

## REPORTS OF THE COMMITTEES

### Committee of the Whole – April 7, 2016

**6. Development Permit with Variance Application No. 00001 for 1115 and 1117 Caledonia Avenue**

It was moved by Councillor Madoff, seconded by Councillor Alto, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council on April 28, 2016, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Street, in accordance with:

1. Plans date stamped March 14, 2016.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - a. Part 3.97(4)(2) - Increase the maximum number of storeys from 1.5 storeys to 2.5 storeys;
  - b. Part 3.97(4)(3) - Allow roof decks above the second storey;
  - c. Part 3.97(5)(1) - Reduce the minimum front yard setback from 5.9m to 4.9m;
  - d. Part 3.97(5)(2) - Reduce the minimum rear yard setback from 20m to 19m;
  - e. Part 3.97(5)(4) - Reduce the minimum side yard setback (west) from 3.9m to 1.5m;
  - f. Part 3.97(5)(5) - Reduce the combined side yard setback from 5.4m to 5.02m.
3. The Development Permit lapsing two years from the date of this resolution."

**Carried Unanimously**

#### **4.3 Development Permit with Variance Application No. 00001 for 1115 and 1117 Caledonia Avenue**

*Councillor Isitt clarified that there is no longer a potential pecuniary conflict of interest with this area, and therefore does not need to withdraw from the meeting.*

Committee received a report dated March 24, 2016, regarding an application to construct a ground-oriented multiple dwelling, consisting of four dwelling units.

*Councillor Thornton-Joe joined the meeting at 9:31 a.m.*

**Motion:** It was moved by Councillor Madoff, seconded by Councillor Coleman, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council on April 28, 2016, consider the following motion:

That Council authorize the issuance of Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Street, in accordance with:

1. Plans date stamped March 14, 2016.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - a. Part 3.97(4)(2) - Increase the maximum number of storeys from 1.5 storeys to 2.5 storeys;
  - b. Part 3.97(4)(3) - Allow roof decks above the second storey;
  - c. Part 3.97(5)(1) - Reduce the minimum front yard setback from 5.9m to 4.9m;
  - d. Part 3.97(5)(2) - Reduce the minimum rear yard setback from 20m to 19m;
  - e. Part 3.97(5)(4) - Reduce the minimum side yard setback (west) from 3.9m to 1.5m;
  - f. Part 3.97(5)(5) - Reduce the combined side yard setback from 5.4m to 5.02m.
3. The Development Permit lapsing two years from the date of this resolution.

CARRIED UNANIMOUSLY 16/COTW



## Committee of the Whole Report For the Meeting of April 7, 2016

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**To:** Committee of the Whole **Date:** March 24, 2016

**From:** Jonathan Tinney, Director, Sustainable Planning and Community Development

**Subject:** Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Avenue

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### RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council on April 28, 2016, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Street, in accordance with:

1. Plans date stamped March 14, 2016.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - a. Part 3.97(4)(2) - Increase the maximum number of storeys from 1.5 storeys to 2.5 storeys;
  - b. Part 3.97(4)(3) - Allow roof decks above the second storey;
  - c. Part 3.97(5)(1) - Reduce the minimum front yard setback from 5.9m to 4.9m;
  - d. Part 3.97(5)(2) - Reduce the minimum rear yard setback from 20m to 19m;
  - e. Part 3.97(5)(4) - Reduce the minimum side yard setback (west) from 3.9m to 1.5m;
  - f. Part 3.97(5)(5) - Reduce the combined side yard setback from 5.4m to 5.02m.
3. The Development Permit lapsing two years from the date of this resolution."

### LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

### EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 1115 and 1117 Caledonia Avenue. The proposal is to construct a ground-oriented multiple dwelling consisting of four dwelling units.



The following points were considered in assessing this Application:

- The proposal is consistent with the design guidelines contained in Development Permit Area 16.
- The proposal is generally consistent with the *Fernwood Neighbourhood Plan*.
- The variances are related to reducing the side yard setbacks, increasing the number of storeys and allowing roof decks above the second storey.
- The proposed variances associated with the number of storeys and roof decks are a result of the lower level being considered a storey even though the majority of the unit is below average grade. The height of the proposed building would not exceed the maximum height requirement in the zone and fits in with the overall streetscape. The variance to increase the number of storeys from 1.5 to 2.5 is supportable.
- The two roof decks would be recessed into the building, setback approximately 4m from the property line and would not overlook the backyard of the adjacent property at 1121 Caledonia Avenue. The variance to allow roof decks above the second storey is supportable.

## **BACKGROUND**

### **Description of Proposal**

The proposal is for a ground-oriented multiple dwelling consisting of four dwelling units. Specific details include:

- a two-and-half storey multiple dwelling incorporating traditional design elements, such as a pitched roofline, bay windows and front porch entryway
- an accessory building with a pitched roofline to complement the main building
- the two lower-level units would have patios and the two upper-level units would have porches and roof decks
- exterior materials include cedar shingle siding, concrete fibre siding, laminated asphalt shingles and stone
- Class 1 bicycle parking would be provided in the accessory building, in a separate bicycle storage room, and a Class 2 bicycle rack will be provided in the rear yard
- three surface parking spaces and two parking spaces located in the accessory building would be provided in the rear yard
- permeable paving materials would be integrated throughout the site
- new landscaping would be introduced in the front yard and around the perimeter of the building.

The proposed variances are related to:

- increasing the number of storeys
- allowing roof decks
- reducing the side yard setbacks.

### **Sustainability Features**

As indicated in the applicant's letter dated March 10, 2016, the applicant would ensure that the building meets Everguide and Built Green Gold standards.

## Active Transportation Impacts

The Application proposes the following features which support active transportation:

- four Class 1 bicycle parking spaces located in the proposed bicycle storage room and accessory building
- Class 2 bicycle rack for six bikes.

## Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit with Variances Application.

## Existing Site Development and Development Potential

The site is presently vacant.

Under the current R-74 Zone, Ground-Oriented Multiple Dwelling District, the property could be developed at a density of 0.35:1 Floor Space Ratio (FSR) and with the use proposed, or as a duplex or single family dwelling with a secondary suite.

## Data Table

The following data table compares the proposal with the existing R-74 Zone, Ground-Oriented Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria	Proposal	Zone Standard R-74 Zone
Site area (m <sup>2</sup> ) - minimum	602.4	595
Site area per unit (m <sup>2</sup> ) - minimum	150	148
Number of units - maximum	4	n/a
Density (Floor Space Ratio) - maximum	0.34:1	0.35:1
Total floor area (m <sup>2</sup> ) - maximum	206.44	210
Lot width (m) - minimum	14.02	14
Height (m) - maximum	7.6	7.6
Storeys - maximum	2.5*	1.5
Site coverage % - maximum	30.13	32
Open site space % - minimum	38.86	38
Setbacks (m) - minimum		
Front	6.18 (building)/4.88* (stairs)	5.9
Rear	20.46 (building)/19.11* (stairs)	20
Side (east)	3.52	1.5



Zoning Criteria	Proposal	Zone Standard R-74 Zone
Side (west)	1.50*	3.9
Combined side yards	5.02*	5.4
Roof decks	Yes*	Not permitted
Parking - minimum	5	5
Bicycle parking stalls (minimum)		
Class 1	4	4
Class 2	6	6
Accessory Building		
Floor Area	36	37
Rear yard site coverage (%) – maximum	14.31	25
Separation Distance (m) – minimum	11.91	2.4
Height (m) – maximum	3.47	3.5
Setbacks (m) - maximum		
Rear (south)	1.2	0.6
Side (west)	0.93	0.6

### Relevant History

On May 8, 2014, Council adopted Bylaw No. 14-032 which amended the zoning of the subject property from the R-2 Zone to the R-74 Zone to allow for a ground-oriented multiple dwelling.

### Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on March 17, 2016, the Application was referred for a 30-day comment period to the Fernwood CALUC. At the time of writing this report a letter from the CALUC had not been received.

This Application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

## ANALYSIS

### Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 16 (DPA 16): General Form and Character. DPA 16 encourages new development to be integrated in a manner that is complementary to the established place character in a neighbourhood, including its heritage character, high quality architecture, landscaping and urban design. The area is characterized by a mix of small-scale commercial uses along Cook Street and low-density residential uses up to approximately three storeys along Caledonia Avenue. Some place character defining elements of residential uses in the neighbourhood

include pitched and gabled rooflines, porches and large bay windows. The applicant has incorporated these elements into the design of the proposed building to ensure that the proposal fits in with the existing streetscape. The proposed exterior finishes, such as the concrete fibre siding and laminated asphalt shingles, match the exterior finishes of the surrounding residential buildings. The applicant is also introducing other materials, including cedar shingles in the roof elements and stone-faced pillars at the main entryways, which further complement neighbouring residential buildings.

## **Fernwood Neighbourhood Plan**

Policies in the *Fernwood Neighbourhood Plan, 1994*, apply to the subject property and include:

- 2.1 *To encourage future Neighbourhood housing development in Fernwood which maintains the integrity, look and character of the single family and duplex housing stock.*
- 2.3.1 *That all the R-2 zoned areas north of North Park Street be retained.*

Although 1115 and 1117 Caledonia Avenue is located north of North Park Street, the form of the four-plex is compatible with the ground-oriented character of the surrounding residential area and was endorsed by Council during the rezoning process in 2014.

## **Regulatory Considerations**

### Proposed Height Variance

The applicant is proposing to increase the number of storeys from 1.5 to 2.5. The conceptual drawings shown as part of the Rezoning Application approved by Council in 2014 included a 1.5 storey building with a basement. As part of the review of the Development Permit with Variances Application, it was realized that the lower-level units should be more visible from the street and, in order to achieve this, the applicant slightly increased the floor-to-ceiling height of these units. A basement is defined as *any part of a building between two floor levels that is partially or completely below grade and has a finished ceiling that is no more than 1.2m above grade*. In this case, the finished ceiling is 1.33m above grade or 0.13m above the requirement that defines a basement. The height of the building does not exceed the maximum height requirement in the zone and fits in with the overall streetscape. Staff recommend that Council consider supporting this variance.

### Proposed Roof Deck Variance

The applicant is requesting a variance to allow two roof decks above the second storey on the east elevation. The roof decks would be recessed into the building, setback approximately 4m from the property line and would not overlook the backyard of the adjacent property. Staff recommend that Council consider supporting this variance.

