REPORTS OF THE COMMITTEES

Committee of the Whole - April 7, 2016

6. Development Permit with Variance Application No. 00001 for 1115 and 1117 Caledonia Avenue
It was moved by Councillor Madoff, seconded by Councillor Alto, that Council, after giving notice and
allowing an opportunity for public comment at a meeting of Council on April 28, 2016, consider the
following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Street, in accordance with:

- 1. Plans date stamped March 14, 2016.
- 2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - a. Part 3.97(4)(2) Increase the maximum number of storeys from 1.5 storeys to 2.5 storeys;
 - b. Part 3.97(4)(3) Allow roof decks above the second storey;
 - c. Part 3.97(5)(1) Reduce the minimum front yard setback from 5.9m to 4.9m;
 - d. Part 3.97(5)(2) Reduce the minimum rear yard setback from 20m to 19m;
 - e. Part 3.97(5)(4) Reduce the minimum side yard setback (west) from 3.9m to 1,5m;
 - f. Part 3.97(5)(5) Reduce the combined side yard setback from 5.4m to 5.02m.
- 3. The Development Permit lapsing two years from the date of this resolution."

Carried Unanimously

4.3 Development Permit with Variance Application No. 00001 for 1115 and 1117 Caledonia Avenue

Councillor Isitt clarified that there is no longer a potential pecuniary conflict of interest with this area, and therefore does not need to withdraw from the meeting.

Committee received a report dated March 24, 2016, regarding an application to construct a ground-oriented multiple dwelling, consisting of four dwelling units.

Councillor Thornton-Joe joined the meeting at 9:31 a.m.

Motion:

It was moved by Councillor Madoff, seconded by Councillor Coleman, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council on April 28, 2016, consider the following motion:

That Council authorize the issuance of Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Street, in accordance with:

- 1. Plans date stamped March 14, 2016.
- 2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Part 3.97(4)(2) Increase the maximum number of storeys from 1.5 storeys to 2.5 storeys;
 - b. Part 3.97(4)(3) Allow roof decks above the second storey;
 - c. Part 3.97(5)(1) Reduce the minimum front yard setback from 5.9m to 4.9m;
 - d. Part 3.97(5)(2) Reduce the minimum rear yard setback from 20m to 19m;
 - e. Part 3.97(5)(4) Reduce the minimum side yard setback (west) from 3.9m to 1,5m;
 - f. Part 3.97(5)(5) Reduce the combined side yard setback from 5.4m to 5.02m.
- 3. The Development Permit lapsing two years from the date of this resolution.

CARRIED UNANIMOUSLY 16/COTW



Committee of the Whole Report For the Meeting of April 7, 2016

To: Committee of the Whole

Date:

March 24, 2016

From:

Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject:

Development Permit with Variances Application No. 00001 for 1115 and 1117

Caledonia Avenue

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council on April 28, 2016, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00001 for 1115 and 1117 Caledonia Street, in accordance with:

- 1. Plans date stamped March 14, 2016.
- 2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - Part 3.97(4)(2) Increase the maximum number of storeys from 1.5 storeys to 2.5 storeys;
 - b. Part 3.97(4)(3) Allow roof decks above the second storey:
 - c. Part 3.97(5)(1) Reduce the minimum front yard setback from 5.9m to 4.9m;
 - d. Part 3.97(5)(2) Reduce the minimum rear yard setback from 20m to 19m;
 - e. Part 3.97(5)(4) Reduce the minimum side yard setback (west) from 3.9m to 1.5m;
 - f. Part 3.97(5)(5) Reduce the combined side yard setback from 5.4m to 5.02m.
- 3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 1115 and 1117 Caledonia Avenue. The proposal is to construct a ground-oriented multiple dwelling consisting of four dwelling units.

The following points were considered in assessing this Application:

- The proposal is consistent with the design guidelines contained in Development Permit Area 16.
- The proposal is generally consistent with the Fernwood Neighbourhood Plan.
- The variances are related to reducing the side yard setbacks, increasing the number of storeys and allowing roof decks above the second storey.
- The proposed variances associated with the number of storeys and roof decks are a
 result of the lower level being considered a storey even though the majority of the unit is
 below average grade. The height of the proposed building would not exceed the
 maximum height requirement in the zone and fits in with the overall streetscape. The
 variance to increase the number of storeys from 1.5 to 2.5 is supportable.
- The two roof decks would be recessed into the building, setback approximately 4m from the property line and would not overlook the backyard of the adjacent property at 1121 Caledonia Avenue. The variance to allow roof decks above the second storey is supportable.

BACKGROUND

Description of Proposal

The proposal is for a ground-oriented multiple dwelling consisting of four dwelling units. Specific details include:

- a two-and-half storey multiple dwelling incorporating traditional design elements, such as a pitched roofline, bay windows and front porch entryway
- an accessory building with a pitched roofline to complement the main building
- the two lower-level units would have patios and the two upper-level units would have porches and roof decks
- exterior materials include cedar shingle siding, concrete fibre siding, laminated asphalt shingles and stone
- Class 1 bicycle parking would be provided in the accessory building, in a separate bicycle storage room, and a Class 2 bicycle rack will be provided in the rear yard
- three surface parking spaces and two parking spaces located in the accessory building would be provided in the rear yard
- permeable paving materials would be integrated throughout the site
- new landscaping would be introduced in the front yard and around the perimeter of the building.

The proposed variances are related to:

- increasing the number of storeys
- allowing roof decks
- reducing the side yard setbacks.

Sustainability Features

As indicated in the applicant's letter dated March 10, 2016, the applicant would ensure that the building meets Everguide and Built Green Gold standards.

Active Transportation Impacts

The Application proposes the following features which support active transportation:

- four Class 1 bicycle parking spaces located in the proposed bicycle storage room and accessory building
- Class 2 bicycle rack for six bikes.

Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit with Variances Application.

Existing Site Development and Development Potential

The site is presently vacant.

Under the current R-74 Zone, Ground-Oriented Multiple Dwelling District, the property could be developed at a density of 0.35:1 Floor Space Ratio (FSR) and with the use proposed, or as a duplex or single family dwelling with a secondary suite.

Data Table

The following data table compares the proposal with the existing R-74 Zone, Ground-Oriented Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria	Proposal	Zone Standard R-74 Zone 595	
Site area (m²) - minimum	602.4		
Site area per unit (m²) - minimum	150	148	
Number of units - maximum	4	n/a	
Density (Floor Space Ratio) - maximum	0.34:1	0.35:1	
Total floor area (m²) - maximum	206.44	210	
Lot width (m) - minimum	14.02	14	
Height (m) - maximum	7.6	7.6	
Storeys - maximum	2.5*	1.5	
Site coverage % - maximum	30.13	32	
Open site space % - minimum	38.86	38	
Setbacks (m) - minimum Front Rear	6.18 (building)/4.88* (stairs) 20.46 (building)/19.11* (stairs)	5.9 20	
Side (east)	3.52	1.5	

Zoning Criteria	Proposal	Zone Standard R-74 Zone
Side (west)	1.50*	3.9
Combined side yards	5.02*	5.4
Roof decks	Yes*	Not permitted
Parking - minimum	5	5
Bicycle parking stalls (minimum)		
Class 1	4	4
Class 2	6	6
Accessory Building		
Floor Area	36	37
Rear yard site coverage (%) – maximum	14.31	25
Separation Distance (m) – minimum	11.91	2.4
Height (m) – maximum	3.47	3.5
Setbacks (m) - maximum		
Rear (south)	1.2	0.6
Side (west)	0.93	0.6

Relevant History

On May 8, 2014, Council adopted Bylaw No. 14-032 which amended the zoning of the subject property from the R-2 Zone to the R-74 Zone to allow for a ground-oriented multiple dwelling.

Community Consultation

Consistent with the Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications, on March 17, 2016, the Application was referred for a 30-day comment period to the Fernwood CALUC. At the time of writing this report a letter from the CALUC had not been received.

This Application proposes variances, therefore, in accordance with the City's Land Use Procedures Bylaw, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The Official Community Plan (OCP) identifies this property within Development Permit Area 16 (DPA 16): General Form and Character. DPA 16 encourages new development to be integrated in a manner that is complementary to the established place character in a neighbourhood, including its heritage character, high quality architecture, landscaping and urban design. The area is characterized by a mix of small-scale commercial uses along Cook Street and low-density residential uses up to approximately three storeys along Caledonia Avenue. Some place character defining elements of residential uses in the neighbourhood

include pitched and gabled rooflines, porches and large bay windows. The applicant has incorporated these elements into the design of the proposed building to ensure that the proposal fits in with the existing streetscape. The proposed exterior finishes, such as the concrete fibre siding and laminated asphalt shingles, match the exterior finishes of the surrounding residential buildings. The applicant is also introducing other materials, including cedar shingles in the roof elements and stone-faced pillars at the main entryways, which further complement neighbouring residential buildings.

Fernwood Neighbourhood Plan

Policies in the Fernwood Neighbourhood Plan, 1994, apply to the subject property and include:

- 2.1 To encourage future Neighbourhood housing development in Fernwood which maintains the integrity, look and character of the single family and duplex housing stock.
- 2.3.1 That all the R-2 zoned areas north of North Park Street be retained.

Although 1115 and 1117 Caledonia Avenue is located north of North Park Street, the form of the four-plex is compatible with the ground-oriented character of the surrounding residential area and was endorsed by Council during the rezoning process in 2014.

Regulatory Considerations

Proposed Height Variance

The applicant is proposing to increase the number of storeys from 1.5 to 2.5. The conceptual drawings shown as part of the Rezoning Application approved by Council in 2014 included a 1.5 storey building with a basement. As part of the review of the Development Permit with Variances Application, it was realized that the lower-level units should be more visible from the street and, in order to achieve this, the applicant slightly increased the floor-to-ceiling height of these units. A basement is defined as any part of a building between two floor levels that is partially or completely below grade and has a finished ceiling that is no more than 1.2m above grade. In this case, the finished ceiling is 1.33m above grade or 0.13m above the requirement that defines a basement. The height of the building does not exceed the maximum height requirement in the zone and fits in with the overall streetscape. Staff recommend that Council consider supporting this variance.

