIPTION OF THE HISTORIC PLACE

The Garesché Stables & Offices is a three-storey, masonry commercial building, located midblock on the south side of Johnson Street between Douglas and Blanshard Streets, in downtown Victoria. It forms part of a grouping of older structures of similar scale that remain on part of this block. The front façade is divided into four bays by concrete columns, with tall ground-floor storefront openings and banked upper floor windows.

HERITAGE VALUE OF THE HISTORIC PLACE

The heritage value of the Garesché Stables & Offices is summarized below in accordance with Victoria's Heritage Thematic Framework.

THEME 2: GATEWAY ECONOMY

Subtheme 2.2: Resource Base

The Garesché Stables & Offices has been constantly adapted for new uses, and is valued for its continuous commercial use over time. Constructed during the height of the pre-World War One real estate boom, the Garesché Stables & Offices is valued as a reflection of the surge of development that characterized Victoria's expanding gateway economy. With its substantial size, masonry construction and simple detailing, it remains a prominent presence on the street. Built in 1910 as a purpose-built stable, it has been used continuously for commercial purposes, and is a significant contribution to the historic character of this block of Johnson Street. The scale of the building reflects the optimism and rapid growth of the Edwardian era, prior to the collapse of the local economy in 1913 and the outbreak of World War One in 1914. This building also demonstrated the transition in transportation that was occurring rapidly at the time, housing both a livery stable and the soon to be dominant automobile.

THEME 5: CULTURAL EXCHANGE

Subtheme 5.1: Architectural Expression / Edwardian Era Architecture

Built to be overtly functional, the Garesché Stables & Offices is significant as one of the earliest local examples of use of reinforced concrete as a façade material. The architect and contractor, English-born George Charles Mesher (1860-1938), developed an outstanding reputation as a contractor. In 1886, Mesher and his widowed father, George Mesher Sr., relocated to Victoria. Mesher Sr. had earned his living in England as a builder and contractor, and his son had worked with him learning the trade. The Meshers were fortunate to arrive in Victoria when the resource-based economic boom was underway. When they set up shop in Victoria in 1887 they continued as partners in their contracting work. Although not formally trained in architecture, Mesher designed a number of prominent buildings in Victoria. He was also one of the pioneers of the use of reinforced concrete construction on the west coast. This evolving technology enabled broad spans of glazing at the ground floor and upper floor levels. With its tripartite articulation, interwoven horizontal and vertical bands of reinforced concrete and banked windows, the building also demonstrates the influence of the Chicago School on Victoria's Edwardian-era commercial buildings.

STATEMENT OF SIGNIFICANCE

THEME 1: COASTAL SETTLEMENT

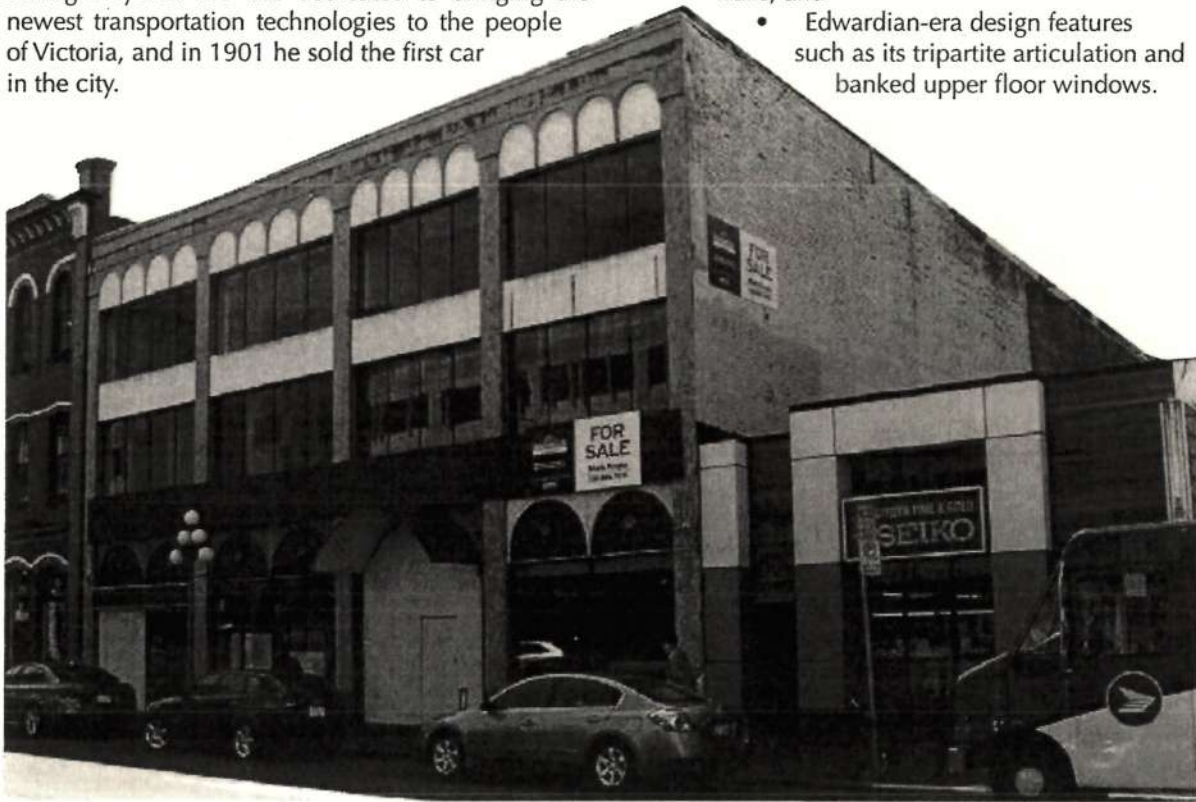
Subtheme 1.2: Multi-Cultural Origins

The structure is additionally significant for its association with pioneer Victoria resident Dr. Arthur John Garesché (1860-1952), born in California, who came to Victoria in 1866 with his family. After obtaining his education in the United States, he returned to Victoria in 1895 and opened a dental practice. At the time of his death, he was reputedly the longest-serving dentist in North America. The Garesché Stables & Offices is also valued for its association with pioneer auto dealer Thomas Plimley (1871-1929) and the Plimley family. English born, Thomas Plimley began his career in Victoria by selling bicycles. He was dedicated to bringing the newest transportation technologies to the people of Victoria, and in 1901 he sold the first car in the city.

CHARACTER-DEFINING ELEMENTS

Key elements that define the heritage character of the Garesché Stables & Offices include its:

- location on the south side of Johnson Street, in Victoria's downtown core, part of a grouping of historic buildings of similar scale;
- continuous commercial use;
- commercial form, scale and massing as expressed through its rectangular, three-storey height, rectangular plan with a flat roof, and tall storefront openings;
- construction materials, such as its reinforced concrete façade and common red-brick side walls; and
 - Edwardian-era design features such as its tripartite articulation and banked upper floor windows.



4.0 CONSERVATION GUIDELINES

4.1 STANDARDS AND GUIDELINES

The 1910 Garesché Stables and Offices is an important historic resource in downtown Victoria. The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) is the source used to assess the appropriate level of conservation and intervention. Under the Guidelines, the work proposed for the Garesché Stables and Offices includes aspects of preservation, rehabilitation and restoration.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

Interventions to the Garesché Stables and Offices should be based upon the Standards outlined in the *Standards and Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property:

STANDARDS

Standards relating to all Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining element to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

Additional Standards relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

4.2 CONSERVATION REFERENCES

For the proposed rehabilitation project the following conservation resources should be referred to:

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010.
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

National Park Service, Technical Preservation Services Preservation Briefs:

Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings
<http://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings
<http://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

Preservation Brief 11: Rehabilitating Historic Storefronts
<http://www.nps.gov/tps/how-to-preserve/briefs/11-storefronts.htm>

Preservation Brief 15: Preservation of Historic Concrete
<http://www.nps.gov/tps/how-to-preserve/briefs/15-concrete.htm>

Preservation Brief 41: The Seismic Retrofit of Historic Buildings.
<http://www.nps.gov/tps/how-to-preserve/briefs/41-seismic-retrofit.htm>

4.3 GENERAL CONSERVATION STRATEGY

Proposed Redevelopment Scheme

The proposed design for the Garesché Stables and Offices by Studio One Architecture Inc. includes:

- The preservation of the historic structure in situ;
- The restoration of the historic street façade to its 1910 appearance;
- The rehabilitation of the storefronts and interior space to house retail space on the ground floor and residential suites on the upper floors;
- A recessed two-storey addition accommodating residential suites.

The intent is presently to phase the project commencing with the restoration of the concrete of the historic 1910 street façade; further conservation work will commence upon negotiation with the City.

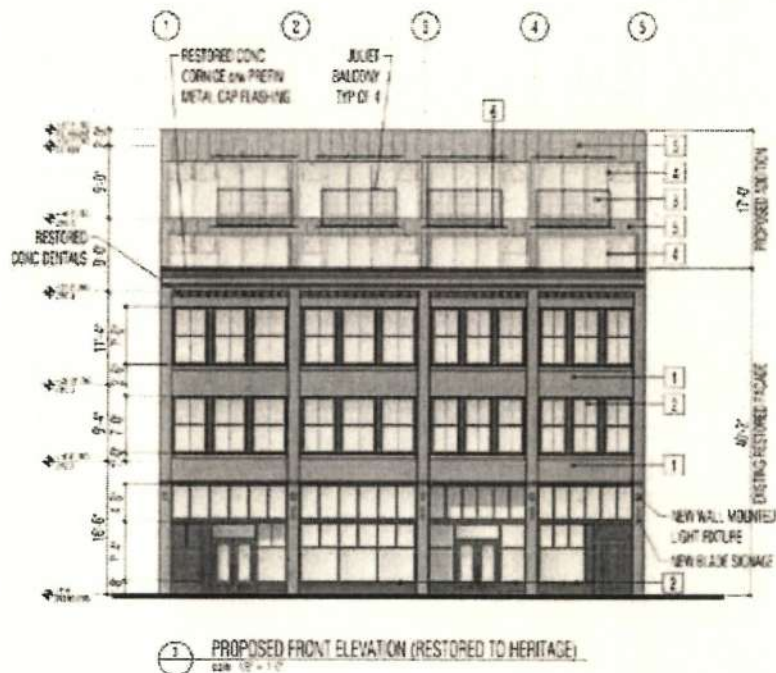
Proposed Guidelines for New Additions

Due to the proposed two-storey addition above the top floor of the original Garesché Stables and Offices, all new visible construction will be considered a modern intervention on the site. The *Standards and Guidelines* list recommendations for new construction related to historic places. The proposed design scheme should follow Standards 11 and 12:

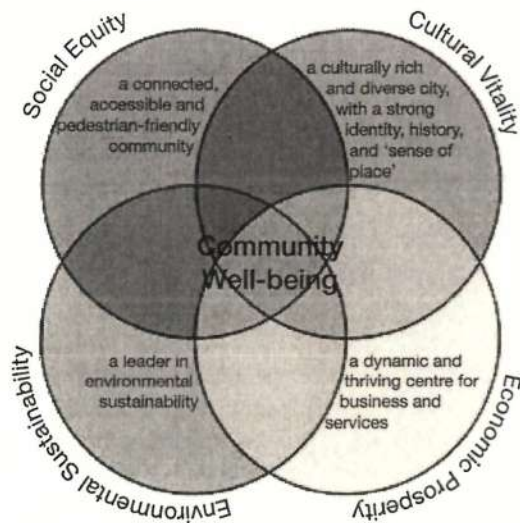
- Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

New construction should be subordinate to the historic place. This is best understood to mean that the new construction must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition to the site could adversely affect an historic place more than a large, well-designed addition. New construction should be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

Design for the new work may be contemporary or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.



