



Planning and Land Use Committee Report

For the Meeting of October 1, 2015

To: Planning and Land Use Committee **Date:** September 17, 2015

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: **Development Permit with Variances Application No. 000404 for 701 Tyee Road (Railyards)**

RECOMMENDATION

Staff recommend that Committee forward this report to Council and that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 000404 for 701 Tyee Road, in accordance with:

1. Plans date stamped August 24, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the north setback (Gaudin Road) from 3.5m to nil;
 - ii. reduce the south setback from 4m to nil for Phases 1 and 2;
 - iii. reduce the south setback from 4m to 3.5m;
 - iv. increase the height in DA-H from 24m to 25.49m for Phase 2;
 - v. increase the height in DA-J from 31m to 33m for Phase 3;
 - vi. reduce parking from 50 stalls to 49 stalls for Phase 1;
 - vii. reduce parking from 185 stalls to 178 stalls;
 - viii. reduce the bicycle storage (Class 1) from 40 stalls to 28 stalls for Phase 1.
3. The Development Permit lapsing two years from the date of this resolution.
4. Revised plans to the satisfaction of staff that:
 - i. either enclose or screen the proposed garbage enclosure adjacent to Gaudin Road;
 - ii. provide further details of the proposed grass pave finish;
 - iii. provide comprehensive details relating to landscaping for Phases 1 and 2;
 - iv. provide reduced annual landscaping maintenance costs within Bridges Park and along Tyee Road.
5. Referral to the Advisory Design Panel for a comprehensive review and with particular attention to the following issues:
 - i. the design of building entrances facing Tyee Road;
 - ii. the design and appearance of the "Sky Home" end units;
 - iii. the treatment of parkade walls that project above grade.

6. An amendment to the Railyards Master Development Agreement, to the satisfaction of staff, to:
 - i. address proposed revisions to the public parking required in conjunction with Bridges Park and the path from Tyee Road to Central Spur Road;
 - ii. secure cost estimates for all required on-site services, off-site services and public amenities prior to any building in proposed Phase 1 being occupied.
7. A Public Access Easement registered on title, to the satisfaction of staff, to secure public access through the site from Tyee Road to Central Spur Road.
8. A Statutory Right-of-Way registered on title, to the satisfaction of staff, to secure public access to the Victoria West Entry Park and public pathways located on private land adjacent to Tyee Road.
9. That Council authorize staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m² of exposed shored face during construction, in a form satisfactory to staff.

LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan, 2012*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 920(8) of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, siting, form, exterior design and finish of buildings and other structures.

Pursuant to Section 920(8) of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of commercial, industrial and multi-family residential development, a Development Permit may include requirements respecting the character of the development including landscaping, siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 701 Tyee Road. The proposal is to construct 144 residential units in three phases on Lots H and J (the undeveloped portions) of the Railyards development.

The Application proposes the following variances from the *Zoning Regulation Bylaw*:

- reducing the north setback (Gaudin Road) from 3.5m to nil
- reducing the south setback from 4m to nil for Phases 1 and 2; this setback variance will be 3.5m on completion of the development
- increasing the maximum allowable building height in DA-H from 24m to 25.49m for Phase 2
- increasing the maximum allowable building height in DA-J from 31m to 33.01m for Phase 3
- reducing the bicycle storage (class 1) from 40 stalls to 28 stalls for Phase 1; the number of bicycle stalls will exceed the number required by the *Zoning Regulation Bylaw* for the entire project following the completion of Phase 2

- reducing parking from 50 stalls to 49 stalls for Phase 1
- reducing parking for the completed project from 185 stalls to 178 stalls.

The following points were considered in assessing this Application:

- The applicant wishes to develop the site in three phases and, as each phase must be reviewed against the *Zoning Regulation Bylaw*, this results in some variances that will not exist, or will not exist to the extent proposed, at the completion of the project.
- The proposal is generally consistent with the *Railyards Development Guidelines*, however, staff recommend that some minor revisions are made to the plans to address issues relating to garbage areas and landscaping.
- An amendment to the Railyards Master Development Agreement (MDA) is required to address proposed revisions to the required public amenities, namely the public parking associated with Bridges Park and the path from Tyee Road to Central Spur Road. The MDA should also be amended to ensure that any necessary cost estimates and security is provided before the proposed Phase 1 building is occupied.
- The Application proposes 195 parking stalls, however, 17 of the stalls are either small car stalls or tandem stalls and do not meet the requirements of Schedule C of the *Zoning Regulation Bylaw*. The parking requirement for this project is 185 stalls, therefore, the proposal would result in a seven stall parking variance.