Proposed Roof Deck Variance

The applicant is requesting a variance to allow two roof decks above the second storey on the east elevation. The roof decks would be recessed into the building, setback approximately 4m from the property line and would not overlook the backyard of the adjacent property. Staff recommend that Council consider supporting this variance.

Proposed Setback Variances

The applicant is also requesting the following setback variances:

- reducing the minimum front yard setback from 5.9m to 4.9m
- reducing the minimum rear yard setback from 20m to 19m
- reducing the minimum side yard setback (west) from 3.9m to 1.5m
- reducing the combined side yard setback from 5.4m to 5.02m.

The front and rear yard setback variances are a result of steps projecting into the required setback. These projections would not interrupt the rhythm of the streetscape and the building would still be in line with the single family dwelling to the east.

The west side yard setback variance is a result of a typo in the R-74 Zone. The minimum east and west side yard setbacks in the zone have been reversed. The minimum east side yard setback should have been 3.9m and the west side yard setback should have been 1.5m in accordance with the proposed site plan submitted with the earlier Rezoning Application. The siting of the building has not significantly changed in this proposal. The combined side yard setback has been slightly reduced as a result of a minor change to the east side yard setback. The plans shown at rezoning identified the east side yard setback to be 3.9m whereas the current plans show a setback of 3.52m, triggering a combined side yard setback variance. However, these proposed setback variances are minor in nature and staff recommend that Council consider supporting these variances.

Tree Protection

The applicant has provided a Tree Protection Plan prepared by Talbot MacKenzie and Associates (attached) for the protected trees located on the adjacent property at 1121 Caledonia Avenue. There are a Douglas fir, Garry Oak and Spruce trees within 3m of the property line. All three trees would be protected during the construction phase in accordance with the Plan.

CONCLUSIONS

The Application to permit a ground-oriented multiple dwelling consisting of four dwelling units is consistent with the design guidelines outlined in DPA 16. The proposed building design, exterior finishes and landscaping are in keeping with the established character of the neighbourhood. The proposed variances for number of storeys, roof decks and setbacks are supportable as they would not alter the character of the streetscape or adversaly impact adjacent residential properties. Staff recommend that Council consider supporting this Application.

ALTERNATE MOTION

That Council decline Development Permit with Variances Application No. 00001 for the property located at 1115 and 1117 Caledonia Avenue.

Respectfully submitted.

Leanne Taylor

Senior Planner

Development Services Division

Jonathan Tinney Director

Sustainable Planning and Community

Development Department

Report accepted and recommended by the City Manager:

Date:

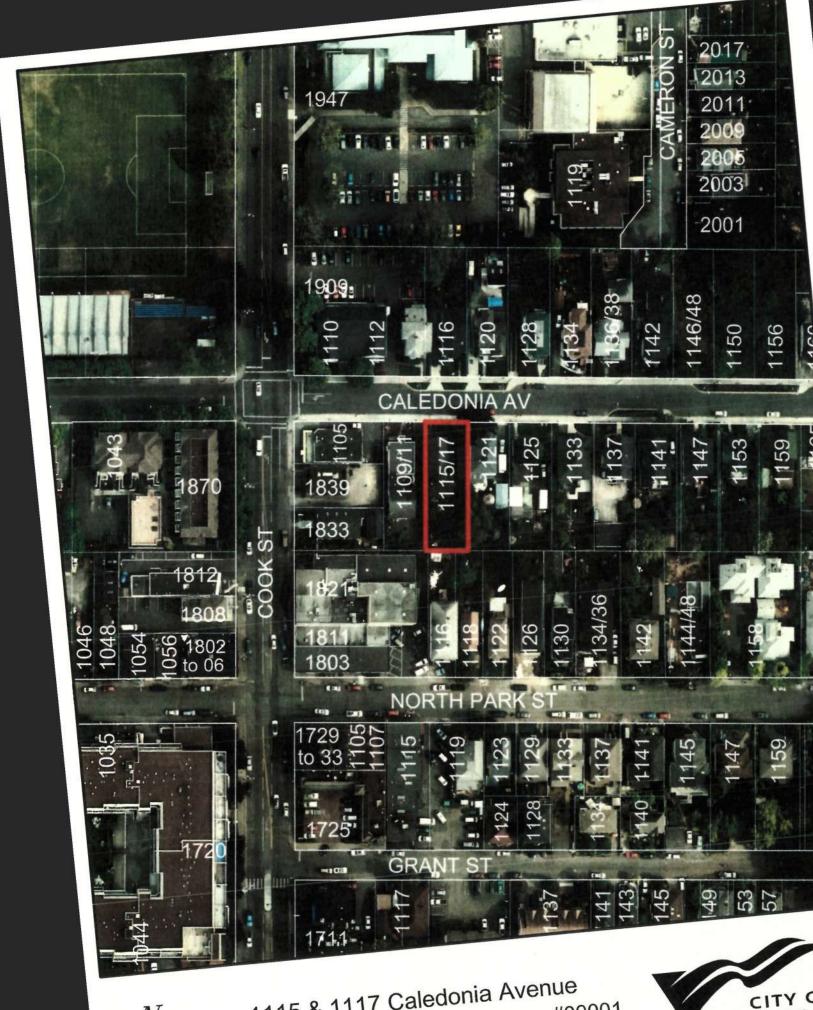
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JH

List of Attachments:

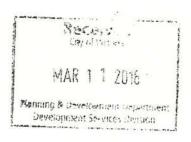
- Zoning map
- Aerial map
- Letter to Mayor and Council dated March 10, 2016
- Letter from neighbours located at 1121 Caledonia Avenue dated March 11, 2016
- Arborist Report dated November 10, 2015
- Plans date stamped March 14, 2016.

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1115 & 1117 Caledonia Avenue * Permit with Variances #00001



Bruce Carlisle and Maureen Clarke 991 Newport Ave. Victoria, BC V8S 5H6 250-978-9445 Subject: 1115 Caledonia

March 10, 2016

City of Victoria Mayor Lisa Helps and Council 1 Centennial Square Victoria, BC V8W 1P6

Dear Mayor Helps and Council,

It is our pleasure to introduce ourselves. At this time we are applying for a Development Permit for the proposed construction of a four-unit multiple dwelling at 1115 Caledonia. It has been discovered that the following variances are required:

- Increase the maximum number of storeys from 1.5 to 2.5*
- Reduce the front yard setback from 5.9m to 4.9m
- Reduce the rear yard setback from 20m to 19m
- Reduce the west side yard setback from 3.9m to 1.5m
- Reduce the combined side yard setbacks from 5.4m to 5.02m
- Allow roof top decks above the second storey*

VARIANCES

The height of the proposed building remains unchanged. It is in the interpretation of 'basement' that we find our challenges and the need for the relevant variances. In defining the lower floor as a first storey rather than a basement, the roof decks and number of storeys are impacted. The proposed lower floor is a mere 0.12m within the allowable 1.2m distance between the finished ceiling and average grade.

DESIGN

The proposed craftsman exterior is in keeping with the neighbourhood's composition and form; a respect for the integrity of Fernwood's 'charm.' Finishes reflect the natural surroundings, lending a harmonious palette of colour and texure. The configuration of interior space allows for appropriate livability on the lower floor. Roof decks on the upper floor offer occupants the added value of outdoor space in a design that is both private and functional.

THE BIG PICTURE

Although we hope to move forward to strata the four proposed units once the project is complete, we fully intend to utilize the units within our current portfolio as rentals for a period of 5-10 years or more.

ENVIRONMENT AND SUSTAINABLE PRACTICES

We are environmentally motivated and will ensure the building meets Everguide/Green Built Gold Standards. We have hired Talbot MacKenzie and Associates to provide a tree protection report relative to the garry oak located on the eastern neighbouring property. We will be compliant to recommendations made in this report (see attached.)

We are grateful for your consideration and remain at your disposal should you require additional information.

Respectfully.

Bruce Carlisie and Maurice Clarke

City of VICTORIA
PLANNING DEDT.

ALF FRANY CADGER 1121 CALEDONIA AVE VICTORIA BE VSTIE9 MARCH 11/2016

RE: DEVELOPMENT OF 1115 \$ 1117 LALEDONIA A

TO WHOM IT MAY CONCERN:

WE HAVE VENED THE CHANGES PROPOSED FOR A PLEX AT THE ABOVE ADDRESS. THE ADDITIONS TO THE ORIGINAL CONCEPT ARE IN OUR VIEW IMPROVEMENTS AND AS SUCH WE SUPPORT THEIR INCLUSION TO THE PLAN. SPECIFICLY THE DECKS ADDED TO THE EAST ELEVATION.

Yours TRULY

ALF CABGER

Brung Chaquer CARGER



Taibot Mackenzie & Associates

Consulting Arborists

November 10, 2015

Carlisle Properties 991 Newport Avenue Victoria, BC V8S5H6 Received City of Victoria

DEC 0 4 2015

Planning & Development Department Bevelopment Services Division

Assignment: Review the plans provided and prepare a tree retention report to be used during the proposal to construct two new (back to back) residences on the 1115 Caledonia Avenue property.

Methodology: Trees located on the neighbouring properties that could potentially be impacted by the proposed construction were not tagged, but are identified numerically on the attached site plan. Information such as tree species, size(dbh), critical root zone(crz), health and structural condition, relative tolerance to construction impacts and general remarks and recommendations was recorded in the attached tree resource spreadsheet.

Observations: Previous to our site visit, it is our understanding that 2 residences that originally occupied the lot were demolished. There are no bylaw-protected trees on the subject property. A bylaw-protected Douglas-fir, Garry oak and a non-bylaw protected Spruce are located on the neighbouring property at 1121 Caledonia Avenue within 3 meters of the property line. A row of pyramidal cedar are growing on the neighbouring property at 1109/1111 Caledonia Avenue, within 1 meter of the property line.

Mitigation of impacts

Barrier fencing: In our opinion, the existing construction fencing should be adequate to protect the trunks of the trees to be retained on neighbouring properties. Additional barrier fencing will be required to protect the critical root zones of trees #1,2 and 3 during house construction. As the proposed driveway encroaches within the critical root zones and constructed over the root systems of the trees on the neighbouring property at 1121 Caledonia Place, we recommend that all excavation for the driveway footprint be performed once construction of the proposed residences has been completed. Barrier fencing must remain in place until the time of driveway construction, and the project arborist must be onsite to supervise any excavation within the fenced areas(see attached barrier fencing specifications for our recommended barrier fencing locations). As barrier fencing the perimeter of the critical root zone of Douglas-fir #1 would restrict access to the rear yard during construction, it may be preferred to use a 6-8 inch layer of mulch or hog fuel in place of barrier fencing to mitigate impacts from compaction and root disturbance.