[Studio One Architecture Inc.]



Four Pillars of Sustainability
[CityPlan 2030 - City of Norwood Payneham & St. Peters]

4.4 SUSTAINABILITY STRATEGY

The four-pillar model of sustainability identifies the following interlinked dimensions: environmental, economic, social and cultural sustainability, the latter including the built heritage environment.

In a practical context, the conservation and re-use of historic structures contributes to environmental sustainability by:

- Reducing solid waste disposal (reduced impact on landfills and their expansions);
- Saving embodied energy (defined as the total expenditure of energy involved in the creation of the building and its constituent materials);
- Conserving historic materials that are significantly less consumptive of energy than many new replacement materials (often local and regional materials, e.g. timber, brick, concrete can be preserved and reduce the carbon footprint of manufacturing and transporting new materials).

The following considerations for energy efficiency in historic structures are recommended in the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) and can be utilized for the Garesché Stables and Offices.

Sustainability Considerations

- Add new features to meet sustainability requirements in a manner that respects the exterior form and minimizes impact on character-defining elements.
- Work with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
- Comply with energy efficiency objectives in a manner that minimizes impact on the character-defining elements and overall heritage value of the historic building.

4.5 HERITAGE EQUIVALENCIES & EXEMPTIONS

Once the historic Garesché Stables and Offices is placed on the Heritage Register or legally protected, it will be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following municipal legislation.

4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. A number of equivalencies have been adopted in the British Columbia Building Code (2012) that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

4.5.2 ENERGY EFFICIENCY ACT

The provincial *Energy Efficiency Act* (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) for further detail about Energy Efficiency Considerations.

4.5.3 HOME OWNER PROTECTION ACT

Amendments to the Homeowner Protection Act Regulation made in 2010 allow for exemptions for heritage sites from the need to fully conform to the BC Building Code under certain conditions, thus removing some of the barriers to compliance that previously conflicted with heritage conservation standards and guidelines. The changes comprised

(1) an amendment to the Homeowner Protection Act Regulation, BC Reg. 29/99 that allows a warranty provider, in the case of a commercial to residential conversion, to exclude components of the building that have heritage value from the requirement for a warranty, and

(2) clarification of the definition of 'substantial reconstruction.' The latter clarification explains that 75% of a home must be reconstructed for it to be considered a 'new home' under the Homeowner Protection Act, thus enabling single-family dwelling to multi-family and strata conversions without the Act coming into play. The definition of a heritage building is consistent with that under the Energy Efficiency Act.

4.6 SITE PROTECTION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. As the Garesché Stables and Offices are presently vacant, the structure should be secured against unauthorized access or damage through the use of appropriate security measures based on the following checklist:

Moisture

- Is the roof watertight?
- Are openings protected?

Ventilation

- Have steps been taken to ensure proper ventilation of the building?
- Have interior doors been left open for ventilation purposes?
- Has the secured building been checked within the last 3 months for interior dampness or excessive humidity?

Security

- Are plans in place to monitor the building on a regular basis?
- Are the keys to the building in a secure but accessible location?

CONSERVATION GUIDELINES



Rendering of proposed facade [Studio One Architecture Inc.]

5.0 CONDITION REVIEW & CONSERVATION RECOMMENDATIONS

5.2 FORM, SCALE AND MASSING

A review of the exterior of the Garesché Stables and Offices was carried out during a site visit in 2015. The recommendations for the preservation and restoration of the 1910 structure are based on the site review and archival documents that provide valuable information about the original 1910 appearance of the historic building designed by architect and contractor George C. Mesher Co.

Later alterations to the storefronts were carried out in 1962. An extensive alteration designed by architect L.O. Lund in 1967 inserted a retail arcade at the main floor, in addition to significant modifications of the front elevation windows and storefronts.

The following chapter describes the existing materials, physical condition and recommended conservation strategy for the Garesché Stables and Offices based on Parks Canada's *Standard and Guidelines for the Conservation of Historic Places in Canada* (2010).

5.1 SITE

The Garesché Stables and Offices are located mid-block on the south side of Johnson Street between Douglas and Blanshard Streets, in downtown Victoria. The historic structure is part of a grouping of older structures of similar scale and contributes to the streetscape of this block. Historically solely used for commercial purposes, the building is currently vacant. The proposed adaptive reuse is for a mixed-use building consisting of retail space on the ground floor and residential suites on the upper floors.

Conservation Recommendation: Preservation

- The 1910 historic structure will be preserved in its original Johnson Street location.
- The subject site will be rehabilitated as a commercial and residential building, as per Architect's drawings.

The three-storey, masonry structure is built on the property line of the rectangular city block. The purpose-built 60 feet by 120 feet structure accommodated originally in the western half a stable with space for carriages on the ground floor, a ramp leading from the ground floor to the horse stables on the second floor, and a hayloft on the third floor. The eastern half was rented as stores. During later alterations for continuous commercial use, the heavy timber beams and columns were mostly retained and will be incorporated into the rehabilitated building.

While the original form and massing of the Garesché Stables and Offices will be preserved, the proposed design considers a two-storey addition on top of the third storey of the original building. This addition will be set back from the heritage street facade in order to preserve the historic three-storey appearance and streetscape. The proposed intervention will be contemporary in nature but inspired by an appropriate historic aesthetic. Compatibility will be ensured through the use of appropriate materials. The intervention will be subordinate by stepping back as required, allowing the front of the building to be visible, and will not visually overwhelm the original structure. The new intervention will be distinguishable through the use of contemporary materials and detailing, and the form and massing of the new construction will be respectful of the original building.

Conservation Recommendation: Preservation & Rehabilitation

- The form, scale and massing of the original historic building will be retained.
- The historic Johnson Street façade will be maintained.
- The modern addition should be sensitive to the scale and massing of the building, and should read as contemporary addition to the historic Garesché Stables and Offices while respecting the historic character of the 1910 structure.

CONDITION REVIEW & CONSERVATION RECOMMENDATIONS

5.3 FOUNDATION



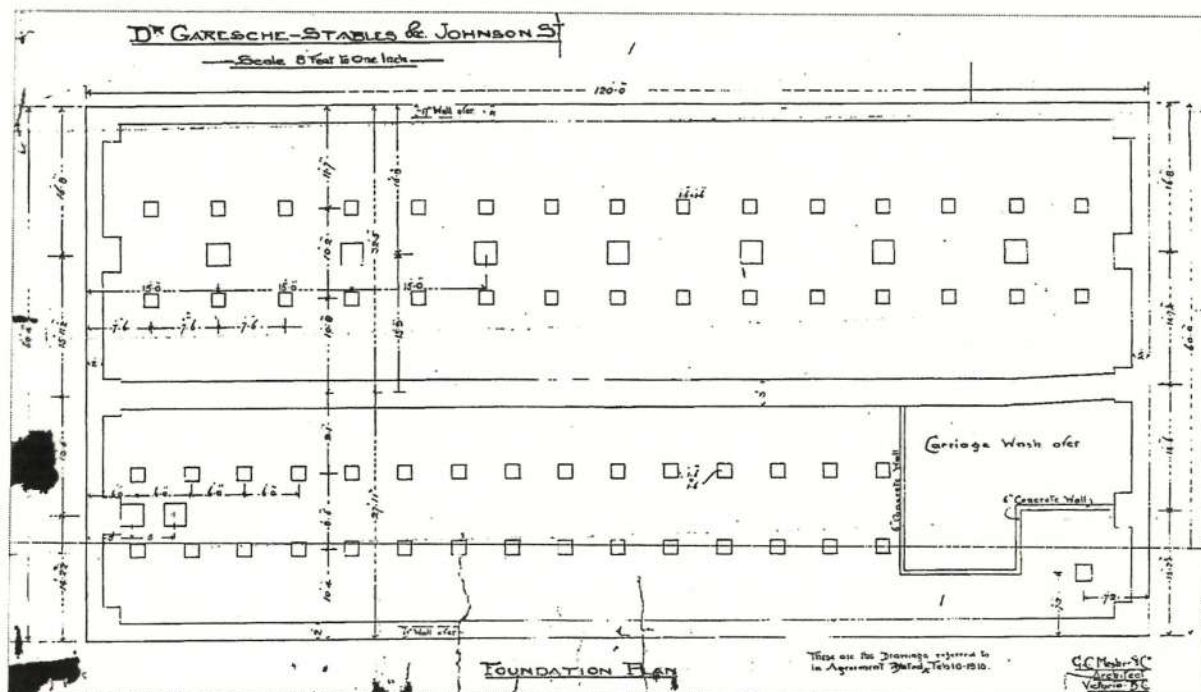
The building has no basement or crawl space. The foundation, as shown in the archival drawings, was built over solid clay or gravel. It consists of a concrete strip foundation supporting the load-bearing walls and masonry footings with rising 6" x 6" timber posts supporting the timber floor above. A concrete slab was constructed at the southeast corner, where the carriage wash was located.

Conservation Recommendation: Rehabilitation

- The existing foundation may be rehabilitated to meet structural and seismic requirements.

Left: North-facing façade

Below: Foundation Plan, 1910 [G.C. Mesher Co., Architects, City of Victoria Plans]



5.4 EXTERIOR WALLS

The 1910 Garesché Stables and Offices is one of the earliest local examples of use of reinforced concrete as a façade material. Concrete was also used on the rear elevation, while the side walls are built with common red brick.

Front Façade (North Elevation)

The original 1910 three-storey front façade features a symmetrical design with four bays separated by 17" wide reinforced concrete columns. The two easternmost bays, originally housing the garage, are slightly larger than the narrower bays built for the stable. Concrete spandrels are located below the second and third floor tripartite window assemblies. The 1910 architectural drawings illustrate decorative features of the front facade including capitals on the concrete columns above the ground floor, corbelling above the third floor windows, and a concrete cornice.