BACKGROUND

Description of Proposal

The proposal is for 144 residential units on the undeveloped portions of the Railyards development. Specific details include:

- The development would be constructed in three phases. Phase 1 would be located at the corner of Gaudin Road and Central Spur Road and would consist of 40 residential units. Phase 2 would be located immediately to the south of Phase 1 and would consist of 38 residential units. The final Phase would be located immediately to the north of the Point Ellice Bridge and would consist of 66 units.
- The tallest buildings would be located on Tyee Road with the building heights ranging from three to seven storeys. Building elements fronting Central Spur Road would range from two to three storeys in height.
- The proposed 144 units would be in the form of apartments units ranging from studios with a floor area of 36.7m² to two bedroom plus den units with a floor area of 130.4m².
- The development would have the appearance of several individual buildings above a shared underground parkade.
- Access to the underground parkade would be provided in two locations directly off Central Spur Road.
- The proposed finishing materials include corrugated metal cladding and fiber cement panels
- As required by the Railyards MDA, the plans indicate that the land located immediately to the north of the Point Ellice Bridge will be dedicated to the City for future bridge improvements/expansion
- The proposal includes the construction of a Park and Tot Lot between Central Spur Road and the Galloping Goose Trail. A "parkette" and neighbourhood signage will be provided at the corner of Bay Street and Tyee Road.

The proposed variances are as follows:

- reducing the north setback (Gaudin Road) from 3.5m to nil as a result of the underground parkade projecting above grade
- reducing the south setback from 4m to nil for Phases 1 and 2; this setback variance will be 3.5m on completion of the development
- increasing the maximum allowable building height in Development Area H from 24m to 25.49m
- increasing the maximum allowable building height in Development Area J from 31m to 33.01m
- reducing the bicycle storage (class 1) from 40 stalls to 28 stalls for Phase 1; the number of bicycle stalls will exceed the number required by the *Zoning Regulation Bylaw* for the entire project by 15 stalls following the completion of Phase 2
- reducing parking from 50 stalls to 49 stalls for Phase 1
- reducing parking for the completed project from 185 stalls to 178 stalls (7 stall variance).

Sustainability Features

As indicated in the applicant's letter dated August 20, 2015, the following sustainability features are associated with this Application:

- energy efficiency through orientation of windows
- reduced water use through xeriscaping in the plant selection and low-flush/dual-flush toilets with low-flow features
- installation of energy-star appliances
- provisions for future electrical charging station
- motion sensor lighting within parkade and corridor locations
- energy saving lighting in public space locations.

Active Transportation Impacts

The Application proposes the following features which support active transportation:

- 159 Class 1 (secure storage) bicycle stalls
- 18 Class 2 bicycle racks
- new public footpath from Tyee Road to Central Spur Road
- new public footpath (which can accommodate bicycles) from Central Spur Road to the Galloping Goose Trail.

Public Realm Improvements

The following public realm improvements are proposed and are required by the Railyards MDA:

- the construction of a Park and Tot Lot between Central Spur Road and the Galloping Goose Trail
- the construction of a "parkette," public footpaths and neighbourhood signage at the corner of Bay Street and Tyee Road.

In addition to the above, the applicant will also be constructing a new bus stop on Tyee Road.

Existing Site Development and Development Potential

The Application site is located within Development Areas H and J of the CD-5 Zone, Railyards Residential Commercial District, which permits apartments, live/work and park uses with a maximum floor space ratio (FSR) of 2.25:1 in Development Area H and 2.35:1 in Development Area J.

Data Table

The data table is attached as Appendix 1 and compares each phase of the proposal with the regulations for Development Areas H and J in the existing C-5 Zone, Railyards Residential Commercial District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on August 25, 2015, the Application was referred for a 30-day comment period to the Victoria West CALUC. At the time of writing this report, a letter from the CALUC had not been received.

This Application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 13: Core Songhees. The applicable Design Guidelines are the Railyards Development Guidelines. The proposal is consistent with these Guidelines as follows:

- the proposed design reflects the industrial nature of the site and is complimentary to the completed phases of the Railyards development
- the proposal contributes to the public park system in the Victoria West Neighbourhood by providing a park, children's play area and several public footpaths through and adjacent to the site
- the buildings with the highest residential density are located adjacent to the Point Ellice Bridge
- the development includes a variety of expressive roof forms
- architectural features such as balconies and recesses have been used to articulate the proposed buildings
- strong colours are proposed to add visual interest to the buildings
- the use of corrugated metal and fiber cement panels is consistent with the recommended wall cladding materials listed in the Design Guidelines
- a mix and range of unit types are proposed with the floor area of individual units ranging from 36.7m² to 130.4m².

Notwithstanding the above, staff recommend that Council consider referring the Application to the Advisory Design Panel for a comprehensive review with particular attention being made to the following issues:

- the design of building entrances facing Tyee Road
- the design and appearance of the “Sky Home” end units
- the treatment of parkade walls that project above grade.

Proposed Variances

Parking

The Application proposes a total of 195 parking stalls within an underground parkade. However, 17 of these stalls are either identified as small car stalls or tandem stalls and do not meet the requirements outlined in Schedule C of the *Zoning Regulation Bylaw*. As the proposal requires 185 parking stalls and only 178 stalls meet the Schedule C requirements, the Application technically results in a seven stall parking variance. The total breakdown of parking stalls is outlined in the table below and an asterisk marks where a variance occurs:

PROPOSED PARKING														
Phase 1					Phase 1 & 2					Phase 1, 2 & 3				
Regular Stalls	Zone Standard	Small Stalls	Tandem Stalls	Total	Regular Stalls	Zone Standard	Small Stalls	Tandem Stalls	Total	Regular Stalls	Zone Standard	Small Stalls	Tandem Stalls	Total
49*	50	5	3	57	100	99	8	5	113	178*	185	12	5	195

Notwithstanding the above, the proposal would result in parking ratio of approximately 1.2 parking spaces per dwelling unit which is considered appropriate to address parking demand for an apartment development in this location. In addition, the small car and tandem stalls will still be available for use by residents.