The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones.

The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing (see attached diagram). The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

Building footprint: According to the plans provided, the proposed building footprints do not encroach within the critical root zones of the bylaw-protected trees on the neighbouring property at 1121 Caledonia Avenue. The window wells on the West side of the proposed residences encroach within the critical root zones of several of the pyramidal cedar hedge stems on the neighbouring property at 1109/1111 Caledonia Avenue. We recommend that the project arborist be onsite to supervise any required excavation within our defined 1.5 meter critical root zone of this hedge row, and that excavation be minimized as much as possible. If significant roots are encountered during excavation that cannot be preserved, we may recommend that any impacted tree(s) be replaced with new, healthy plantings.

Driveway footprint: According to the plans provided, the proposed driveway footprint runs along the East property line and connects to the proposed accessory building in the rear of the property. Floating driveway specifications will be required for the portions of proposed driveway that encroach within the critical root zones of Douglas-fir #1, spruce #2 and Garry oak #3(see attached floating driveway specifications). We recommend that all excavation for the driveway footprint be performed once construction of the proposed residences has been completed, under the direction of the project arborist.

Underground servicing: The site survey provided shows existing service stubs and water meter near the North property line, outside of the critical root zone of Douglas-fir #1 located on the neighbouring property at 1121 Caledonia Avenue. If the proposed underground services will connect to these locations, we do not anticipate impacts to bylaw-protected trees. If underground service connections are required within the critical root zone of Dougals-fir #1, the project arborist must be onsite to supervise excavation, and may involve hand digging or hydroexcavation.

Offsite works: According to the plans provided, a driveway letdown will be required within the critical root zone of Douglas-fir #1 located on the neighbouring property at 1121 Caledonia Avenue. The project arborist must be onsite to supervise excavation to remove the existing sidewalk/curb and to excavate the proposed letdown within the critical root zone of this tree. If structural root are encountered beneath the existing sidewalk, we may recommend that the thickness of the sidewalk be minimized and reinforced with re-bar, if required. If the required grades cannot be accomplished without large structural root pruning, we may recommend that this tree be removed.

.../3

Please do not hesitate to call us at 250-479-8733 should you have any further questions. Thank you.

Yours truly, Talbot Mackenzie & Associates

Graham Mackenzie & Tom Talbot ISA Certified, & Consulting Arborists Encl. – Tree Resource Spreadsheet, Floating Driveway Specifications, Barrier Fencing Specifications, Site plan

Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve the health and structure of individual trees or group of trees, or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an arborist to identify every flaw or condition that could result in failure nor can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

TREE RESOURCE for

1115 Caledonia Avenue

Tree #	d.b.h. (cm)	CRZ	Species	Crown Spread(m)	Condition Health	Condition Structure	Relative Tolerance	Remarks / Recommendations
No tag	96	14.5	Douglas-fir	12.0	Good	Fair	Poor	Located on neighbouring property at 1121 Caledonia Avenue, topped historically, end-weighted limbs, co-dominant stem appears to have been removed historically, deadwood. Arborist supervision for excavation within crz.
No tag	25	3.0	spruce	4.0	Good	Good	Poor	Located on neighbouring property at 1121 Caledonia Avenue, Arborist supervision for excavation within crz.
No tag	118	12.0	Garry oak	20.0	Fair	Fair/poor	Good	Located on neighbouring property at 1121 Caledonia Avenue, history of large limb failure(tearout) with associated decay, internal decay. Arborist supervision for excavation within crz.
No tag	mult. Stems	1.5	Pyramidal cedar	3.0	Fair	Fair	Moderate	Approximately 30 stem hedge row located on neighbouring property at 1109/1111 Caledonia Avenue. Arborist supervision for excavation within crz.

Prepared by: Talbot Mackenzie & Associates ISA Certified, and Consulting Arborists Phone: (250) 479-8733 Fax: (250) 479-7050

email: Treehelp@telus.net

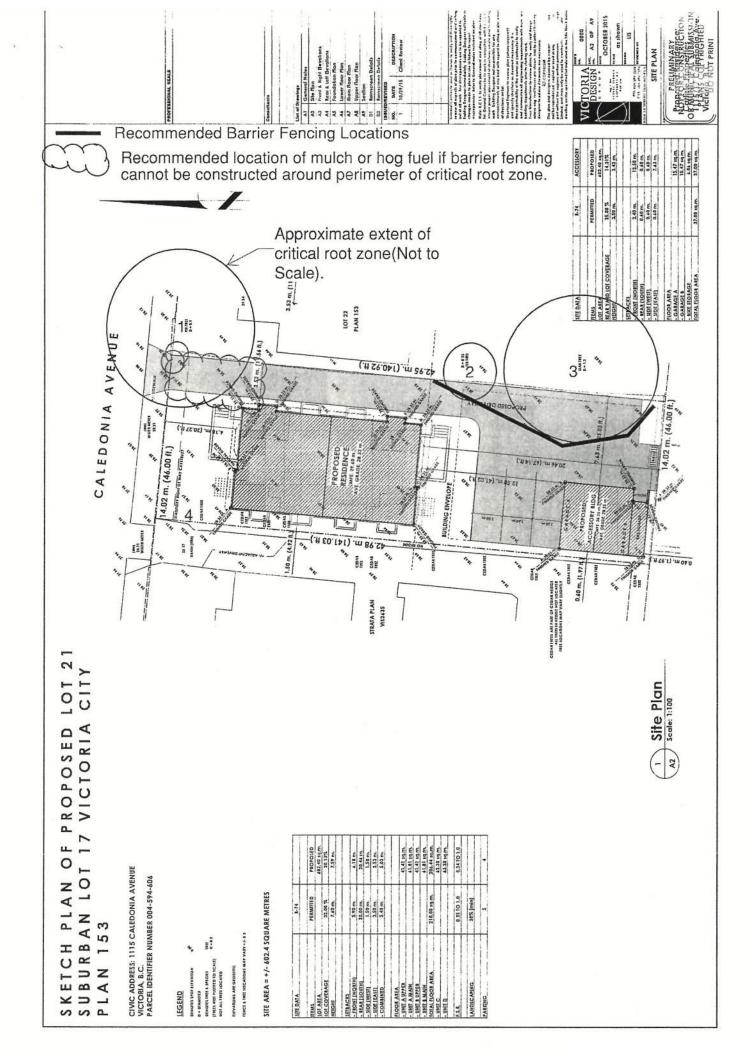
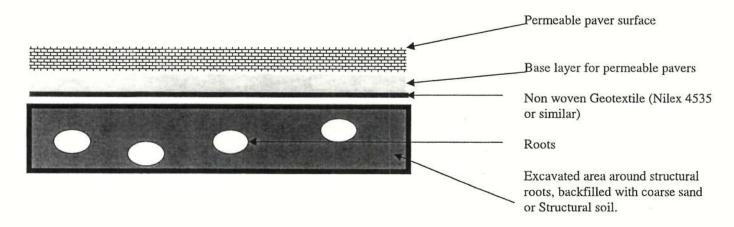
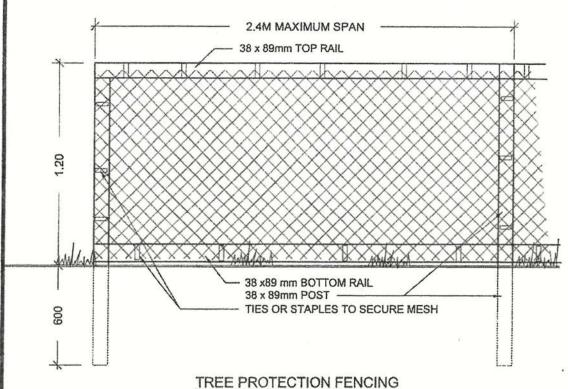


Diagram - Concrete driveway crossing over Critical Root Zone



Specifications for concrete driveway crossing over critical root zone

- 1. Excavate to a 6-8 inch depth, for the required permeable driveway surface, under the supervision of an ISA Certified Arborist.
- 2. Excavation for area around structural roots must be performed under arborist supervision.
- 3. Backfill area around roots with coarse sand or a structural soil mix
- 4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the driveway.
- 5. Construct base layer and permeable surface over Geotextile layer to required grade.



FENCE WILL BE CONTRUCTED USING
38 X 89 mm (2"X4") WOOD FRAME:
TOP, BOTTOM AND POSTS. *
USE ORANGE SNOW-FENCING MESH AND
SECURE TO THE WOOD FRAME WITH
"ZIP" TIES OR GALVANZIED STAPLES

* IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED

DETAIL NAME:

TREE PROTECTION FENCING

DATE:

Oct 30/07

DRAWN:

DM

APP'D.

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SCALE:

N.T.S.

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General Notes

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Surveys and/or Cerhocher to confirm at aspects of sting and placement of stoches on to Designes not expandable for placement. In the event tool tile proposed new or existing stocker does not cooloms to the residencent of the 1C. Lividing Code on regimen(s) may be accessory and such services are for the women's account.

All materials to be of bast assetty, complying with the applicable sections of the current CSA., C oSA med a C & C shandards. All materials shall be used sticity occording to manufactures printed disactless where not inconsistent with this specifical and distinct permitted except where specified.

Contractor is Stable to recentain the skength and stability of existing structure where recentained and/or publishme are proposed tracketing but not brighed to pointing and stratiling and shading and props to uphold existing construction. All stratiling and comply with the requirements presented to part of the S.C.A.C. and with MORESAFEIC.

Structural Design

Shorthard is based on criteria stated in Faut 7 of the 2012 S.C. Suitding Code Design five boots as to lines:

Design moin floor food 41.4 p.s.f. 2.00 kPo Design hedroom floor lood 41.8 p.s.f. 2.00 kPo Design decks and belconles 42.7 p.s.f. 3.00 kPo Design cell lood 42.7 p.s.f. 3.00 kPo

for heavier snow bodfing, districting must be revised.
All identics and extensive well tensing to reals labered boats to comply with
BC AC F BB 1 and to be destinged by structural enginesis where noted elsewhere
Bruchard forginaring and trues manufactures districted enginesis where noted elsewhere
Bruchard forginaring and trues manufactures districted by the precedence ever
electrical leagues beliefed within.

