



## Committee of the Whole Report For the Meeting of July 14, 2016

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**To:** Planning and Land Use Committee                      **Date:** June 23, 2016  
**From:** Jonathan Tinney, Director, Sustainable Planning and Community Development  
**Subject:** **Development Variance Permit Application No. 00004 for 1421 Fairfield Road**

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### RECOMMENDATION

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No. 00004 for 1421 Fairfield Road, in accordance with:

1. Plans date stamped April 29, 2016.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:

Proposed Lot F

- a. Part 1.2.5 (a): Reduce the front setback from 7.5m to 6.25m;
- b. Part 1.2.5 (b): Reduce the rear setback from 7.5m to 3.5m;

3. The Development Permit lapsing two years from the date of this resolution."

### LEGISLATIVE AUTHORITY

In accordance with Section 498 of the *Local Government Act*, council may issue a Development Variance Permit that varies a *Zoning Regulation Bylaw* provided the permit does not vary the use or density of land from that specified in the *Zoning Regulation Bylaw*.

### EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Variance Permit Application for the property located at Fairfield Road. The proposal is to subdivide the existing lot and construct three single family dwellings. This Development Variance Permit is for Lot F, the proposed lot adjacent to Fairfield Road. A Development Permit with Variances is required for the two Panhandle Lots which are being proposed in conjunction with this application and is discussed in a separate report.

The requested variances are to reduce the front and rear setbacks. These variances are due to the short depth of the proposed lot and do not have a substantial impact on shading and privacy of the adjacent lots. The proposed front setback is approximately in line with the adjacent houses on Fairfield Road.

## **BACKGROUND**

### **Description of Proposal**

The proposal is to construct three single family houses. Lot D and Lot E are Panhandle Lots and therefore are in Development Permit Area 15B: Intensive – Panhandle Lot which are reviewed under a separate report along with associated variances. Lot F is not a Panhandle Lot but would require variances. Similarly, although all three lots would be in the R1-B Zone, Single Family Dwelling District, Schedule H – Panhandle Lot Regulations would apply only to Lot D and Lot E.

### **Sustainability Features**

As indicated in the applicant's letter dated November 4, 2015 the following sustainability features are associated with this application:

- energy efficiency: new construction to pursue Energuide 80 (or equivalent)
- renewable energy: solar / PV provisions
- water: low flow fixtures
- site permeability: permeable paving stones for hard landscaping
- landscaping: no net loss in number of trees.

### **Active Transportation Impacts**

The applicant has not identified any active transportation impacts associated with this application.

### **Public Realm Improvements**

No public realm improvements are proposed in association with this Development Permit Application.

### **Existing Site Development and Development Potential**

The site is presently in the R1-B Zone, Single Family Dwelling District. Under this zone, the site could be subdivided and three single family homes with secondary suites could be built.

### **Data Table**

The following data table compares the proposal with the R1-B Zone. An asterisk is used to identify where the proposal is less stringent than the existing zone.



Zoning Criteria	Proposal Lot F	Zone Standard R1-B Zone
Site area (m <sup>2</sup> ) - minimum	504.00	460.00
Lot width (m) - minimum	28.60	15.00
1st & 2 <sup>nd</sup> storey floor area (m <sup>2</sup> ) - maximum	216.00	280.00
Total floor area (m <sup>2</sup> ) - maximum	290.50	300.00
Height (m) - maximum	7.60	7.6
Storeys - maximum	2	2
Site coverage % - maximum	26.30	40.00
Setbacks (m) - minimum		
Front (Fairfield Rd.)	<b>6.25 *</b>	7.50
Rear (south)	<b>3.50 *</b>	7.50
Side (east)	3.50	2.86
Side (west)	7.60	3.00
Combined side yards	11.10	4.50
Parking - minimum	1	1

## Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on November 16, 2015 the application was referred for a 30-day comment period to the Fairfield and Gonzales CALUC. At the time of writing this report, a letter from the CALUC had not been received.

This application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

## ANALYSIS

### Regulatory Considerations

The applicant is requesting variances as follows:

- reducing the front yard setback from 7.50m to 6.25m
- reducing the rear yard setback from 7.50m to 3.50m.

These variances are the result of the proposed house being sited towards the side lot line (Moss Rock Place) instead of the front lot line (Fairfield Road is defined as the front in accordance with the *Zoning Regulation Bylaw*). The requested setback variances would be reduced if Moss Rock Place was considered to be the front lot line. The setbacks do not have a substantial impact on the adjacent lot and usable outdoor space is provided in the side yard. Additionally, the proposed front setback is approximately in line with the adjacent houses on Fairfield Road.

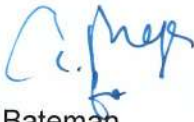
## CONCLUSIONS

The proposal to construct three new houses requires variances associated with the house on Fairfield Road (Lot F). The variances are supportable because they will not have a substantial impact on the privacy of the adjacent house. Staff recommend that Council consider supporting this application.

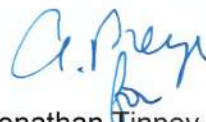
## ALTERNATE MOTION

That Council decline Development Variance Permit Application No. 00004 for the property located at 1421 Fairfield Road.

Respectfully submitted,



Rob Bateman  
Planner  
Development Services Division



Jonathan Tinney, Director  
Sustainable Planning and Community  
Development Department

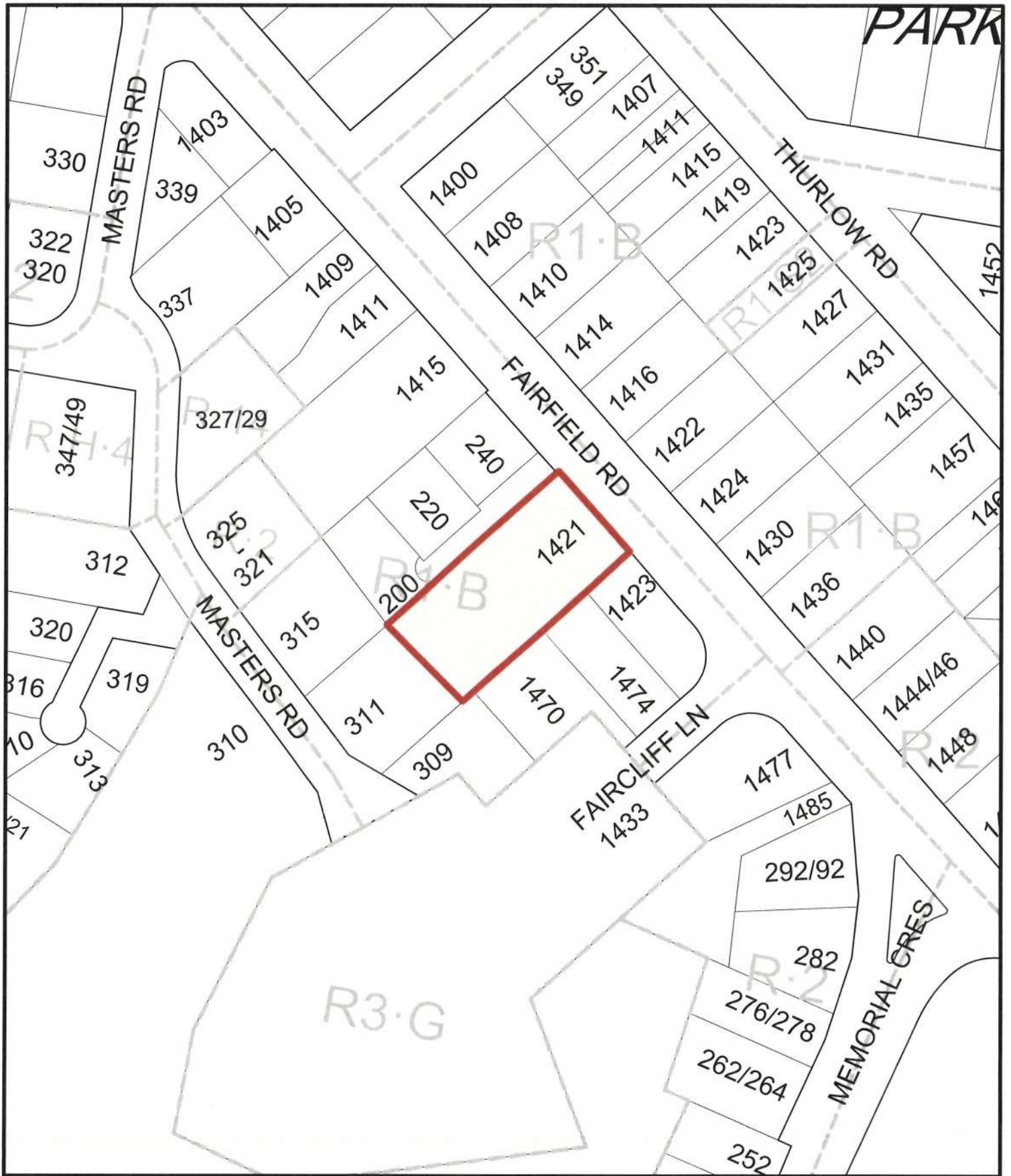
Report accepted and recommended by the City Manager:



Date: July 6, 2016

## List of Attachments:

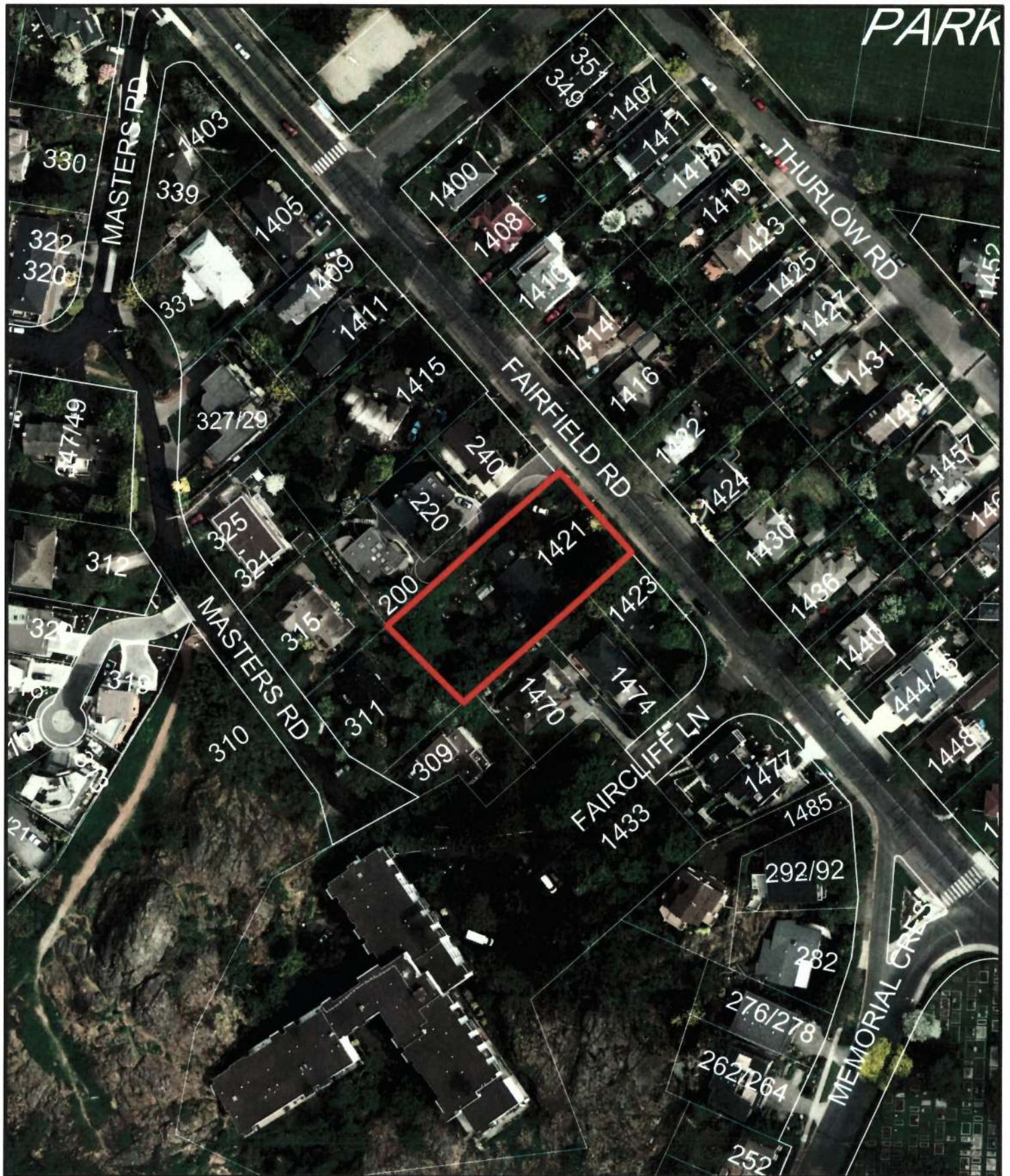
- Zoning map
- Aerial map
- Applicant's letter to Mayor and Council dated November 4, 2015
- Plans dated April 29, 2016.



1421 Fairfield Road  
Development Permit with Variances #00004







1421 Fairfield Road  
Development Permit with Variances #00004







November 04, 2015

Mayor & Council  
**City of Victoria**  
1 Centennial Square  
Victoria, BC V8W 1P6

Dear Mayor & Council,

**RE: Development Permit Application - 1421 Fairfield Road - Victoria, BC**

On behalf of Moss Rock Developments Ltd. (the Owner), Ryan Hoyt Designs Inc. (RHD) has submitted a Development Permit application (the Proposal) with variances for a three (3) lot subdivision at 1421 Fairfield Road (the Property). The following information outlines the details of this proposal.

**1.0 BACKGROUND**

The Property is located on the SW side of Fairfield Road just before Memorial Crescent and Fairfield Road fork around the Ross Bay Cemetery. The Property is currently zoned R1-B (Residential Single Family) with an existing Single Family Dwelling currently on the Property. The existing parcel size is 1704m<sup>2</sup>.

The existing single family dwelling on the Property suffered a fire recently (prior to the purchase of the Property by the Owner) and remains in disrepair, while the Site has been overgrown and rather unsightly for some time now.

**2.0 LOCATION**

Bordering the Property are:

- One R1-B (Single Family) lot to the West (address on Masters Road above),
- Four R1-B (Single Family) lots to the South (addresses on Faircliff Lane)
- Three R1-B (Single Family) lots to the North (addresses on Moss Rock Place)

The three lots noted above with addresses on Moss Rock Place were created by subdivision circa 2008. The original parcel (1419 Fairfield Road) was of comparable size to the subject Property.

### 3.0 THE OWNERS

The Owner's of the Property, Moss Rock Developments Ltd., are majority Owners of the properties on Moss Rock Place.

Prior to purchasing the Property, the Owners were aware of multiple parties who explored the development potential of the Property, many of which that contemplated the existing private road (Moss Rock Place) as the ideal access for a proposed subdivision. As concerned property owners, the Owners secured ownership of the Property in an effort to retain some control over the impending change of use of this adjacent parcel and the obvious effect it would have on their existing residences.

The Owners are seeking approval to develop this parcel in a manner that is in-keeping with the subdivision created circa 2008, to render Moss Rock Place a comprehensive development of sorts.