Height

The Application seeks a height variance in Development Area H from 24m to 25.49m and in Development Area J from 31m to 33.01m. The building elements exceeding the maximum allowable building heights are solely parapet roof elements on the tallest feature buildings situated adjacent to Tyee Road. These parapet features have been included to address the Railyards Development Guidelines that recommends that buildings are designed with expressive roof forms.

Bike Parking

The applicant proposes to provide the majority of the bicycle storage in Phase 2 of the development. Therefore, at the completion of Phase 1 a 12 stall Class 1 bicycle parking variance is proposed. When the entire project is complete, the bike storage provided will exceed the *Zoning Regulation Bylaw* requirements by providing storage for 159 bicycles.

North Setback

The main north-facing building elevation is setback 3.5m from Gaudin Road. However, the underground parkade wall projects over 2m above grade and is located immediately adjacent to the property line. The plans indicate that the exposed wall would have a "green wall" treatment. Staff recommend that Council consider referring the application to the ADP to review, amongst other elements of proposal, the treatment of the exposed parkade walls that are clearly visible from public vantage points.

South Setback

Both Phases 1 and 2 would be constructed up to the proposed phasing line but the subsequent phase of development would occur immediately to the south of the preceding phase. The CD-5 Zone requires a 4.5m south setback, however, the completed project would be setback 3.5m from the property line. This is a result of the land immediately to the south of the development being dedicated to the City for the purpose of future improvement to the Point Ellice Bridge.

Recommended Plan Revisions

Garbage Area

Initial plans submitted by the applicant indicated a garbage pickup location on Central Spur Road. However, to accommodate garbage truck manoeuvres, a turning head would likely have been required that would have had a significant impact on the proposed Bridges Park. As such, the plans now indicate that a garbage pick-up area will be provided immediately adjacent to Gaudin Road. The Railyards Development Guidelines state that recycling and garbage areas should be fully enclosed within buildings, rather than in an open air location. Therefore, it is recommended that Council consider requesting revised plans that enclose the garbage area or satisfactorily screen it from public views.

Surface Treatment and Landscaping

The Application proposes extensive areas of grass pave surface treatment to accommodate emergency fire truck access adjacent to Tyee Road. Staff recommend that Council consider requesting that the applicant provide further details of the grass pave treatment to ensure it is both visually acceptable and has long term durability.

In addition, the revised plans should include all landscaping elements associated with each phase of the project regardless of whether that landscaping is temporary in nature. The plans submitted do not comprehensively illustrate this level of landscaping detail.

With particular regard to Bridges Park and along Tyee Road, in an effort to reduce annual maintenance costs, staff recommend that Council consider requesting that the applicant provide revised plans that will reduce the annual maintenance costs. This can be achieved by reducing the shrub bed areas and revising the plant palette.

Railyards Master Development Agreement

The Railyards MDA requires that the following public amenities be constructed in conjunction with Lots H & J:

- Bridges Park and Tot Lot

- Public Parking (Bridges Park – 6 stalls)
- Bridge Dedication Landscaping
- Victoria West Entry Park (Tyee & Bay)
- Path from Tyee Road to Central Spur Road.

The Application responds to the above as follows:

Bridges Park and Tot Lot

The Bridges Park and Tot Lot would be constructed at the southern end of the site, adjacent to the Galloping Goose Trail, consistent with the MDA requirements and the Railyards Development Guidelines.

Public Parking (Bridges Park)

The applicant is no longer proposing parking spaces specifically for Bridges Park. Instead the Application proposes to use this space for additional park area which allows for a public footpath link to the Galloping Goose Trail with a gradient of less than 5% making it accessible to cyclists. Staff recommend that Council consider supporting this solution as it encourages modes of active transportation and, given the location of the park, visitors are likely to cycle or walk to it.

Bridge Dedication Landscaping

The applicant proposes to dedicate a landscaped area immediately to the north of the Point Ellice Bridge to the City, consistent with the MDA.

Victoria West Entry Park

The Victoria West Entry Park is proposed on the corner of Tyee Road and Bay Street and would consist of a small “parkette” with seating, pedestrian pathways, an improved transit stop and a new neighbourhood sign. The design and layout of these features are considered to be generally consistent with the Railyards Development Guidelines, however, the “parkette” and some of the pathways are located on private land and public access to these must be secured by a Statutory Right-of-Way.

Path from Tyee Road to Central Spur Road

A public pathway is proposed between Tyee Road and Central Spur Road consistent with the MDA. The MDA requires that the pathway be dedicated as Park, however, due to liability and maintenance concerns resulting from the underground parkade being located directly under the pathway, staff recommend that Council consider securing public access along this corridor by means of a Public Access Easement.