All concrete used for featings and foundations is to be not less than 15 MPa @ 28 days unit All contests tased the Morrows new executions of the State of 28 days unless otherwise noted.
All contests used for State is the need less than 75 MM of 28 days unless otherwise noted.
All contests used for State is 12 days than 15 MM of 18 days unless otherwise noted.
All contests their grappe and conjunt table, on exchange of the 18 days than 18 days t

All construction and materials to comply with the "approved" current issue and uncertained of C.W.C. and B.C.B.C. Fre-Manufactured homes and walls to comply with S.C.B.C. and G.S.A. requirements.
All structural founding members are steed for standard grade No. 2 better Squaze-Fine-Fi

C.B.C. maid C.B.A. requirements.

districtural forming members are sheaf for shundard grade No. 2 better Sprice-Fine-Fine in accordance with NE.C.B.A. shundard granting rules for Canadian Lumber) except where year Codity noted otherwise.

resulting contexts is to provide backleg for all plumbing accessaries shelving, curton radio.

Doors Windows And Skylights

All windows, doors, and stylights to meet the requirements told forth in E.C.S.C. 9.7, and 9.24

Windows and Doors	-U032-	1.80 USI
Front Entrence Door	- 11 0 44 -	2.40 031
Glass Hock	-U0.51 -	2.10 USI
Skylight	- U 0 51 -	2.10 USI
Skyfight shaft walls	- 8 15.77 -	2.70 811
Corone Boom		1 10 200

She built does and windows to comply with 1.7.5 and 1.34.2.7.(3) Resting to be obove all stors and windows not directly protected by eaves.

Insulation and Vapour Barrier

Insidefion to be confined on around oil openings. Effective E.51 values are calculated using the parallel rath. Mathod, with oil parts of the ones while false one cauch. Any deviation have lasted assembled results be required to the brilling Designer for E.1. values readedwise fairly to see from notes the saverables and in the Thermal Testistance of Wint, Celling, and flood assembles of acclusions balled failure on page.

e Assembles calculations listed linter on page lation values not lis be decreased below seguited levels of any point accord major aballians, wall-floor consections, introduction headen, behind also bic old breaker but mond plimbleg or discring in wells. Letter to 3,C.S.C. 7,34, for exceptions

Intrifation Values are based of those in S.C.S.C. 7.34 for Zone 4 (13000 Healing Degree Days in Calific Degree-Days):

- 1 31.24 -	4.91 857
- E 24.52 -	4.47 851
- # 25.41 -	4.51 251
-12451-	4.47 851
-115.71 -	2.78 851
- 2 14.55 -	2.42 PSI
- £ 11.30 ·	1.77 250
- E 13.17 -	2.32 850
- # 11 12 -	1.74 832
- N/A -	N/A
	- E 24.52 E 25.41 E 25.41 E 14.51 E 14.51 E 14.52 E 11.30 E 13.17 E 11 13 -

All "high hydrights" is the existent goodways are installation. If Contract for fruitbles uses a imported and where in humanities are consistent as the contract of the contr

Vegoria Institute de consiste visit IE.C. LC 123.4.

They of a leason of a studied a solicity loss foundation. It is uith years or applied haudation, and perimeters to prevent due species without exception. Exhibition of Conference on the requirement of the C 12.24.24.2(2) to be fill the requirement of a complex between the requirement of the C 12.24.2(2) to be fill the requirement of the C 12.24.2(2) to be fill the requirement of the C 12.24.2(2) to be fill the requirement of the C 12.24.2(2) to be fill the requirement of the C 12.24.2(2) to be fill the requirement of the C 12.24.2(2) to be fill the C 12.24.2(

Mechanical

Plumbing installation shall comply with S.C.B.C. Fail 7 B.C.B.C. T.31 7.36.4 and the "Consident Recitical Code". "Immiling cereboars in a ballow for fails 12 esterior has better of the convenient fooding Confloration by provider. Not work healths, of type 3 failed the layer which the make resistance lacking in allowing another tall water healths of the second to describe with metal of designed to inself better fill soid. Need group performance requirements to comply with E.C.C. India 7.3 3 in...

Idol Worler Heoler (Storage Type-Techtic) See B.C.B.C. Toble 9:38.4 Size 2721 (46 kmg. gold.) Input 240VAC, S123W, Performance Standardts): CAN/CSA-C191 Performance & Regularment/St Shanding Nasi (now.): 19 (10p hirty): 19 (Ecition Iride)

eating and/or all conditioning systems are to comply with 8 C 9 C 1.32.3, and 1.24.3. Educt sizes lone and ventilation regularments to the vertilled prior to halostaten and h manufactures specs. Souchood heaters to be installed

I fars and ducts are to meet the minimum requirements of the E.C.E.C. and manufacture

Litchen fant See B.C.B.C.; Toble 1.21.3.4. Publis 1.22.3.8.(3);
47 Sier pet second blokmiffelet 8 Sips external staffic pression
Out Sias (Tolomately) (125mm sjek).
Duct shaft Der annoombrussible commistin earlisted and cit annoble, equipped with a grease
Blor of six fished, and mail secend Tym and 2 elbows (Equivalent length of 23m)

Fon 1 (fetheram Fon) See E.C.R.C. Table 9.32.3.4. Table 9.32.3.6.(3).

23 We per second infermittent or 1 the per second confissions 6 50 po External state pressured to the person of t

Out not necessal, also most a senses, (conviousness regions of Jam)

Thoral (Principal dishoust Pool) \$= 15 C. C. Toble \$2.3.3.5 (b)

Unith A. N. 3.1 Uses per second cerefluorous & Stope External Notic persons

1.31. mm, Bankh \$10,00,00,00

Unit not necessaries and the second of the second secon

The hardware a control range of a 1.8 seek.

The Day (Archited Information) Leve E. C. E. Indie F.32.3.5. Indie F.32.3.8.13)

White C. S. 121 User per second confinence & Elope Lakenoll sinch pressure

132 men install. 130 men rights. 130 men rights

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Size (Dismails) — 132 men install. 130 men rights

Size (Dismails) — 132 men install. 130 men rights

Size (Dismails) — 132 the principal ventilation incated in a to have a sound rating of 1.0 series

Central Rechaustion System Supply to be used.

One (1) Fan 2" to be mounted in utilic space. One Veni to be exterior mounted to draw to de
hom the undrivers upstace from the man the Central Rechaustonen System Supply frincipal Exhaust

Control technologies. System Supply to be used.
One (1) True 3' to be assumed in just space. One Yest to be extenter manned to drow in oir from the extentions supplied from the extention supplied from the supplied

Yeal 1: (Redricer Canbol Tecksulphen Supply Yeal) To be mounted in a suitable liscusion downskeam from the Central Tecksulphen Exhaust fan

Veri 2: (Convinon Asea Central Restocutation Supply Veril)
To be mounted in a suitable location upstream from the Central Recovarian Principal
Extremal Fan.
Ducts for Central Recovarian System:
See S.C.E.C. Table 7.32.3.1(3), for sisting

Electrical Panel

Sectrical Focisities to comply with \$.C.E.C. 7.34 and 7.34. Clockical Familia to be included inside exterior Garage wall, or mechanical soom if provided.

Secondary Sultes

enday sylles to comply with ECEC 7.37.

condary suffer filtering Enhancis Fan and Central Backculation System and off switch to be unded in the primary residence. On/Off entitches to be to belief TRIANART EXHAUSI FAN FOI CORDART SUITE: All deut chases revet not penetrally salted wall assemblies and are in be rolled to adde

All tests portform vicibs in home adds blocking learning over within fixed joint confer, considered with a second process of the conference of the conferen

Crawl spaces

Coverlapora to comply with 1 is.

Hearted cover spore vanishing to comply with 6 C.E.C. 7 323,37

Consectors to sure headed cover iscore an verted kind primary firing space by him [2].

22cm (Form 5 cm) galler and leader are and fisher even. Therefore covering state is divided byte header of the covering state of the covering st

red space access to be a 400mm x 740mm (22" x 24") hatch type access placed in either layingly room, mud room, wolk in closed up in a location specified on the plans.

Besign and plans are covered by copyright low and are the sale properly of Victoria Design thritised and may that be reproduced or used in any form writhout writtee permission from some Victoria Besign Umbed permits the prochases to construct only one (1) dwelling per surchase of plans.

Thermal Resistance of Wall. Ceiling, and floor Assemblies

At thermal resistance calculations where done using the parallel path method as described in S.C.S.C.A-F.34.2.4(1)