### 4.0 DEVELOPMENT IMPLICATIONS

The Proposal does not require a rezoning application. The size of the existing parcel is such that three (3) R1-B lots can be created within the parameters of the City of Victoria Zoning and Subdivision bylaw.

The existing bare land strata will be amended to include the three new parcels, while Moss Rock Place will serve as the driveway access for all six Strata Lots.

Because Moss Rock Place is a Private Road, the two (2) westerly lots proposed by this subdivision do not have direct 'highway access' as defined by the City of Victoria, thus they are considered Panhandle Lots and subject to the regulations as outlined in the Zoning Regulations Bylaw (No. 80-159) Schedule H - Panhandle Lot Regulations.

Furthermore, the subdivision of land which creates a panhandle lot is subject to the City of Victoria Development Permit Area DPA 15B - Intensive Residential - Panhandle Lot, for the purpose of establishment of objectives for the form and character. The OCP Guidelines applicable are the "Design Guidelines for Small Lot House (2002)".

### 5.0 SUBDIVISION & ZONING DETAILS

The creation of new lots in the R1-B zone requires a minimum lot area of 460m<sup>2</sup>, while the creation of new panhandle lots require a minimum lot area of 600m<sup>2</sup>. The proposed subdivision of the Property proposes three new Strata lots, with lot sizes as follows:

Strata Lot D: 600m<sup>2</sup>  
Strata Lot E: 600m<sup>2</sup>



Strata Lot F: 504m<sup>2</sup>

The existing lot sizes on Moss Rock Place:

Strata Lot A: 460m<sup>2</sup>

Strata Lot B: 460m<sup>2</sup>

Strata Lot C: 468m<sup>2</sup>

The current Proposal does not require space dedicated to the Private Road, which reflects the increase in lots sizes vs. the original subdivision plan. This retains more open site space vs. a proposal that could not utilize the existing private road.

The Schedule H - Panhandle Lot Regulations further limits development opposed to standard R1-B zoning, with key parameters summarized as follows:

Height:	R1-B:	7.6m
	Schedule H:	5.0m
Storeys:	R1-B:	2-Storeys
	Schedule H:	1-Storey
Site Coverage:	R1-B:	40%
	Schedule H:	25%

The existing development on Moss Rock Place (completed circa 2008) was approved prior to the introduction of the Zoning Regulations Bylaw (No. 80-159) Schedule H - Panhandle Lot Regulations, and thus the approved constructions already in-situ along Moss Rock Place would not comply with the Schedule H - Panhandle Lot Regulations today as they all are at least 2-storeys, with heights exceeding 5.0m, and Site Coverage exceeding 25%.

The overall goal of the Proposal is to achieve three (3) new single family dwellings that 'round out' Moss Rock Place, with comparable styling, massing, and density, such that years following the development it will appear less as a phased or uncoordinated development.

To achieve this goal, variances are required, as summarized in the following section.

## 6.0 PROPOSED VARIANCES

The Proposal includes a total of seven (7) variances requested. In general, these variances seek to permit all three lots to construct 2 storeys, and achieve overall height of a standard R1-B lot (to match the massing of the existing houses on Moss Rock Place). Furthermore, two modest Site Coverage variances are proposed for the two (2) panhandle lots, to permit an overall footprint and gross floor area comparable

to the existing houses, but to remain well below a the Site Coverage allowance of a typical R1-B lot.

Finally, setback variances are proposed for Strata Lot F (along Fairfield Road) to mimic the frontage and private road driveway access of the opposing lot on Moss Rock Place.

It is important to appreciate that the proposed Strata Lot F, is not subject to Schedule H - Panhandle Lot Regulations, and therefore can build 2-storeys, up to 7.6m in height, and up to 40% Site Coverage without variance.

A detailed breakdown of the proposed variances is as follows:

1. Lot D: Height variance from 5.0m to 7.6m
2. Lot D: Increase from 1 storey to 2 storey.
3. Lot E: Lot Coverage variance from 25% to 27.4%
4. Lot E: Height variance from 5.0m to 7.6m
5. Lot E: Increase from 1 storey to 2 storey.
6. Lot F: Front Setback 7.5m to 6.25m
7. Lot F: Rear Setback: 7.5m to 3.5m

## 7.0 NEIGHBORHOOD IMPACT

We feel this Proposal provides positive impact on the neighborhood. The Property in its current state is unsightly and needs to be re-purposed. The existing density exceeds that of the surrounding parcels, and represents an excellent opportunity for tasteful infill.

The most significant impact of the Proposal will be realized by the homes already along Moss Rock Place. Having the Owners of these existing properties coming forward to propose this development reflects their keen interest to enhance the neighborhood positively.

Utilizing Moss Rock Place to access the additional lots is the best-case scenario for the neighborhood, avoiding any additional Private Road easements, or separate panhandle driveways onto an already busy traffic thoroughfare.



The impact for properties on the opposing side of Fairfield Road should be limited when considering the development potential of the Property despite any subdivision. The massing of the proposed dwelling along Fairfield Road (Lot F) is indicative of what could be built (short of a setback variance) regardless of this subdivision / DP application.

The impact for properties adjacent along Masters should be minimal, considering the large elevation change between the Property and Masters Road. Even with height variances, the massing of the proposed dwellings will not impact views from Masters Road.

The impact for properties along Faircliff Lane is apparent. The increase in density will provide some impact, although the Property in it's current form does hold potential for re-purposing without DP or subdivision that would also have potential impacts on these adjacent parcels.

The Proposal includes the provision of a new fence along the South Property line (abutting the Faircliff properties), along with some tasteful landscaping to limit the impact of the new houses. A typical rear yard setback distance of 7.5m exists for all three proposed Strata lots where they abut their Faircliff neighbors.

While with any subdivision comes potential scrutiny from neighbors who have become accustomed to the existing under-utilization of the Property, the current zoning of this parcel does support an increase in density, such that opposition should not be considered from a density standpoint, but rather form and character alone.

On this front, we feel the Proposal will provide three (3) distinct, attractive homes that complement those surrounding the Property, and that will surely provide a positive impact to the neighborhood.

## 8.0 CLOSURE

Thank you for the opportunity to submit this Proposal. Should you have any questions or comments, please do not hesitate to contact the undersigned.

Yours truly,

**Ryan Hoyt Designs Inc.**



Ryan Hoyt, ASCT, RBD, LEED®AP  
Principal

November 04, 2015

Mayor & Council  
**City of Victoria**  
1 Centennial Square  
Victoria, BC V8W 1P6

Dear Mayor & Council,

**RE: Green Features - 1421 Fairfield Road - Victoria, BC**

On behalf of Moss Rock Developments Ltd. (the Owner), Ryan Hoyt Designs Inc. (RHD) has submitted a Development Permit application with variances for a proposed 3 lot subdivision at 1421 Fairfield Road (the Property). The following 'green features' are considered for this project:

<b>Building Retention and Reuse:</b>	The existing building suffered a fire and is in disrepair. All demolition waste will be recycled where possible.
<b>Transportation:</b>	Required parking does not exceed the minimum number of off-street spaces
<b>Energy Efficiency:</b>	New Construction to pursue Energuide 80 (or equivalent)
<b>Renewable Energy:</b>	Solar / PV provisions
<b>Water:</b>	Low flow fixtures
<b>Site Permeability:</b>	Permeable paving stones for hard landscaping
<b>Landscaping:</b>	No net loss in number of trees

Yours truly,

**Ryan Hoyt Designs Inc.**

  
Ryan Hoyt, ASCT, RBD, LEED®AP  
Principal



PROPOSED SUBDIVISION OF:  
**1421 Fairfield Road**  
VICTORIA, BC



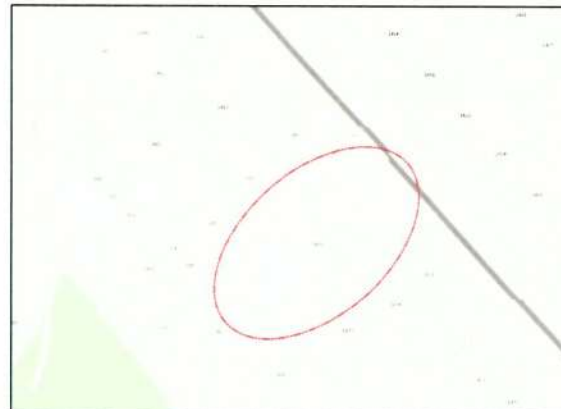
**PROJECT INFORMATION:**

**SITE ADDRESS:** 1421 FAIRFIELD ROAD  
LOT A, PLAN V1P17481,  
LAND DISTRICT 57,  
FAIRFIELD FARM ESTATE  
**OWNER:** MOSS ROCK DEVELOPMENT LTD.

**SCOPE OF WORK:**

SUBDIVISION OF EXISTING R1-B  
PARCEL INTO 3 R1-B STRATA LOTS

**KEY PLAN:**




**SHEET INDEX:**


- A0.0 COVER SHEET
- A1.1 EXISTING NEIGHBORHOOD PLAN
- A1.2 PROPOSED NEIGHBORHOOD PLAN
- A1.3 EXISTING SURVEY
- A1.4 PROPOSED SUBDIVISION PLAN
- A1.5 PROPOSED SITE PLAN
- A1.6 PROPOSED SITE SERVING PLAN
- A1.7 PROPOSED LANDSCAPE PLAN
- A1.8 PROPOSED TREE PLAN
- A1.9 EXISTING SITE IMAGES
- A1.10 EXISTING SITE IMAGES
- A1.11 EXISTING SITE IMAGES
- D0.0 STRATA LOT D - COVER SHEET
- D2.1 STRATA LOT D - FLOOR PLANS
- D2.2 STRATA LOT D - FLOOR PLAN & SECTION
- D4.1 STRATA LOT D - ELEVATIONS
- D4.2 STRATA LOT D - ELEVATIONS
- D5.1 STRATA LOT D - PERSPECTIVES
- E0.0 STRATA LOT E - COVER SHEET
- E2.1 STRATA LOT E - FLOOR PLANS
- E2.2 STRATA LOT E - FLOOR PLAN & SECTION
- E4.1 STRATA LOT E - ELEVATIONS
- E4.2 STRATA LOT E - ELEVATIONS
- E5.1 STRATA LOT E - PERSPECTIVES
- F0.0 STRATA LOT F - COVER SHEET
- F2.1 STRATA LOT F - FLOOR PLANS
- F2.2 STRATA LOT F - FLOOR PLAN & SECTION
- F4.1 STRATA LOT F - ELEVATIONS
- F4.2 STRATA LOT F - ELEVATIONS
- F5.1 STRATA LOT F - PERSPECTIVES
- A6.1 DEVELOPMENT ELEVATIONS
- A7.1 DEVELOPMENT PERSPECTIVES
- A7.2 DEVELOPMENT PERSPECTIVES

**PROJECT DIRECTORY:**

**DESIGNER:** RYAN HOYT DESIGNS INC.  
250.999.9893  
INFO@RYANHoytDESIGNS.COM  
**GENERAL CONTRACTOR:** TBD  
**STRUCTURAL ENGINEER:** TBD  
**SURVEYOR:** WEY MAYENBURG LAND  
SURVEYING INC.  
250.656.5155

**Revisions**  
Received Date:  
**April 29/18**

Date	Description	By	No.	Comments
15Oct21	Issue for Dev. Permit	RH	1	
15Dec16	Dev. Permit Resubmission	RH	2	
15Apr15	Dev. Permit Resubmission	RH	3	
15Apr12	Dev. Permit Resubmission	RH	4	

**RYAN HOYT DESIGNS INC.**  
250.999.9893  
INFO@RYANHoytDESIGNS.COM  
1421 Fairfield Road  
Victoria, BC V8S 4L8

**Project:** 1421 Fairfield Rd.  
**Project No.:** 15115  
**Sheet:** A0.0

**Sheet Title:** Cover Sheet



FIGURE 1: NEIGHBOURHOOD DIRECTIONS



MAP 21  
Fairfield  
Strategic Directions

- Urban Place Designations\***
- Core Residential
  - Large Urban Village
  - Small Urban Village
  - Urban Residential
  - Traditional Residential
  - Public Facilities, Institutions, Parks and Open Space
  - Marine
- Public Facilities**
- Existing Public School
  - Community Centre

\*Urban Place Designations are provided for information purposes only. Please refer to Map 7 and Figure 8 for designation information.

**Revisions**

Revised to the previous  
advised plan.

**Received Date:**  
**April 29/18**

Description	By	No.	Comments
Issue for Dev. Permit	RH	1	
Dev. Permit Re-submission	RH	2	
Dev. Permit Re-submission	RH	3	
Dev. Permit Re-submission	RH	4	

**RYAN HADY**  
Ryan Hady Design Inc.  
250-959-8893  
Victoria, BC V8S 4L8  
www.ryanhady.com

**Project:** 1421 Fairfield Rd.

**Project No.:** 15115

**Sheet Title:** Existing Neighborhood Plan

**Sheet No.:** A1.1





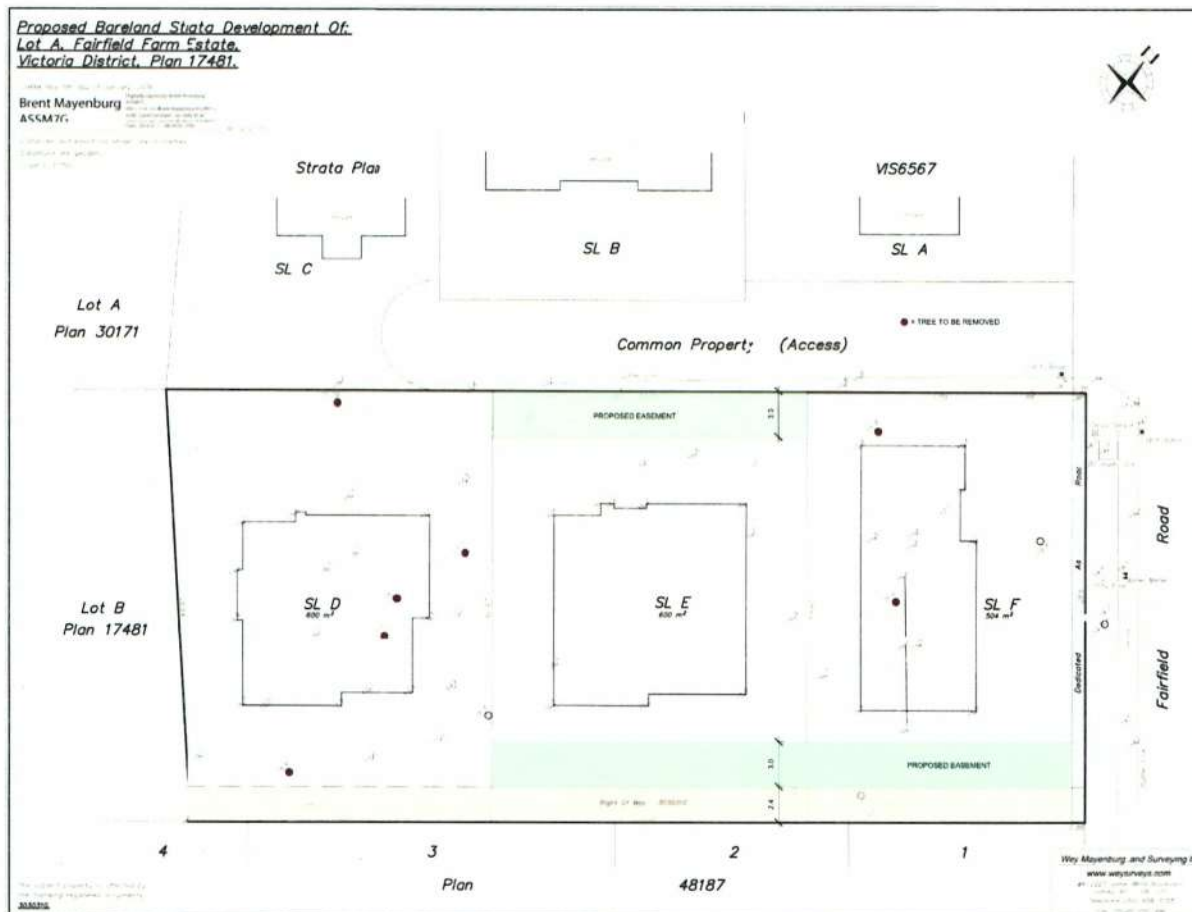
FAIRCLIFF LANE





**Revisions**

Received Date: April 29/18



Proposed Subdivision Plan  
1:150

Date	Description	By	No	Comments
15Oct21	Issue for Dev. Permit	RH	1	
15Dec16	Dev. Permit Resubmission	RH	2	
15Apr22	Dev. Permit Resubmission	RH	3	
15Apr22	Dev. Permit Resubmission	RH	4	

**chd**

RYAN HOVEY

Plan 10471 Surveying Inc.