MDA Amendments

In light of the above, staff recommend that Council consider that the proposed design solution for the required public amenities are acceptable and that the MDA be amended to address the changes relating to the public parking for Bridges Park and the path from Tyee Road to Central Spur Road.

In addition, the MDA envisaged that the cost estimates and securities for required on-site services, off-site services and public amenities be linked to subdivision approval. As the Application now proposes a different approach to site subdivision, staff recommend that the MDA be amended to secure the necessary cost estimates and securities before the proposed Phase 1 building is occupied.

Encroachment Agreement

With any project of this scale that has significant excavation adjacent the road Right-of-Way, construction methods often require a form of underpinning which can result in material being left in the public Right-of-Way. The resulting material (typically rock anchors) present no concerns to the public interest, however, an Encroachment Agreement between the City and the developer is required. The staff recommendation that is provided for Council's consideration includes direction to allow staff to enter into an agreement, if the Development Permit Application is approved by Council and if underpinning is deemed necessary to facilitate the construction.

Community Garden

When considering an earlier phase (Lot E) of the Railyards development, Council made the following motion:

That staff be directed to explore with the applicant and the Victoria West Community Association the possibility of including a community garden with the phasing of Lots H and J.

In discussions with the applicant, it is apparent that the provision of a community garden is not feasible for the following reasons:

- The developer is required to complete Bridges Park and Tot Lot, Victoria West Entry Park, the final sections of Central Spur Road and dedicate land to the City adjacent to the Point Ellice Bridge in conjunction with Lots H and J.
- There is a substantial grade change from the east to west property boundary.
- The most logical location for a community garden, on the land least affected by the change in grade, would be where the Bridges Park and Tot Lot is proposed. Converting part of this area to a community garden would likely compromise the ability to provide a satisfactory footpath link from Central Spur Road to the Galloping Goose Trail or would result in the loss of the Tot Lot.

It should be noted that neither the MDA, the applicable CD-5 Zone nor the Railyards Design Guidelines identify the need for, or require that the Developer provide, a community garden at this location.

Resource Impacts

There are resource impacts anticipated with this proposal. As per the MDA, several public amenities will be provided as part of the of the Railyards development. Once completed, the maintenance of Bridges Park, the Tot Lot as well as the Tyee Road improvements will rest with the Parks Division. It is estimated that the annual maintenance of the landscaping and play structures will add approximately \$60,000.00 in annual maintenance costs. This estimate is based on 2015 rates and the operational impact is expected in 2018. The breakdown is as follows:

- shrub beds: \$37,000.00 (weed, mulch, fertilize and prune)
- new trees: \$5,000.00 (fertilize and prune)
- turf areas: \$4,000.00 (mow, trim and fertilize)
- irrigation infrastructure: \$2,000.00 (water meter fees, spring/winter maintenance)
- playground maintenance: \$7,000.00 (repairs and fiber surface grading)
- garbage pickup: \$5,000.00.

Additional capital implications are that the playground will require replacement in 15 years at an estimated cost of \$150,000.00 (plus inflation) and a full time employee (FTE) of 0.75 will be required to maintain this additional inventory.

The landscape areas in Bridges Park and along Tyee Rd are extensive. In an effort to reduce annual maintenance costs, staff recommend that Council consider requesting that the applicant provide revised plans that will reduce the annual maintenance costs.

CONCLUSIONS

The proposal to construct 144 residential units on the undeveloped portions of the Railyards development is considered generally consistent with the Railyards Development Guidelines. However, it is recommended that Council consider referring the Application to the ADP for a comprehensive design review.

The applicant wishes to develop the site in three phases and, as each phase must be reviewed against the *Zoning Regulation Bylaw*, this results in some variances that will not exist, or will not exist to the extent proposed, at the completion of the project.


An amendment to the MDA is required to address proposed revisions to the required public amenities, namely the public parking associated with Bridges Park and the path from Tyee Road to Central Spur Road. The MDA should also be amended to ensure that any necessary cost estimates and security is provided before the proposed Phase 1 building is occupied.

ALTERNATE MOTION

That Council decline Development Permit with Variances Application No. 000404 for the property located at 701 Tyee Road.

Respectfully submitted,

 Jim Handy, Senior Planner – Development Agreements, Development Services Division

 Jonathan Tinney, Director Sustainable Planning and Community Development Department

Report accepted and recommended by the City Manager:



Date: Sept. 25/15

List of Attachments

- Appendix A – Data Table
- Aerial plan
- Zoning plan
- Letter from Architect dated August 16, 2015
- Letter from applicant dated August 20, 2015
- Plans dated August 24, 2015.