Common Building Materiots

politica		Sheathina	
Cencrete Rice Siding (Harlsonfol Lop, Fanet, or Shingle Funet) 23mm Risk Cedar Siding (Integree and groove or but Joint). 600mm Wood Singles Siding volt 150mm Sapouver. Matalar vinyt Siding over sheathing: 51mm (2) Tink Life-Manniderhard Signe Veneer. 17mm (3/4*) Thick Sivice Robin.	0.03 ESI 0.24 ESI 0.15 ESI 0.11 ESI 0.02 ESI 0.02 ESI	12.5mm (1/27) Plywood (Genetic Selbeood) Sheething 15.2mm (3/87) Plywood (Genetic Lichteood) Sheething 15.5mm (3/47) Plywood (Genetic Selbrood) Sheething 12.5mm (3/47) Oriented Strondtoord Sheething 15.5mm (5/87) Oriented Strondtoord Sheething 15.5mm (5/87) Oriented Strondtoord Sheething 15.7mm (5/87) Gyptom Sheething:	0.11 83 0.34 83 0.76 83 0.12 23 0.15 83 0.10 83
Shuctural Framing Members		losylation	
Samm Spruce-Pine-Fir Shuds or Joists (on flat):	0.32 851	£12 Fibre Glass Bell Insulation	2,11 85
Brnm+Bhron (2=4) Spouc e-Pine-Pk Shuds or Joists:	0.76 838	£17 Fibre Glass Bull Insulation (£20 Compressed):	3.34 13
#mm+140mm (2+6) Spruce-Pine-Pr Study or Johns:	1.17 838	E20 Fibre Glass Ball Insulation	3.52 11
Minure 185mm (2×8) Spruce-Pine-Fit Study or Joists:	1.54 852	E26 Fibre Glass Baff Insulation	4,93 21
Stmm=235mm (2=10) Spruce-Fine-Pt Studs or Jobits:	2.00 411	E31 Fibre Gious Bell Insulation	5.44 83
Brum=286mm (2=12) Spruc e-Pina-Pk Shuds or Jobils:	2.43 ESI	E40 Fibre Glass Buff Insulation	7.04 83
Himm (* 1/2") Wood I Spruce-Pine-Fr Jokts.	2.05 \$54	Gloss Fibre Loose III Insulation for affics (Fer most	0.01875 21
002mm (11 7/8") Wood Esprucy-Pine-Py Julyts:	2.57 \$51	12.7mm (1/2') Extructed Polystyrene (Type 2, 3, and 4)	0.44 21
100mm (6') Cast in Flace Concrete foundation Walt	0.08 852	25mm (1") Extended Folystymme (Type 2, 3, and 4)	0.50 21
		38mm (1 1/2") Extraded Polystyrene (type 2, 3, and 4)	1,26 1
Alt Films and Alt Cayttles		51mm (2") fatheded folystyrane (Type 2, 3, and 4)	1,71 8
		44mm (2 1/2") Exhauled Polystyrene (type 2, 3, and 4)	2.15 E
talefor Ab Flim (celling, floors and wath)	0.03 (3)	77mm (3') Extruded Polystyrene (Type 2, 3, and 4)	2.57 E
ntersor Air Film (Ceiling):	0.11 811	87mm (3 1/2") Extruded Folystyrene (Type 2, 3, and 4)	2,99 2
Inferior Air Film (Filtrer)	0.14 851	100mm (4") Extruction fullystycone (Type 2, 3, and 4)	3.34 1
nlerior Alt Film (Wolf):	0.12 138	12 Janes (1/2') Exponsion Followyrene (Type 3)	0.38 8
Smm (3/8") Woll (Sainscreen) Air Cavily:	0.15 257	25mm (1") Expanded Polystyone (Type 3)	0.74 1
Som (1/2") Wall All Cavily:	0.14 251	35mm (1 1/2') Expanded Foliphyrene (Type 3)	1.14 8
13mm (1/2") Colling (Bestlen) Metal Channel) Ak Cavity	0.15 RSI	\$1mm (2") Expanded Foliationne (Type 3)	1.50 E
		46mm (2 1/2") Expanded Folystyrene (Type 3)	1.07 8
nterior Wall and Ceiling Finishes		77mm (3") Expanded Folystysena (Type 3)	2.25 k
12.7mm (1/2") Gypsum Board (X-Type or Regular):	0.08 851	Afmire (3 1/3") Exponented Polystyrene (Type 2)	2.47 E
11.7mm (1/2) Gypsum Board (X-Type or Regular) 11.7mm (5/6') Gypsum Board (X-Type or Regular)	0.08 831	100mm (4") Expanded Folystyrene (Type 3)	3.00 E
return fale 1 exbense source fv-table ex pelliges?	0.04 835	\$7mm (2.1/4") Spooy Applied Polymetrane Foom (medlem	
		152mm (4") Spray Applied Polyarethane from (medium de	
Miscellaneous materials		184mm (7 1/4") Spray Applied Felywelhone Foom (medium	diensity) 4 44 1

Assembly Colculations for Effective £51 Values,

Permauble (#15 Eacting) FeE: 12 Fmm (1/2") time Eacod Mee

Epised Heef Wood Trusses © \$10mm (\$40) with Fibre Glass Loose Fill Insulation

	100				100	279mm (11") Fibre Glass Loose Fill Insulation	5.23 11
	Amendaming .	Ti uses of courty.		879	· 107	38mm-87mm (2-4) Bottom Trass Cherd & 410mm (24") with 87mm (3 1/2") Fibre Glass Loose (18 Insulation	1,54 25
L,	RSI = 100	55.47 RS	11 = 100	-	ESI = 1.54	mill Polysthylene Vopour Borrier 18 Prom (S/R*) Gypsum Board (X-Type or Begular): Interior Ak Film (Ceiling):	0.00 ES 0.00 ES 0.11 ES
						Total	4.76 E3

Interior Alt Film (Celling):

38mm=235mm (2=10) Rool/Deck Joist @ 404mm (16") with R28 Fibre Glass Bott Insulation

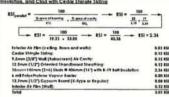
	100			100	Enoting Material (Any)
paniki "	Resent barries	Times of a notice EXI		110 - 411	15.5mm (5/8") Phywnost (Geraric toth-port) Sheathing: Stran-Etrous (2-4) Pustus & 404mm (14"):
_	ESI = 100	17.45 R	SI = 100 -	- RSI - 4.14	Exterior At Film (celling, floors and walls): 36mm*235mm (2+10) Julain & 405mm (14") with \$28 both trau 12.7mm (1/2") Exponded Folysysene (Type 3): 12.7mm (1/2") Gypsum Board (K-Type or Reprior):

Assembly Calculations for Effective ESI Values.

The JoSow Is in Sid of common thermal insembles that will never an inset boson

Exterior Jümm=140mm (2x6) Strat Wall © 406mm (16") with \$19 Fibre Gloss Batt Insulation, and Clad with Concrete Fibre Stains

Exterior Jämms 140mm (2x4) Stud Wall 9.404mm (141) with \$19 files Glass Batt Insulation, and Clad with Cedar Shingle Siding



floor Contilever, 240mm († 1/27 & 404mm (147) with R31 Fibre Glass



0.00 13

4.14 13 0.38 81

0.08 85

A1 General Notes

PROFESSIONAL SEALS

A2 Site Flan
A3 Elevations
A4 Foundation & Lower Floor Flan AS Main Floor & Upper Floor Flon A7 Accessory Building D1 Ealnscreen Details

ISSUED/REVISED NO. DATE DESCRIPTION 10/29/15 Client Review 2 11/02/15 Feer Review 3 11/20/15 Variance Reg'd 4 02/19/14 City Comments 5 03/07/16 City Comments

exchangements, seem to excessed most in Notice of an pair.

Note: 8 C.S. Se verify placement and affing of the thirthness but. General Contracts to work in conjuction, with 8 C.S. In excess proper placement of shorthness in the polar to sharify work. Insiding the placement of severifies in a single polar to that in the second section of the polar to the second second section of the second section of the second second second section of the second second

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GENERAL NOTES

Proposed Residence: Carlisle Properties 1115/17 Caledonia Ave. Victoria, B.C.

Received City of Victoria

MAR 1 4 2016

Planning & Development Department **Bevelopment Services Division**

SKETCH PLAN OF PROPOSED LOT 21 SUBURBAN LOT 17 VICTORIA CITY **PLAN 153**

CIVIC ADDRESS: 1115 CALEDONIA AVENUE VICTORIA. B.C. PARCEL IDENTIFIER NUMBER 004-594-606

LEGEND

DENOTES SPOT ELEVATION (TREES NOT PLOTTED TO SCALE) D = 4.8

ELEVATIONS ARE GEODETIC

FENCE & TREE LOCATIONS MAY VARY N-8.3

SITE AREA = +/- 602.4 SQUARE METRES

SITE DATA	1-74	
ITEMS	PERMITTED	PEOPOSED
LOT AREA		602.40 sq.m
LOT COVERAGE	32.00 %	30.13%
HEIGHT	7.60 m.	7.60 m.
STOREYS	1,5	2.5 •
SETRACES		
- FRONT (NORTH)	5.90 m.	4.88 m. •
- REAR (SOUTH)	20,00 m.	19,10 m.s
- SIDE (WEST)	3.40 m.	1.50 m. •
- SIDE (EAST)	1.50 m.	3.52 m.
- COMBINED	5.40 m.	5.02 m.
FLOOR AREA		
- UNIT A UPPER		41.41 sq.m.
- UNIT A MAIN		61.81 sq.m.
- UNIT B UPPER		41,41 sq.m.
- UNIT 8 MAIN		41.61 sq.m.
TOTAL PLOOF AREA	210.00 sq.m.	204.44 sq.m
- UNIT C		43,30 sq.m.
- UNIT D		43,30 sq.m.
F.S.E.	0.35 10 1.0	0.34 10 1.0
LANDSCAPING	38% (min)	38.75%
PARKING	5	4

VARIANCE REQ'D

Scale: 1:100

MAIN PESIDENCE: AVERAGE GRADE CALCULATION

MANI RESIDENCE AVERAGE GRADE CALCULATION

(ASS) 122-43 m. + 22-32 m. 1 + 21-32 m. + 22-42 m.

(ASS) 122-33 m. + 22-32 m. 1 + 21-32 m. + 22-43 m.

(ASS) 122-33 m. + 22-32 m. 1 + 21-32 m. + 22-43 m.

(ASS) 122-34 m. + 22-22 m. 1 + 21-32 m. + 22-43 m.

(ASS) 122-34 m. + 22-22 m. 1 + 21-32 m. + 22-24 m.

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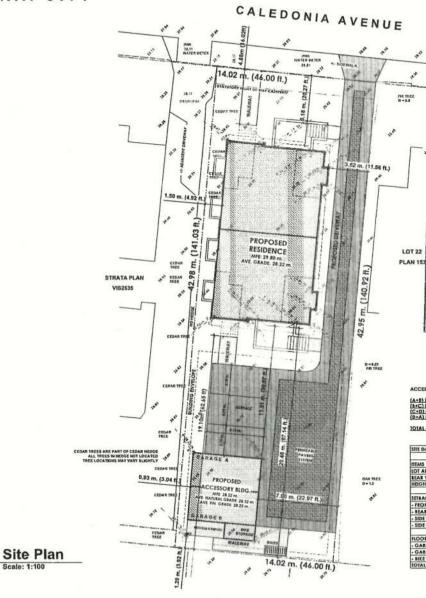
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(ASS) 122-32 m.

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IDIAL = 1433.19 + 50.79 = gye, grade 28.22 m.