### Proposed Setback Variances

The applicant is also requesting the following setback variances:

- reducing the minimum front yard setback from 5.9m to 4.9m
- reducing the minimum rear yard setback from 20m to 19m
- reducing the minimum side yard setback (west) from 3.9m to 1.5m
- reducing the combined side yard setback from 5.4m to 5.02m.



The front and rear yard setback variances are a result of steps projecting into the required setback. These projections would not interrupt the rhythm of the streetscape and the building would still be in line with the single family dwelling to the east.

The west side yard setback variance is a result of a typo in the R-74 Zone. The minimum east and west side yard setbacks in the zone have been reversed. The minimum east side yard setback should have been 3.9m and the west side yard setback should have been 1.5m in accordance with the proposed site plan submitted with the earlier Rezoning Application. The siting of the building has not significantly changed in this proposal. The combined side yard setback has been slightly reduced as a result of a minor change to the east side yard setback. The plans shown at rezoning identified the east side yard setback to be 3.9m whereas the current plans show a setback of 3.52m, triggering a combined side yard setback variance. However, these proposed setback variances are minor in nature and staff recommend that Council consider supporting these variances.

#### Tree Protection

The applicant has provided a Tree Protection Plan prepared by Talbot MacKenzie and Associates (attached) for the protected trees located on the adjacent property at 1121 Caledonia Avenue. There are a Douglas fir, Garry Oak and Spruce trees within 3m of the property line. All three trees would be protected during the construction phase in accordance with the Plan.


#### **CONCLUSIONS**

The Application to permit a ground-oriented multiple dwelling consisting of four dwelling units is consistent with the design guidelines outlined in DPA 16. The proposed building design, exterior finishes and landscaping are in keeping with the established character of the neighbourhood. The proposed variances for number of storeys, roof decks and setbacks are supportable as they would not alter the character of the streetscape or adversely impact adjacent residential properties. Staff recommend that Council consider supporting this Application.

#### **ALTERNATE MOTION**

That Council decline Development Permit with Variances Application No. 00001 for the property located at 1115 and 1117 Caledonia Avenue.

Respectfully submitted,



Leanne Taylor  
Senior Planner  
Development Services Division

JH



Jonathan Tinney, Director  
Sustainable Planning and Community  
Development Department

Report accepted and recommended by the City Manager:

Date:

March 31, 2016



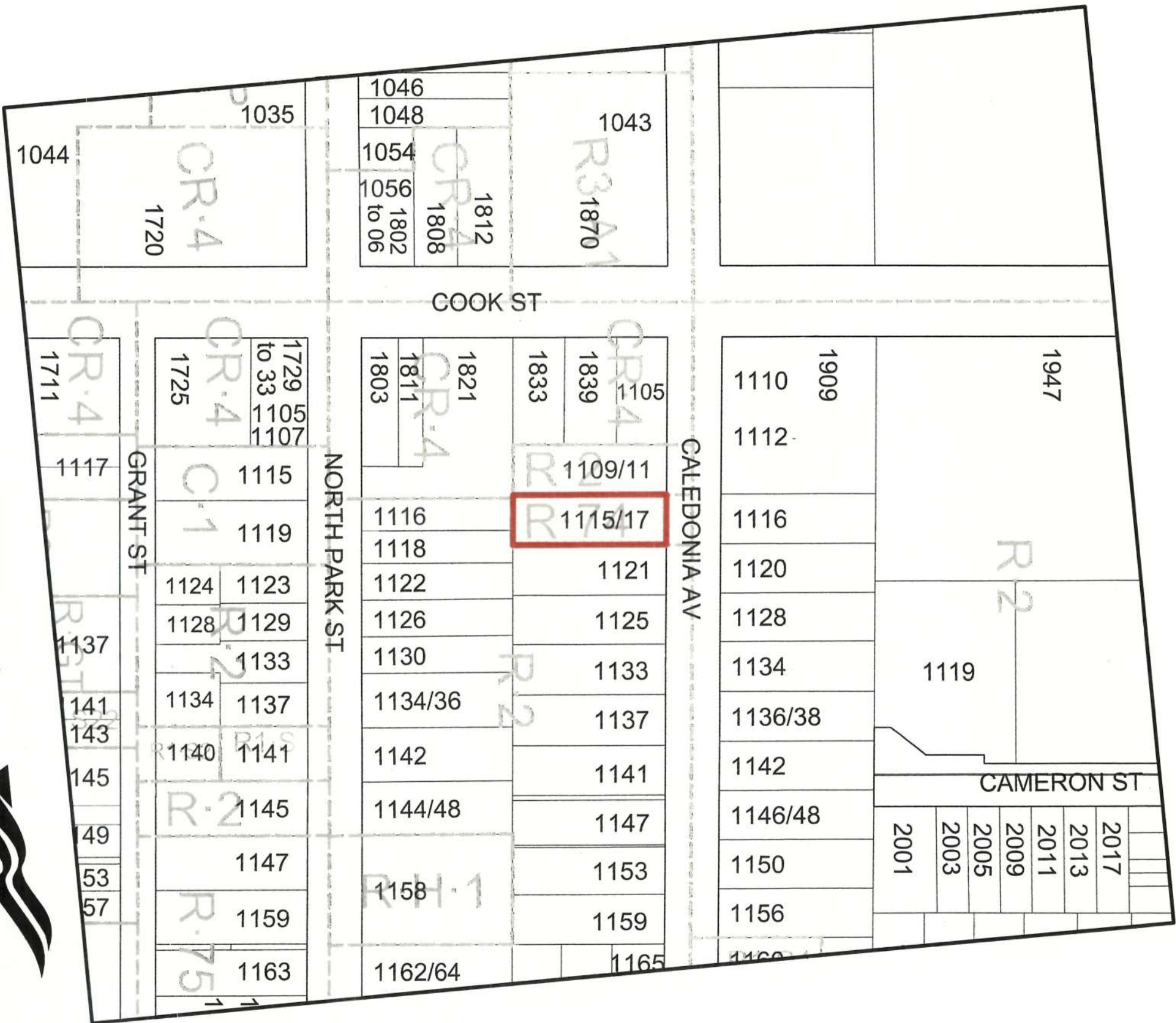
**List of Attachments:**

- Zoning map
- Aerial map
- Letter to Mayor and Council dated March 10, 2016
- Letter from neighbours located at 1121 Caledonia Avenue dated March 11, 2016
- Arborist Report dated November 10, 2015
- Plans date stamped March 14, 2016.

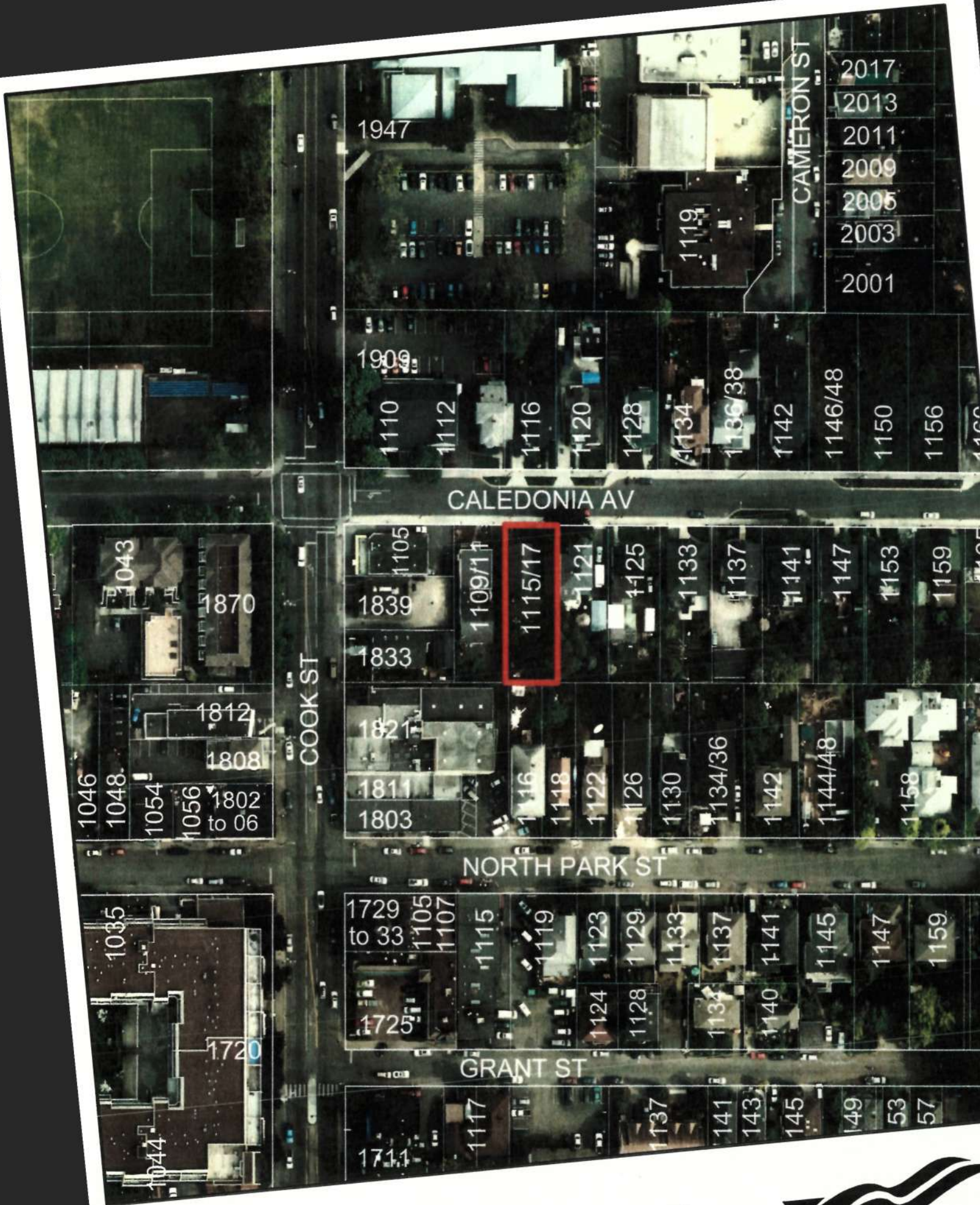


N

1115 & 1117 Caledonia Avenue  
Development Permit with Variances #00001







2017  
2013  
2011  
2009  
2005  
2003  
2001

CAMERON ST

CALEDONIA AV

COOK ST

NORTH PARK ST

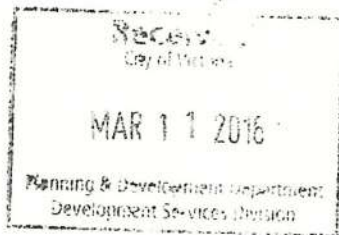
GRANT ST

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1115 & 1117 Caledonia Avenue  
Permit with Variances #00001







Bruce Carlisle and Maureen Clarke  
991 Newport Ave.  
Victoria, BC V8S 5H6  
250-978-9445  
**Subject: 1115 Caledonia**

March 10, 2016

City of Victoria  
Mayor Lisa Helps and Council  
1 Centennial Square  
Victoria, BC  
V8W 1P6

Dear Mayor Helps and Council,

It is our pleasure to introduce ourselves. At this time we are applying for a Development Permit for the proposed construction of a four-unit multiple dwelling at 1115 Caledonia. It has been discovered that the following variances are required:

- Increase the maximum number of storeys from 1.5 to 2.5\*
- Reduce the front yard setback from 5.9m to 4.9m
- Reduce the rear yard setback from 20m to 19m
- Reduce the west side yard setback from 3.9m to 1.5m
- Reduce the combined side yard setbacks from 5.4m to 5.02m
- Allow roof top decks above the second storey\*

#### **VARIANCES**

The height of the proposed building remains unchanged. It is in the interpretation of 'basement' that we find our challenges and the need for the relevant variances. In defining the lower floor as a first storey rather than a basement, the roof decks and number of storeys are impacted. The proposed lower floor is a mere 0.12m within the allowable 1.2m distance between the finished ceiling and average grade.