Appendix 1: Data Table

Zoning Criteria	Phase 1 (DA-H)	Phases 1 & 2 (DA-H)	Zone Standard (DA-H)	Phase 3 (DA-J)	Zone Standard (DA-J)	Total Project (Phases 1, 2 and 3)
Site Area (m ²)	2366.83	4372.59	n/a	2395.14	n/a	6767.73
Total Floor Area (m ²) – max.	2771.15	5683.02	9855.85	5067.42	n/a	10750.44
Density (Floor Space Ratio) – max.	1.17	1.3	2.25	2.12	2.35	1.59
Geodetic Height (m) – max.	22.55	25.29*	24	33.01*	31	n/a
Storeys	3	4	n/a	7	n/a	n/a
Site coverage (%)	47	45	n/a	43	n/a	43
Open site space (%)	53	55	n/a	57	n/a	57
Setbacks (m) – min. Front (Tyee Road) Rear (Central Spur Road) Side (Gaudin Road) Side (Bay Street)	7.25 3.5 Nil* Nil*	11 3.5 Nil* Nil*	2 3.5 3.5 4	7.25 3.5 Nil* 3.5*	2 3.5 4 4	n/a
Parking provided	49*	100		78*		178 (does not include the proposed 17 small car and tandem stalls)
Parking required – min.	50	99	99	86	86	185

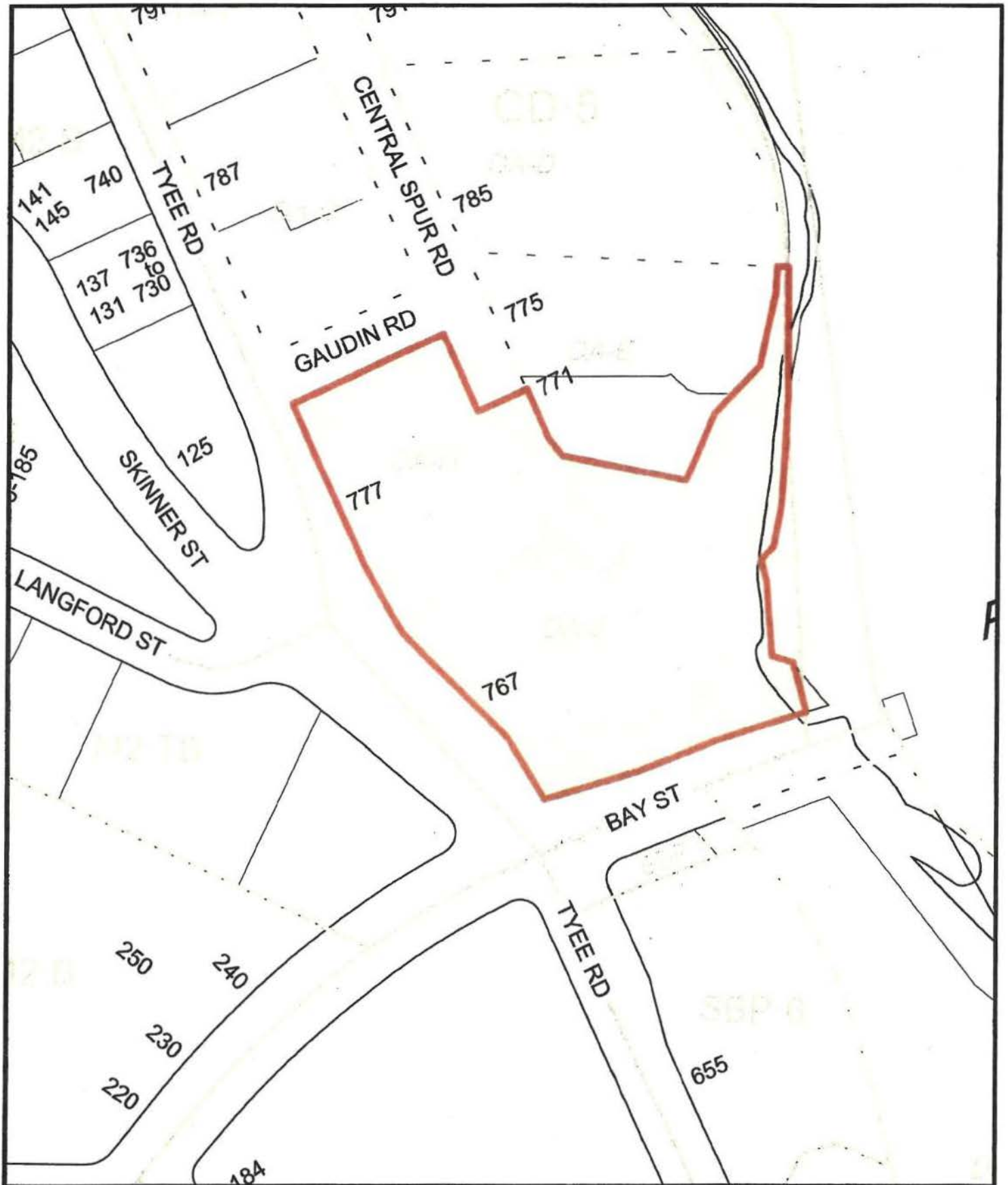
Appendix 1: Data Table

Visitor parking provided	6	17		2		19
Visitor parking required – min.	6	10	10	9	9	19
Bicycle Storage (Class 1) provided	28*	159		0		159
Bicycle Storage (Class 1) required – min.	40	89	89	53	53	144
Bicycle Rack (Class 2) provided	6	18		0		18
Bicycle Rack (Class 2) required – min.	6	12	12	6	6	18