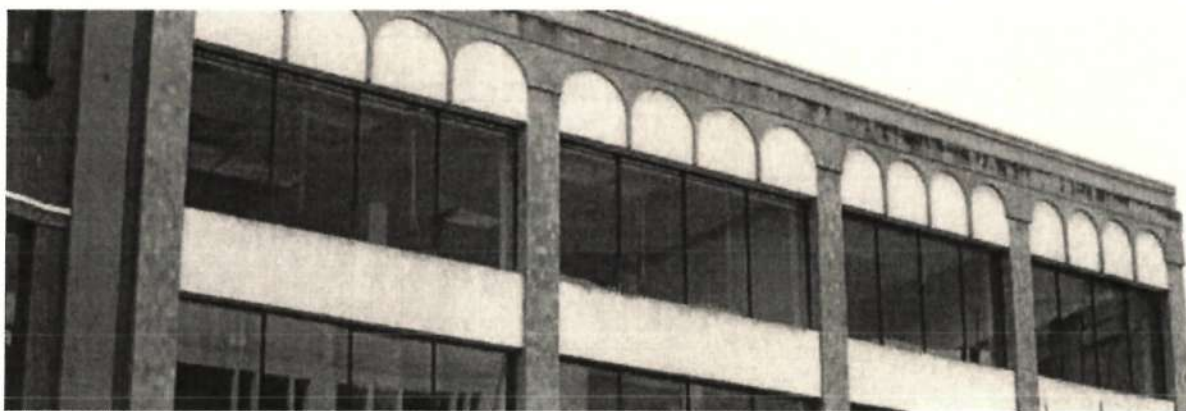
During the 1960s, the front facade was significantly altered. New materials were added, e.g. tiles over stucco and arched window headers, while original features were removed including all fenestration. The later material should be carefully removed to investigate, if original elements such as corbelling on the third floor are still extant. Surviving original features are important character-defining elements of the building and should be preserved and restored. The later tiles and stucco should be removed and the historic concrete façade restored.

Rear Wall (South Elevation)

According to archival drawings the south elevation was also built with 17" wide reinforced concrete column. The elevation featured very large window openings and two large double doors. The rear wall was redesigned in the past and consists presently of concrete blocks with projecting brick-clad columns. The design concept proposes the rehabilitation of the rear elevation. The ground floor at the rear will provide functional space for the new residential use with access from the lane. The second and third floors housing residential suites will have large window bands that are inspired by the original design.

East and West Elevations

The side walls are built with common red brick. While the neighbouring Maynard Court is three storeys high and covers the eastern side wall of the historic building, the westfacing brick wall is exposed from the second floor up due to the adjacent one-storey building. Half of the brick wall on the west wall is painted, and the other portion remained unpainted. It is currently proposed to retain and seismically upgrade the side walls. The existing condition of the west wall should be further investigated. When viewed from the street, weathering and other damage to the brick wall was observed, e.g. spalling, water staining and organic growth.



Arched window headers

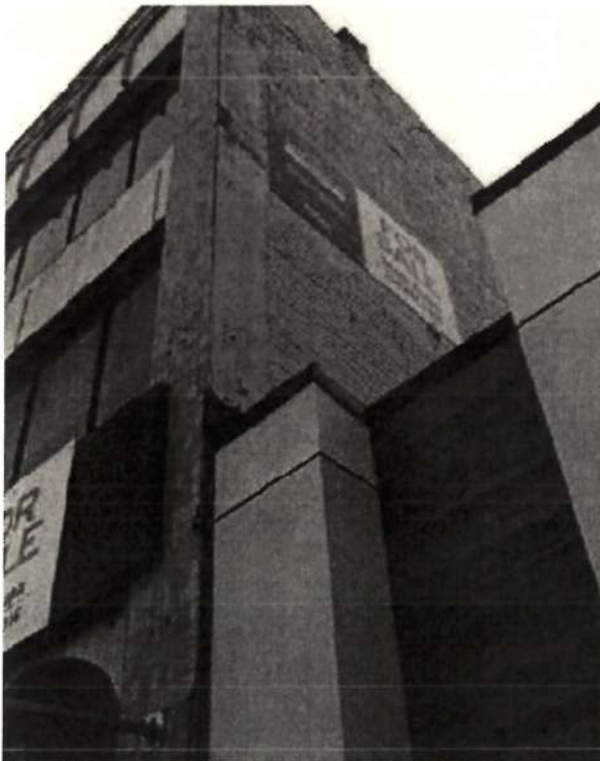
CONDITION REVIEW & CONSERVATION RECOMMENDATIONS



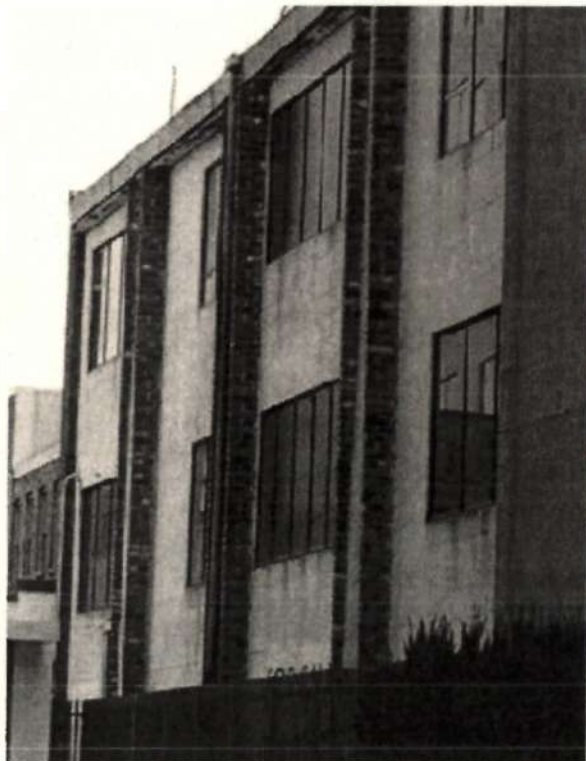
West elevation with painted and unpainted brick



Concrete column under later materials



Painted west wall



Rear wall consisting of concrete blocks with brick-clad columns

Conservation Recommendation: Preservation & Rehabilitation

General

- Preserve the original concrete street façade and rear and side elevations in situ.
- All redundant metal inserts and services mounted on the exterior walls should be removed or reconfigured.
- All structural and seismic upgrades should be carried out from the inside, in particular on the front façade in order to preserve exterior character-defining elements.
- Cleaning of historic masonry should be carefully done and without damage to the surface area. Test trials are required for review by the consultants.

Concrete

- Carefully remove stucco, tiles and other later materials with minimal damage to the historic concrete façade underneath.
- Preserve any original concrete elements, e.g. corbelling, that may still be extant.
- Assess the condition of the concrete façade and note any existing damage, e.g. cracks, missing material and detailing.
- Analyze the concrete matrix and strength through material testing so that suitable repair patching material can be selected.
- Restore missing architectural details based on surviving examples or archival documentation.
- Restore the concrete front façade to its historic 1910 appearance and paint according to the colour schedule.

Brickwork

- Undertake complete condition survey of condition of the brick walls and note any damage and deterioration, e.g. spalling, missing bricks, unsound or missing mortar, organic growth, metal inserts, wholes in brickwork, paint etc.
- Retain sound exterior brickwork. Deteriorated exterior masonry that can be repaired.
- Cleaning, repair and repointing specifications to be reviewed by Heritage Consultant.
- All redundant metal inserts and services mounted on the exterior walls should be removed or reconfigured.
- Any holes in the brick should be filled or replaced to match existing.
- Overall cleaning of the brick on all elevations should be carried out. Do not use any abrasive methods that may damage the fireskin surfaces. Use a soft natural bristle brush and mild water rinse. Only approved chemical restoration cleaners may be used. Sandblasting or any other abrasive cleaning method of any kind is not permitted.
- Repoint all exposed brickwork by raking out loose mortar material to a uniform depth. Take care that the arrises of the brick are not damaged. Work should only be undertaken by skilled masons. Do not use power tools to cut or grind joints; hand-held grinders may be used for the initial raking of horizontal joints after test samples have been undertaken and only if approved by the Heritage Consultant. Repoint mortar joints with new mortar that matches existing in consistency, composition, strength, colour and pointing profile; note the finely tooled profile of the original mortar joints.
- Where brickwork is heavily damaged, carefully reconstruct the walls in a way that is both physically and aesthetically consistent. Retain salvaged brick from any demolished additions for re-use in repairs.

CONDITION REVIEW & CONSERVATION RECOMMENDATIONS

5.5 FENESTRATION

Windows, doors and storefronts are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation. — *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010).

The original fenestration of the Garesché Stables and Offices has been removed in the 1960s. While the original openings appear to be intact, later alterations include the installation of aluminum windows and storefronts in an unsympathetic design. The proposed rehabilitation will incorporate wooden sash windows and storefronts inspired by the original appearance.

5.5.1 GROUND LEVEL

The existing ground level fenestration is a later construction, and archival evidence shows that the original storefront was removed by the late 1960s.

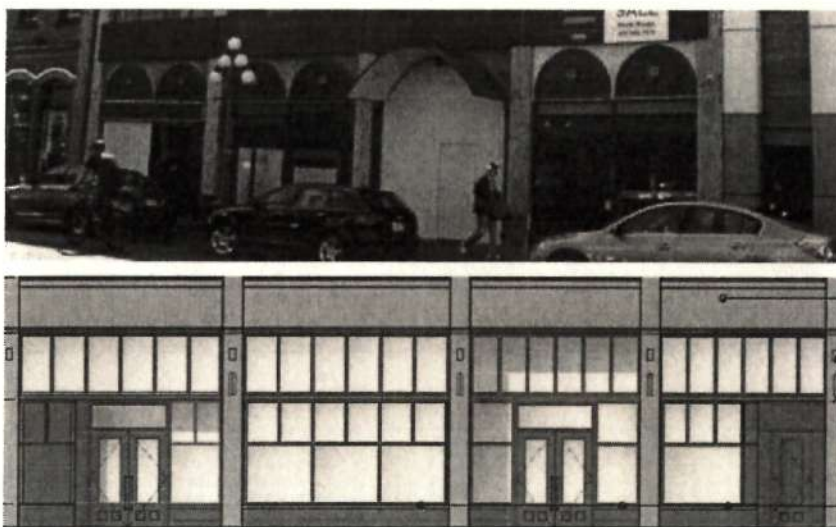
The current storefront design consists of aluminum frames. The westernmost bay and the entry bay are presently boarded up. Above the entry bay a simple, curved canopy is suspended with cables. A later intervention are also arched headers filled with tiles above each bay.

The proposed design considers the removal of all later alterations and the construction of new wooden storefronts. Their design will be guided by the original storefront configuration with

wooden bulkheads, large wooden window frames, and wooden transoms above. In order to meet modern user requirements and building code, single and double-entry doors to the commercial space and residential lobbies are recessed. The new ground floor design and materials are inspired by the original storefront design and will significantly enhance the historic character of the street façade.