Suite 207, 4471 Vermont Avenue

Victoria, BC V8Z 6L8

250.979.9893

www.waymayenburg.com

Project: 1421 Fairfield Rd.

Sheet Title: Proposed Subdivision Plan

Project No: 15115

Sheet: A1.4

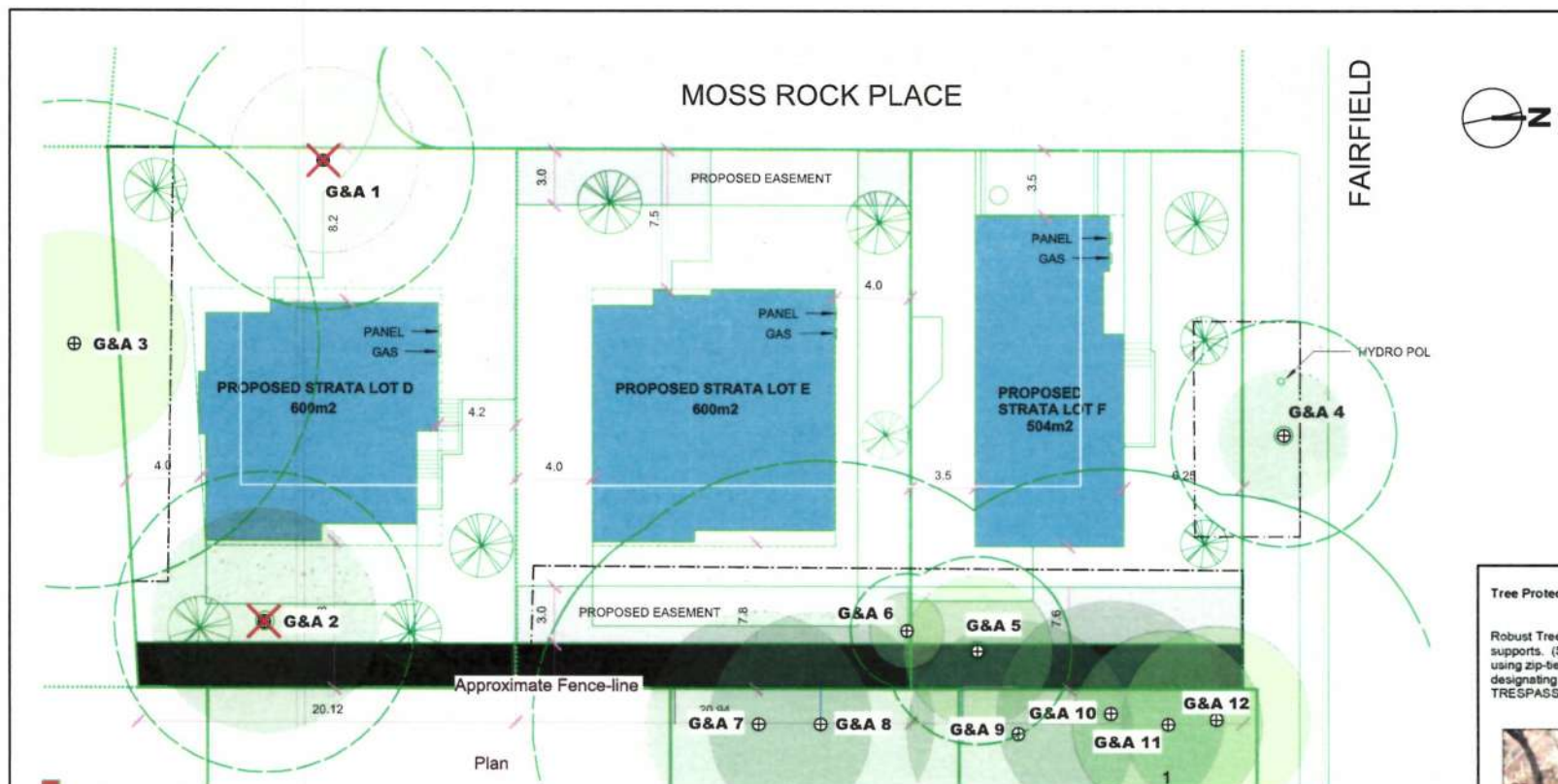












1. Grubbing of site vegetation and house demolition will both be completed under the supervision of the project arborist during the Demolition phase of redevelopment. Tree protection fencing will be erected after demolition is complete and before further site preparation. Tree fencing must remain in good condition throughout the duration of the project.
2. Any excavation, blasting or trenching within 4m of the fenced Tree Protection Areas must be supervised by the project arborist.
3. Tree roots impacted by excavation must be pruned back to undamaged wood by the Project Arborist.
4. No dumping of fill, concrete or any other construction materials or debris within TPAs.
5. Limited storage of materials within the TPA may be conditionally permitted if authorized by the project arborist.

#### Tree Protection Fencing Detail

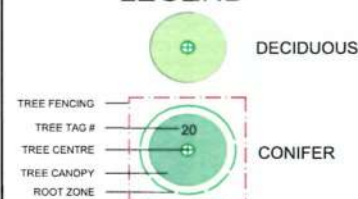
Robust Tree Protection Fencing shall be constructed with a 2x4 frame and supports. (See photo below.) Snow-fencing will then be affixed to the frame using zip-ties, staples wire or nails. All-weather signage will be attached, clearly designating the area within as a TREE PROTECTION AREA - NO TRESPASSING.



Tree #	Common Name	DBH (cm)	PRZr (m)	Structural Condition	Health	Action
1	Bigleaf maple	45	8	Fair	Good	Remove
2	Lawson cedar	45	8	Good	Good	Remove
3 (off-site)	Bigleaf maple X2	70/50	13	Fair	Good	Retain
4 (Boulevard)	Lawson cedar (golden)	35	6	Good	Good	Retain
5	Liquid amber (Sweet-gum)	25	5	Good	Good	Retain
6	Japanese maple	15	3	Good	Good	Retain
7 (off-site)	Red cedar	65	12	Good	Good	Retain
8 (off-site)	Red cedar	75	14	Good	Good	Retain
9 (off-site)	Red cedar	45	8	Good	Good	Retain
10 (off-site)	Red cedar	70	13	Fair- Good	Good	Retain
11 (off-site)	Lombardi poplar	55	10	Good	Good	Retain
12 (off-site)	Lombardi poplar	65	12	Good	Good	Retain

**NOTE: Off-site trees are not tagged.**

#### LEGEND



**PROJECT**  
**1421 Fairfield Rd,**  
**Victoria, BC**

**SHEET TITLE**  
**Tree Plan (for Development Permit App.)**

0	FOR REVIEW	OCT 31 2015
REV NO	DESCRIPTION	DATE

PROJECT NO.	15-043
DATE	October 31, 2015
SCALE	1:250
DRAWN BY	JG
SHEET NO.	T - 2



PHOTO #1  
VIEW OF MOSS ROCK PLACE FROM FAIRFIELD ROAD (NORTH)  
NOTE: EXISTING HOUSE NOT VISIBLE




PHOTO #2  
VIEW OF MOSS ROCK PLACE FROM FAIRFIELD ROAD (NORTH EAST)  
NOTE: EXISTING HOUSE DRIVEWAY AND PORTIONS OF HOUSE VISIBLE



PHOTO #3  
VIEW OF MOSS ROCK PLACE FROM FAIRFIELD ROAD (EAST)  
NOTE: EXISTING HOUSE NOT VISIBLE, EXISTING DEVELOPMENT  
ON MOSS ROCK PLACE VISIBLE



PHOTO #4  
VIEW OF MOSS ROCK PLACE FROM FAIRFIELD ROAD (EAST)  
NOTE: EXISTING HOUSE NOT VISIBLE, LIMITED VISIBILITY OF EXISTING  
DEVELOPMENT AT MOSS ROCK PLACE




**Revisions**  
Reviewed by the previously  
submitted plans  
**Received Date:**  
**April 29/16**

1. The applicant has submitted a revised site plan showing the proposed development. The revised site plan shows the proposed development in a more compact form, which is more in line with the surrounding residential development. The revised site plan also shows the proposed development in a more compact form, which is more in line with the surrounding residential development.

2. The applicant has submitted a revised site plan showing the proposed development. The revised site plan shows the proposed development in a more compact form, which is more in line with the surrounding residential development. The revised site plan also shows the proposed development in a more compact form, which is more in line with the surrounding residential development.

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16 April 15	Dev. Permit Resubmission	RH	3	
16 April 22	Dev. Permit Resubmission	RH	4	



**RYAN HOYT**  
Ryan Hoyt Design Inc.  
250-999-8893  
Victoria, BC V8Z 4L6  
www.ryanhoytdesign.com

**Project:**  
**1421 Fairfield Rd.**

**Sheet Title:**  
**Existing Site Images**

**Project No.:**  
**15115**

**Sheet:**  
**A1.9**





PHOTO #5  
VIEW OF EXISTING MOSS ROCK PLACE DEVELOPMENT FROM FAIRFIELD ROAD (EAST)  
NOTE: THREE EXISTING SINGLE FAMILY DWELLINGS, 240 MOSS ROCK PLACE IN THE FOREGROUND



PHOTO #6  
VIEW OF EXISTING MOSS ROCK PLACE DEVELOPMENT FROM FAIRFIELD ROAD (EAST)  
NOTE: TWO EXISTING SINGLE FAMILY DWELLINGS, 220 MOSS ROCK PLACE IN THE FOREGROUND



PHOTO #7  
VIEW OF EXISTING MOSS ROCK PLACE DEVELOPMENT FROM FAIRFIELD ROAD (EAST)  
NOTE: EXISTING SINGLE FAMILY DWELLING, 200 MOSS ROCK PLACE IN THE FOREGROUND



PHOTO #8  
VIEW OF EXISTING LOT (1421 FAIRFIELD) FROM THE TOP OF MOSS ROCK PLACE (WEST)  
NOTE: EXISTING DWELLING VISIBLE FROM TOP OF CUL-DE-SAC

## Revisions

(Changes to this document are indicated by the following)

**Received Date:**  
**April 29/18**

1. The existing dwelling is a two-story house with a large window and a driveway leading to a garage. The house is surrounded by trees and landscaping. The existing dwelling is a two-story house with a large window and a driveway leading to a garage. The house is surrounded by trees and landscaping.

Date	Description	By	No.	Comments
15Oct21	Issue for Dev. Permit	RH	1	
15Dec16	Dev. Permit Re-submission	RH	2	
15Apr18	Dev. Permit Re-submission	RH	3	
15Apr22	Dev. Permit Re-submission	RH	4	

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Project

**1421 Fairfield Rd.**

Sheet Title

**Existing Site Images**

Project No

**15115**

Sheet

**A1.10**



PHOTO #9 - VIEW OF CLEARED LOT ALONG FAIRFIELD ROAD (NORTH).  
NOTE TREE COVERAGE OF NEIGHBOUR TO THE EAST OF LOT F.



PHOTO #10 - VIEW OF CLEARED LOT ALONG FAIRFIELD ROAD (NORTH).  
NOTE HEIGHT DIFFERENCE OF NEIGHBOUR TO THE WEST OF LOT D.



PHOTO #11 - VIEW OF CLEARED LOT ALONG FAIRFIELD ROAD (NORTH).  
NOTE TREE COVERAGE OF NEIGHBOURS TO THE SOUTH.



**Revisions**

Revised to the previously submitted plans

**Received Date:**  
April 29/16

1. The following are the revisions to the previously submitted plans:

2. The following are the revisions to the previously submitted plans:

3. The following are the revisions to the previously submitted plans:

4. The following are the revisions to the previously submitted plans:

Date	Description	By	No.
15Oct11	Issue for Dev. Permit	RH	1
15Dec16	Dev. Permit Re-submission	RH	2
15Apr15	Dev. Permit Re-submission	RH	3
15Apr12	Dev. Permit Re-submission	RH	4

**chd**

RYAN HOYT

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Project: **1421 Fairfield Rd.**

Sheet Title: **Existing Site Images**

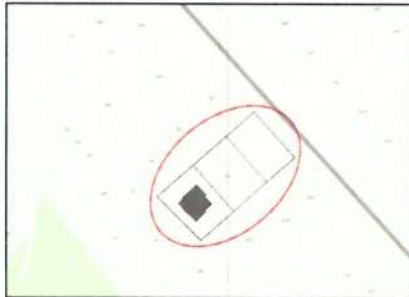
Project No: **15115**

Sheet: **A1.11**

# NEW CUSTOM HOME: STRATA LOT D

1421 FAIRFIELD ROAD  
VICTORIA, BC

## KEY PLAN:



## ZONING ANALYSIS:

ZONE: R1-B  
LOT AREA: 600.0m<sup>2</sup>

GRADES: AVERAGE GRADE: 17.6m

F.S.R.: ALLOWABLE  
NO RESTRICTION

GROSS FLOOR AREA: ALLOWABLE PROPOSED  
SECOND FLOOR: 104.6m<sup>2</sup>  
MAIN FLOOR: 91.1m<sup>2</sup>  
BASEMENT: 5.2m<sup>2</sup>  
BASEMENT SUITE: 58.4m<sup>2</sup>  
GARAGE: 39.0m<sup>2</sup> (18.6m<sup>2</sup> EXEMPT)  
TOTAL: 279.5m<sup>2</sup>  
(104.8+91.1+58.4+5.2+38.6-18.6)

LOT COVERAGE: ALLOWABLE PROPOSED  
25% HOUSE: 144.8m<sup>2</sup> (144.8/600 = 24.1%)

HEIGHT: ALLOWABLE PROPOSED  
HOUSE: 5.0m 6.8m (VARIANCE REQUIRED)