Received City of Victoria MAR 1 4 2016 Planning & Development Department Development Services Division

ACCESSORY BUILDING: AVERAGE NATURAL GRADE CALCULATION

(A+B) [(28.62 m. + 28.60 m.) + 2] X 5.10 m. = 174.52 m. (A+C) [(28.60 m. + 28.45 m.) + 2] X 7.32 m. = 207.54 m. (C+D) [(28.65 m. + 28.74 m.) + 2] X 8.10 m. = 165.95 m. (D+A) [(28.74 m. + 28.62 m.) + 2] X 7.32 m. = 210.01 m.

TOTAL = 760.02 + 26.84 = ave, grade 28.32 m.

SITE DATA	R-74	ACCESSORY	
MEMS	PERMITTED	PROPOSED	
LOT AREA		602.40 sq.m.	
REAR YARD LOT COVERAGE	25.00 %	14.31%	
HEIGHT	3,50 m.	3.47 m.	
SETRACKS			
- FEONT (NOETH)	2.40 m.	11.91 m.	
- REAR (SOUTH)	0.40 m.	1.20 m.	
- SIDE (WEST)	0.60 m.	0.93 m.	
- SIDE (EAST)	0.40 m.	7,00 m.	
FLOOR AREA			
- GARAGE A		16.33 sq.m.	
- GARAGE B		14.33 sq.m.	
- BIKE STORAGE	A company of the	3.34 sq.m.	
TOTAL FLOOR AREA	37.00 sq.m.	34.00 tg.m.	

PROFESSIONAL SEALS

List of Drawings A1 General Notes A2 Site Plan A4 | foundation & Lower Floor Plan A5 Main Floor & Upper Floor Plan A4 Section A7 Accessory Building

D1 Roinscreen Details D2 | toinscreen Details

NO. DATE DESCRIPTION
1 10/27/15 Client Review 2 11/02/15 feer Review 3 11/20/15 Variance Reg'd 4 02/19/14 City Comments 5 03/07/14 City Comments

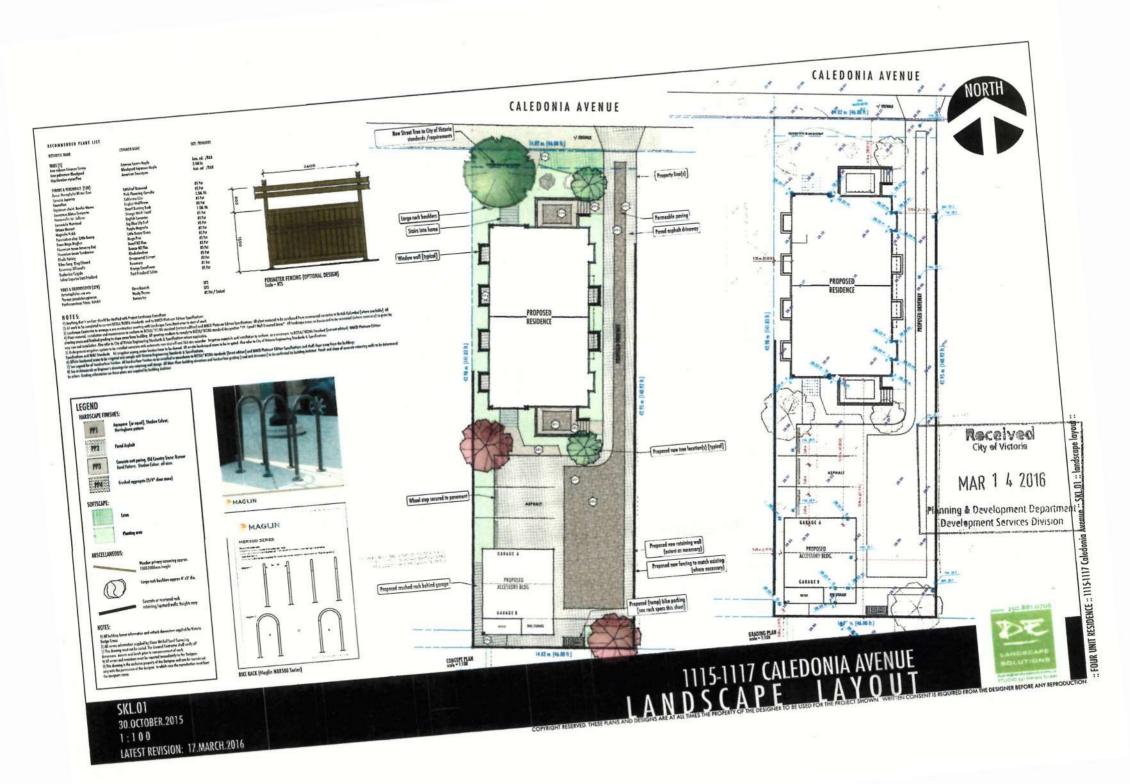
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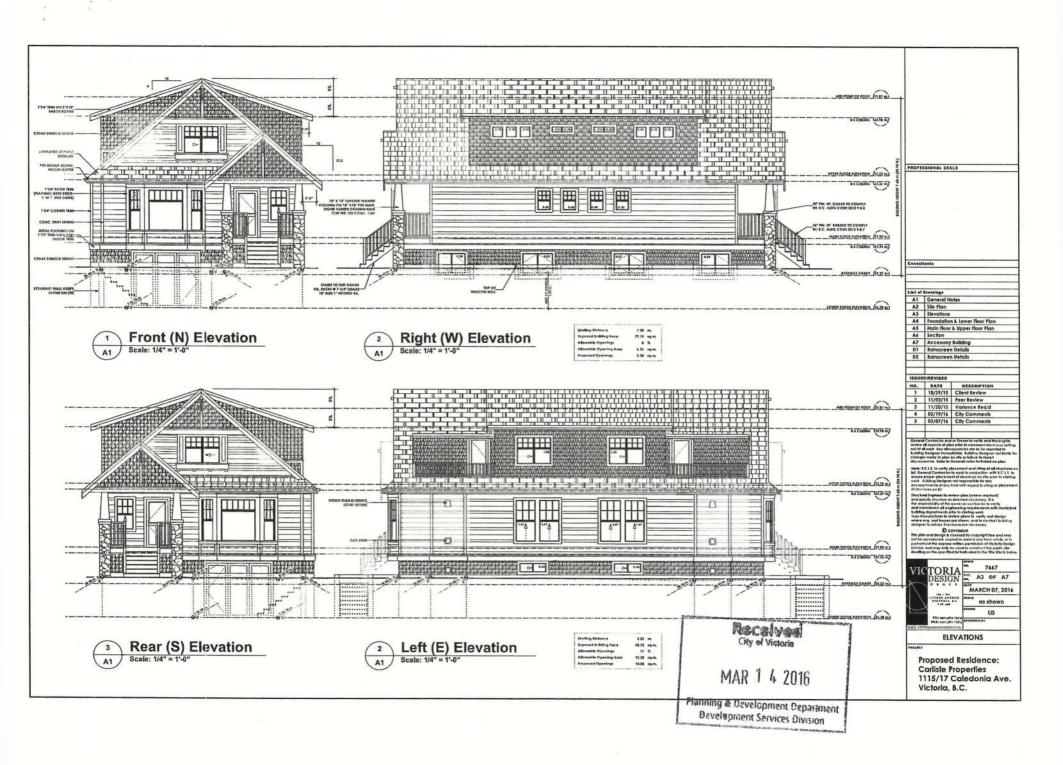
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not be repoduced, capital or used to any fains whole as in

VICTORIA
DESIGN MARCH 07, 2016 as shown 115

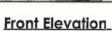
SITE PLAN

Proposed Residence: Carlisle Properties 1115/17 Caledonia Ave. Victoria, B.C.

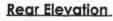














Right Elevation



Left Elevation

Received
City of Victoria

MAR 1 4 2016

Planning & Development Department
Development Services Division

PROFESSIONAL SEALS

Cessultants

List of Brawings

A1 General Notes

A2 Sile Fion

A3 Front & Right Bevoltons

A4 Leve Floor Hon

A5 Foundation Fron

A7 Moin Roor Fron

A8 Upper Floor Floor

A9 Section

D1 Econocreen Details

D2 Econocreen Details

2 11/02/15 Peer Review

DATE DESCRIPTION 10/29/15 Client Review

sharings made to plan on the or follow to report discrepancies. Belor to General nates included on plan. Nate: B.C.L.S. to verify placement and althy of oil shuctures let General Carlosciar to work to conjuction with B.C.L.I. In enurs proper placement of shuctures on the prior is shuffered. National Carloscian is expendable for any shuffered.

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workwold Engineer for review plan (where required),
and specify strockive as desirmed necessary. It is
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and sometistics of engineering requirements with much
voliding departments price to a testing work
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vol. Manufacture for serview plans to welly roof design.