Conservation Recommendation: Rehabilitation

- Rehabilitate the existing ground level of the front façade based on archival documentation and to reflect the new mixed-use of the building.
- New wood storefronts and entryways and transoms with true-divided glass will be designed.
- The ground floor of the rear elevation will retain the historic bay configuration while meeting functional requirements of the commercial-residential building.
- Provide shop drawings for review by the Heritage Consultant.



Top: Current storefront; Bottom: Proposed [Studio One Architecture Inc.]

5.5.2 WINDOWS

The historic building featured originally banked upper floor windows in tripartite configuration on the front and rear elevations. All original double-hung wooden sash windows were replaced with later aluminum units. During this process the tripartite window configuration on the front façade was retained, while the rear elevation was entirely redesigned.

As part of the rehabilitation work it is proposed to reinstate the original appearance of window banks of the upper front façade. The new 2-over-2 double-hung wooden sash windows with clear double-glazing are based on an early archival photograph of the building. On the rear elevation the new window configuration may follow by the original design consisting of 2-over-2 double-hung windows.

Conservation Recommendation: Rehabilitation

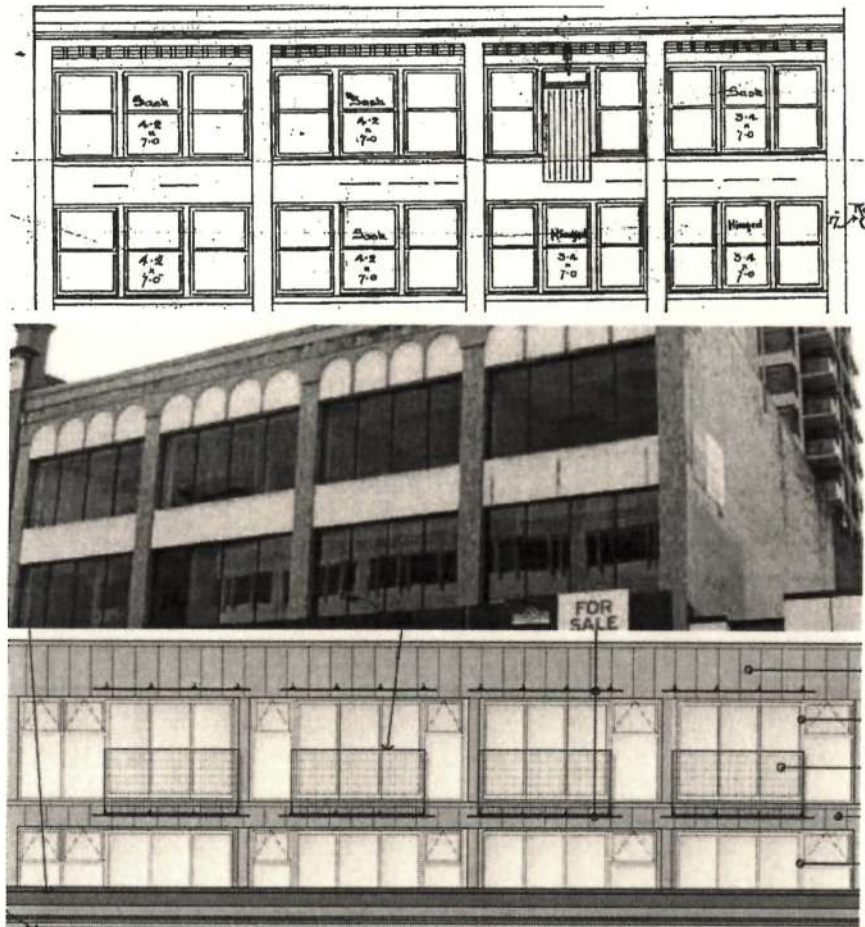
- Remove all later windows from the upper floors of the front and rear elevations.
- Manufacture new windows that match the original configuration as shown in historic photos. The front façade windows should be 2-over-2 double-hung, wooden sash windows with clear double-glazing and true-divided glass.
- The rehabilitation of the rear elevation windows may consider wood or metal units in double-hung configuration.
- Provide shop drawings for review by the Heritage Consultant.

5.6 ROOF

The roof is flat, and originally featured brick side wall chimneys that ran along both the west and east elevations. The proposed two-storey addition will require the removal of the existing roof structure. The addition will be recessed and creates a roof patio on Level 4.

Conservation Recommendation: Rehabilitation

- Rehabilitate the roof structure to allow for a recessed two-storey addition above the original roof line.
- For proposed guidelines for new additions refer to Section 4.3



Top: Detail of Upper Floor Windows from Original Plan, 1910 [G.C. Mesher Co., Architects, City of Victoria Plans]; Middle: Current windows; Bottom: Proposed [Studio One Architecture Inc.]

CONDITION REVIEW & CONSERVATION RECOMMENDATIONS

5.7 SIGNAGE

The Garesché Stables and Offices had originally painted wall signs and blade signs as shown in historic photographs. As a rehabilitation will occur that will introduce retail use at the ground floor level, a sign program will need to be developed that will allow the installation of compatible and sympathetic signs. Currently new blade signs mounted on the concrete piers at the ground floor level are being proposed.

Conservation Recommendation:

Install Sympathetic New Signs

- When considering new signs on a heritage building, the design should be in accordance with the Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*, which state that "new signage should be compatible with the building in terms of size, scale, material, style and colour. In addition, new signs should not obscure, damage or destroy character defining elements of the building."
- New signs can be inspired by signs from an earlier era, or contemporary materials that are sympathetic to the building.
- Sign fixings or hangers should be carefully attached to the building in the least intrusive manner possible. On masonry walls, consider attaching into mortar rather than stone.
- Signs were historically illuminated with front lighting.
- Future tenant signage will require a City of Victoria sign application and must conform to applicable bylaws.

5.8 COLOUR SCHEDULE

The building is of massive masonry construction, and historically there was very little applied colour. Further the original materials of the historic façades were either removed or covered with later materials.

Reinforced Concrete:

The concrete façade will be restored and the surface should be painted in a sympathetic masonry colour as per colour schedule.

Brick Side Wall:



The partially painted red brick wall may require envelope upgrades. The proposed treatment will be reviewed with the architect.

Storefront & Window Sash Colour:

The original fenestration has been removed from all elevations, and original materials were not available for sampling. The proposed paint colour is based on archival photographs, which indicate that the storefront and window sash were dark, and it may be assumed that they were likely dark green.

Conservation Strategy: Restoration

- Reinstall a historically appropriate colour scheme for the Garesché Stables and Offices, complete with historically appropriate finishes, hues and placement of applied colour. Complete all basic repairs and replacements before preparing, priming and painting.
- Paint all areas of exposed wood elements with paint primer. Select an appropriate primer for materials being painted (e.g. if latex paint is used over original oil paint, use an oil-based primer).
- Any substitutions or matching of custom colours shall be reviewed by the consultant. Test samples should be applied to the building prior to the commencement of painting so that the colour scheme can be reviewed under field conditions and approved.

Element	Colour*	Code	Sample	Finish
Concrete façade	Haddington Grey	VC-15		Matte
Wood Windows / Paneling	Comox Green	VC-19		Gloss

*Benjamin Moore's *Historical Vancouver True Colours*

6.0 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the historic building. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and Conservation Plan to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough Maintenance Plan will ensure that the integrity of the historic fabric is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010). As defined by the *Standards and Guidelines*, maintenance is defined as:

Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.

The assumption that newly renovated buildings become immune to deterioration and require less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

6.2 PERMITTING

Once the project is completed, any repair activities, such as simple in-kind repair of materials, should be exempt from requiring municipal permits. Other, more intensive activities will require the issuance of a Heritage Alteration Permit.

6.3 ROUTINE CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards and Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends "using the gentlest means possible." Any cleaning procedures should be undertaken on a routine basis and should use non-destructive methods. Exterior elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.

6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. – must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive & gentlest means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building.

From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise.

Issues of concern, taken from the report should then be entered in a log book so that corrective action can be documented and tracked.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance

log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity. Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate. The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section 6.6 Information File.

6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings. The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the project, such as water/moisture penetration, material deterioration and structural deterioration.

EXTERIOR INSPECTION

Site Inspection:

Is the lot well drained? Is there pooling of water?
Does water drain away from foundation?

Foundation:

Moisture: Is rising damp present?
Is there back splashing from ground to structure?
Is any moisture problem general or local?
Is uneven foundation settlement evident?

Wood Elements:

Are there moisture problems present?
Is there insect or fungal attack present? Where and probable source?
Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
Is any wood surface damaged from UV radiation? (bleached surface, loose surface fibres)
Is any wood warped, cupped or twisted?
Is any wood split? Are there loose knots?
Is there any staining of wood elements? Source?

Condition of Exterior Painted Materials:

Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?

Windows:

Is there glass cracked or missing?
Is there condensation or water damage to the paint?
Are the sashes easy to operate? If hinged, do they swing freely?
Is the frame free from distortion?
Do sills show weathering or deterioration?

Doors:

Do the doors create a good seal when closed?
Are the hinges sprung? In need of lubrication?
Are door frames wicking up water? Where? Why?

Roof:

Are there water blockage points?
Are joints and seams sound?
If there is a lightening protection system are the cables properly connected and grounded?
Is there organic debris build-up on the roof?
Are there blisters or slits in the membrane?
Are flashings well positioned and sealed?
Is water ponding present?

6.7.2 INSPECTION CYCLE:**Daily**

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

Annually (Spring)

- Inspect foundation for cracks, deterioration.
- Inspect windows for material failures, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all rainwater systems.
- Touch up worn paint on the building's exterior.
- Routine cleaning, as required.

Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

Major Maintenance Work (as required)

- Replacement of deteriorated building materials as required.

7.0 RESEARCH SUMMARY

Name: Garesché Stables & Offices
Address: 727 Johnson Street
First Owner: Dr. Arthur John Garesché
Architect: George C. Mesher Co.
Contractor: George C. Mesher Co.
Date of Construction: 1910

CITY OF VICTORIA BUILDING PERMIT

- #1510; February 12, 1910; Dr. Garesche, Johnson Street; Lot 33, Block 3; Stable, 3-storey brick; \$15,000.

BUILDING PLANS [CITY OF VICTORIA]

- Dr. Garesché Stables &, Johnson Street, G.C. Mesher Co., Architects, 1910.

PLUMBING PLANS [CITY OF VICTORIA]

- #3920: Building Belonging to Dr. Garesché, Filed June 14, 1910.

PUBLISHED SOURCES

- *Contract Record*, vol. 24, no. 4. January 26, 1910: A three storey brick building for stores and offices on land 60 by 120 feet is contemplated on Johnson Street, adjoining the warehouse of the Brady-Houston Pickling Company. Estimated cost, \$12,000. Owner, Dr. A.J. Garesche.