#### **DESIGN**

The proposed craftsman exterior is in keeping with the neighbourhood's composition and form; a respect for the integrity of Fernwood's 'charm.' Finishes reflect the natural surroundings, lending a harmonious palette of colour and texture. The configuration of interior space allows for appropriate livability on the lower floor. Roof decks on the upper floor offer occupants the added value of outdoor space in a design that is both private and functional.

#### **THE BIG PICTURE**

Although we hope to move forward to strata the four proposed units once the project is complete, we fully intend to utilize the units within our current portfolio as rentals for a period of 5-10 years or more.



#### **ENVIRONMENT AND SUSTAINABLE PRACTICES**

We are environmentally motivated and will ensure the building meets Everguide/Green Built Gold Standards. We have hired Talbot MacKenzie and Associates to provide a tree protection report relative to the garry oak located on the eastern neighbouring property. We will be compliant to recommendations made in this report (see attached.)

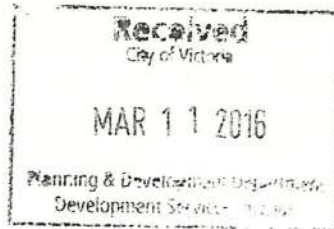
We are grateful for your consideration and remain at your disposal should you require additional information.

Respectfully,

A handwritten signature in cursive script, appearing to read "Bruce Carlisle and Maureen Clarke". The signature is written in dark ink and is positioned above the printed names.

Bruce Carlisle and Maureen Clarke

CITY OF VICTORIA  
PLANNING DEPT.



ALF & PENNY CADGER  
1121 CALEDONIA AVE  
VICTORIA BC V8T1E9

MARCH 11 / 2016

RE: DEVELOPMENT OF 1115 & 1117 CALEDONIA AVE

TO WHOM IT MAY CONCERN:

WE HAVE VIEWED THE CHANGES PROPOSED FOR  
4 PLEX AT THE ABOVE ADDRESS. THE ADDITIONS TO THE  
ORIGINAL CONCEPT ARE IN OUR VIEW IMPROVEMENTS AND  
AS SUCH WE SUPPORT THEIR INCLUSION TO THE PLAN.  
SPECIFICALLY THE DECKS ADDED TO THE EAST ELEVATION.

YOURS TRULY

  
ALF CADGER

  
PENNY CADGER



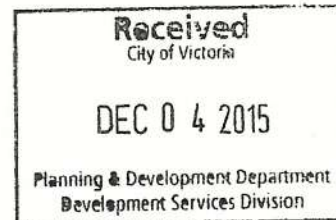


# Taibot Mackenzie & Associates

Consulting Arborists

November 10, 2015

Carlisle Properties  
991 Newport Avenue  
Victoria, BC V8S5H6



**Assignment:** Review the plans provided and prepare a tree retention report to be used during the proposal to construct two new (back to back) residences on the 1115 Caledonia Avenue property.

**Methodology:** Trees located on the neighbouring properties that could potentially be impacted by the proposed construction were not tagged, but are identified numerically on the attached site plan. Information such as tree species, size(dbh), critical root zone(crz), health and structural condition, relative tolerance to construction impacts and general remarks and recommendations was recorded in the attached tree resource spreadsheet.

**Observations:** Previous to our site visit, it is our understanding that 2 residences that originally occupied the lot were demolished. There are no bylaw-protected trees on the subject property. A bylaw-protected Douglas-fir, Garry oak and a non-bylaw protected Spruce are located on the neighbouring property at 1121 Caledonia Avenue within 3 meters of the property line. A row of pyramidal cedar are growing on the neighbouring property at 1109/1111 Caledonia Avenue, within 1 meter of the property line.

## **Mitigation of impacts**

**Barrier fencing:** In our opinion, the existing construction fencing should be adequate to protect the trunks of the trees to be retained on neighbouring properties. Additional barrier fencing will be required to protect the critical root zones of trees #1,2 and 3 during house construction. As the proposed driveway encroaches within the critical root zones and constructed over the root systems of the trees on the neighbouring property at 1121 Caledonia Place, we recommend that all excavation for the driveway footprint be performed once construction of the proposed residences has been completed. Barrier fencing must remain in place until the time of driveway construction, and the project arborist must be onsite to supervise any excavation within the fenced areas(see attached barrier fencing specifications for our recommended barrier fencing locations). As barrier fencing the perimeter of the critical root zone of Douglas-fir #1 would restrict access to the rear yard during construction, it may be preferred to use a 6-8 inch layer of mulch or hog fuel in place of barrier fencing to mitigate impacts from compaction and root disturbance.

The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones.

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The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing (see attached diagram). The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

**Building footprint:** According to the plans provided, the proposed building footprints do not encroach within the critical root zones of the bylaw-protected trees on the neighbouring property at 1121 Caledonia Avenue. The window wells on the West side of the proposed residences encroach within the critical root zones of several of the pyramidal cedar hedge stems on the neighbouring property at 1109/1111 Caledonia Avenue. We recommend that the project arborist be onsite to supervise any required excavation within our defined 1.5 meter critical root zone of this hedge row, and that excavation be minimized as much as possible. If significant roots are encountered during excavation that cannot be preserved, we may recommend that any impacted tree(s) be replaced with new, healthy plantings.

**Driveway footprint:** According to the plans provided, the proposed driveway footprint runs along the East property line and connects to the proposed accessory building in the rear of the property. Floating driveway specifications will be required for the portions of proposed driveway that encroach within the critical root zones of Douglas-fir #1, spruce #2 and Garry oak #3(see attached floating driveway specifications). We recommend that all excavation for the driveway footprint be performed once construction of the proposed residences has been completed, under the direction of the project arborist.

**Underground servicing:** The site survey provided shows existing service stubs and water meter near the North property line, outside of the critical root zone of Douglas-fir #1 located on the neighbouring property at 1121 Caledonia Avenue. If the proposed underground services will connect to these locations, we do not anticipate impacts to bylaw-protected trees. If underground service connections are required within the critical root zone of Douglas-fir #1, the project arborist must be onsite to supervise excavation, and may involve hand digging or hydroexcavation.

**Offsite works:** According to the plans provided, a driveway letdown will be required within the critical root zone of Douglas-fir #1 located on the neighbouring property at 1121 Caledonia Avenue. The project arborist must be onsite to supervise excavation to remove the existing sidewalk/curb and to excavate the proposed letdown within the critical root zone of this tree. If structural root are encountered beneath the existing sidewalk, we may recommend that the thickness of the sidewalk be minimized and reinforced with re-bar, if required. If the required grades cannot be accomplished without large structural root pruning, we may recommend that this tree be removed.

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Please do not hesitate to call us at 250-479-8733 should you have any further questions. Thank you.

Yours truly,  
Talbot Mackenzie & Associates

Graham Mackenzie & Tom Talbot  
ISA Certified, & Consulting Arborists

Encl. – Tree Resource Spreadsheet, Floating Driveway Specifications, Barrier Fencing Specifications, Site plan

**Disclosure Statement**

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve the health and structure of individual trees or group of trees, or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an arborist to identify every flaw or condition that could result in failure nor can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

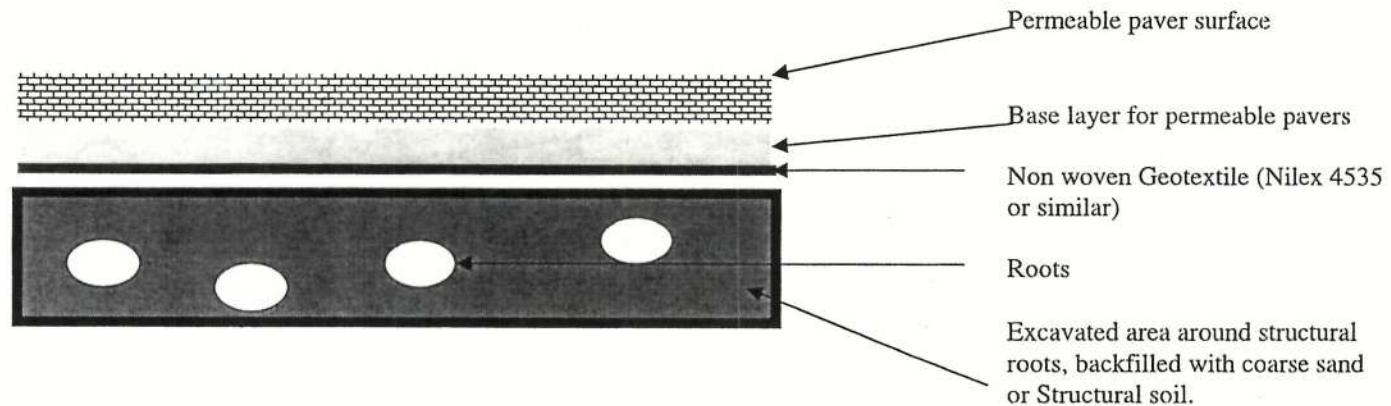
**TREE RESOURCE**  
for  
**1115 Caledonia Avenue**

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown Spread(m)</i>	<i>Condition Health</i>	<i>Condition Structure</i>	<i>Relative Tolerance</i>	<i>Remarks / Recommendations</i>
No tag 1	96	14.5	Douglas-fir	12.0	Good	Fair	Poor	Located on neighbouring property at 1121 Caledonia Avenue, topped historically, end-weighted limbs, co-dominant stem appears to have been removed historically, deadwood. Arborist supervision for excavation within crz.
No tag 2	25	3.0	spruce	4.0	Good	Good	Poor	Located on neighbouring property at 1121 Caledonia Avenue, Arborist supervision for excavation within crz.
No tag 3	118	12.0	Garry oak	20.0	Fair	Fair/poor	Good	Located on neighbouring property at 1121 Caledonia Avenue, history of large limb failure(tearout) with associated decay, internal decay. Arborist supervision for excavation within crz.
No tag 4	mult. Stems	1.5	Pyramidal cedar	3.0	Fair	Fair	Moderate	Approximately 30 stem hedge row located on neighbouring property at 1109/1111 Caledonia Avenue. Arborist supervision for excavation within crz.