STOREYS: ALLOWABLE PROPOSED  
HOUSE: 1 STOREY (5.0m HEIGHT) 2 STOREY (6.8m HEIGHT) VARIANCE REQUIRED

SETBACKS: ALLOWABLE PROPOSED  
FRONT (N): 7.5m 8.1m  
REAR (S): 7.5m 7.5m  
SIDE (E): 4.0m 4.2m  
SIDE (W): 4.0m 4.0m

## PROJECT INFORMATION:

SITE ADDRESS: PROPOSED STRATA LOT D  
1421 FAIRFIELD ROAD  
LOT A, PLAN V17481,  
LAND DISTRICT S1,  
FAIRFIELD FARM ESTATE

## SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

## PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.  
250.999.9893  
INFO@RYANHOYTDIGNS.COM

GENERAL CONTRACTOR: TBD

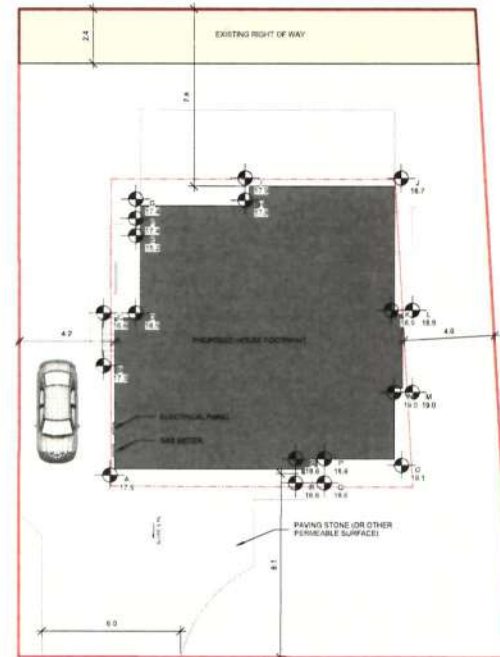
STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND  
SURVEYING INC.  
250.656.5155

## SHEET INDEX:

D0.0 STRATA LOT D - COVER SHEET  
D2.1 STRATA LOT D - FLOOR PLANS  
D2.2 STRATA LOT D - FLOOR PLAN & SECTION  
D4.1 STRATA LOT D - ELEVATIONS  
D4.2 STRATA LOT D - ELEVATIONS  
D5.1 STRATA LOT D - PERSPECTIVES

## PROPOSED STRATA LOT D 600m<sup>2</sup>



Site Plan  
1:100

AVG. GRADE CALC. (PROPOSED GRADE)				AVG. GRADE CALC. (EXISTING GRADE)				AVG. GRADE CALC. (LOWEST GRADE)			
GRADE POINTS	PAVS. OF POINTS	DIST. BETWEEN	TOTALS	GRADE POINTS	PAVS. OF POINTS	DIST. BETWEEN	TOTALS	GRADE POINTS	PAVS. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	17.8m	A-B (17.5 + 17.8) / 2	X 5.0m = 89.5	POINT "A"	17.8m	A-B (17.5 + 17.8) / 2	X 5.0m = 89.5	POINT "A"	17.8m	A-B (17.5 + 17.8) / 2	X 5.0m = 89.5
POINT "B"	17.8m			POINT "B"	17.8m			POINT "B"	17.8m		
POINT "C"	16.4m	C-D (16.6 + 16.5) / 2	X 1.1m = 18.2	POINT "C"	16.4m	C-D (16.6 + 16.5) / 2	X 1.1m = 18.2	POINT "C"	16.4m	C-D (16.6 + 16.5) / 2	X 1.1m = 18.2
POINT "D"	16.5m	D-E (16.5 + 15.2) / 2	X 4.2m = 63.4	POINT "D"	16.5m	D-E (16.5 + 15.2) / 2	X 4.2m = 63.4	POINT "D"	16.5m	D-E (16.5 + 15.2) / 2	X 4.2m = 63.4
POINT "E"	15.2m			POINT "E"	15.2m			POINT "E"	15.2m		
POINT "F"	17.8m	F-G (17.4 + 17.8) / 2	X 1.0m = 17.8	POINT "F"	17.8m	F-G (17.4 + 17.8) / 2	X 1.0m = 17.8	POINT "F"	17.8m	F-G (17.4 + 17.8) / 2	X 1.0m = 17.8
POINT "G"	17.8m	G-H (17.8 + 17.8) / 2	X 4.4m = 80.8	POINT "G"	17.8m	G-H (17.8 + 17.8) / 2	X 4.4m = 80.8	POINT "G"	17.8m	G-H (17.8 + 17.8) / 2	X 4.4m = 80.8
POINT "H"	17.8m	H-I (17.8 + 17.8) / 2	X 0.3m = 16.1	POINT "H"	17.8m	H-I (17.8 + 17.8) / 2	X 0.3m = 16.1	POINT "H"	17.8m	H-I (17.8 + 17.8) / 2	X 0.3m = 16.1
POINT "I"	17.8m	I-J (17.8 + 17.8) / 2	X 4.4m = 114.6	POINT "I"	17.8m	I-J (17.8 + 17.8) / 2	X 4.4m = 114.6	POINT "I"	17.8m	I-J (17.8 + 17.8) / 2	X 4.4m = 114.6
POINT "J"	17.8m	J-K (17.8 + 17.8) / 2	X 5.7m = 102.0	POINT "J"	17.8m	J-K (17.8 + 17.8) / 2	X 5.7m = 102.0	POINT "J"	17.8m	J-K (17.8 + 17.8) / 2	X 5.7m = 102.0
POINT "K"	17.8m	K-L (17.8 + 17.8) / 2	X 0.4m = 7.2	POINT "K"	16.8m	K-L (16.8 + 16.8) / 2	X 0.4m = 7.2	POINT "K"	17.8m	K-L (17.8 + 17.8) / 2	X 0.4m = 7.2
POINT "L"	17.8m	L-M (17.8 + 17.8) / 2	X 3.3m = 69.1	POINT "L"	18.9m	L-M (18.9 + 18.9) / 2	X 3.3m = 62.5	POINT "L"	17.8m	L-M (17.8 + 17.8) / 2	X 3.3m = 69.1
POINT "M"	17.8m	M-N (17.8 + 17.8) / 2	X 0.4m = 7.2	POINT "M"	18.9m	M-N (18.9 + 18.9) / 2	X 0.4m = 7.2	POINT "M"	17.8m	M-N (17.8 + 17.8) / 2	X 0.4m = 7.2
POINT "N"	17.8m	N-O (17.8 + 17.8) / 2	X 3.2m = 57.3	POINT "N"	18.9m	N-O (18.9 + 18.9) / 2	X 3.2m = 62.4	POINT "N"	17.8m	N-O (17.8 + 17.8) / 2	X 3.2m = 57.3
POINT "O"	17.8m	O-P (17.8 + 17.8) / 2	X 3.4m = 60.9	POINT "O"	19.1m	O-P (19.1 + 19.1) / 2	X 3.4m = 64.1	POINT "O"	17.8m	O-P (17.8 + 17.8) / 2	X 3.4m = 60.9
POINT "P"	17.8m	P-Q (17.8 + 17.8) / 2	X 0.7m = 12.5	POINT "P"	18.4m	P-Q (18.4 + 18.4) / 2	X 0.7m = 13.0	POINT "P"	17.8m	P-Q (17.8 + 17.8) / 2	X 0.7m = 12.5
POINT "Q"	17.8m	Q-R (17.8 + 17.8) / 2	X 0.7m = 12.5	POINT "Q"	18.4m	Q-R (18.4 + 18.4) / 2	X 0.7m = 13.0	POINT "Q"	17.8m	Q-R (17.8 + 17.8) / 2	X 0.7m = 12.5
POINT "R"	17.8m	R-S (17.8 + 17.8) / 2	X 0.2m = 3.6	POINT "R"	16.6m	R-S (16.6 + 16.6) / 2	X 0.2m = 3.7	POINT "R"	17.8m	R-S (17.8 + 17.8) / 2	X 0.2m = 3.6
POINT "S"	17.8m	S-A (17.8 + 17.8) / 2	X 8.3m = 148.6	POINT "S"	16.6m	S-A (16.6 + 17.5) / 2	X 8.3m = 148.8	POINT "S"	17.8m	S-A (17.8 + 17.8) / 2	X 8.3m = 148.6
TOTAL			49.5m = 876.8	TOTAL			49.5m = 884.8	TOTAL			49.5m = 872.3
GRADE CALCULATION			876.5 / 49.5m = 17.7m	GRADE CALCULATION			884.9 / 49.5m = 18.1m	GRADE CALCULATION			872.3 / 49.5m = 17.6m

Revisions

Received Date: April 29/18

1. This sheet is a revision of the previous sheet. It contains all the information needed to construct the project. It is a revision of the previous sheet and contains all the information needed to construct the project.

Date	Description	By	No.
15/04/18	Issue for Dev. Permit	RH	1
16/04/18	Dev. Permit Resubmission	RH	2
16/04/18	Dev. Permit Resubmission	RH	3
16/04/18	Dev. Permit Resubmission	RH	4

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Project  
1421 Fairfield Rd.  
Sheet Title  
Strata Lot D - Cover Sheet

Project No.: 15115

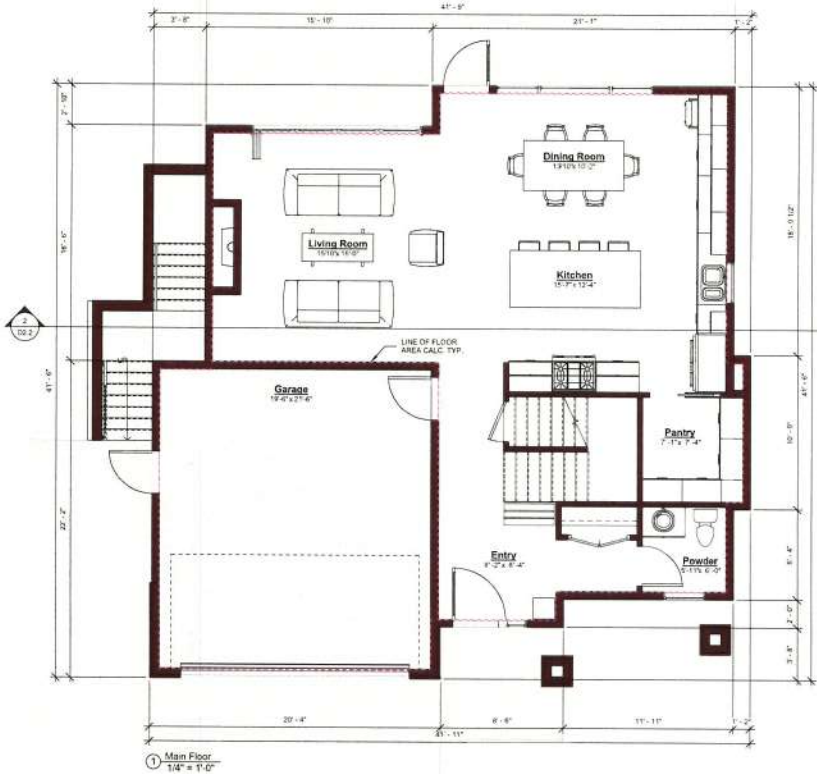
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**Revisions**

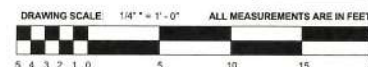
Received Date: April 29/18

Comments:



FLOOR AREA

MAIN	580 SF
UPPER	1128 SF
BASEMENT	95 SF
BASEMENT SUITE	630 SF
TOTAL	2793 SF
GARAGE	420 SF



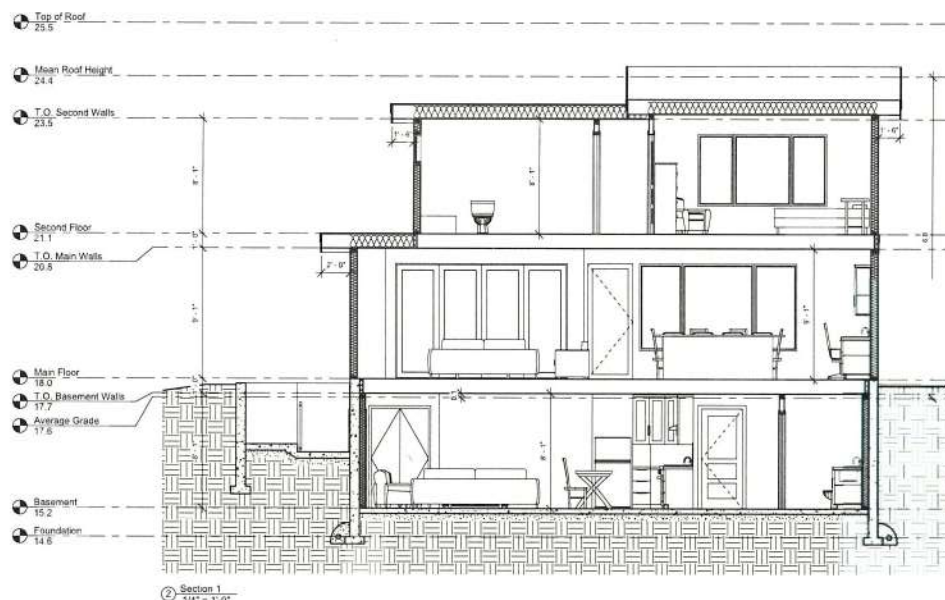
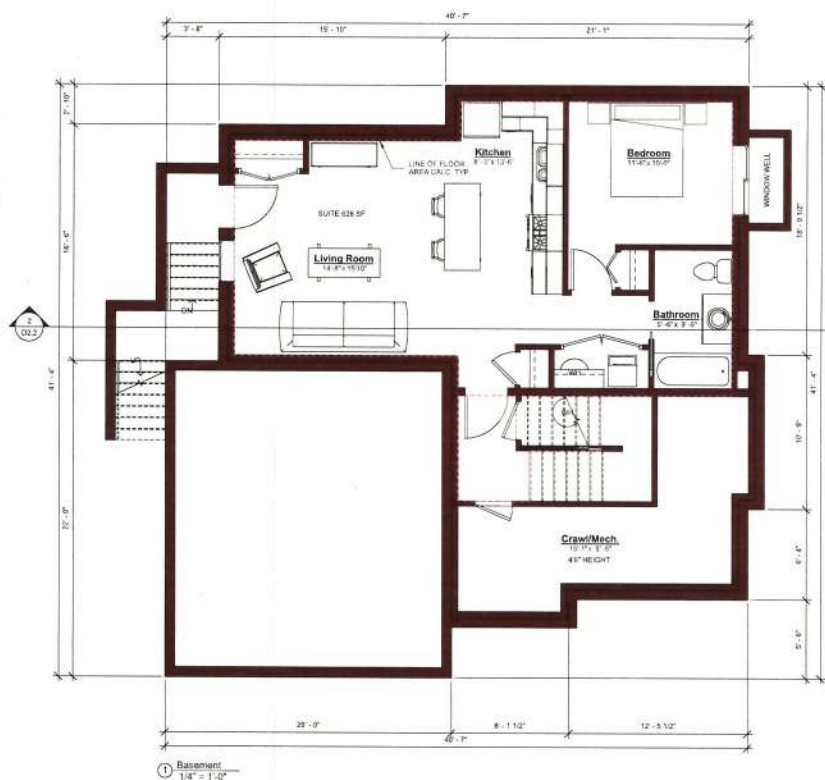
Project: 1421 Fairfield Rd.