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DESIGN

Int. A 3 OF A9

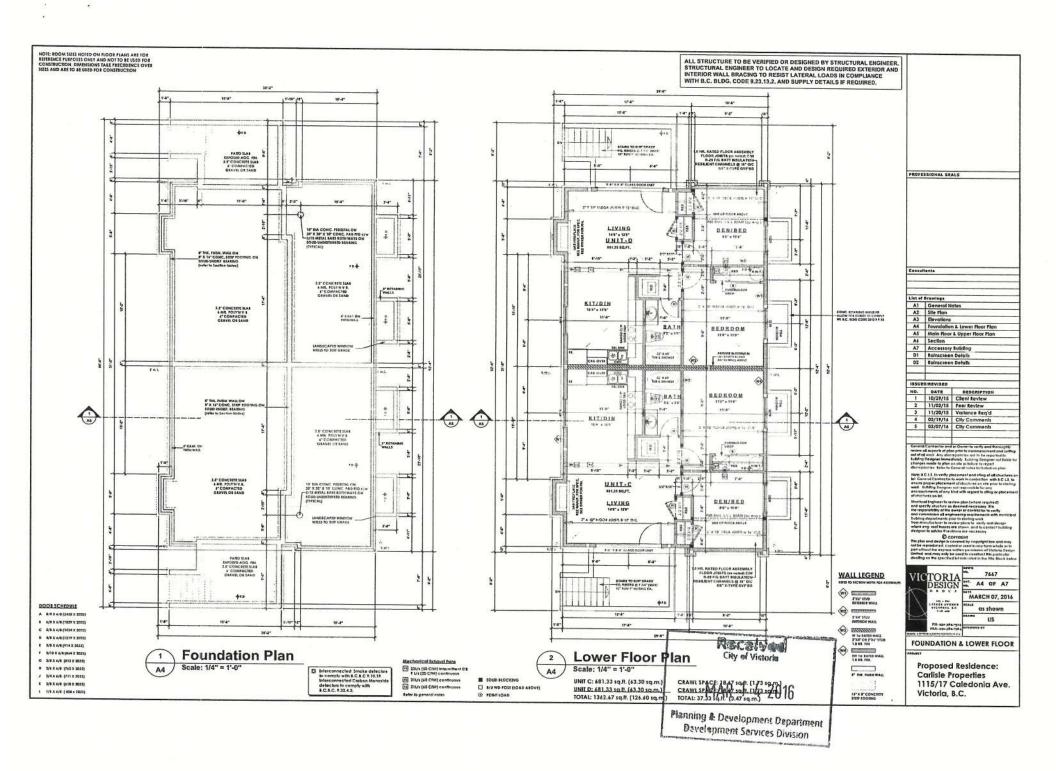
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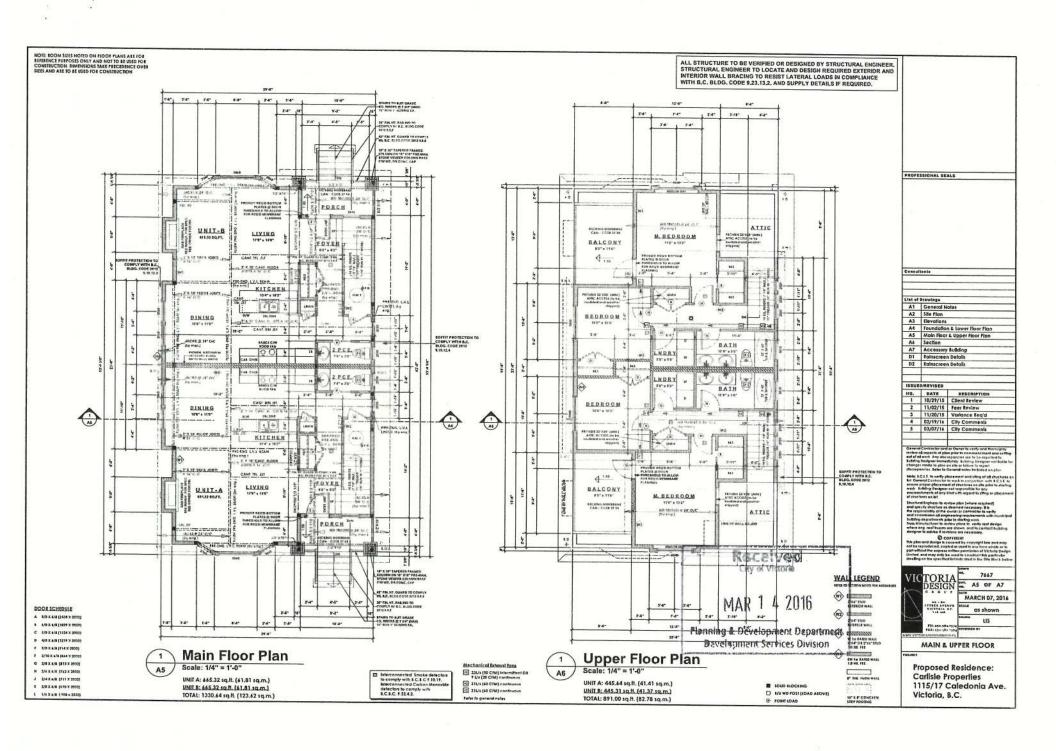
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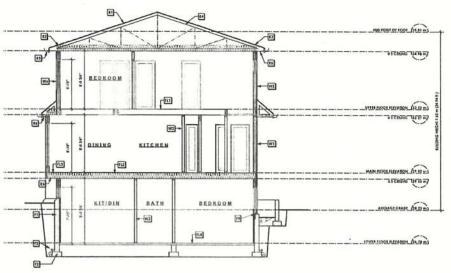
ELEVATIONS

PROJECT

Proposed Residence: Carlisle Properties 1115/17 Caledonia Ave. Victoria, B.C.









Roofs & Ceilings

- LAMINATED ALPHALT SHRIGLES ON 1/2" OBENTED STRAIDS BOARD C/M "PE CLPS WD FLUSSES (OBENGING BY MANUE) 14.5" FREE GLASS LOCKE MIL BRIGLATION 4 ME FOLYN V.B. 5/8" CATSIAN BOARD

- PROVIDE 1 SQ PL ATTIC VINT PER 100 SQ.T. OF INCURATED AREA MIN. 25% OF REQUIREDTO SE 9 TOP AND SOTTOM (to comply wi. 8 C. bldg. code 1.17.1)
- PRE-THE ALLMAINNIM FASCIA GUITER
 2"X8" FASCIA BD.
 2"X4" SIGN FASCIA BD.
 VISHED SOFTEM
 10 COMPLY WE ALL BLDG. CODE
 1012 7.10.15.5.(10)
 (verify molecial)
- SORIT PEDITECTION TO COMPLY WITH E.C. SLDG, CODE 2012 1.10.12.4 (verBy material)

Floors

- PLS. FRESHED SLOCKING ON SIFTER FLOOR SHOULD ON EQ. (solled 6. Shade of floor short, below) ON TX16" FLOOR JOHT 8 12" OF 14" O/C.
 C/Y 2" 2" X-REDGING 8 7.8" O/C (mox)
 1/2" GTF1UM ROALD
- FILE FROM THE FOOTING ON STATE AND THE FOOTING
- PRESIDENCE CONTROL OF STATE OF THE STATE OF
- FIA. 3 1/2" CONCERT SLAB & MEL FOLYN V.E. &" COMPACTED GRAVE OF SAND
- FIS. EXPOSED AGG, FIN: 3.3" CONCRETE SCAB 6" COMPACTED GRAVEL OR SAND (p08b)
- FIA. DECEMBEN MAMPEANE (the comply with CANACOSS 37,44) ON 31° CHILLING DIRANO SOARD C'N' "C' CUPI 2-10 DECE JOSIT 8 11° O/C C'N 2-30 DECE JOSIT 8 11° O/C C'N 2-30 BENEFAT NATIONE BARRIE (provides designoise mambrone "upstantif" 8 axt well (table plants to provide wint.150 sleps)

Walls

- WI. CONC, FREE LAF SIGNAG ON

 1.5-mm (ANF) ARE PACE; STRAFFING

 2.10-T-3 FORMAT IELAND A THYMOGO STRAFFING

 OFFICIAL AND AND AND A THYMOGO STRAFFING

 OFFICIAL AND AND A THYMOGO STRAFFING

 1.70 CHEMICAL AND A THYMOGO STRAFFING

 1.70 CHEMICAL AND A THYMOGO STRAFFING

 1.77 CHEMICAL AND DESCRIPTION SOARD

 Dark to Admits on D))
- BITLESOE PARTITION

 I/3" GYPSUM BOARD ON EACH SIDE

 OF 2-4 STUDS & 15" o/c DE

 2-4 STUDS & 16" o/c (8 noted)
 - B.C. SUILDING CODE 2012 (A-7,10.3.1.A)
 RATIO WALL ASSEMBLY WISE
 1 LAYES ##. THPE OFFSUM SOAED ON
 EACH BIDG OF 2-4 \$ TOOD \$0.11 ** O/C CR
 2-4 \$ SUIGS \$1 ** O/C CR # coled 1; c/*
 3 1/2" FIREE GLASS \$1000M D RATIS
 PRICTION HITTOR AND 1000 PRILED
 1 REL. F.R. \$2.3 & 1.7.C.
 [ORT INNOVAL IN 10 ** CROSS)
 - WE ALL BUILDINGS CODE 2012 (A-1, 10.2.1.A)
 CONCERNED STATE OF THE STAT
 - CEDAR SHINGLE SIDING ON 3/8"-2" BORATE TREATED PLYWOOD

- WE. DOUBLE GLAZING IN THERMAL BEEAU FEAMES
- DOUBLE GLARMO IN INTERNAL BEAK FRAMES
 HERMAL START, PRAME FRAME
 HARM START, PRAME FRAME
 HARMOR GOVER & EXTERNO
 HARMOR MARKET TO ENGLISH AND HARMOR & DOOS
 HARMOR MARKET TO ENGLISH AND HARMOR & DOOS
 HARMOR MARKET TO ENGLISH AND HARMOR & TOO ENGLISH
 AND HARMOR HARMOR AND HARMOR START GRANGE & EXTERNO
 HARMOR HARMOR HARMOR HARMOR HARMOR AND HARMOR HARMOR
- W7. 10" (IA-FEED) FRAMED COUGHN ON IF X 16" FRI-MARK, SIDNEY VINETE COUGHNS ASE 7/14" "STROOD SHEARMING OF BO, ON IF X 6" FUEEDIO (on suppliess) CONCEAUDE A. 1" X 6" VID FOST ANCHOSED TO 10" GIA COME, FRODERIA OH 37" SD" 18" COME, FRODERIA OH 37" SD 10" RECOURTED SEATON (TITYCKA)

Foundation Walls

- BAMPROOFING (where required) ON 8" HK. CONC. FOUNDATION WALL C/W 15 M BARS # 24" o/c E/W
- 16"X S" CONC. FOOTINGS C/W 2 (TWO) 15m EARS CONT. 3 IN. FEOM LOTT ON UNDISTUESED SOIL (SOLID BEARING)
- ANCHOE SOLIS & 4.0 FL B/C MAK C/W SILL GASKETS
- UNDER SLAS INSULATION
 2 1/7/ (531 2.15) EXTRUDED POLYSTYRENE
 SIGNO INSULATION #**-0**(1.2m)
 SIGNO INSULATION #**-0**(1.2m)
 SIGNO INSULATION #**-0**(1.2m)
 SIGNO INSULATION SIGNO
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 (VERTICALLY FOO SLASS ASOVE FROST UNE.
 (verify with municipality depth of best los)

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Planning & Development Department Davelspment Services Division

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BLDG. CODE 9.23.13.2. AND SUPPLY DETAILS IF REQUIRED.