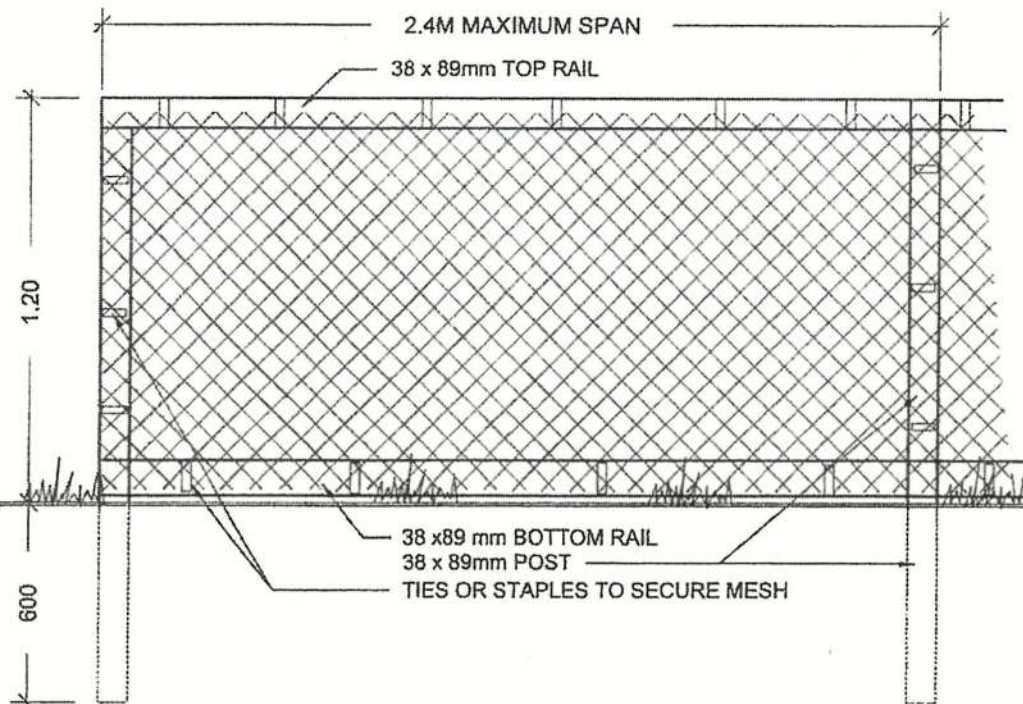


**Diagram – Concrete driveway crossing over Critical Root Zone**



### **Specifications for concrete driveway crossing over critical root zone**

1. Excavate to a 6-8 inch depth, for the required permeable driveway surface, under the supervision of an ISA Certified Arborist.
2. Excavation for area around structural roots must be performed under arborist supervision.
3. Backfill area around roots with coarse sand or a structural soil mix
4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the driveway.
5. Construct base layer and permeable surface over Geotextile layer to required grade.



**TREE PROTECTION FENCING**

FENCE WILL BE CONSTRUCTED USING

38 X 89 mm (2"X4") WOOD FRAME:

TOP, BOTTOM AND POSTS. \*

USE ORANGE SNOW-FENCING MESH AND

SECURE TO THE WOOD FRAME WITH

"ZIP" TIES OR GALVANIZED STAPLES

\* IN ROCKY AREAS, METAL POSTS (T-BAR  
OR REBAR) DRILLED INTO ROCK WILL BE  
ACCEPTED

DETAIL NAME:

**TREE PROTECTION FENCING**

DATE: Oct 30/07  
DRAWN: DM  
APP'D: RR  
SCALE: N.T.S.

**E105**  
DRAWING







# SKETCH PLAN OF PROPOSED LOT 21 SUBURBAN LOT 17 VICTORIA CITY PLAN 153

CIVIC ADDRESS: 1115 CALEDONIA AVENUE  
VICTORIA, B.C.  
PARCEL IDENTIFIER NUMBER 004-594-606

## LEGEND

DIAGONAL SPOT ELEVATION  
D = DIAMETER  
DENOTES TREE & SPECIES  
(TREES NOT PLOTTED TO SCALE)  
NOT ALL TREES LOCATED  
ELEVATIONS ARE GEODETIC  
FENCE & TREE LOCATIONS MAY VARY +/- 0.3

SITE AREA = +/- 602.4 SQUARE METRES

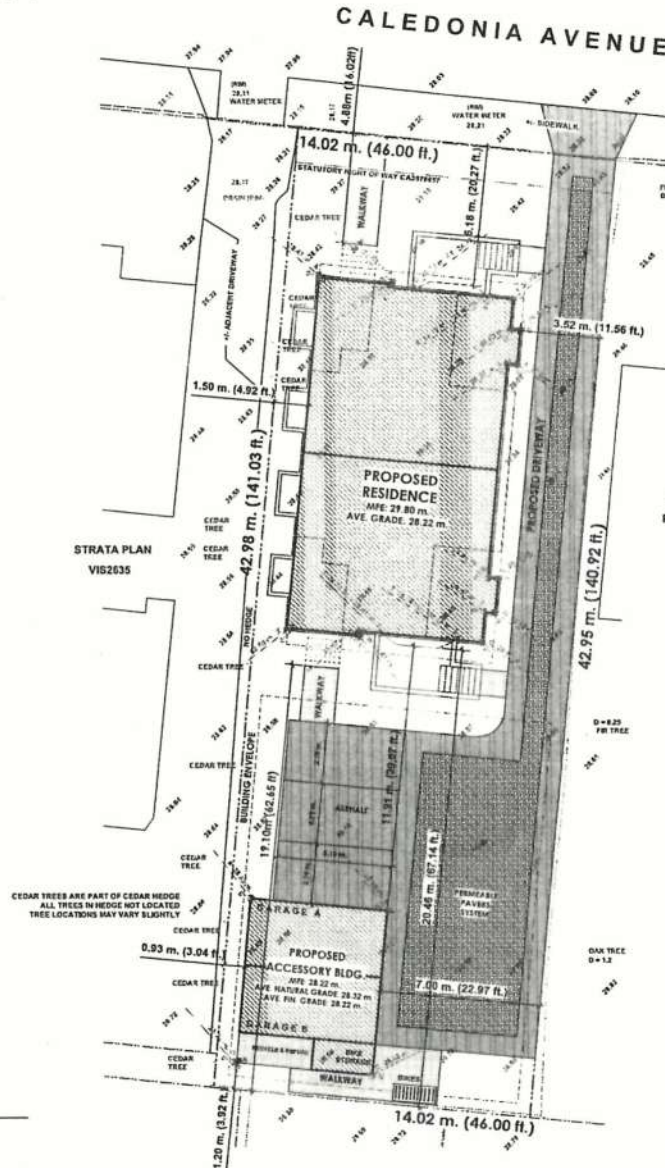
SITE DATA	E-74	
ITEMS	PERMITTED	PROPOSED
LOT AREA		602.40 sq.m.
LOT COVERAGE	32.00 %	30.13 %
HEIGHT	7.60 m.	7.60 m.
STORIES	1.5	2.5 +
SETBACKS		
- FRONT (NORTH)	5.90 m.	4.88 m. +
- REAR (SOUTH)	20.00 m.	19.10 m. +
- SIDE (WEST)	3.40 m.	1.50 m. +
- SIDE (EAST)	1.50 m.	3.52 m.
- COMBINED	5.40 m.	5.02 m.
FLOOR AREA		
- UNIT A UPPER		41.41 sq.m.
- UNIT A MAIN		61.81 sq.m.
- UNIT B UPPER		41.41 sq.m.
- UNIT B MAIN		61.81 sq.m.
TOTAL FLOOR AREA	210.00 sq.m.	254.44 sq.m.
- UNIT C		43.30 sq.m.
- UNIT D		43.30 sq.m.
F.S.E.	0.35 TO 1.0	0.34 TO 1.0
LANDSCAPING	38% (min)	38.75%
PARKING	5	4

\*VARIANCE REQ'D

## MAIN RESIDENCE: AVERAGE GRADE CALCULATION

(A) 128.43 m. + 28.32 m. + 21 X 3.25 m. = 72.24 m.  
(B) 128.33 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(C) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(D) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(E) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(F) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(G) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(H) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(I) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(J) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(K) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(L) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(M) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(N) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(O) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(P) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(Q) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(R) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(S) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(T) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(U) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(V) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(W) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(X) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(Y) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.  
(Z) 128.32 m. + 28.33 m. + 21 X 3.25 m. = 72.08 m.

TOTAL = 1433.17 + 50.79 = ave. grade 28.22 m.



## ACCESSORY BUILDING: AVERAGE NATURAL GRADE CALCULATION

(A) 128.42 m. + 28.42 m. + 21 X 3.25 m. = 72.52 m.  
(B) 128.40 m. + 28.40 m. + 21 X 3.25 m. = 72.36 m.  
(C) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(D) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(E) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(F) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(G) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(H) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(I) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(J) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(K) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(L) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(M) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(N) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(O) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(P) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(Q) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(R) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(S) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(T) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(U) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(V) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(W) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(X) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(Y) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.  
(Z) 128.45 m. + 28.45 m. + 21 X 3.25 m. = 72.55 m.

TOTAL = 710.02 + 21.84 = ave. grade 28.32 m.