Sheet Title: Sirata Lot D - Floor Plans

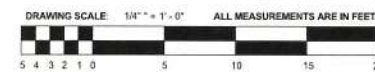
Project No: 15115

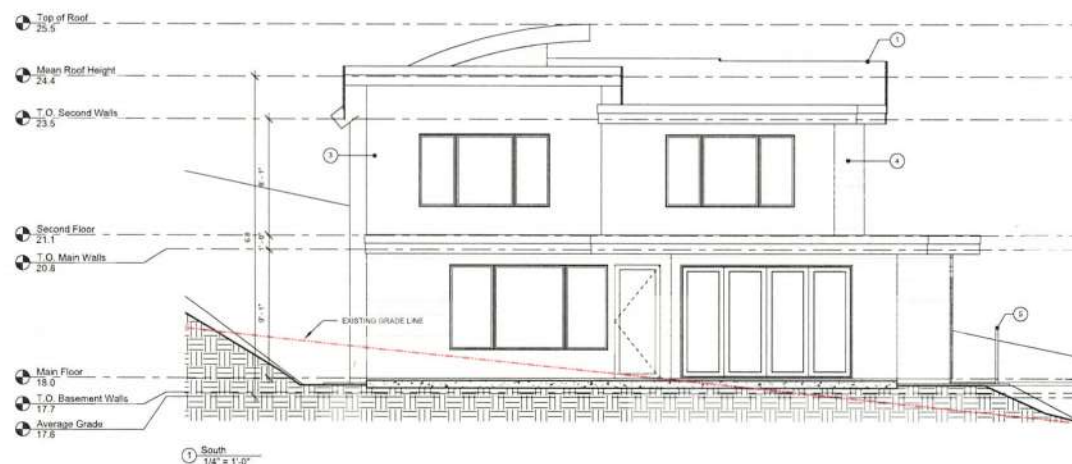
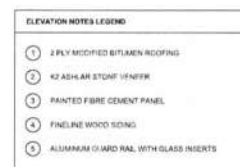
Sheet: D2.1

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FLOOR AREA	
MAIN	980 SF
UPPER	1124 SF
BASEMENT	50 SF
BASEMENT SUITE	628 SF
TOTAL	2782 SF
GARAGE	420 SF




[illegible]

**ryd**  
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Project No.:	15115	Project:	1421 Fairfield Rd.
Sheet:	D4.1	Sheet Title:	Strata Lot D - Elevations

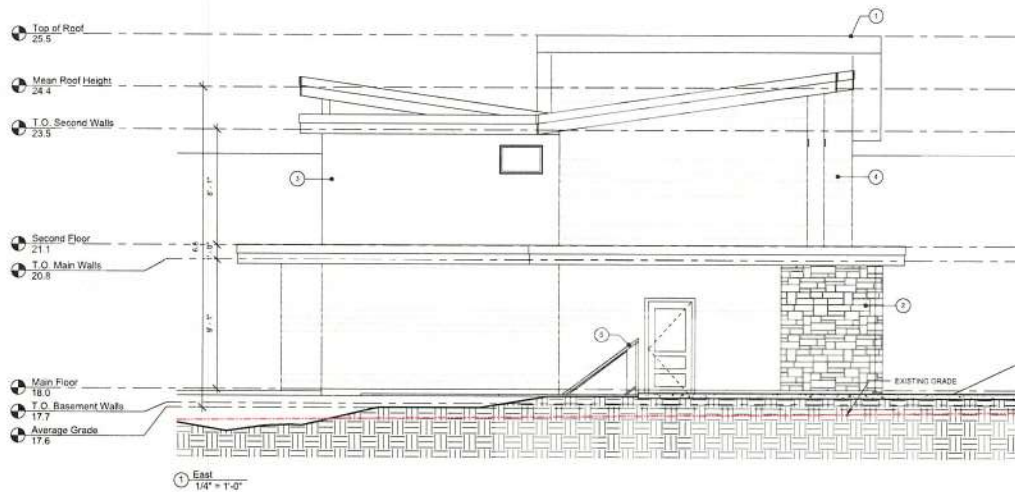




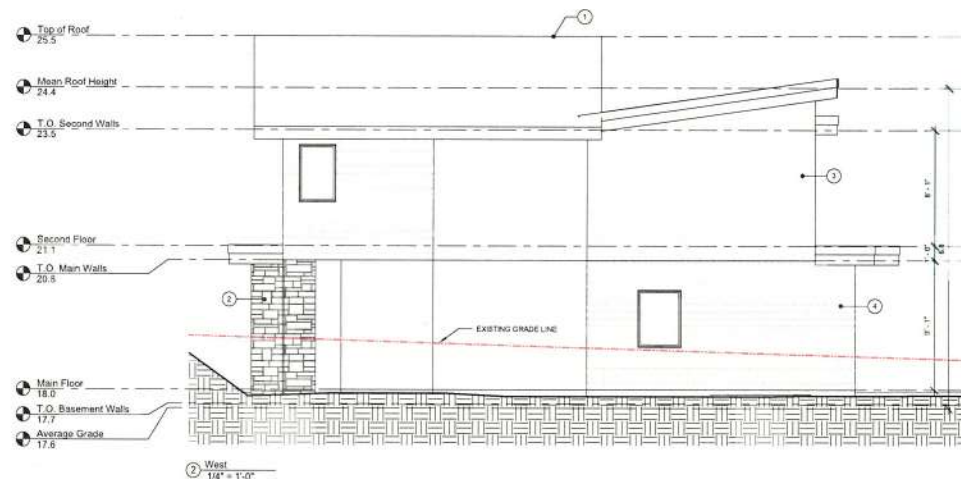
### Revisions

Revised to the previously submitted plans

**Received Date:**  
April 29, 18



ELEVATION NOTES LEGEND		
1	2 PLY MODIFIED BITUMEN ROOFING	
2	K2 ASHLAR STONE VENEER	
3	PAINTED FIBRE CEMENT PANEL	
4	HIMLINE WOOD SIDING	
5	ALUMINUM GUARD RAIL WITH GLASS INSERTS	



Comments:

Date	Description	By	No.
15Oct17	Issue for Dev. Permit	RH	1
15Dec18	Dev. Permit Resubmission	RH	2
18Apr18	Dev. Permit Resubmission	RH	3
10Aug22	Dev. Permit Resubmission	ROT	4



**RYAN HOYT**

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Project:

**1421 Fairfield Rd.**

Sheet Title:

**Strata Lot D - Elevations**

Project No:

**15115**

Sheet:

**D4.2**




1 3D View 1



3 3D View 3



2 3D View 2




**VICTORIA**

**Revisions**

Completed to the previously submitted plans.

**Received Date:**  
April 29/18

Date	Description	By	No.	Comments
15Oct17	Issue for Dev. Permit	RH	1	
15Dec18	Dev. Permit Resubmission	RH	2	
15Oct18	Dev. Permit Resubmission	RH	3	
16Apr22	Dev. Permit Resubmission	RH	4	



**RYAN H. DYT**

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www.ryanhoydesign.com

**Project:**  
1421 Fairfield Rd.

**Sheet Title:**  
Strata Lot D - Perspectives

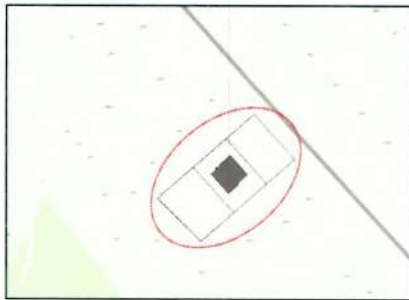
**Project No.:**  
15115

**Sheet:**  
D5.1

# NEW CUSTOM HOME: STRATA LOT E

1421 FAIRFIELD ROAD  
VICTORIA, BC

## KEY PLAN:



## ZONING ANALYSIS:

ZONE: R1-B  
LOT AREA: 600.0m<sup>2</sup>

GRADES: AVERAGE GRADE: 16.1m

F.S.R.: ALLOWABLE  
NO RESTRICTION

GROSS FLOOR AREA: ALLOWABLE

SECOND FLOOR: 92.3m<sup>2</sup>  
MAIN FLOOR: 111.0m<sup>2</sup>  
BASEMENT: 51.4m<sup>2</sup>  
GARAGE: 43.8m<sup>2</sup>  
TOTAL: 279.9m<sup>2</sup>

LOT COVERAGE: ALLOWABLE  
25%

HEIGHT: ALLOWABLE  
HOUSE: 5.0m

STOREYS: ALLOWABLE  
HOUSE: 1 STOREY (5.0m HEIGHT)

SETBACKS: ALLOWABLE  
FRONT (N): 7.5m  
REAR (S): 7.5m  
SIDE (E): 4.0m  
SIDE (W): 4.0m

PROPOSED  
N/A

PROPOSED

92.3m<sup>2</sup>  
111.0m<sup>2</sup>  
51.4m<sup>2</sup>  
43.8m<sup>2</sup>  
279.9m<sup>2</sup>  
(92.3+111.0+51.4+43.8=18.6)

PROPOSED

HOUSE: 164.3m<sup>2</sup> (164.3/600 = 27.4%) VARIANCE REQUIRED

PROPOSED

7.5m (VARIANCE REQUIRED)

PROPOSED

2 STOREY (7.5m HEIGHT) VARIANCE REQUIRED

PROPOSED

7.5m  
7.5m  
4.0m  
4.0m

## PROJECT INFORMATION:

SITE ADDRESS: PROPOSED STRATA LOT E  
1421 FAIRFIELD ROAD  
LOT A, PLAN V1P17481,  
LAND DISTRICT 57,  
FAIRFIELD FARM ESTATE.

## SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

## PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.  
250.999.9893  
INFO@RYANHOYTDIGNS.COM

GENERAL CONTRACTOR: TBD

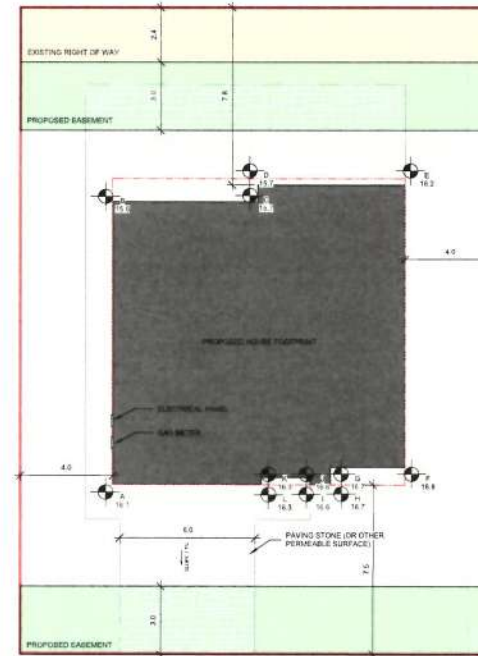
STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND  
SURVEYING INC.  
250.656.5155

## SHEET INDEX:

- E0.0 STRATA LOT E - COVER SHEET
- E2.1 STRATA LOT E - FLOOR PLANS
- E2.2 STRATA LOT E - FLOOR PLANS & SECTION
- E4.1 STRATA LOT E - ELEVATIONS
- E4.2 STRATA LOT E - ELEVATIONS
- E5.1 STRATA LOT E - PERSPECTIVES

## PROPOSED STRATA LOT E 600m<sup>2</sup>



Site Plan  
1:100

A.V.G. GRADE CALC. (PROPOSED GRADE)			
GRADE POINTS	A.V.G. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.3m	A-B (16.3 + 16.3) / 2	X 12.0m = 255.4
POINT "B"	16.3m	B-C (16.3 + 16.3) / 2	X 6.4m = 104.3
POINT "C"	16.3m	C-D (16.3 + 16.3) / 2	X 0.8m = 13.2
POINT "D"	16.3m	D-E (16.3 + 16.3) / 2	X 6.5m = 106.0
POINT "E"	16.3m	E-F (16.3 + 16.3) / 2	X 12.0m = 255.4
POINT "F"	16.3m	F-G (16.3 + 16.3) / 2	X 3.3m = 53.8
POINT "G"	16.3m	G-H (16.3 + 16.3) / 2	X 0.8m = 13.0
POINT "H"	16.3m	H-I (16.3 + 16.3) / 2	X 0.8m = 13.0
POINT "I"	16.3m	I-J (16.3 + 16.3) / 2	X 0.3m = 4.9
POINT "J"	16.3m	J-K (16.3 + 16.3) / 2	X 2.2m = 35.9
POINT "K"	16.3m	K-L (16.3 + 16.3) / 2	X 0.3m = 4.9
POINT "L"	16.3m	L-A (16.3 + 16.3) / 2	X 6.6m = 107.6
TOTAL	93.2m		= 867.9
GRADE CALCULATION	867.9 / 53.2m = 16.3m		

A.V.G. GRADE CALC. (EXISTING GRADE)			
GRADE POINTS	A.V.G. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.1m	A-B (16.1 + 15.6) / 2	X 12.0m = 199.7
POINT "B"	15.6m	B-C (15.6 + 15.7) / 2	X 6.4m = 100.2
POINT "C"	15.7m	C-D (15.7 + 15.7) / 2	X 0.8m = 12.6
POINT "D"	15.7m	D-E (15.7 + 14.2) / 2	X 6.5m = 103.7
POINT "E"	15.2m	E-F (15.2 + 16.8) / 2	X 12.0m = 207.9
POINT "F"	16.8m	F-G (16.8 + 16.7) / 2	X 3.3m = 55.3
POINT "G"	16.7m	G-H (16.7 + 16.7) / 2	X 0.8m = 13.4
POINT "H"	16.7m	H-I (16.7 + 16.8) / 2	X 0.8m = 13.3
POINT "I"	16.8m	I-J (16.8 + 16.6) / 2	X 0.3m = 5.0
POINT "J"	16.6m	J-K (16.6 + 16.3) / 2	X 2.2m = 36.2
POINT "K"	16.3m	K-L (16.3 + 16.3) / 2	X 0.3m = 4.9
POINT "L"	16.3m	L-A (16.3 + 16.1) / 2	X 6.6m = 106.9
TOTAL	93.2m		= 850.1
GRADE CALCULATION	850.1 / 53.2m = 16.2m		

A.V.G. GRADE CALC. (LOWEST GRADE)			
GRADE POINTS	A.V.G. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.1m	A-B (16.1 + 15.6) / 2	X 12.0m = 199.7
POINT "B"	15.6m	B-C (15.6 + 15.7) / 2	X 6.4m = 100.2
POINT "C"	15.7m	C-D (15.7 + 15.7) / 2	X 0.8m = 12.6
POINT "D"	15.7m	D-E (15.7 + 14.2) / 2	X 6.5m = 103.7
POINT "E"	15.2m	E-F (15.2 + 16.3) / 2	X 12.0m = 204.8
POINT "F"	16.3m	F-G (16.3 + 16.3) / 2	X 3.3m = 52.8
POINT "G"	16.3m	G-H (16.3 + 16.3) / 2	X 0.8m = 13.0
POINT "H"	16.3m	H-I (16.3 + 16.3) / 2	X 0.8m = 13.0
POINT "I"	16.3m	I-J (16.3 + 16.3) / 2	X 0.3m = 4.9
POINT "J"	16.3m	J-K (16.3 + 16.3) / 2	X 2.2m = 35.9
POINT "K"	16.3m	K-L (16.3 + 16.3) / 2	X 0.3m = 4.9
POINT "L"	16.3m	L-A (16.3 + 16.3) / 2	X 6.6m = 107.6
TOTAL	93.2m		= 854.1
GRADE CALCULATION	854.1 / 53.2m = 16.1m		