PUBLICATIONS

- Luxton, Donald. *Building the West: The Early Architects of British Columbia*. Vancouver: Talonbooks, 2nd ed., 2007.

BC VITAL EVENTS

- Groom Name: Garesche, A J; Bride Name: Trimen, Mellissent [sic] Mary; August 18, 1902; Event Place: Victoria; Registration Number: 1902-09-010996; Event Type: Marriage.
- Garesche, Arthur John Francis; Gender: Male; Age: 91; Date: September 14, 1952; Event Place: Victoria; Registration Number: 1952-09-008994; Event Type: Death.
- Garesche, Millicent Mary; Gender: Female; Age: 103; Date: February 26, 1977; Event Place: Victoria; Registration Number: 1977-09-003620; Event Type: Death.
- Plimley, Thomas John; Gender: Male; Age: 58; Date: December 18, 1929; Event Place: Victoria; Registration Number: 1929-09-414972; Event Type: Death.
- Plimley, Thomas Horace Gender: Male; Age: 89; Date: March 21, 1985; Event Place: Victoria; Registration Number: 1985-09-005506; Event Type: Death.

MESHER, George Charles: Sources

B.C. Vital Events; company records and voters lists (held at BCA); and interviews with his grandson, John R.H. Ley (1990), grandniece, Kathleen Johnston (1993) and Pheona Hislop (2001). Published sources include directories; *Colonist* references and tender calls; obituaries and local news items. Also *This Old House*; *Victoria Architecturally*, 1911; Segger & Franklin, *Exploring Victoria's Architecture*; and Mills, *Architectural Trends in Victoria*.

CITY DIRECTORIES

Henderson's Greater Victoria Directory, 1910-11, page 125

- Johnson 725 City Livery Stables
- Johnson 727-31-33 B C Hardware Co

Henderson's Greater Victoria Directory, 1910-11, page 215

- City Livery Stables Dr C R Richards prop 725 Johnson

Henderson's Greater Victoria Directory, 1912, page 157

- Johnson 725 City Livery Stables
- Johnson 727 Plimley's Garage
- Johnson 731-33 Vacant

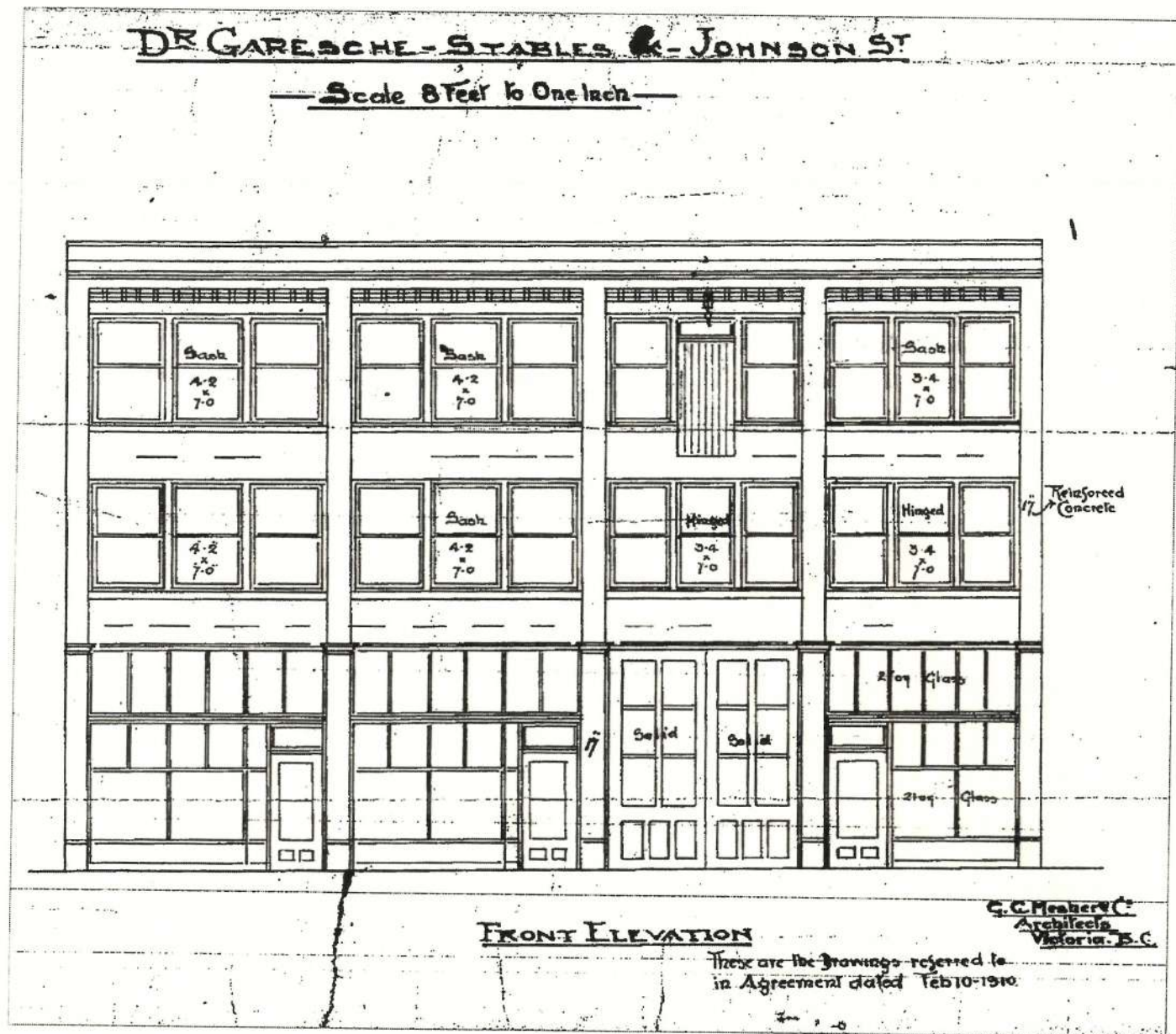
Henderson's Greater Victoria Directory, 1912, page 542

- Plimley Horace collr Thos Plimley lvs 109 Douglas
- Plimley Thos automobiles and bicycles 730 Yates and 727 Johnson h 109 Douglas

Henderson's Greater Victoria Directory, 1913, page 305

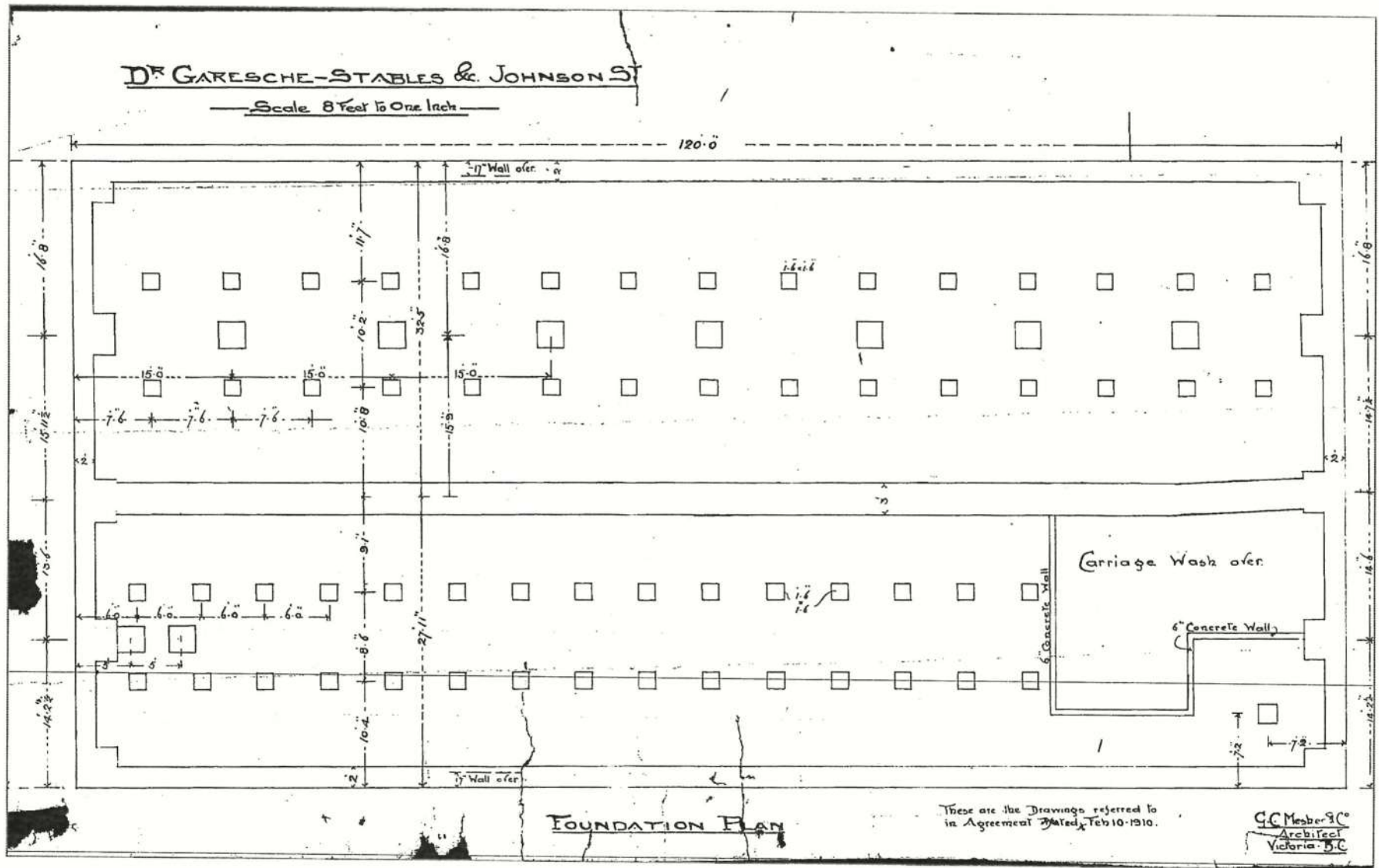
- Johnson 725 City Livery Stables
- Johnson 725 Richards C R vet surg
- Johnson 727 Plimley Thos Garage
- Johnson 727 Johnson Alf J printer
- Johnson 727 Vallence Geo G adv agt
- Johnson 727 Belsize Motor Express
- Johnson 731 Victoria Labour Temple Ltd
- Johnson 733-735 Plimley's Garage