SITE DATA	E-74	ACCESSORY
ITEMS	PERMITTED	PROPOSED
LOT AREA		602.40 sq.m.
REAR YARD LOT COVERAGE	25.00 %	14.17 %
HEIGHT	3.50 m.	3.47 m.
SETBACKS		
- FRONT (NORTH)	2.40 m.	11.91 m.
- REAR (SOUTH)	0.60 m.	1.50 m.
- SIDE (WEST)	0.60 m.	0.13 m.
- SIDE (EAST)	0.60 m.	7.00 m.
FLOOR AREA		
- GARAGE A		14.33 sq.m.
- GARAGE B		14.33 sq.m.
- BIKES STORAGE		3.34 sq.m.
TOTAL FLOOR AREA	37.00 sq.m.	34.00 sq.m.

1 Site Plan  
A2 Scale: 1:100

Received  
City of Victoria  
MAR 14 2016  
Planning & Development Department  
Development Services Division

PROFESSIONAL SEALS

Consultants

List of Drawings

A1	General Notes
A2	Site Plan
A3	Elevations
A4	Foundation & Lower Floor Plan
A5	Main Floor & Upper Floor Plan
A6	Section
A7	Accessory Building
D1	Basin/Screen Details
D2	Basin/Screen Details

ISSUED/REVISED

NO.	DATE	DESCRIPTION
1	10/27/15	Client Review
2	11/02/15	Peer Review
3	11/20/15	Variance Request
4	02/19/16	City Comments
5	03/07/16	City Comments

General Contractor and/or Owner to verify and thoroughly review all aspects of plan prior to construction and verify all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or in the field to report discrepancies. Refer to General Notes for details on plan.

Note: E.C.S. to verify placement and sizing of all structures on lot. General Contractor to work in conjunction with E.C.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any excavation or any kind with regard to filling or placement of structures on lot.

Structural Engineer to review plan (where required) and specify structure as detailed necessary. It is the responsibility of the owner or contractor to verify and coordinate all engineering requirements with municipal building departments prior to starting work. Such manufacturers to review plans to verify and design where any and houses are shown, and to contact building designer to address the issues as necessary.

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VICTORIA DESIGN  
7667  
A2 OF A7  
MARCH 07, 2016  
as shown  
LIS

SITE PLAN

Proposed Residence:  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.







RECOMMENDED PLANT LIST[illegible]

## NOTES:

[illegible]

**LEGEND**

**HARDSCAPE FINISHES:**

- 
 Aquapave (or equal), Shadow Colour, Herringbone pattern  

 Paved Asphalt  

 Concrete unit grouting, Old Country Sand Band Pattern, Shadow Colour: all areas  

 Crushed aggregate 3/4\"

**LANDSCAPE:**

- Levee  
Flooded area

MISCELLANEOUS:

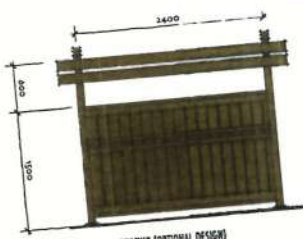
- MISCELLANEOUS:
- Wooden primary screening approx. 1500-2000mm height
  - Large rock boulders approx 4' x 5'
  - Concrete or mortared rock retaining/upland walls. Height

NOTES:

- NOTES:**
- 1) All building form information and natural dimensions supplied by Korte Design Group
  - 2) All survey information supplied by Chase Mitchell Land Surveying
  - 3) This drawing must not be copied. The General Contractor shall verify all dimensions, distances and levels prior to commencement of work
  - 4) All errors and omissions must be reported immediately to the Designer
  - 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the Designer, in which case the reproduction must bear the designers name

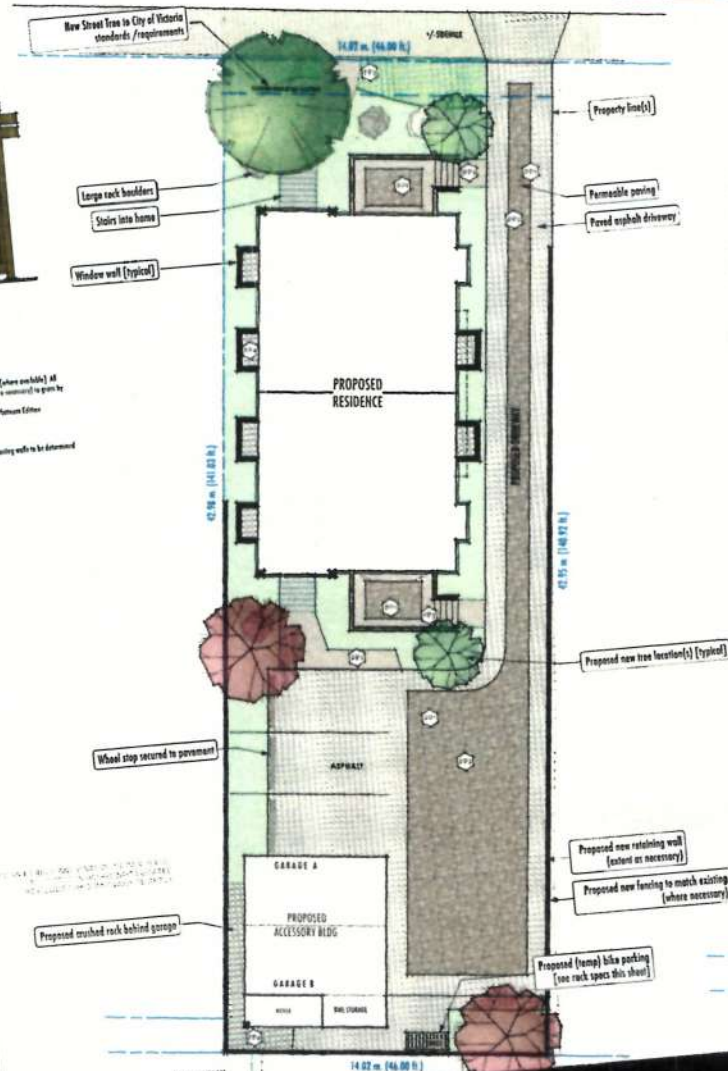


BIKE RACK (Maglin MBRS00 Series)



PERIMETER FENCING (OPTIONAL DESIGN)  
Scale = NTS

Scale = NTS



CONCEPT PLAN  
SCALE = 1" = 10'

CONCEPT  
scale • 10

1115-1117 CALEDONIA AVENUE  
LANDSCAPE LAYOUT

1115-1117 CALLED  
**LANDSCAPE LAYOUT**  
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AT ALL TIMES THE PROPERTY OF THE DESIGNER TO BE USED FOR THE PROJECT SHOWN. WRITTEN CONSENT IS REQUIRED FROM THE DESIGNER BEFORE ANY REPRODUCTION.

SKL.01

30.OCTOBER.2015

1:100

LATEST REVISION: 17.MARCH.2016

CALEDONIA AVENUE

CALEDONIA AVENUE

NORTH

Received  
City of Victoria

MAR 14 2016

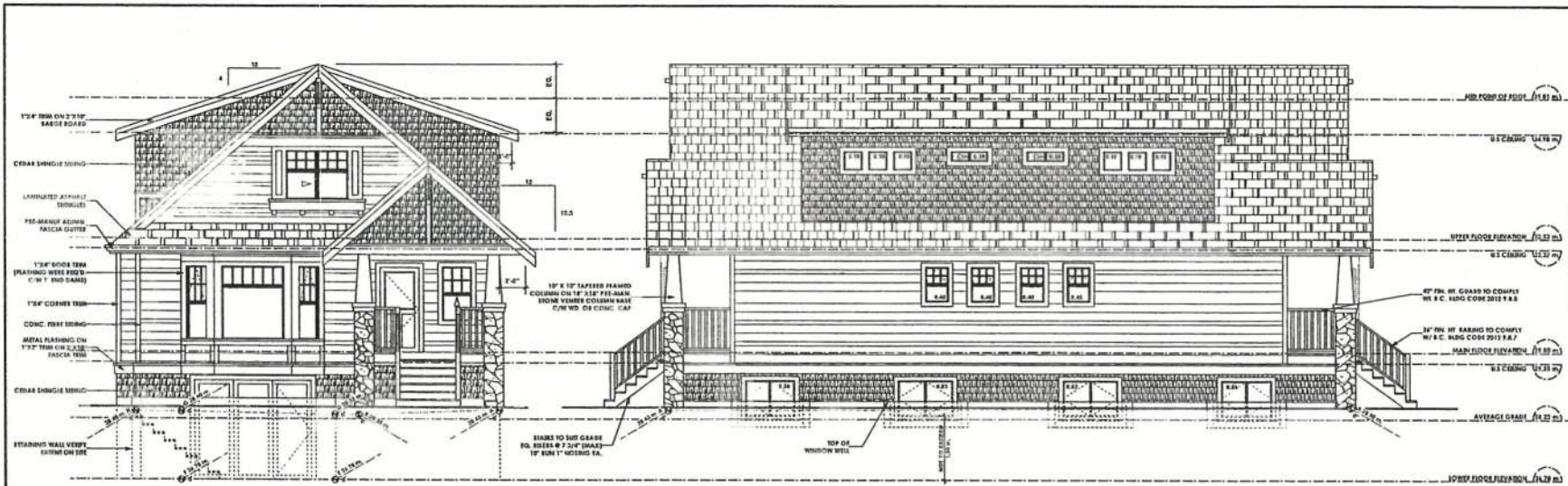
Planning & Development Department  
Development Services Division



LANDSCAPE  
SOLUTIONS

...1117 Caledonia Avenue :: SKI\_01 :: landscape layout ::





1 Front (N) Elevation  
A1 Scale: 1/4" = 1'-0"

2 Right (W) Elevation  
A1 Scale: 1/4" = 1'-0"

Building Distance	1.50 m
Exposed Building Face	77.13 sq m
Allowable Opening	8.75
Allowable Opening Area	2.33 sq m
Proposed Opening	3.70 sq m



3 Rear (S) Elevation  
A1 Scale: 1/4" = 1'-0"

2 Left (E) Elevation  
A1 Scale: 1/4" = 1'-0"

Building Distance	3.52 m
Exposed Building Face	78.72 sq m
Allowable Opening	17.75
Allowable Opening Area	12.28 sq m
Proposed Opening	18.08 sq m

#### PROFESSIONAL SEALS

#### Consultants

#### List of Drawings

A1	General Notes
A2	Site Plan
A3	Elevations
A4	Foundation & Lower Floor Plan
A5	Main Floor & Upper Floor Plan
A6	Section
A7	Accessory Building
D1	Rainscreen Details
D2	Rainscreen Details

#### ISSUES/REVISED

NO.	DATE	DESCRIPTION
1	10/29/15	Client Review
2	11/02/15	Peer Review
3	11/20/15	Valiance Req'd
4	02/19/16	City Comments
5	03/07/16	City Comments

General Contractor and/or Owner to verify and thoroughly review all aspects of plans prior to construction and ensure nothing out of order. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plans as the architect is not responsible for construction errors or omissions.