**Revisions**  
Revised to the previously submitted plan.  
**Received Date:**  
April 29/18

Date	Description	By	No.	Comments
18Dec16	Issue for Dev. Permit	RH	1	
18Dec16	Dev. Permit Resubmission	RH	2	
18Apr17	Issue for Dev. Permit	RH	3	
18Apr17	Dev. Permit Resubmission	RH	4	

RYAN HOYT  
Ryan Hoyt Designs Inc.  
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Victoria, BC V8B 4L8  
250.999.9893  
info@ryanhoytdesigns.com  
www.ryanhoytdesigns.com

Project:  
**1421 Fairfield Rd.**

Sheet Title:  
**Strata Lot E - Cover Sheet**

Project No.:  
**15115**

Sheet:  
**E0.0**



**Revisions**

Revised to the previous submitted plans

Received Date: April 29/18

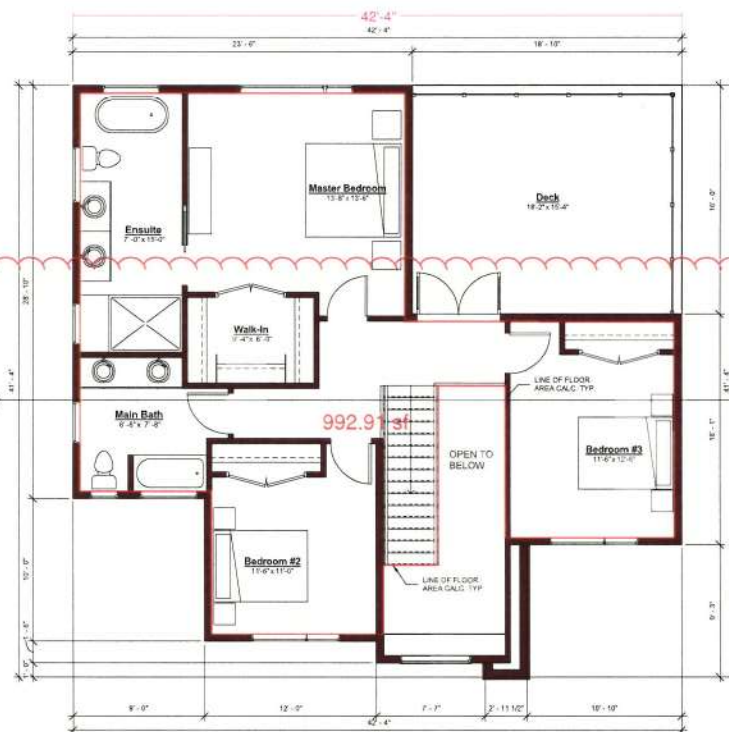
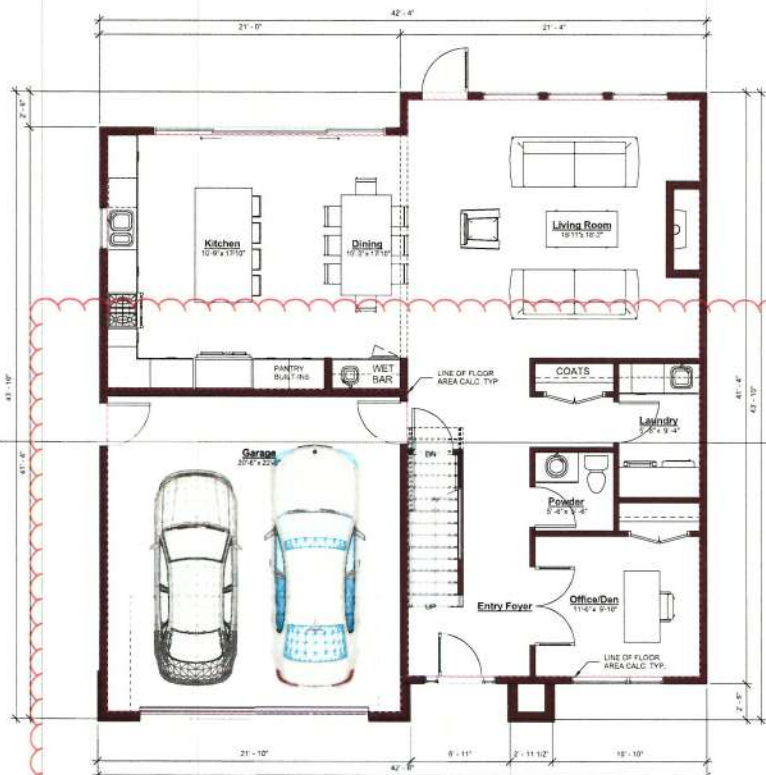
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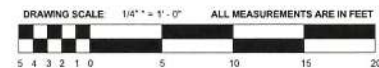
2. No. 2. Description: Dev. Permit Resubmission

3. No. 3. Description: Dev. Permit Resubmission

4. No. 4. Description: Dev. Permit Resubmission



FLOOR AREA	
BASEMENT	315 SF
MAIN	1194 SF
UPPER	1229 SF
TOTAL	2738 SF
GARAGE	471 SF



Project: 1421 Fairfield Rd.

Project No: 15115

Sheet: E2.1

Sheet Title: Strata Lot E - Floor Plans

**chd**  
RYAN H O Y  
Ryan H O Y Architects Inc.  
Suite 207, 4475 Investment Avenue  
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www.ryanhoyn.com

Date	Description	By	No.
15Oct21	Issues for Dev. Permit	RM	1
15Oct16	Dev. Permit Resubmission	RM	2
15Oct16	Dev. Permit Resubmission	RM	3
16Apr22	Dev. Permit Resubmission	RM	4

Comments:

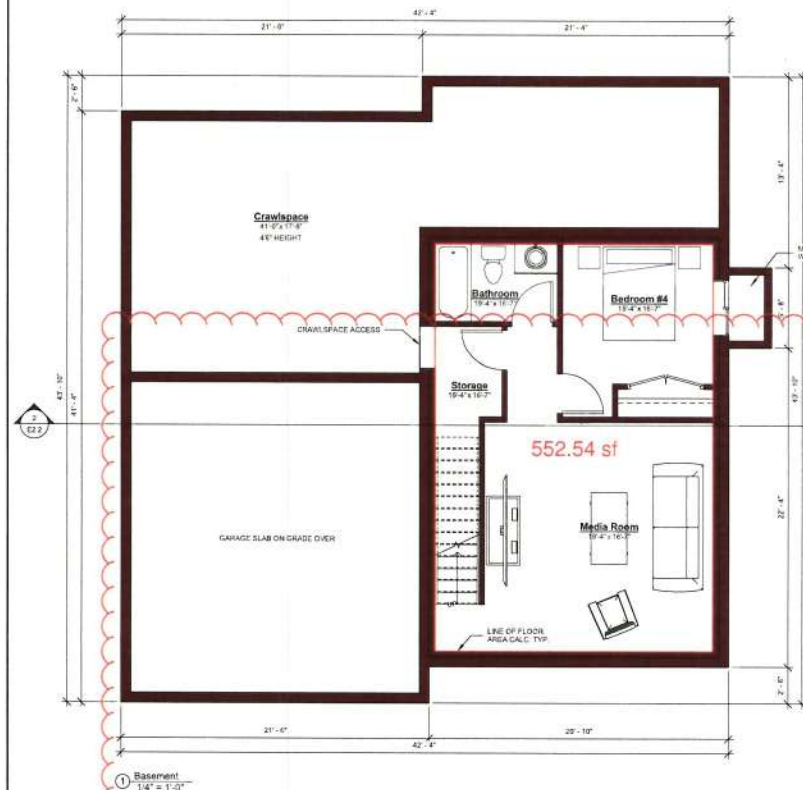
**Revisions**

Revised drawings are to be compared to the previously submitted plans.

**Received Date:**  
April 29/18

**Revisions:**

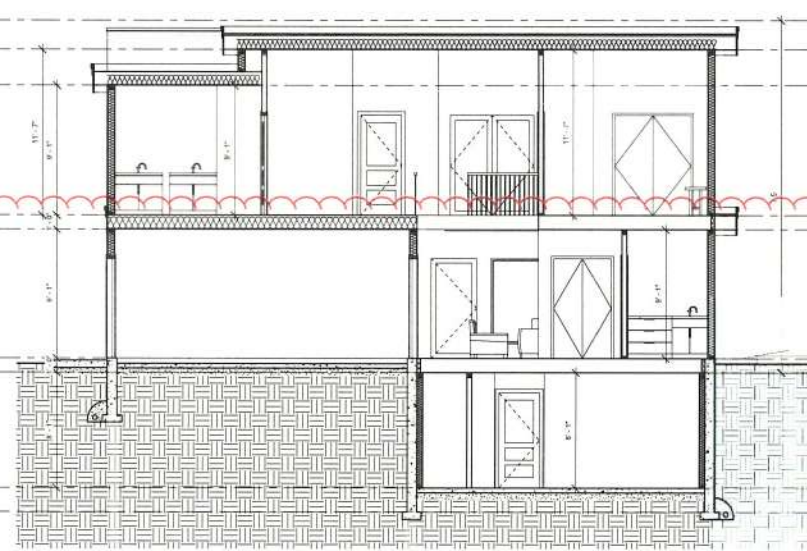
1. The architect has been notified that the proposed design is not in compliance with the current building code requirements. The architect is required to revise the design to meet the current building code requirements. The architect is required to submit the revised design to the building department for review and approval. The architect is required to submit the revised design to the building department for review and approval. The architect is required to submit the revised design to the building department for review and approval.
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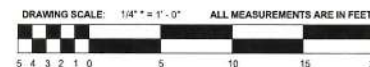
- T.O. Rof. 23.6
- 11' 6" Walls 23.0
- T.O. Second Walls 22.2

- Second Floor 19.5
- T.O. Main Walls 19.2
- Main Floor 16.4
- Average Grade 16.1
- T.O. Basement Walls 16.1

- Basement 13.6
- Foundation 13.1



FLOOR AREA	
BASEMENT	315 SF
MAIN	1194 SF
UPPER	1221 SF
TOTAL	2730 SF
GARAGE	471 SF



Date	Description	By	No.
15/03/18	Issue for Dev. Permit	Rel	1
15/03/18	Rev. Permit Application	Rel	2
15/03/18	Dev. Permit Application	Rel	3
15/03/18	Dev. Permit Application	Rel	4

**chd**

Real Estate Services Inc.  
Suite 307, 4475 Vancourt Avenue  
Victoria, BC V8S 4L8  
250.989.9893  
www.chd.ca

**Project:** 1421 Fairfield Rd.

**Sheet Title:** Strata Lot E - Floor Plan & Section

**Project No.:** 15115

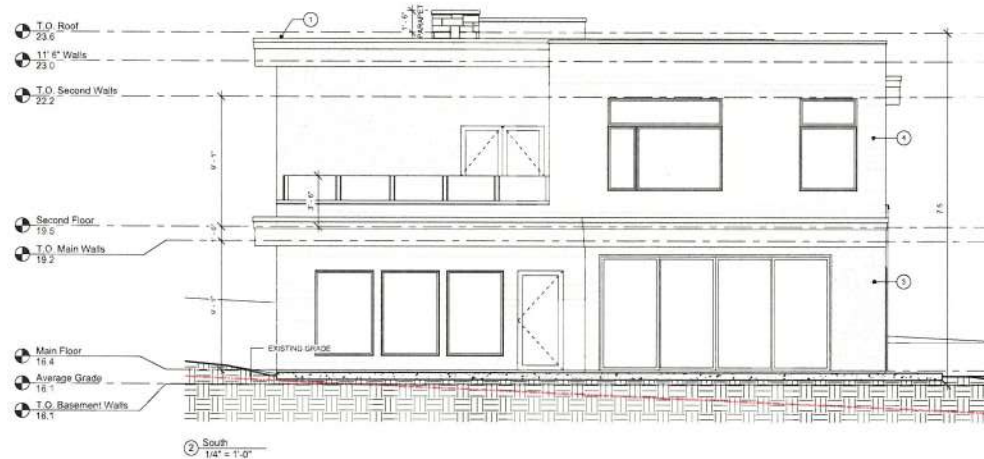
**Sheet:** E2.2

## Revisions

Received Date:  
**April 29/18**



ELEVATION NOTES LEGEND	
1	2 PLY MODIFIED BITUMEN ROOFING
2	K2 ASHLAR STONE VENEER
3	ACRYLIC STUCCO
4	FINE LINE WOOD SIDING



1. All work shall be done in accordance with the latest edition of the British Columbia Building Code (BCBC) and the latest edition of the National Building Code of Canada (NBCC).

2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3. The contractor shall be responsible for ensuring that all work is done in accordance with the latest edition of the BCBC and the latest edition of the NBCC.

4. The contractor shall be responsible for ensuring that all work is done in accordance with the latest edition of the BCBC and the latest edition of the NBCC.

Date	Description	By	No.	Comments
15Oct21	Issue for Dev. Permit	RM	1	
15Oct18	Dev. Permit Resubmission	RM	2	
15April15	Dev. Permit Resubmission	RM	3	
15April22	Dev. Permit Resubmission	RM	4	

BYRON HOYT  
1000 West 10th Avenue  
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250.599.8892  
www.byronhoth.com

Project:  
**1421 Fairfield Rd.**

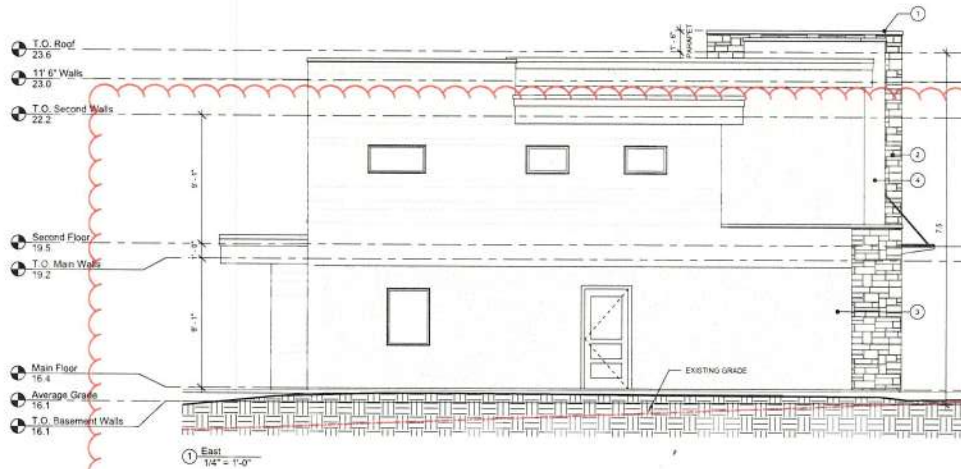
Sheet Title:  
**Strata Lot E - Elevations**