PROFE	SSIONAL SEA	NLS								
Consul	tents									
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Lint of	Brawings									
Al		oles								
A2	Site Plan	General Notes Site Plan								
A3	Elevations									
A4	Foundation & Lower Floor Plan									
A5	Main Floor & Upper Floor Flan									
As	Section									
A7	Accessory	Building								
DI	Rainscreen									
D2	tainscree	n Detalls								
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NO.	DATE	DESCRIPTION								
1	10/29/15	Client Review								
2	11/02/15	Feer Review								
3	11/20/15	Variance Req'd								
4	02/19/16	City Comments								
5	03/07/16	City Comments								
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Note: It	C.1.5 to verify p neral Centrector proper place and 1. dailing Designer schments of any	for ament and along of all shuctures; to work in conjuction, with E.C.L. is not of shuctures on alle polar to sturing right requirelles for any Aland with required to pling or placeme								
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and co hultely hyes A where	ommission of engine deportments promote the same series of the same se	when plan (where required) is the med in a centry. It is a continue to the verify fire edge requirements with municipal clar to standing wants with a centry view plants to verify and design are always, and so can hop? I will always a centry of the centry								
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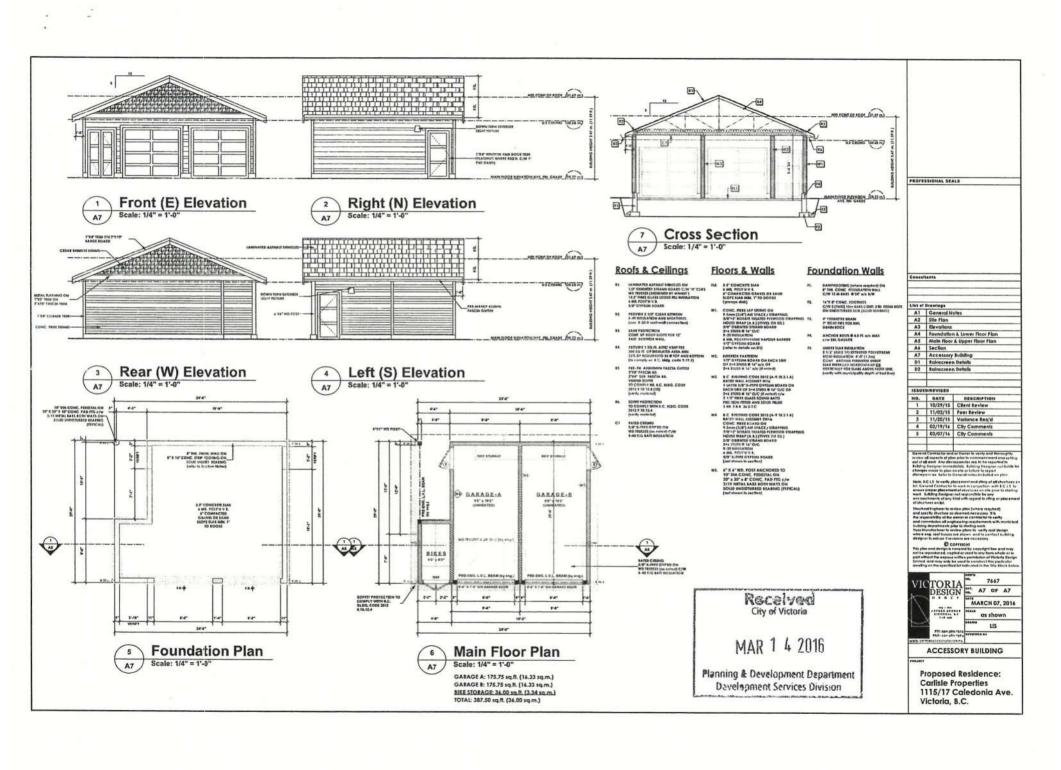
Proposed Residence: Carlisle Properties 1115/17 Caledonia Ave. Victoria, B.C.

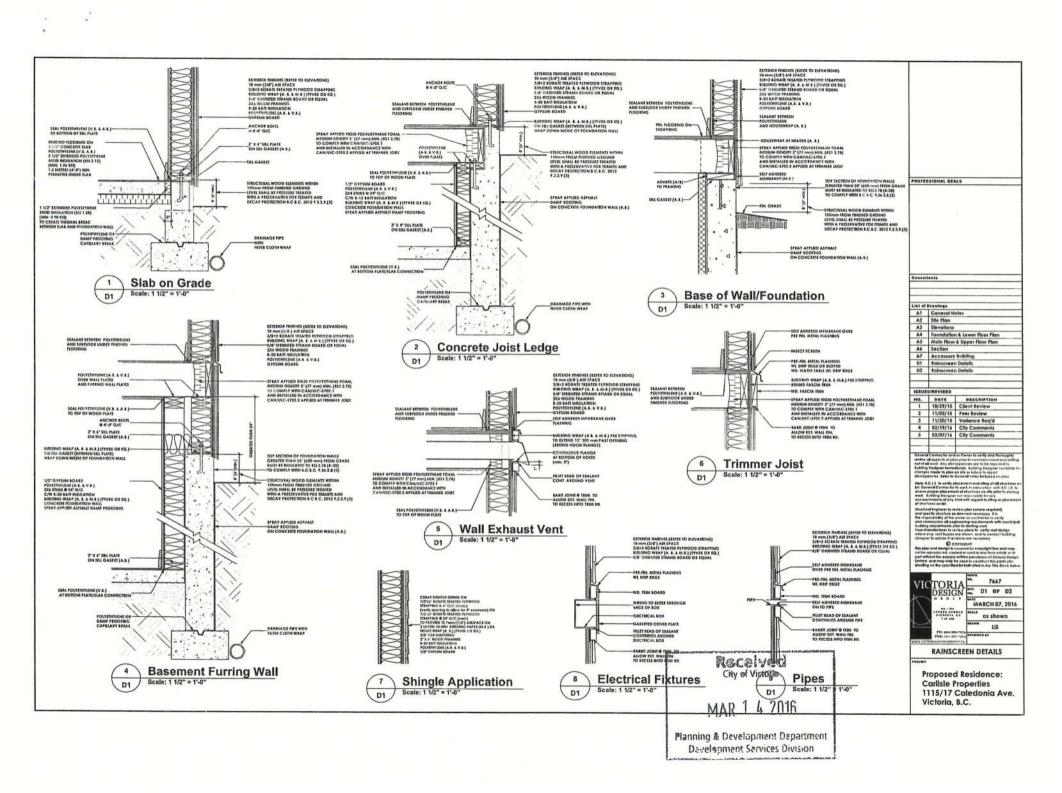
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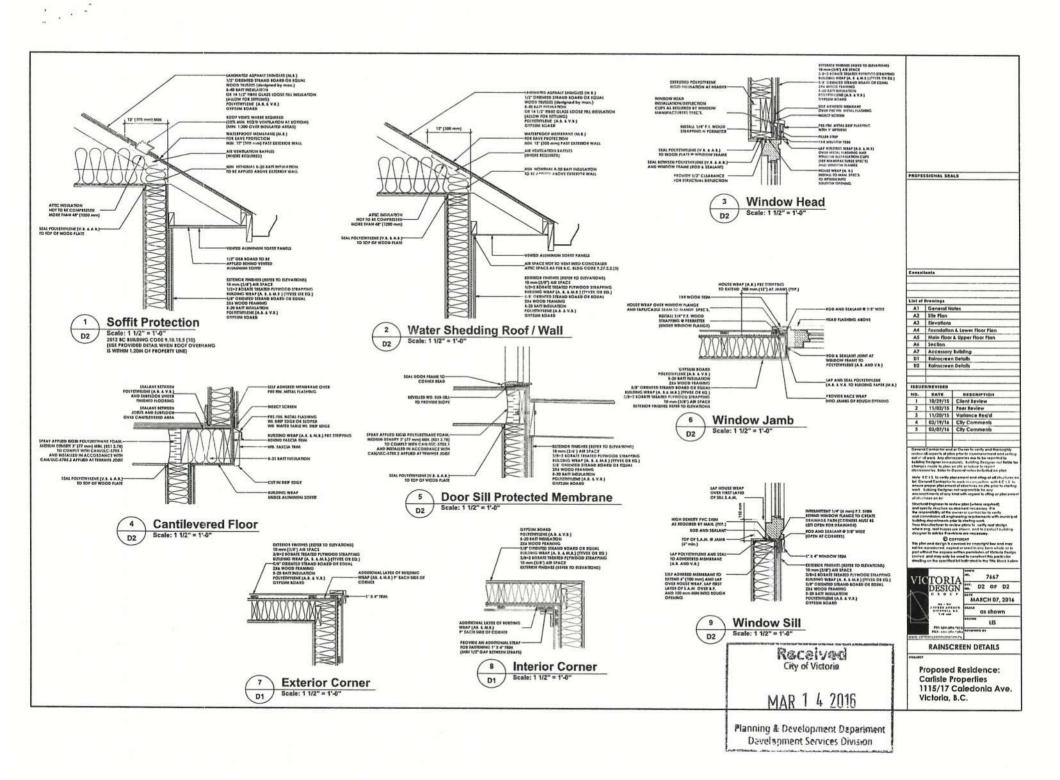
MARCH 07, 2016

as shown

LIS









1 Street Scape
| Scale: 1/4" = 1'-0"

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MAR 1 4 2016

Planning & Development Department Development Services Division

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Lint of	Drawings.	
Al	General Notes	
A2	Site Plan	
A3	Elevations	
A4	Foundation & Lower Floor Plan	
A5	Main Floor & Upper Floor Plan	
A4	Section	
A7	Accessory Building	
D1	Rainscreen Deloits	
D2	Eginscreen Details	
	DIREVISED	
NO.	DATE	
1	10/29/15	Client Leview
2	11/02/15	Peer Review
3	11/20/15	Variance Reg'd
4	02/19/14	City Comments
5	03/07/14	City Comments
	13,317.1	20, 32,000
Genera	of Confractor and	or Owner to verify and thoroughly
Building Change	oll work. Any disc p Designer Imme so mode to plan	on prior to commencement and set reparatise are to be reported to district, Sudding Datignar not fishi an alle as fathers to report Departed notes buchaded on plan
		locoment and sting of all stricture.

MARCH 07, 2016

STREETSCAPE

Proposed Residence: Carlisle Properties 1115/17 Caledonia Ave.

Victoria, B.C.