Note: S.C.I.S. to verify placement and siting of all structures on lot. General Contractor to work in conjunction with S.C.I.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any construction errors or omissions.

Structural Engineer to review plans (where required) and specify structural steel reinforcement. It is the responsibility of the owner or contractor to verify and coordinate all engineering requirements with municipal building departments prior to starting work. From Municipal Engineer to review plans to verify that design meets all requirements and to coordinate with building designer to submit drawings as necessary.

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VICTORIA DESIGN	7667
DATE	MARCH 07, 2016
SCALE	AS SHOWN
DESIGNED BY	LIS
PROJECT	

#### ELEVATIONS

Proposed Residence:  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.

Received  
City of Victoria  
MAR 14 2016  
Planning & Development Department  
Development Services Division





**Front Elevation**

	HORIZONTAL CONC. FIBRE SIDING: SHERWIN WILLIAMS - SW 7639 ETHEREAL MOOD
	CEDAR SHINGLES
	LAMINATED ASPHALT SHINGLES - RUSTIC GREY
	TRIM: BENJAMIN MOORE - DECORATORS WHITE
	ACCENT: BENJAMIN MOORE 154 - HALE NAVY



**Rear Elevation**



**Right Elevation**



**Left Elevation**

**PROFESSIONAL SEALS**

**Consultants**

**List of Drawings**

NO.	DATE	DESCRIPTION
A1		General Notes
A2		Site Plan
A3		Front & Right Elevations
A4		Rear & Left Elevations
A5		Foundation Plan
A6		Lower Floor Plan
A7		Main Floor Plan
A8		Upper Floor Plan
A9		Section
D1		Roofscreen Details
D2		Roofscreen Details

**ISSUED/REVISED**

NO.	DATE	DESCRIPTION
1	10/29/15	Client Review
2	11/02/15	Peer Review

General Contractor and Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or future to report discrepancies. Refer to General notes included on plan.

Note: S.C.L.S. to verify placement and siting of all structures on lot. General Contractor to work in cooperation with S.C.L.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to siting or placement of structures on lot.

Structural Engineer to review plan (where required) and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and coordinate all engineering requirements with municipal building departments prior to starting work. These Manufacturers to verify plans to verify roof design where any roof trusses are shown, and to contact building designer to update if trusses are necessary.

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	DATE	7467
	SHEET	A3 OF A9
	DATE	OCTOBER 2015
	SEAL	as shown
FLOOR		L15
REVIEWED BY		

**ELEVATIONS**

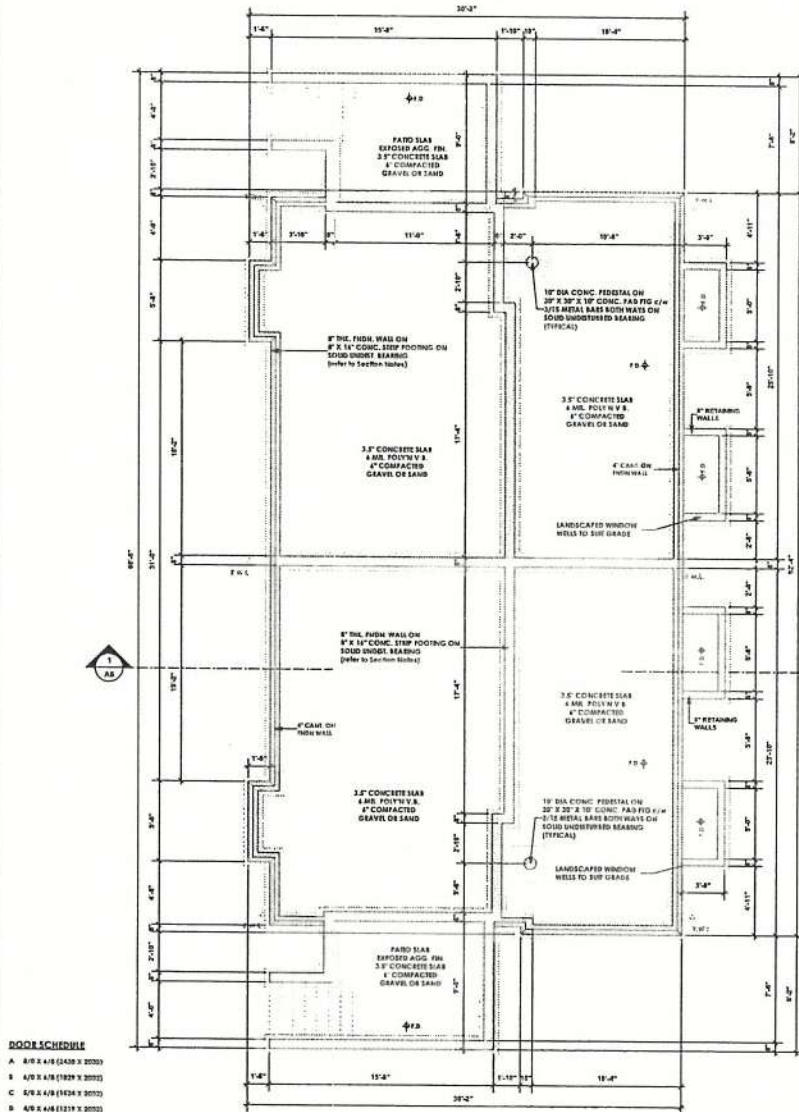
**Proposed Residence:**  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.

**Received**  
City of Victoria  
  
MAR 14 2016  
Planning & Development Department  
Development Services Division



NOTE: ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION.

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BLDG. CODE 9.23.13.2, AND SUPPLY DETAILS IF REQUIRED.



**ROOM SCHEDULE**

A	4.0 x 4.0 (4.00 x 4.00)
B	4.0 x 4.0 (4.00 x 4.00)
C	4.0 x 4.0 (4.00 x 4.00)
D	4.0 x 4.0 (4.00 x 4.00)
E	4.0 x 4.0 (4.00 x 4.00)
F	4.0 x 4.0 (4.00 x 4.00)
G	4.0 x 4.0 (4.00 x 4.00)
H	4.0 x 4.0 (4.00 x 4.00)
I	4.0 x 4.0 (4.00 x 4.00)
J	4.0 x 4.0 (4.00 x 4.00)
K	4.0 x 4.0 (4.00 x 4.00)
L	4.0 x 4.0 (4.00 x 4.00)

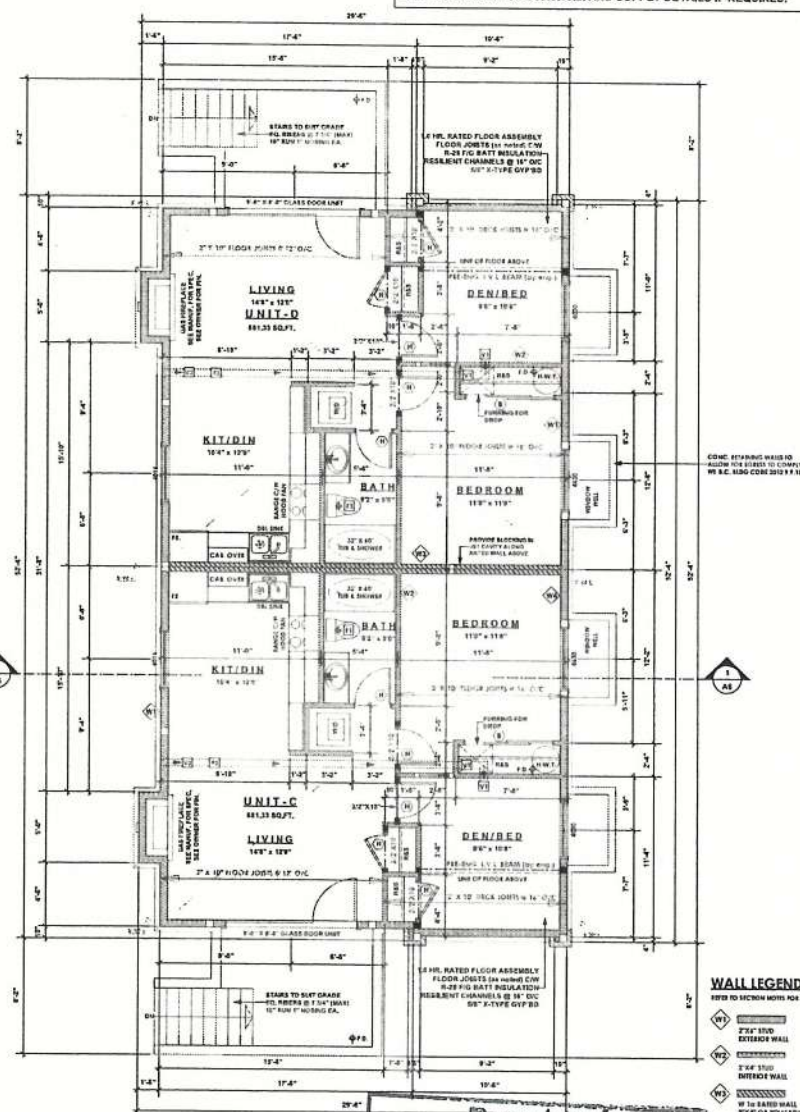
**1 Foundation Plan**  
Scale: 1/4" = 1'-0"

- Interconnected Smoke detectors to comply with B.C. B.C. 9.10.19
- Interconnected Carbon Monoxide detectors to comply with B.C. B.C. 9.22.4.2

- Mechanical Exhaust Fans**
- 231/1 (10 CFM) intermittent or 9.1/1 (20 CFM) continuous
  - 231/1 (10 CFM) continuous
  - 231/1 (10 CFM) continuous

- SOLID BLOCKING
- AJWD POST (ROAD ABOVE)
- POINT LOAD

Refer to general notes



**2 Lower Floor Plan**  
Scale: 1/4" = 1'-0"

UNIT C: 681.33 sq.ft. (63.30 sq.m.)  
UNIT D: 681.33 sq.ft. (63.30 sq.m.)  
TOTAL: 1362.67 sq.ft. (126.60 sq.m.)

CRAWL SPACE: 10.47 sq.ft. (1.73 sq.m.)  
CRAWL SPACE: 10.47 sq.ft. (1.73 sq.m.)  
TOTAL: 37.33 sq.ft. (3.47 sq.m.)