Project No.:  
**15115**

Sheet:  
**E4.1**

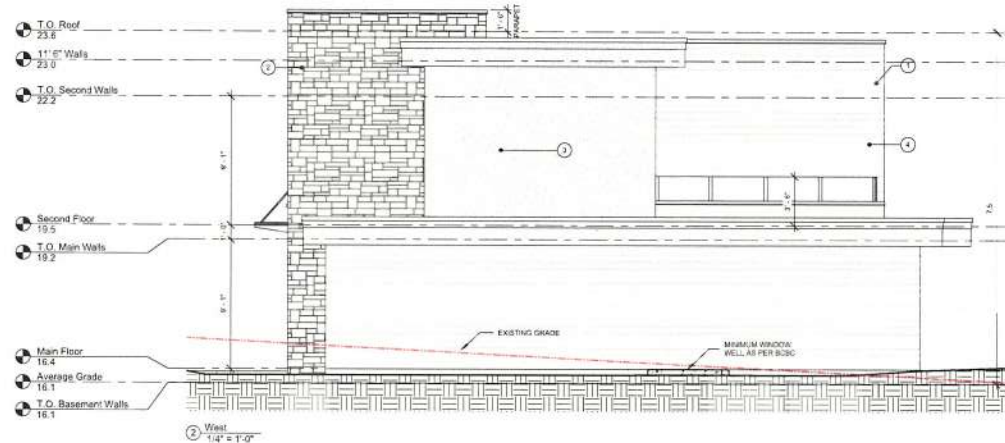


**Revisions**  
 Prepared by the previously  
 submitted plans.  
**Received Date:**  
**April 29/18**



**ELEVATION NOTES LEGEND**

Symbol	Description
①	2 PLY MODIFIED BITUMEN ROOFING
②	A2 ASHLAR STONE VENEER
③	ACRYLIC STUCCO
④	FINE LINE WOOD SING



**Comments**

Date	Description	By	No.
15Oct11	Issue for Dev. Permit	REI	1
15Dec18	Dev. Permit Resubmission	REI	2
18Apr15	Dev. Permit Resubmission	REI	3
18Apr12	Dev. Permit Resubmission	REI	4

**rch**  
 RYAN HOYT  
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 250-999-9893  
 www.ryanhoyst.com

**Project:**  
 1421 Fairfield Rd.  
**Sheet Title:**  
 Strata Lot E -  
 Elevations

**Project No.:**  
 15115

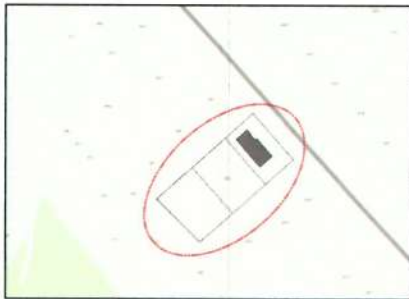
**Sheet:**  
 E4.2



# NEW CUSTOM HOME: STRATA LOT F

1421 FAIRFIELD ROAD  
VICTORIA, BC

## KEY PLAN:



## ZONING ANALYSIS:

ZONE:	R1-B
LOT AREA:	504.0m <sup>2</sup>
GRADES:	AVERAGE GRADE: 15.4m
F.S.R:	ALLOWABLE NO RESTRICTION
GROSS FLOOR AREA: ALLOWABLE	PROPOSED
SECOND FLOOR:	123.6m <sup>2</sup>
MAIN FLOOR:	75.1m <sup>2</sup>
BASEMENT:	70.1m <sup>2</sup>
GARAGE:	40.3m <sup>2</sup>
TOTAL:	299.0m <sup>2</sup>
LOT COVERAGE:	ALLOWABLE 40%
PROPOSED	HOUSE: 132.6m <sup>2</sup> (132.6/504 = 26.3%)
HEIGHT:	ALLOWABLE 7.6m
PROPOSED	7.6m
SETBACKS:	ALLOWABLE 7.5m
PROPOSED	6.25m (VARIANCE REQUIRED)
FRONT (W):	7.5m
REAR (E):	3.5m (VARIANCE REQUIRED)
SIDE (S):	3.0m
SIDE (N):	3.5m

PROPOSED COVENANT  
IN FAVOR OF C.O.V.: MAINTAIN MIN. SIDE  
YARD INT. (SOUTH) AT 7.5m

## PROJECT INFORMATION:

SITE ADDRESS: PROPOSED STRATA LOT F  
1421 FAIRFIELD ROAD  
LOT A, PLAN V1P17481,  
LAND DISTRICT 57,  
FAIRFIELD FARM ESTATE

## SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

## PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.  
250.999.9893  
INFO@RYANHOYTDISIGNS.COM

GENERAL CONTRACTOR: TBD

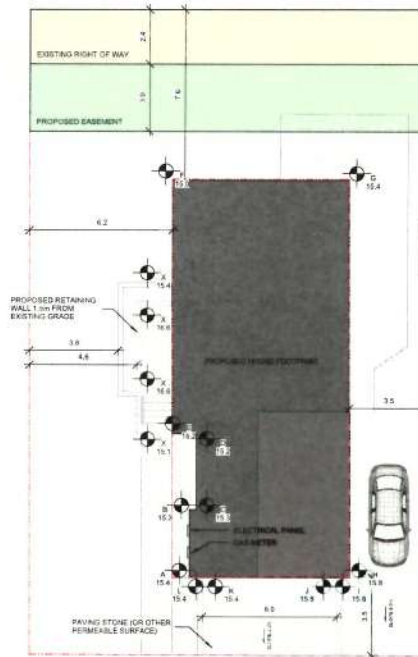
STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND  
SURVEYING INC.  
250.666.5155

## SHEET INDEX:

- F0.0 STRATA LOT F - COVER SHEET  
F2.1 STRATA LOT F - FLOOR PLANS  
F2.2 STRATA LOT F - FLOOR PLANS & SECTION  
F4.1 STRATA LOT F - ELEVATIONS  
F4.2 STRATA LOT F - ELEVATIONS  
F5.1 STRATA LOT F - PERSPECTIVES

## PROPOSED STRATA LOT F 504m<sup>2</sup>

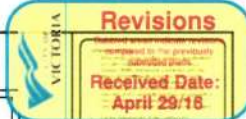


① Site Plan  
1:100

AVG. GRADE CALC. (PROPOSED GRADE)	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	15.9m	A-B (15.9 + 15.9) / 2	X 3.0m = 47.7
POINT "B"	15.9m	B-C (15.9 + 15.9) / 2	X 3.0m = 4.8
POINT "C"	15.9m	C-D (15.9 + 15.9) / 2	X 3.4m = 53.9
POINT "D"	15.9m	D-E (15.9 + 15.9) / 2	X 1.1m = 17.4
POINT "E"	15.9m	E-F (15.9 + 15.9) / 2	X 1.1m = 17.9
POINT "F"	15.9m	F-G (15.9 + 15.9) / 2	X 7.9m = 127.2
POINT "G"	15.9m	G-H (15.9 + 15.9) / 2	X 1.9m = 25.1
POINT "H"	15.9m	H-I (15.9 + 15.9) / 2	X 0.8m = 9.9
POINT "I"	15.9m	I-J (15.9 + 15.9) / 2	X 6.1m = 83.6
POINT "J"	15.9m	J-K (15.9 + 15.9) / 2	X 0.6m = 9.5
POINT "K"	15.9m	K-L (15.9 + 15.9) / 2	X 0.6m = 806.3
POINT "L"	15.9m	L-A (15.9 + 15.9) / 2	X 0.6m = 806.3
TOTAL			52.0m = 899.9
GRADE CALCULATION			899.9 / 52.0m = 17.3m

AVG. GRADE CALC. (EXISTING GRADE)	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	15.9m	A-B (15.9 + 15.9) / 2	X 3.0m = 47.7
POINT "B"	15.9m	B-C (15.9 + 15.9) / 2	X 3.0m = 4.8
POINT "C"	15.9m	C-D (15.9 + 15.9) / 2	X 3.4m = 53.9
POINT "D"	15.9m	D-E (15.9 + 15.9) / 2	X 1.1m = 17.4
POINT "E"	15.9m	E-F (15.9 + 15.9) / 2	X 1.1m = 17.9
POINT "F"	15.9m	F-G (15.9 + 15.9) / 2	X 7.9m = 127.2
POINT "G"	15.9m	G-H (15.9 + 15.9) / 2	X 1.9m = 25.1
POINT "H"	15.9m	H-I (15.9 + 15.9) / 2	X 0.8m = 9.9
POINT "I"	15.9m	I-J (15.9 + 15.9) / 2	X 6.1m = 83.6
POINT "J"	15.9m	J-K (15.9 + 15.9) / 2	X 0.6m = 9.5
POINT "K"	15.9m	K-L (15.9 + 15.9) / 2	X 0.6m = 806.3
POINT "L"	15.9m	L-A (15.9 + 15.9) / 2	X 0.6m = 806.3
TOTAL			52.0m = 899.9
GRADE CALCULATION			899.9 / 52.0m = 17.3m

AVG. GRADE CALC. (LOWEST GRADE)	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	15.9m	A-B (15.9 + 15.9) / 2	X 3.0m = 47.7
POINT "B"	15.9m	B-C (15.9 + 15.9) / 2	X 3.0m = 4.8
POINT "C"	15.9m	C-D (15.9 + 15.9) / 2	X 3.4m = 53.9
POINT "D"	15.9m	D-E (15.9 + 15.9) / 2	X 1.1m = 17.4
POINT "E"	15.9m	E-F (15.9 + 15.9) / 2	X 1.1m = 17.9
POINT "F"	15.9m	F-G (15.9 + 15.9) / 2	X 7.9m = 127.2
POINT "G"	15.9m	G-H (15.9 + 15.9) / 2	X 1.9m = 25.1
POINT "H"	15.9m	H-I (15.9 + 15.9) / 2	X 0.8m = 9.9
POINT "I"	15.9m	I-J (15.9 + 15.9) / 2	X 6.1m = 83.6
POINT "J"	15.9m	J-K (15.9 + 15.9) / 2	X 0.6m = 9.5
POINT "K"	15.9m	K-L (15.9 + 15.9) / 2	X 0.6m = 806.3
POINT "L"	15.9m	L-A (15.9 + 15.9) / 2	X 0.6m = 806.3
TOTAL			52.0m = 899.9
GRADE CALCULATION			899.9 / 52.0m = 17.3m



Revisions  
Received Date: April 29/18

Date	Description	By	No.
15Oct21	Issue for Dev. Permit	RF	1
18Dec21	Dev. Permit Application	RF	2
18Apr22	Dev. Permit Application	RF	3
18Apr22	Dev. Permit Application	RF	4

RYAN HOYT  
RYAN HOYT DESIGNS INC.  
Suite 207, 4475 Viewmont Avenue  
Victoria, BC V8L 4L8  
www.ryanhoytdesigns.com

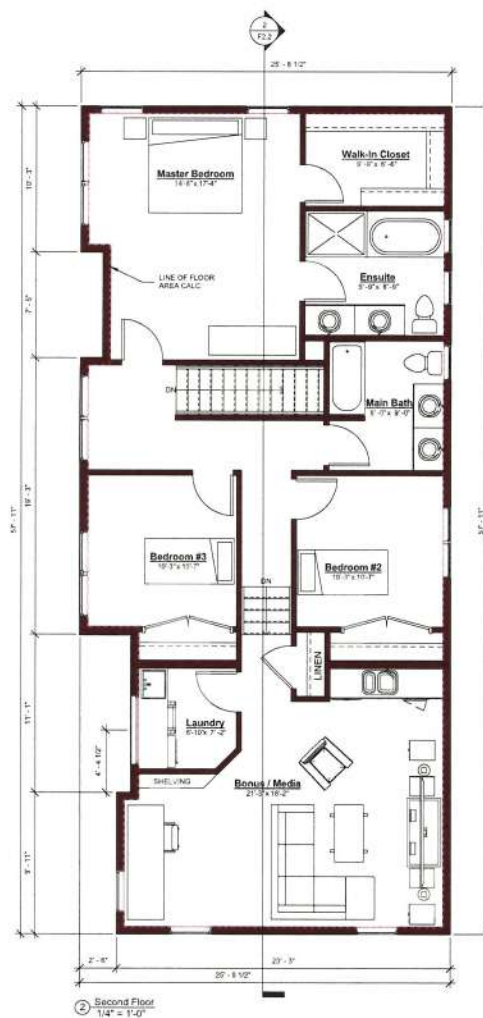
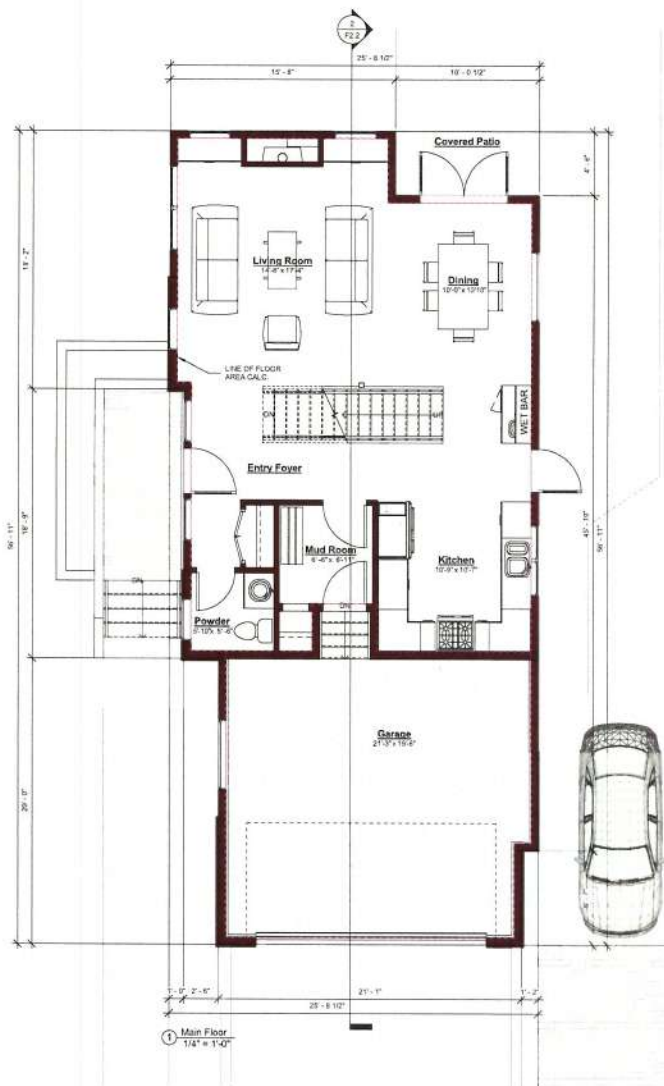
Project  
1421 Fairfield Rd.  
Sheet Title  
Strata Lot F - Cover  
Sheet