701 Tye Road
Development Permit #000404





701 Tyee Road
Development Permit #000404



406 - 611 Alexander Street
Vancouver, BC, V6A 1E1
TEL 604.255.1169

300 - 134 11th Avenue SE
Calgary, Alberta, T2G 0X5
TEL 403.245.5501

100 - 10237 104th Street
Edmonton, Alberta T5J 1B1
TEL 780.429.1500

1000 - 2 Bloor Street East
Toronto, Ontario, M4W 1A8
TEL 416.966.0220

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16 August 2015

City of Victoria
Sustainable Planning and Community Development Department
1 Centennial Square
Victoria
BC V8W 1P6

Attention: Jim Handy, MCIP RPP Senior Planner

Dear Jim,

**Re: 701 Tyee Road
Development Permit No. 000404**

In response to our revised DP submission dated Aug 14, 2015, this letter contains our response for the design rationale of variances that we are requesting:

• Variance on maximum building height of Building 3,

See the Architectural drawing, A3.11. The Building 3 rooftop finishes at geodetic height, 31.00m, the maximum allowable height. The only elements built above are the elevator mechanical room and parapet walls for roofscape articulation. All the habitable space will be under the maximum allowable height. To create a meaningful gateway feature at the base of the bridge head, we strongly believe that these roof articulations are necessary from the urban design perspective and worth supporting.

• Variance on bike storage in Phase 1,

See the Architectural drawings, Phasing Plans, A0.05B, A0.06B, A0.06C. The project will be built in phases for healthy market absorption. The 28 stalls bike storage room is temporary for Phase 1 residents. Upon the completion of Phase 2, the permanent bike storage room will be provided with surplus amount of bike storage capacity, better connection to bike lane on Tyee Road, and better access from building main entries.

• Variance on interior setback,

See the Architectural drawings, A0.02, A0.04. The project will be developed in phases and when completed will be seen as a fully integrated development across the original legal boundaries of Lot H and J. For creative public pedestrian access thru the site utilizing an intimate scale of pathways and building forms, the design provides an unique urban scale within the site. In light of this urban enhancement, the original interior side setback requirement should not restrict the innovation process and should not apply to this unique project.

PRINCIPALS

JIM ANDERSON, AIBC, AIA, OAA, LEED AP
FRANK BODIFORTH, AIBC, AIA, OAA, LEED AP
NARESH ABDEA, B. ENG.
JAGIT BANERJEE, AIBC, AIA, OAA, LEED AP
ALAN DONIFACE, AIBC, AIA, OAA, LEED AP
GERALD CARSON, P. ENG.
DOUG CUNNINGHAM, AIBC, AIA, OAA, LEED AP

JEFF DIBATTISTA, PDB, P. ENG., LEED AP
SADI CHODRAYEE, M. ENG., P. ENG., STRUCT. ENG., M. ARCHT., P. ARCHT.
JIM COODWIN, AIBC, AIA, OAA, NSAA
RALPH HILDENSHANDT, P. ENG., LEED AP
RODMAN HUTSON, AIBC, AIA, OAA, LEED AP
DANIEL KACH, P. ENG.
ADRIAN LAD, AIA, OAA, LEED AP

JANICE LEBRE, AIBC, AIA, OAA, LEED AP
TIM MCDONN, P. ENG., P. ARCHT.
DAVID MINER, AIBC, AIA, OAA, NSAA, LEED AP
JIM MONTGOMERY, P. ENG., LEED AP
MARTIN NIELSEN, AIBC, P. ENG.
MARTIN SPAPROV, AIBC, AIA, OAA, LEED AP
TOM SUTHERLAND, AIBC, AIA, OAA, LEED AP

LYNN WESTER, AIBC, AIA, OAA, LEED AP
THOMAS WU, PhD, P. ENG., STRUCT. ENG., PE, SE
ROD VECCHI, B.A., SC., P. ENG., P.E., LEED AP-B+C

DIALOG BC
ARCHITECTURE ENGINEERING
INTERIOR DESIGN PLANNING INC.

* DENOTES "ARCHITECT AIBC" OR "ARCHITECT AIA"

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Mr. Jim Handy
City of Victoria
August 16, 2015
Page 2 of 2

DIALOG

We trust that this response, including all attachments, will satisfy the prior-to conditions and requested clarifications for this project. We look forward to the timely issuance of the approved application.

Yours truly,

DIALOG BC Architecture Engineering Interior Design Planning Inc.

A handwritten signature in black ink, appearing to read 'J. Bakker', with a stylized flourish at the end.

Joost Bakker, Architect AIBC, AAA, SAA, OAA, FRAIC, RCA
Principal, DIALOG

c.c.	Chris Le Fevre,	The Railyards Development Ltd.
	Michael Cheung,	DIALOG
	Matthew Thomson,	DIALOG



PROPERTY AGENTS LTD.