- WALL LEGEND**
- 2\"/>

**PROFESSIONAL SEALS**

**Consentants**

**List of Drawings**

NO.	DATE	DESCRIPTION
1	10/29/15	Client Review
2	11/02/15	Peer Review
3	11/02/15	Variance Req'd
4	02/17/16	City Comments
5	03/07/16	City Comments

**ISSUES/REVISED**

General Contractor and/or Owner to verify and monitor review all aspects of plan prior to commencement and setting out of work. Any alterations are to be requested by Building Designer immediately. Building Designer not liable for changes made to plan on site as follows for signed alterations. Refer to General notes included on plan.

Have S.C.E. to verify placement and offset of all structures on lot. General Contractor to work in accordance with S.C.E. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to offset or placement of structures on lot.

Structural Engineer to review plan (where required) and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work. Town manufacturer to review plan to verify soil design where any soil features are shown, and to contact building designer to submit if revisions are necessary.

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**VICTORIA DESIGN**  
1115/17 CALEDONIA AVE.  
VICTORIA, B.C. V8N 1A6  
TEL: 250-363-7373  
FAX: 250-363-7374  
WWW.VICTORIADDESIGN.COM

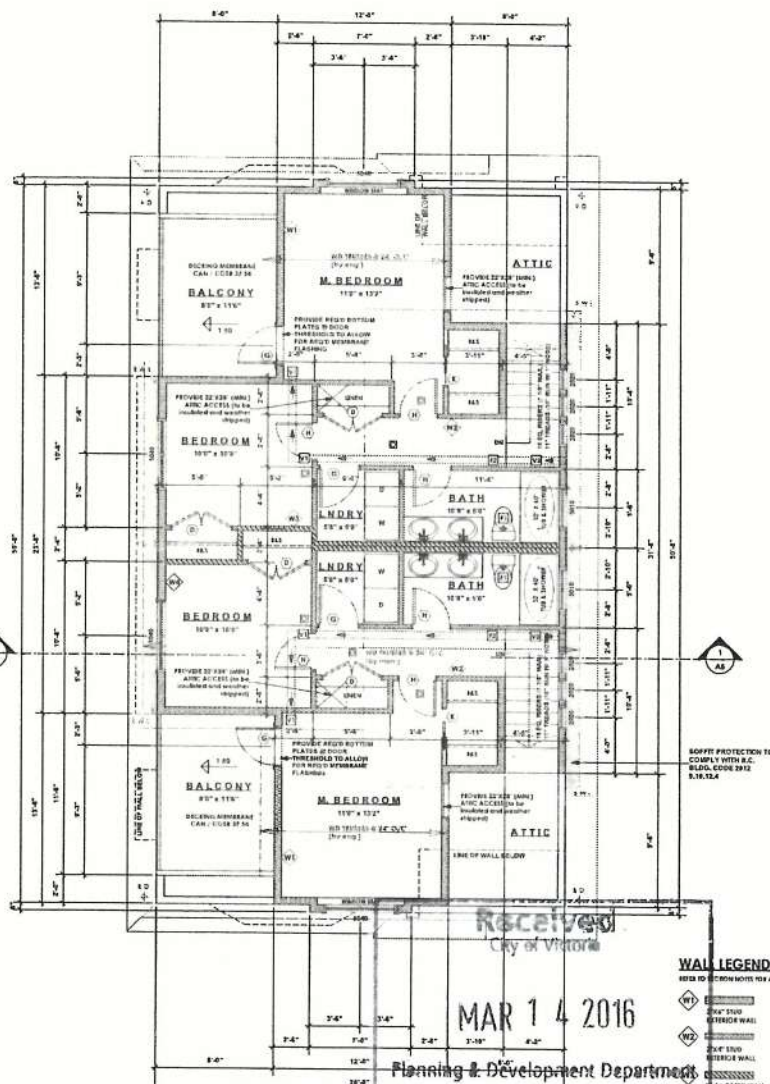
**FOUNDATION & LOWER FLOOR**

**Proposed Residence:**  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.

Planning & Development Department  
Development Services Division



ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND  
INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
WITH B.C. BLDG. CODE 9.23.13.2. AND SUPPLY DETAILS IF REQUIRED.



### Upper Floor Plan

Scale: 1/4" = 1'-0"











UNIT A: 445.64 sq.ft. (41.41 sq.m.)  
UNIT B: 445.31 sq.ft. (41.37 sq.m.)  
TOTAL: 891.00 sq.ft. (82.78 sq.m.)

**Mechanical Exhaust Fans**

11	23 L/s (50 CFM) intermittent OR 9 L/s (20 CFM) continuous
12	23 L/s (40 CFM) continuous
13	23 L/s (40 CFM) continuous

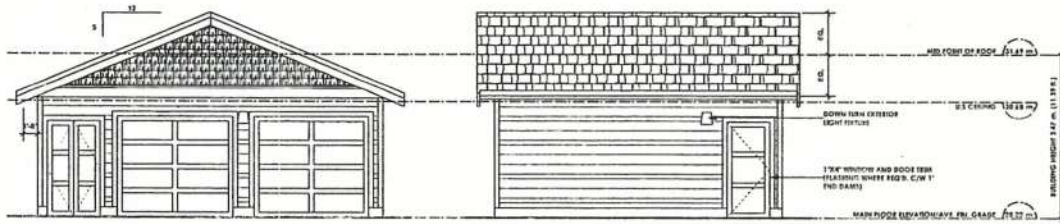
*Refer to general notes*

☒ SOLID BLOCKING  
☐ R/U WD POST (LOAD ABOVE)  
☒ POINT LOAD

PROFESSIONAL SEALS		
<div> <div>  </div> <div> <b>VICTORIA DESIGN INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		
<div> <div>  </div> <div> <b>CARLFLOSE PROPERTIES INC.</b>  <small>INC. - REG.            27 FETTER AVENUE            SUITE 100            VANCOUVER            B.C. V6N 1C1</small> </div> </div>		

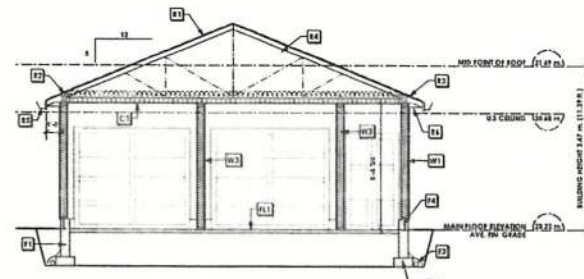




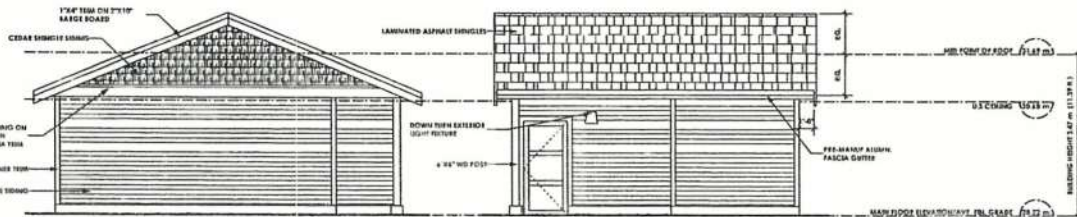


**1 Front (E) Elevation**  
Scale: 1/4" = 1'-0"

**2 Right (N) Elevation**  
Scale: 1/4" = 1'-0"

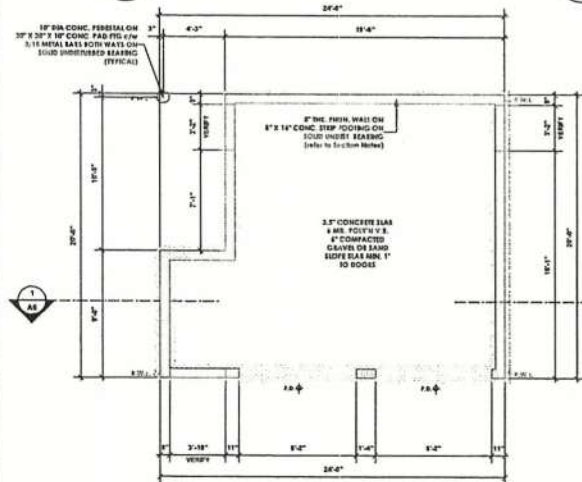


**7 Cross Section**  
Scale: 1/4" = 1'-0"

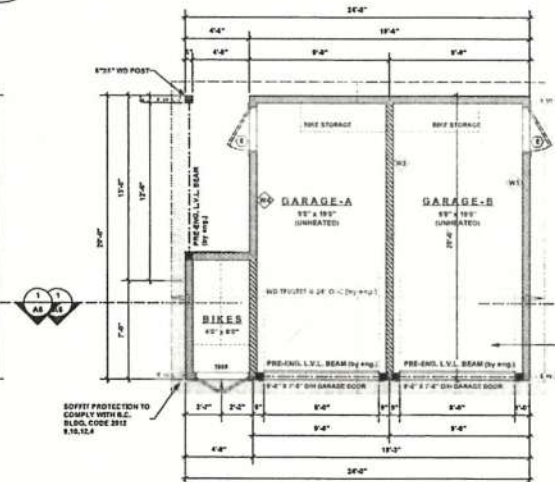


**3 Rear (W) Elevation**  
Scale: 1/4" = 1'-0"

**4 Left (S) Elevation**  
Scale: 1/4" = 1'-0"



**5 Foundation Plan**  
Scale: 1/4" = 1'-0"



**6 Main Floor Plan**  
Scale: 1/4" = 1'-0"

GARAGE A: 175.75 sq.ft. (16.33 sq.m.)  
GARAGE B: 175.75 sq.ft. (16.33 sq.m.)  
BIKE STORAGE: 34.00 sq.ft. (3.14 sq.m.)  
TOTAL: 385.50 sq.ft. (35.80 sq.m.)