APPENDIX A: HISTORIC DRAWINGS



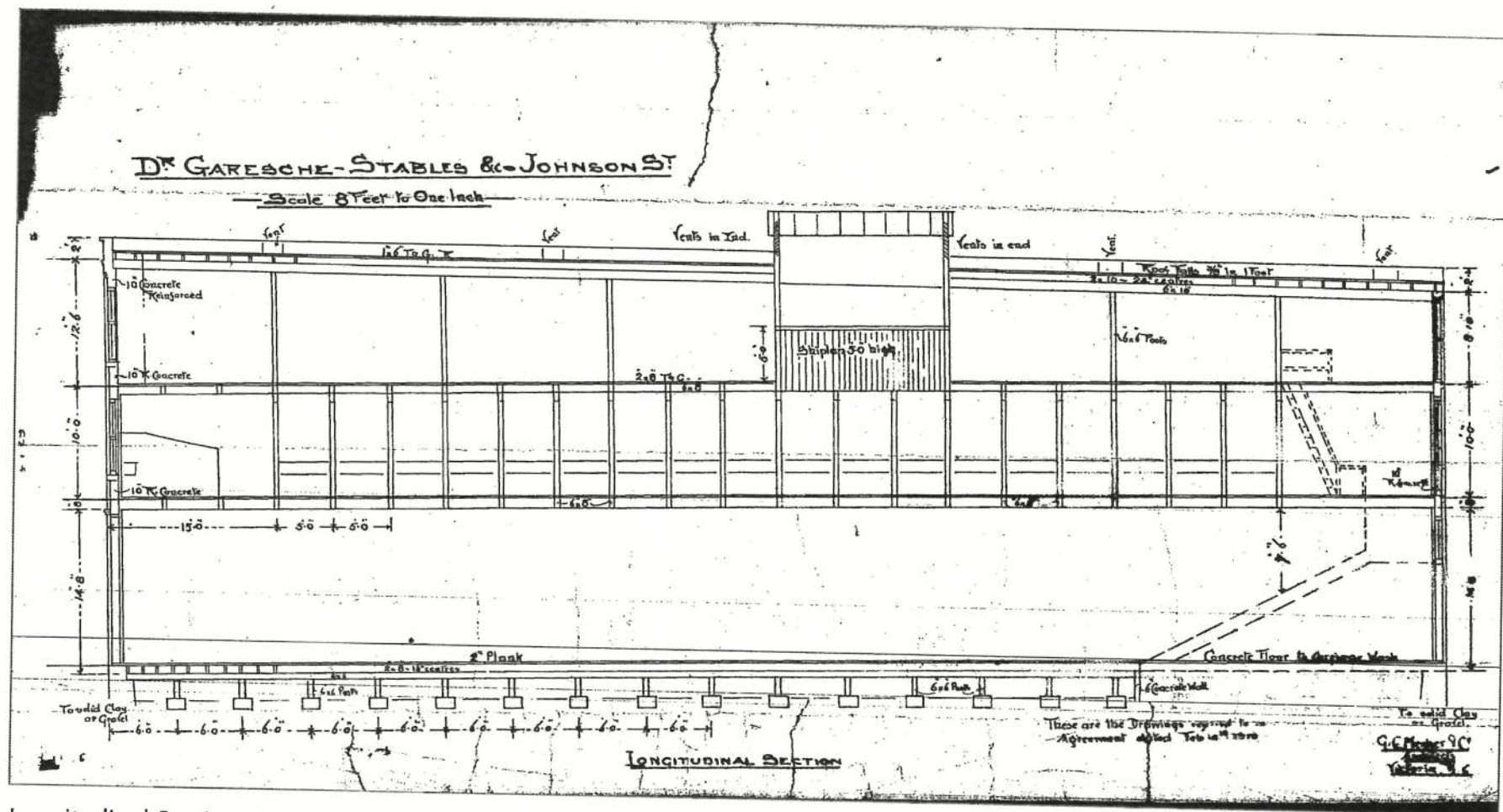
Original Appearance, Front Elevation, 1910 [G.C. Mesher Co., Architects, City of Victoria Plans]



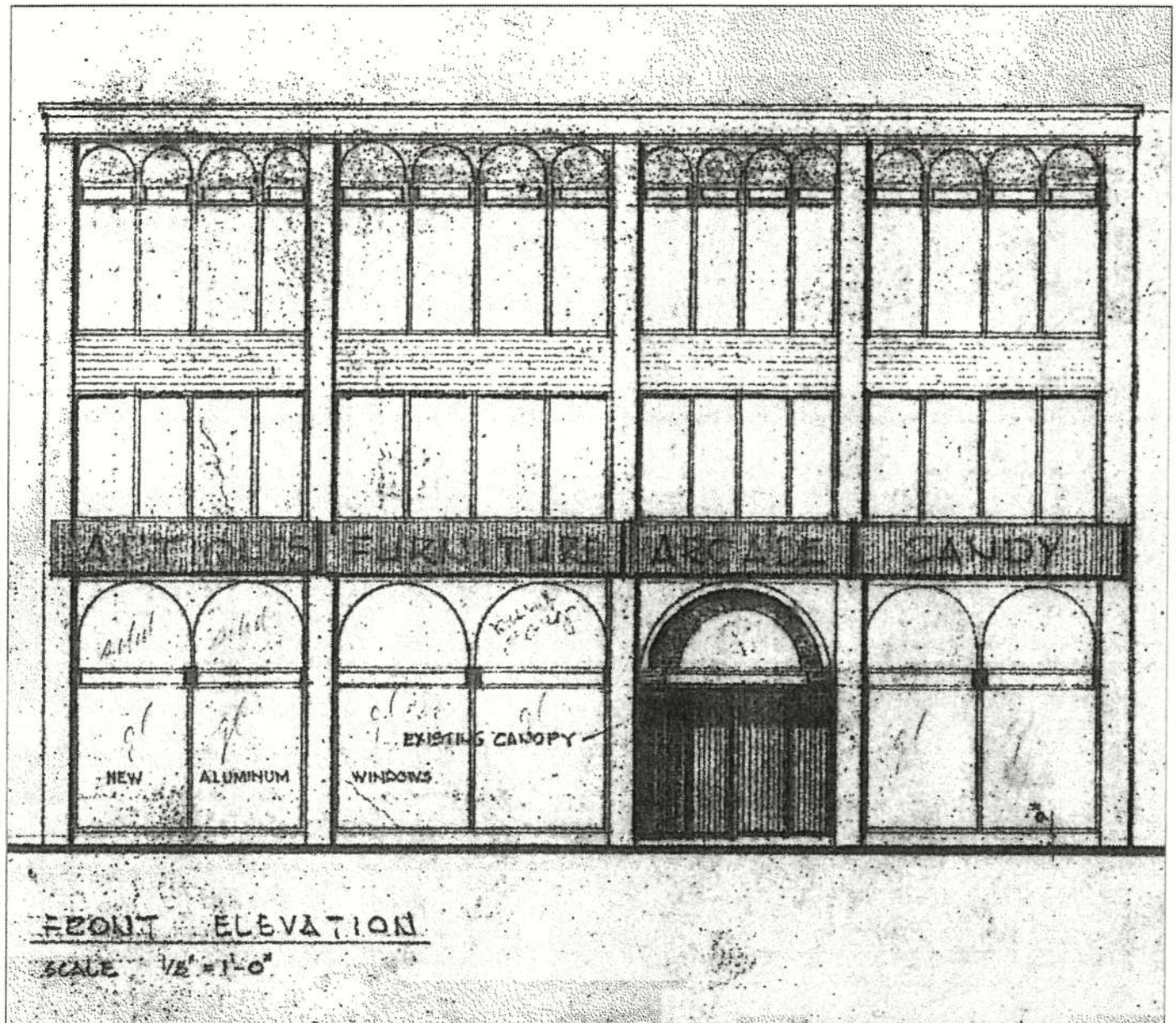


Foundation Plan, 1910 [G.C. Mesher Co., Architects, City of Victoria Plans]

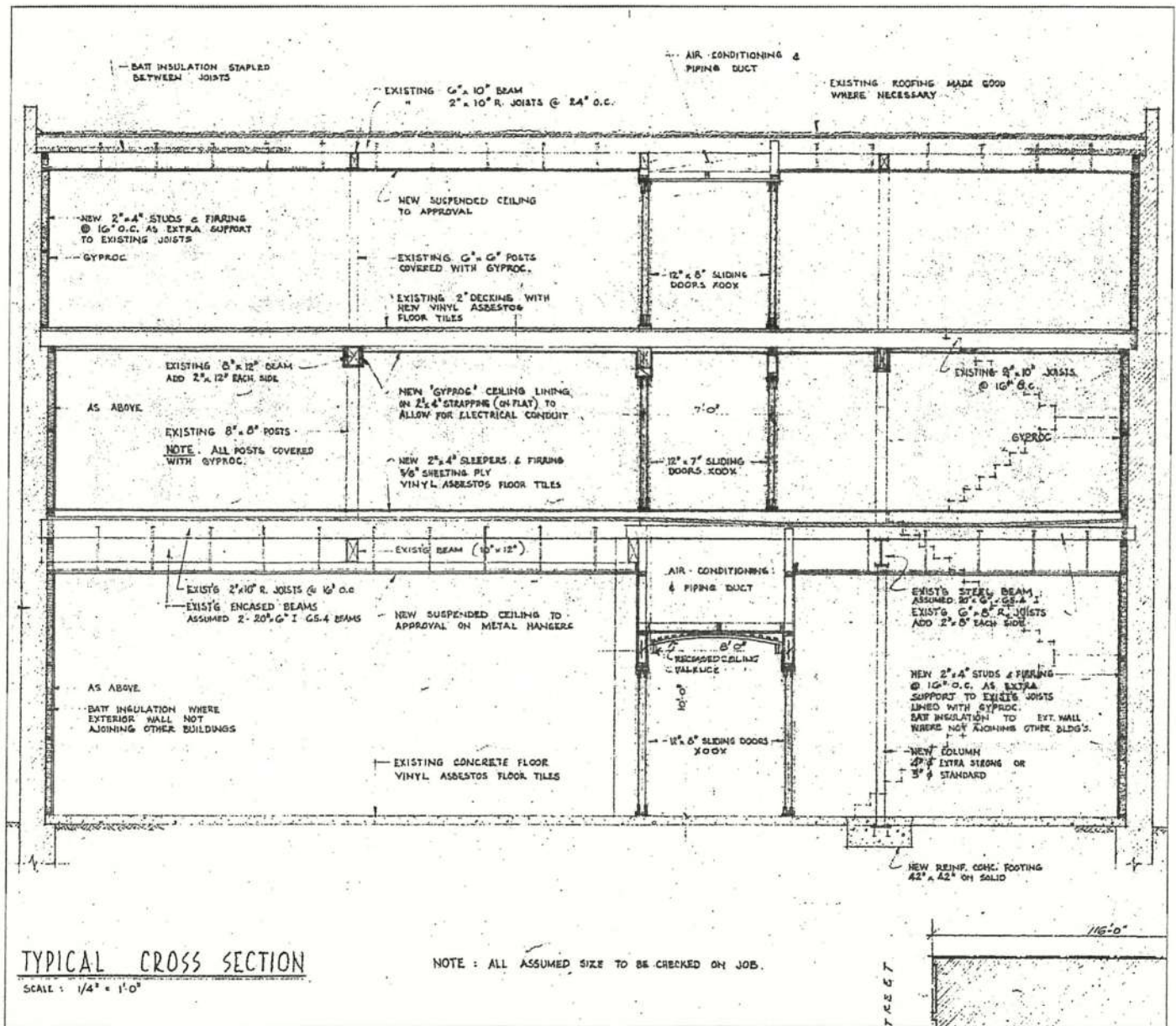




Longitudinal Section, 1910 [G.C. Mesher Co., Architects, City of Victoria Plans]



Front Elevation, 1968 [L.O. Lund, Architect, City of Victoria Plans]



Typical Cross Section, 1968 [L.O. Lund, Architect, City of Victoria Plans]

October 06, 2016

Sustainable Planning and Community Development,
City of Victoria
1 Centennial Square
Victoria, B.C.