Aug 20th, 2015

Mayor Lisa Helps
Members of Council

RE: RAILYARDS FINAL DEVELOPMENT PERMIT APPLICATION AREAS H & J

The development of these areas will see to the perfection of the Railyards.

The application honours the principals of the original M.D.A without variance and similarly respects all original design guidelines endowed for the project.

The matrix of units that will be realized in this DP application before you will be as follows:

Phase I

- 3 storey wood frame apartment building
- 40 suites
- 57 parking

Phase I + II

- 4 storey wood frame apartment building
- 78 suites
- 113 parking

Phase I + II + III

- 4 storey wood frame and 7 storey concrete frame apartment buildings
 - 144 suites
 - 190 parking
-

The Railyards project is a major contribution to Victoria's overall community sustainability.

The redevelopment of this industrial site into a compact and vibrant community is trend setting. These last phases of development on parcels H&J will contribute an array of green building features including the following:

Transit friendly development

- convenient access and proximity to transit
- car sharing parking opportunity
- major bike storage zones

Energy efficiency

- with the utilization of focussed window locations, the project will provide a high performance building envelope

Reduced Water Use

- xeriscaping in the plant selection to reduce water utilization
- low-flush / dual-flush toilets low flow fixtures

Electrical efficiency

- CFL lighting at public space locations
- motion sensor lighting within parkade and corridor locations
- Energy-star appliances
- provisions for future electrical charging station

Respectfully submitted.

Yours,

A handwritten signature in black ink, appearing to read 'Chris Le Fevre', with a stylized, flowing script.

Chris Le Fevre
President & CEO
Le Fevre & Company Property Agents Ltd.

Received
City of Victoria

AUG 24 2015

Planning & Development Department
Development Services Division

DIALOG

ISSUED FOR

- A 28 JANU15 DEVELOPMENT PERMIT
B 14 AUG15 DEVELOPMENT PERMIT REVISIONS

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

METRIC

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DIALOG ARCHITECTURE ENGINEERING
1000 WESTERN AVE. SUITE 200
VICTORIA BC V8M 1Y1
TEL: 250.363.1888 FAX: 250.363.1889
www.dialog.vic.bc.ca