Project No.: 15115

Sheet: F0.0



**Revisions**  
 Approved by the previously  
 Submitted Plans  
**Received Date:**  
**April 29:18**



FLOOR AREA	
BASEMENT:	688 SF
MAIN:	327 SF
UPPER:	1234 SF
TOTAL:	2855 SF
GARAGE:	408 SF



**Revisions**  
 Approved by the previously  
 Submitted Plans  
**Received Date:**  
**April 29:18**

**Comments:**

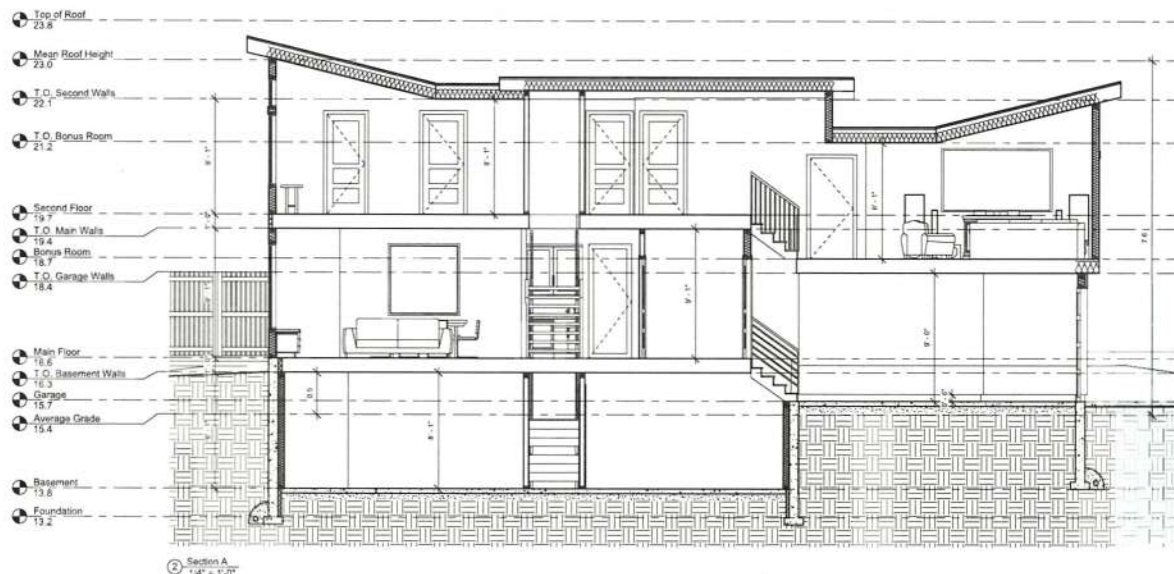
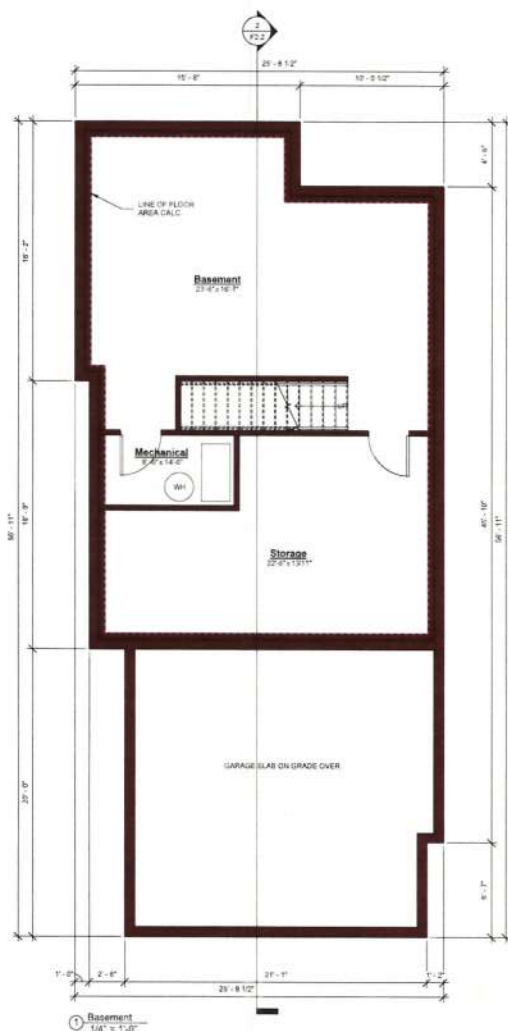
Date	Description	By	No.
15-Dec-16	Issue for Dev. Permit	REL	1
15-Dec-16	Dev. Permit Resubmission	REL	2
15-Dec-16	Issue for Dev. Permit	REL	3
15-Dec-16	Dev. Permit Resubmission	REL	4

**rh** RYAN HOYT  
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 250.999.5893  
 www.rhoytdesign.com

**Project:** 1421 Fairfield Rd.  
**Sheet Title:** Strata Lot F - Floor Plans

**Project No.:** 15115

**Sheet:** F2.1



FLOOR AREA	
BASEMENT	688 SF
MAIN	623 SF
UPPER	1284 SF
TOTAL	2595 SF
GARAGE	408 SF



Date	Description	By	No.
15Oct11	Issue for Dev. Permit	RH	1
15Dec16	Dev. Permit Re-submission	RH	2
15Dec16	Dev. Permit Re-submission	RH	3
16Apr17	Dev. Permit Re-submission	RH	4

**chd**  
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 250.609.9893  
 www.ryanhoytdesign.com

Project: 1421 Fairfield Rd.  
 Sheet Title: Sirata Lot F - Floor Plan & Section

Project No.: 15115

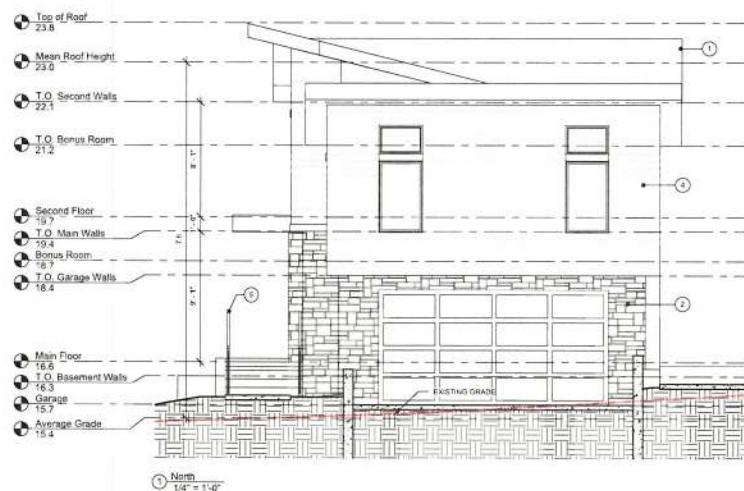
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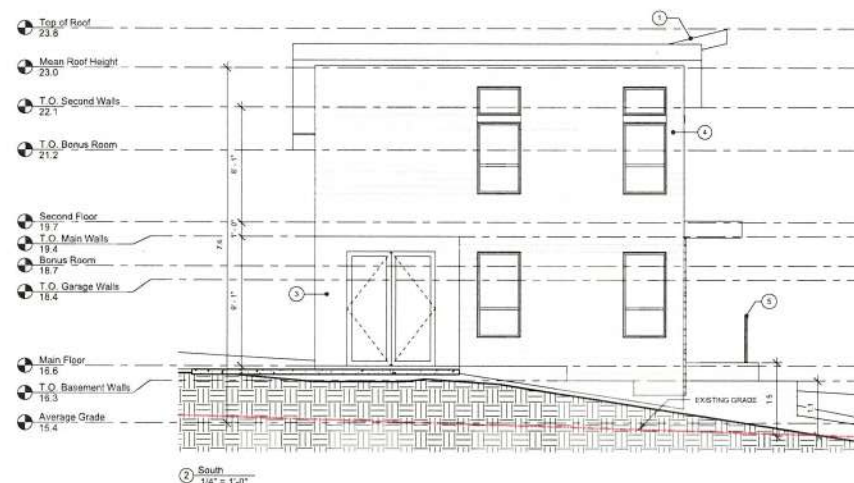
**Revisions**

Revised to the previously submitted plans.

**Received Date:**  
April 29, 18



ELEVATION NOTES LEGEND	
1	2-PLY MODIFIED BITUMEN ROOFING SYSTEM
2	K2 ASHLAR STONE VENEER
3	PAINTED FIBRE CEMENT PANEL
4	FIBRELINE WOOD SIDING
5	ALUMINUM GUARD RAIL WITH GLASS INSERTS
6	FENCE



Date	Description	By	No.	Comments
15-Oct-17	Issue for Dev. Permit	Ret	1	
15-Dec-18	Dev. Permit Resubmission	Ret	2	
15-Feb-19	Dev. Permit Resubmission	Ret	3	
16-Apr-22	Dev. Permit Resubmission	Ret	4	

**chd** RYAN HOYT

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Victoria, BC V8B 4L8  
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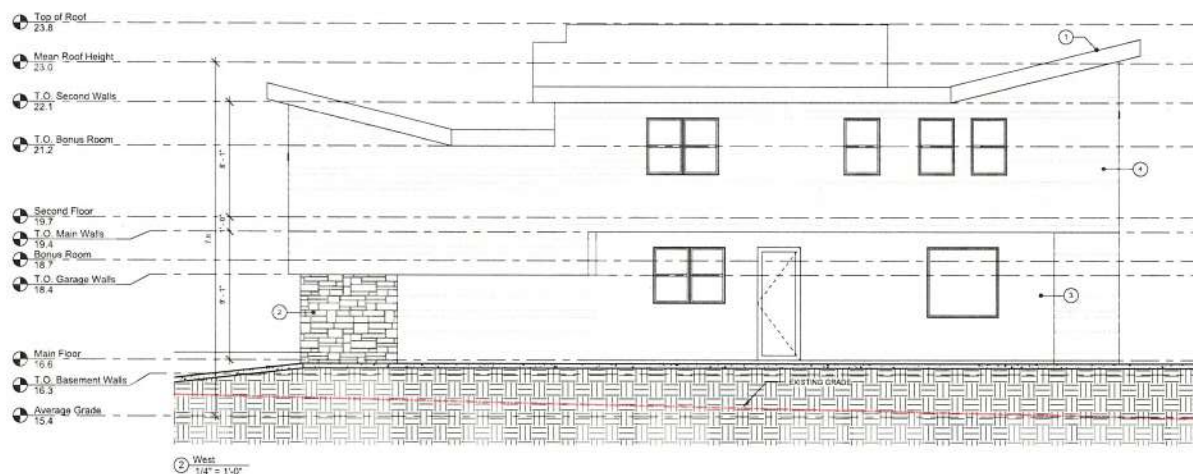
Project: 1421 Fairfield Rd.  
Sheet Title: Strata Lot F - Elevations

Project No.: 15115

Sheet: F4.1



ELEVATION NOTES LEGEND	
1	2 PLY MODIFIED BITUMEN ROOFING SYSTEM
2	#2 ASHLAR STONE VENEER
3	PAINTED FIBRE CEMENT PANEL
4	FINE LINE WOOD SIDING
5	ALUMINUM GUARD RAIL WITH GLASS INFILLS
6	FENCE



Date	Description	By	No.	Comments
15 Oct 17	Issue for Dev. Permit	RH	1	
15 Oct 17	Spec. for Dev. Permit	RH	2	
15 Oct 17	Dev. Permit Resubmission	RH	3	
15 Oct 17	Dev. Permit Resubmission	RH	4	
15 Oct 17	Dev. Permit Resubmission	RH	5	
15 Oct 17	Dev. Permit Resubmission	RH	6	



- *nonlinear* (non-additive):  $W$  is *greater* (or *less*) than the sum of its parts.  $\rightarrow$  The *holistic* mathematics (e.g. chaos theory, 17th century) is *not* linear (e.g. *discontinuous*), *difficult* (often *intractable*) and *the* knowledge of the *interconnectedness* of its parts is *essential* for understanding the whole.  $\rightarrow$  *holistic* (holism) is the *recognition* of the *interconnectedness* of all parts, *systems* and *holistic* dynamics and *holism* is the *recognition* of the *interconnectedness* of all parts, *systems* and *holistic* dynamics.
3. *Interconnectedness* (interconnectedness):  $W$  is the *sum* of its parts, but the *parts* are *interconnected* (interconnectedness) and *the* *interconnectedness* of the parts is *essential* for understanding the whole.  $\rightarrow$  *holistic* (holism) is the *recognition* of the *interconnectedness* of all parts, *systems* and *holistic* dynamics and *holism* is the *recognition* of the *interconnectedness* of all parts, *systems* and *holistic* dynamics.
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Date	Description	By	No.	Comments
15Oct21	Issue for Dev	RH	1	
15Dec16	Dev Permit Resubmission	RH	2	
16April15	Dev Permit Resubmission	RH	3	
16April22	Dev Permit Resubmission	RH	4	

**rh**  
RYAN HOYT  
DESIGN INC.

Ryan Hoyt Designs Inc.  
10000 Little 207, 4475 Viewmont Avenue  
Victoria, BC V8Z 6L8  
250.999.8893  
ryan@rhdesigns.com

Sheet:	F5.1	15115	Project No.:	1421 Fairfield Rd.	Project:
					Sheet Title:
					Strata Lot F -





1 North  
1/8" = 1'-0"



2 South  
1/8" = 1'-0"



3 West  
1/8" = 1'-0"



4 East  
1/8" = 1'-0"

**Revisions**

Revised to the previously submitted plans.

**Received Date:**  
April 29/18

1. The proposed development is a three-story, multi-unit residential building located at 1421 Fairfield Rd., Victoria, BC. The building is proposed to be constructed on a 0.25-acre lot. The building is proposed to be constructed on a 0.25-acre lot. The building is proposed to be constructed on a 0.25-acre lot.

Date	Description	By	No.	Comments
15Oct17	Issue for Dev Permit	RM	1	
15Dec16	Dev Permit Resubmission	RM	2	
15Apr17	Dev Permit Resubmission	RM	3	
15Apr17	Dev Permit Resubmission	RM	4	

**ch**  
BYA H D T T  
Ryan Lloyd Design Inc.  
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Project: 1421 Fairfield Rd.  
Sheet Title: Development Elevations

Project No: 15115

Sheet: A6.1



③ NORTH EAST PERSPECTIVE



① NORTH PERSPECTIVE #1



② NORTH PERSPECTIVE #2

**Revisions**

Revised in the previously submitted plan.

**Received Date:**  
April 29/18

1. The proposed development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft. The development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft.

2. The proposed development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft. The development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft.

3. The proposed development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft. The development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft.

4. The proposed development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft. The development is a 12-unit residential development located at 1421 Fairfield Rd. The development is a 2-story building with a total floor area of 10,000 sq. ft.

Date	Description	By	No.	Comments
15 Oct 21	Issue for Dev. Permit	Ref	1	
15 Dec 16	Dev. Permit Resubmission	Ref	2	
15 Apr 17	Dev. Permit Resubmission	Ref	3	
15 Apr 22	Dev. Permit Resubmission	Ref	4	

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Project: 1421 Fairfield Rd.

Sheet Title: Development Perspectives

Project No: 15115

Sheet: A7.1





1 EAST AERIAL PERSPECTIVE #1

REV.#19



2 EAST AERIAL PERSPECTIVE #2



3 NORTH AERIAL PERSPECTIVE

**Revisions**  
 Revisions made to the previous  
 submitted date:  
**Received Date:**  
 April 29/18

1. The architect has been asked to provide a more detailed site plan showing the location of the building on the site and the surrounding landscape. The architect has been asked to provide a more detailed site plan showing the location of the building on the site and the surrounding landscape. The architect has been asked to provide a more detailed site plan showing the location of the building on the site and the surrounding landscape.

Date	Description	By	No.	Comments
15Oct11	Issue for Dev. Permit	RH	1	
15Dec16	Dev. Permit Resubmission	RH	2	
16Apr15	Dev. Permit Resubmission	RH	3	
15Apr12	Dev. Permit Resubmission	RH	4	

**chd**  
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Project: 1421 Fairfield Rd.  
 Sheet Title: Development Perspectives

Project No: 15115

Sheet: A7.2