Attention: Mr. Mike Wilson, Area Planner



Dear Mike:

**RE: 727 Johnson Street
Rezoning Application #00502
Development Permit #000453**

In response to the latest comments from the city staff, we have made the appropriate changes to accommodate the city's concerns.

The additional floors are now recessed and not visible from across the street. The materials of the addition have been changed from the previously proposed metal cladding to a concrete panel to be more palatable with the heritage concrete façade.

We have sent you the updated drawings documenting these changes dated August 12th, 2016 (stamped August 18th)

Regards,
Studio One Architecture Inc.

A handwritten signature in black ink, appearing to read "Jim Wong". The signature is fluid and cursive, with the first name "Jim" and last name "Wong" clearly distinguishable.

Jim Wong

studio**one**
architecture inc.



April 7, 2016

Architectural
STUDIO ONE ARCHITECTURE INC.
240 - 388 West 8th Avenue
Vancouver, BC V5Y 3X2
Tomas Wolf
P 604 731 3968
F 604 734 1121

Heritage
DONALD LUXTON & ASSOCIATES INC.
1030 - 470 Granville Street
Vancouver, BC V6C 1V5
Donald Luxton
P. 604.688.1216

Received
City of Victoria
AUG 18 2016
Planning & Development Department
Development Services Division



2011 & 2012 MAR 2011

THE PROPOSAL

[illegible]

PROJECT INFORMATION TABLE

576 AREA (720 IF 3000.00)

[illegible]

AUG 18 2016

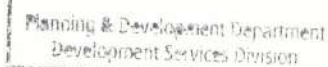
Planning & Development Department
Development Services Division

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architecture inc.

AO.1

AO.1

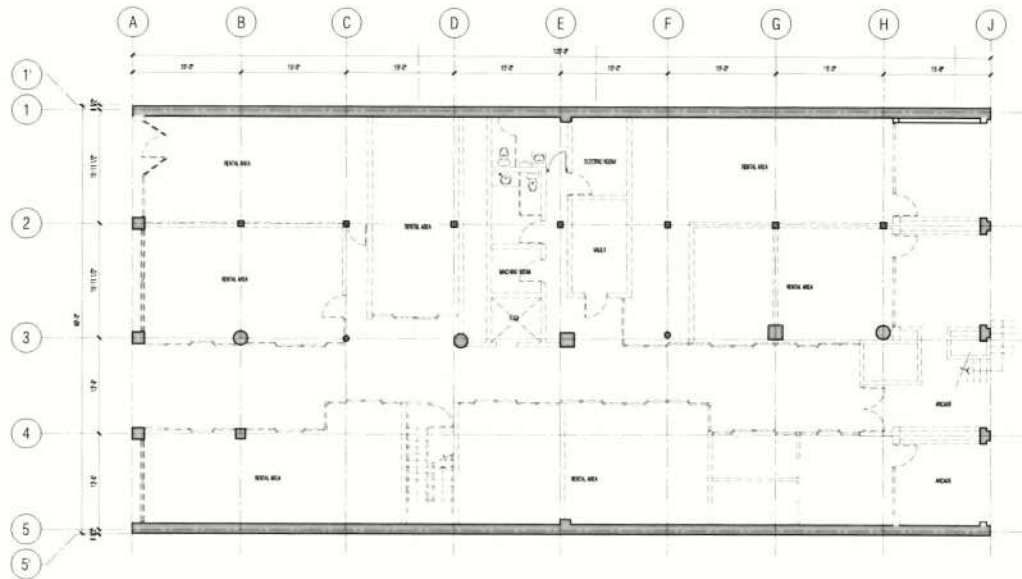
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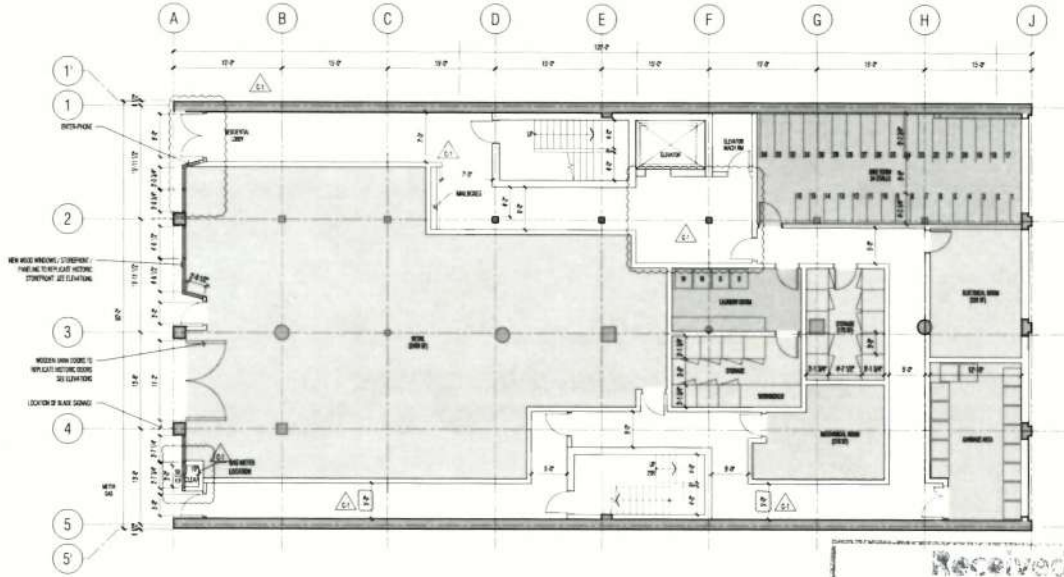
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727 Johnson Street
 Victoria BC V8W 2E2
 Tel: 250-383-7272
 Fax: 250-383-7273
 Email: info@studioone.ca
 Website: www.studioone.ca

studioone
 architecture inc.



2 EXISTING GROUND FLOOR PLAN (DEMO PLAN)
 Scale: 1/8" = 1'-0"



1 PROPOSED GROUND LEVEL PLAN
 Scale: 1/8" = 1'-0"

LEGEND	
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	COMMERCIAL USE
	RESIDENTIAL USE
	OFFICE USE

C APR 07/16 RE-ISSUED FOR OP & REZONING
 B NOV 2015 ISSUED FOR OP & REZONING
 A JUL 02/15 ISSUED FOR HERITAGE A.P.
 NO DATE DESCRIPTION
 PREVIOUS

Project Title:
 727 JOHNSON STREET
 VICTORIA, BC

Drawing Title:
 PROPOSED & EXISTING
 GROUND FLOOR PLAN

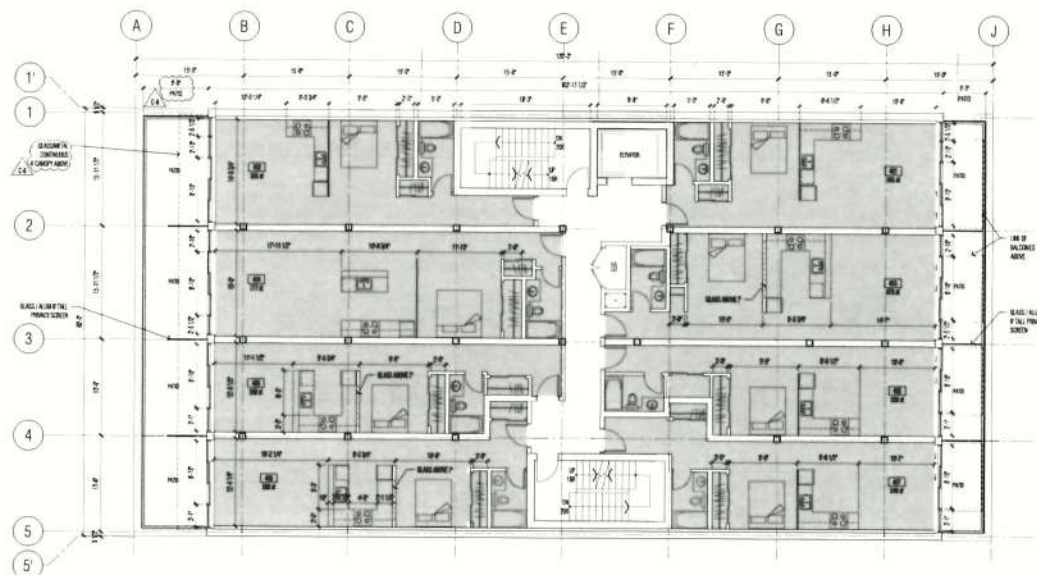
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 Drawn By: ER
 Checked By: JW
 Date: APR 07, 2016
 Scale: AS NOTED

Drawing No.:
A1.1

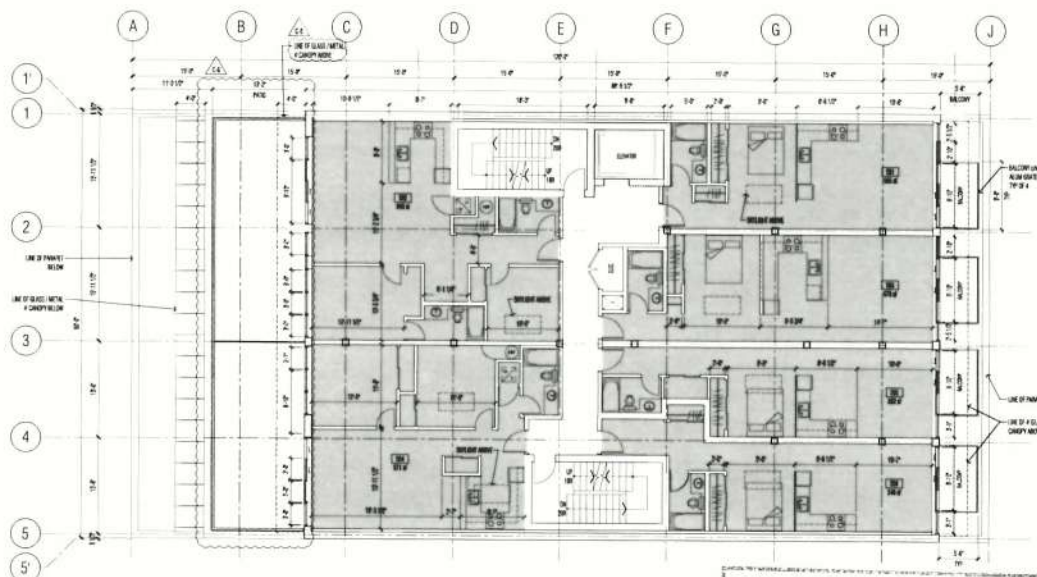
Received
 City of Victoria
 AUG 18 2016
 Planning & Development Department
 Development Services Division