### Roofs & Ceilings

R1. LAMINATED ASPHALT SHINGLES ON 1/2" OSB SHEATHING. 1/2" OSB SHEATHING SHALL BE 1/2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R2. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R3. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R4. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R5. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R6. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R7. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R8. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R9. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R10. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R11. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R12. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R13. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R14. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R15. PROVIDE 2" X 12" CEILING JOISTS. 2" X 12" CEILING JOISTS SHALL BE 2" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

### Floors & Walls

F1. 3" X 6" CONCRETE SLAB. 3" X 6" CONCRETE SLAB SHALL BE 3" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F2. 3" X 6" CONCRETE SLAB. 3" X 6" CONCRETE SLAB SHALL BE 3" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F3. 3" X 6" CONCRETE SLAB. 3" X 6" CONCRETE SLAB SHALL BE 3" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F4. 3" X 6" CONCRETE SLAB. 3" X 6" CONCRETE SLAB SHALL BE 3" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

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F14. 3" X 6" CONCRETE SLAB. 3" X 6" CONCRETE SLAB SHALL BE 3" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F15. 3" X 6" CONCRETE SLAB. 3" X 6" CONCRETE SLAB SHALL BE 3" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

### Foundation Walls

F1. DAMPPROOFING (where required) ON 8" DIA. CONCRETE FOUNDATION WALL. DAMPPROOFING SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F2. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F3. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F4. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F5. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F6. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F7. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F8. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F9. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F10. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

F11. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

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F13. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

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F15. 8" DIA. CONCRETE FOUNDATION WALL. 8" DIA. CONCRETE FOUNDATION WALL SHALL BE 8" THICK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

### PROFESSIONAL SEALS

Consultants

11/19/15

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11/19/15

Received  
City of Victoria

MAR 14 2016

Planning & Development Department  
Development Services Division

VICTORIA  
DESIGN  
7667  
A7 OF A7  
MARCH 07, 2016  
as shown  
LIS

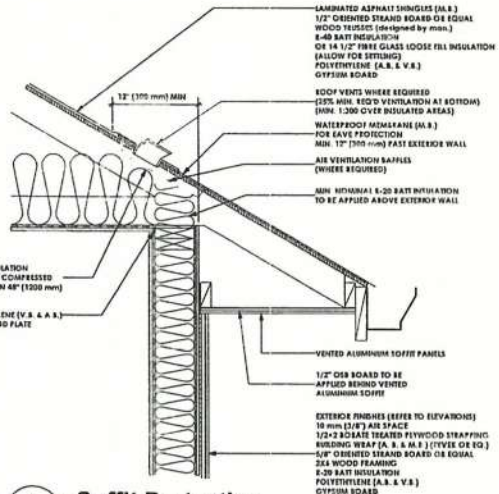
ACCESSORY BUILDING

Proposed Residence:  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.

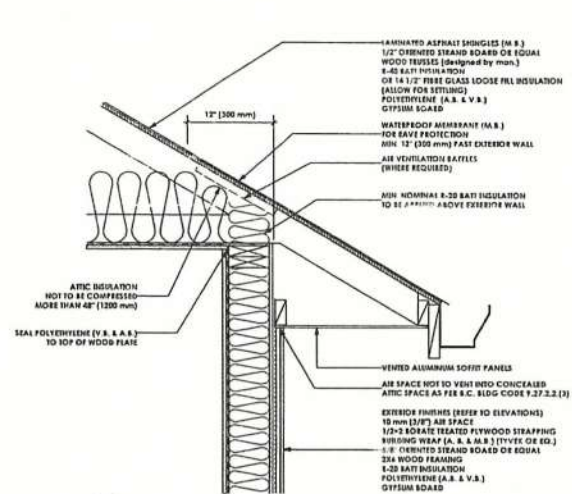




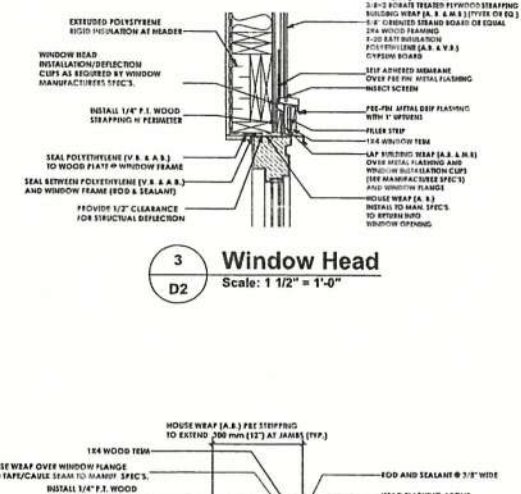




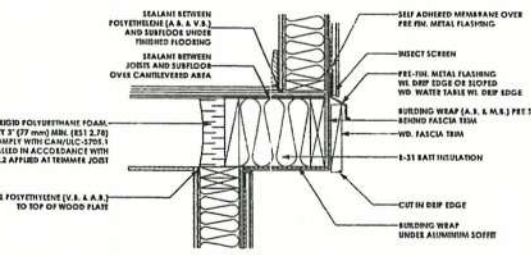
**1 Soffit Protection**  
Scale: 1 1/2" = 1'-0"  
2012 BC BUILDING CODE 9.10.15.5 (10)  
(USE PROVIDED DETAIL WHEN ROOF OVERHANG IS WITHIN 1.20M OF PROPERTY LINE)



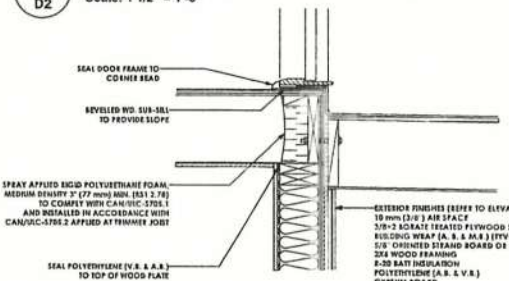
**2 Water Shedding Roof / Wall**  
Scale: 1 1/2" = 1'-0"



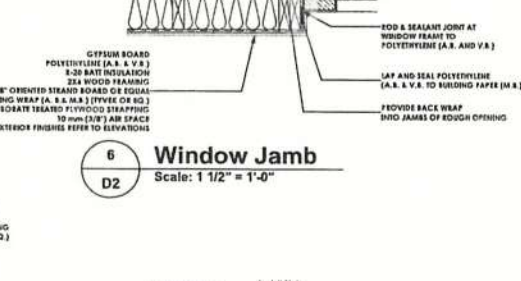
**3 Window Head**  
Scale: 1 1/2" = 1'-0"



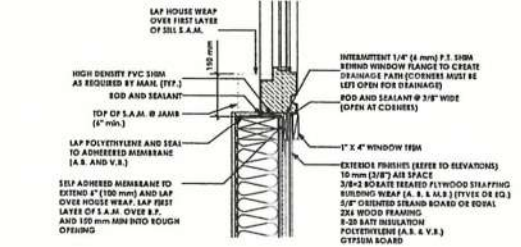
**4 Cantilevered Floor**  
Scale: 1 1/2" = 1'-0"



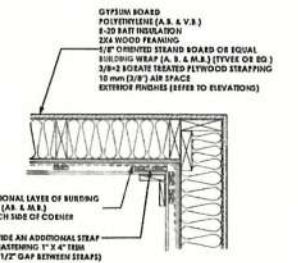
**5 Door Sill Protected Membrane**  
Scale: 1 1/2" = 1'-0"



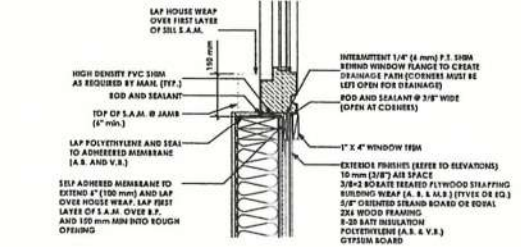
**6 Window Jamb**  
Scale: 1 1/2" = 1'-0"



**7 Exterior Corner**  
Scale: 1 1/2" = 1'-0"



**8 Interior Corner**  
Scale: 1 1/2" = 1'-0"



**9 Window Sill**  
Scale: 1 1/2" = 1'-0"

**PROFESSIONAL SEALS**

CONSULTANTS

LIST OF DRAWINGS
A1 General Notes
A2 Site Plan
A3 Elevations
A4 Foundation & Lower Floor Plan
A5 Main Floor & Upper Floor Plan
A6 Section
A7 Accessory Building
D1 Rainscreen Details
D2 Rainscreen Details

ISSUES/REVISIONS
NO. DATE DESCRIPTION
1 10/29/15 Client Review
2 11/02/15 Peer Review
3 11/20/15 Variance Req'd
4 02/19/16 City Comments
5 03/07/16 City Comments

General Contractor to verify and Rectify all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to the Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes for details on plan.

Note: It is the responsibility of the owner or contractor to verify and confirm all engineering requirements with the building department prior to starting work. These drawings are provided for your reference only and are not to be used for any other purpose without the written consent of the building designer. The building designer is not responsible for any errors or omissions in the drawings.

Structural Engineer to review plan (where required) and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and confirm all engineering requirements with the building department prior to starting work. These drawings are provided for your reference only and are not to be used for any other purpose without the written consent of the building designer. The building designer is not responsible for any errors or omissions in the drawings.

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<b>VICTORIA DESIGN</b>
7667
DATE: 02 OF 02
MARCH 07, 2016
as shown
LIS

**RAINSCREEN DETAILS**

Proposed Residence:  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.

Received  
City of Victoria

MAR 14 2016

Planning & Development Department  
Development Services Division





1 Street Scape  
S1 Scale: 1/4" = 1'-0"



PROFESSIONAL SEALS

Consultants

List of Drawings

A1	General Notes
A2	Site Plan
A3	Elevations
A4	Foundation & Lower Floor Plan
A5	Main Floor & Upper Floor Plan
A6	Section
A7	Accessory Building
D1	E rainscreen Details
D2	E rainscreen Details

ISSUES/REVISED

NO.	DATE	DESCRIPTION
1	10/29/15	Client Review
2	11/02/15	Peer Review
3	11/26/15	Valance Req'd
4	02/19/16	City Comments
5	03/07/16	City Comments

General Contractor and/or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plans on site as follows to report discrepancies. Refer to General notes included on plan.

Note: I.C.S. is to verify placement and siting of all structures on lot. General Contractor to work in conjunction with I.C.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to siting or placement of structures on lot.

Structural Engineer to review plan (where required) and specify structure as deemed not necessary. It is the responsibility of the owner or contractor to verify and coordinate all engineering requirements with municipal building departments prior to starting work. See Manufacturer to review plans to verify seal design where any seal design are shown, and to direct building designer to either if revisions are necessary.

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	NO.	7667
	REV.	S1 OF S1
	DATE	MARCH 07, 2016
	SCALE	as shown
DRAWN		LIS
CHECKED BY		

STREETSCAPE

PARAMETER

Proposed Residence:  
Carlisle Properties  
1115/17 Caledonia Ave.  
Victoria, B.C.