727-1011 Street
 Victoria, BC V8W 2G1
 Tel: 250-383-1234
 Fax: 250-383-1235
 Email: info@studioone.ca
 Website: www.studioone.ca

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PROPOSED LEVEL 4 PLAN
 SCALE: 1/8" = 1'-0"



PROPOSED LEVEL 5 PLAN
 SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	COMMERCIAL USE
	RESIDENTIAL USE
	OFFICE USE

C: APR. 01/16: RE ISSUED FOR OP & RECORDING
 B: NOV. 2015: ISSUED FOR OP & RECORDING
 A: JAN. 2015: ISSUED FOR HERITAGE A.P.
 NO. DATE DESCRIPTION
 REVISIONS

project title:
**727 JOHNSON STREET
 VICTORIA, BC**

drawing title:
**PROPOSED
 4th & 5th FLOOR PLANS**

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 checked by: JM
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 scale: AS NOTED

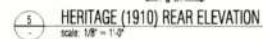
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- Received
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A2.0

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City of Victoria

AUG 18 2016

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Development Services Division

727 Johnson Street
Victoria, BC V8W 2E2
Tel: 250-383-2000
Fax: 250-383-1100
www.victoria.ca
Toll-free: 1-877-877-8777

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8 HISTORIC PHOTO: FRONT OF BUILDING
scale: NTS



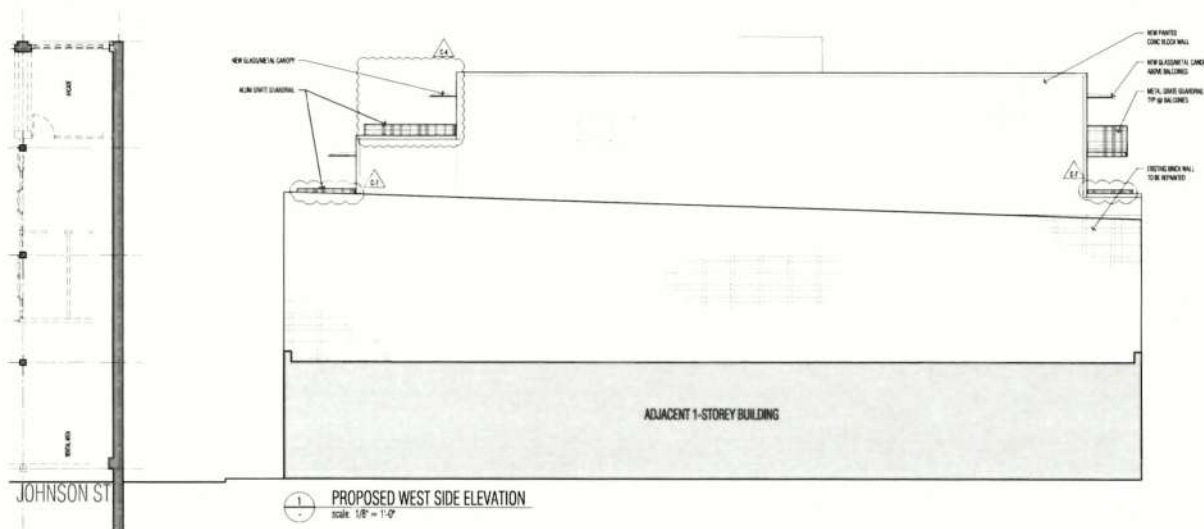
7 EXAMPLE OF BLADE SIGNAGE
scale: NTS



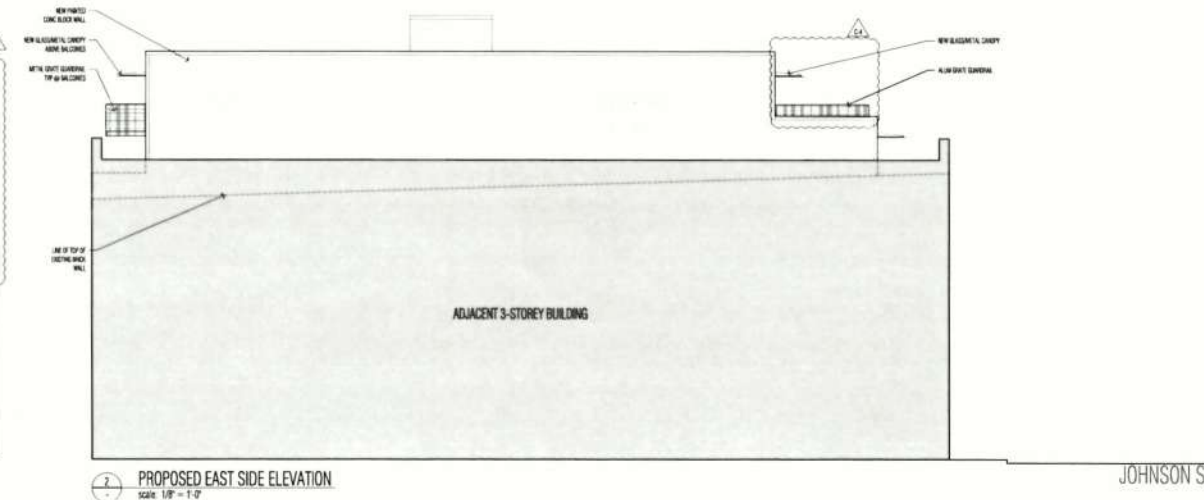
6 EXAMPLE OF METAL GRATE BALCONY
scale: NTS



3 MATERIALS BOARD
scale: NTS



1 PROPOSED WEST SIDE ELEVATION
scale: 1/8" = 1'-0"



2 PROPOSED EAST SIDE ELEVATION
scale: 1/8" = 1'-0"

- D AUG 12/16 PACKAGE UPDATE FOR D.P.
- C APR. 04/16 RE ISSUED FOR D.P. & REZONING
- B NOV. 30/15 ISSUED FOR D.P. & REZONING
- A JUL. 02/15 ISSUED FOR HERITAGE A.P.

project title:
727 JOHNSON STREET
VICTORIA, BC

drawing title:
SIDE ELEVATIONS
& MATERIALS

project no.: 15060
drawn by: SA
checked by: JM
date: APR. 27, 2016
scale: AS NOTED

drawing no.:

A2.1



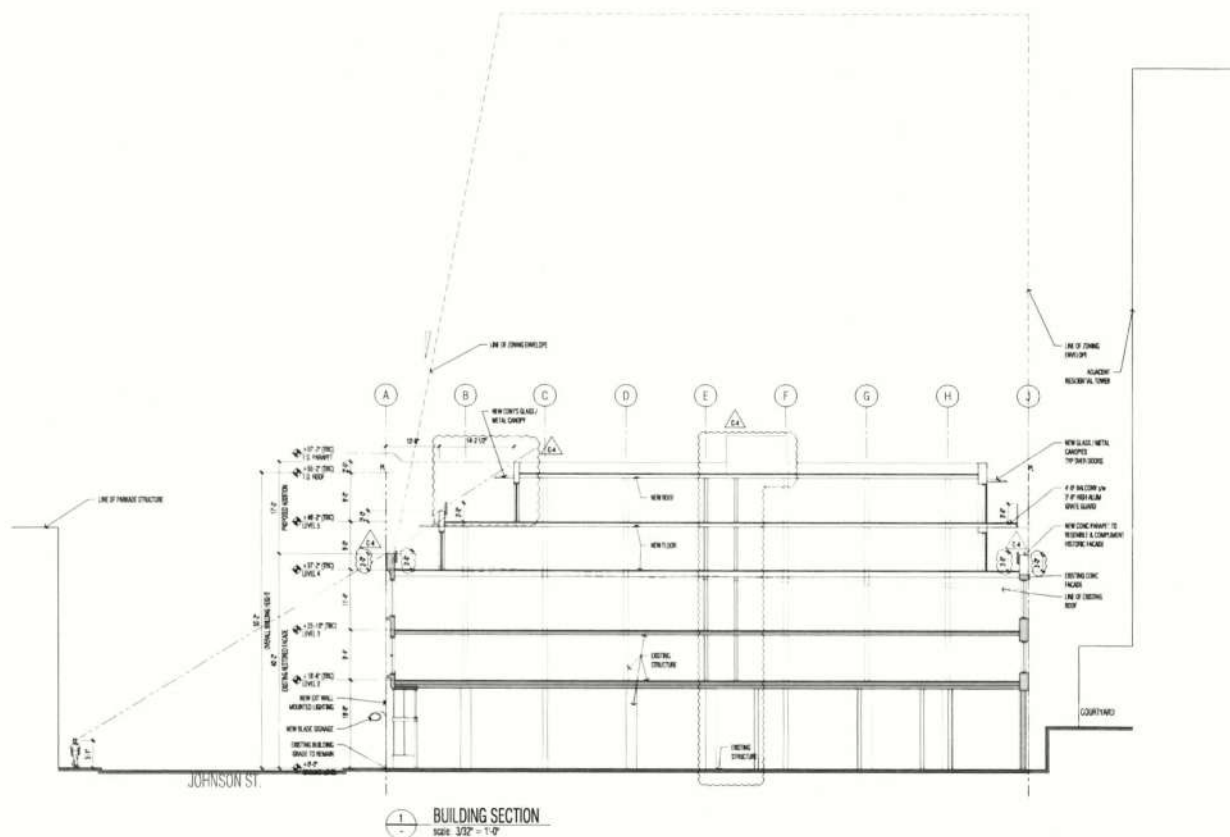
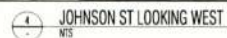
Planning & Development Department
Development Services Division

A2.2

Planning & Development Department
Development Services Division

Tel.: 604-431-1111
Fax: 604-431-1111
Toll-free: 1-800-431-1111
Toll-free: 1-800-431-1111

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architecture inc.



C	NOV 29/16	RE ISSUED FOR OP & REZONING
B	NOV 30/15	ISSUED FOR OP & REZONING
A	JUL 02/15	ISSUED FOR HERITAGE A.P.
no.	date	description
revisions		

project title
727 JOHNSON STREET
VICTORIA, BC

drawing title:
**BUILDING SECTION
& RENDERINGS**

project no.	15001
drawn by	ER
checked by	JW
date	MAR 28, 2016
scale	AS NOTED

drawing no.

A3.0