OWNER:
LEPINE AND COMPANY
200 HURD STREET
VICTORIA BC V8W 1G8
TEL: 250.363.1888

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

COVER PAGE & PROJECT DATA

OWNER
FLYDATE BRANDS

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A0.01

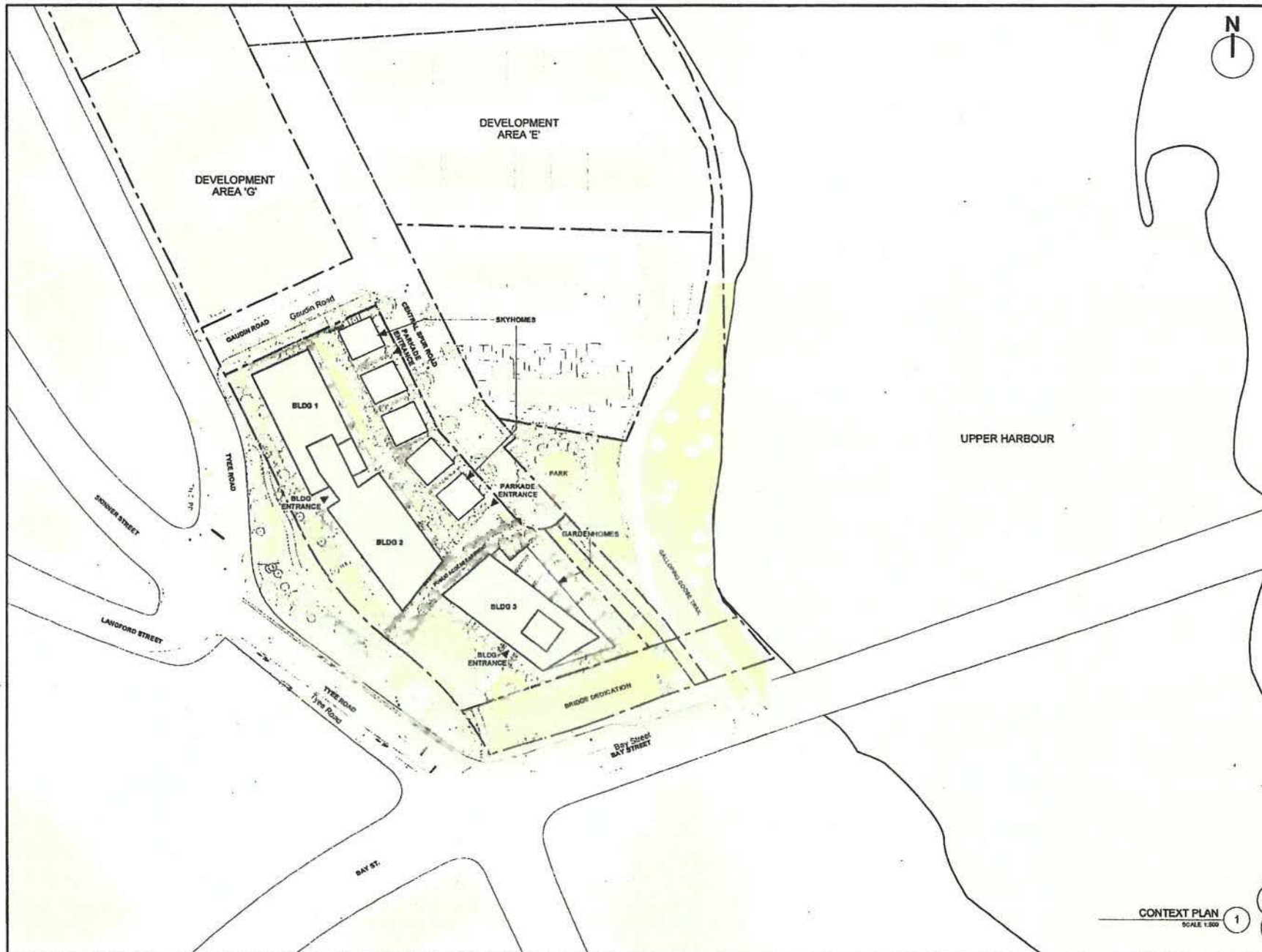


PROJECT INFORMATION	
PROJECT ADDRESS	701 TYEE RD, VICTORIA BC
NEIGHBOURHOOD	VICTORIA WEST
PLAN DISTRICT	RAILYARDS DISTRICT
DEVELOPMENT PERMIT AREA	DA H & DA J
LEGAL DESCRIPTION	LOT 767 & 777
ZONING	CD 5 - RAILYARDS RESIDENTIAL COMMERCIAL DISTRICT
SITE AREA	EXISTING : DA H & DA J COMBINED : 6610.51M ² (71,150.51)
SITE COVERAGE	43%
OPEN SITE SPACE	57%
TOTAL FLOOR AREA	10,750.44m ² / 115,767.73m ² x 1.09
FLOOR SPACE RATIO	10.6m & 11.6m
AVERAGE GRADE	ALLOWED UNDER CD-5 TYPING 24m (81.36m L2)
HEIGHT OF BUILDING	PROPOSED 22.55m (74.13m L2)

NUMBER OF STOREYS	
3 STOREYS + 4 STOREYS + 7 STOREYS	
BUILDING SETBACKS (m)	
FRONT (FREE ROAD): 2m	
SIDE (NORTH AT GARDEN RD): 3.5m	
SIDE (SOUTH AT GARDEN ROAD): 3.5m	
NEAR (CENTRAL SPIN ROAD): 3.5m	
REAR (AT BOYHARTY ROAD PARK): 4m	
PARKING SPACES ON SITE	
PARKING REQUIRED UNDER SCHEDULE C	PROPOSED
STUDIOS: 13 (1 UNIT) + 13	
RESIDENTIAL: 131 (1.3 UNIT) + 170.3	
REQUIRED TOTAL: 183.3	
TOTAL: 183	201
VISITOR PARKING REQUIRED UNDER SCHEDULE C	
10% OF REQUIRED TOTAL: 18.3	PROPOSED
19	
BIKE STORAGE	
CLASS 1 PARKING REQUIRED UNDER SCHEDULE C	PROPOSED
RESIDENTIAL: 144 (1.0 UNIT)	
CLASS 2 PARKING REQUIRED UNDER SCHEDULE C	PROPOSED
6-SPACE RACK AT EACH RESIDENTIAL ENTRY	12
STORAGE LOCKERS PROVIDED	
154	

SUITE TYPES						
TYPE	RANGE	COUNTS	AMR			
STUDIO	395 - 400 SF (36.3 - 37.2 SQM)	13	9%			
1 BEDROOM	520 - 554 SF (48.3 - 51.5 SQM)	77	53%			
2 BEDROOM	750 - 804 SF (69.3 - 80.5 SQM)	30	21%			
3 BEDROOM & DEN	812 - 1021 SF (75.4 - 94.5 SQM)	7	4%			
GARDENS & SKY HOMES	1120 - 1404 SF (104.1 - 130.4 SQM)	3	1%			
TOTAL		144	100%			
BUILDING INFORMATION (METRIC)						
FLOOR	RESIDENTIAL	UNIT#				
		STUDIO	1BED	2BED	3BED	GARDEN/HOMES
L01	515	0	0	0	0	
L02	2,360	2	13	0	0	
L03	2,530	3	23	4	0	
L04	1,597	4	22	4	0	
L05	640	3	7	5	4	
L06	640	3	3	5	0	
L07	640	3	3	3	7	
L08	640	3	3	5	0	
L09	658	0	2	6	0	
SUBTOTAL		13	77	30	7	
TOTAL	10,074			144		
ADJUSTABLE SITE AREA						
PLA						5.5

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AL100	COVER PAGE & PROJECT DATA



DIALOG

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 B 14 AUGUST 2015 DEVELOPMENT PERMIT REVIEW
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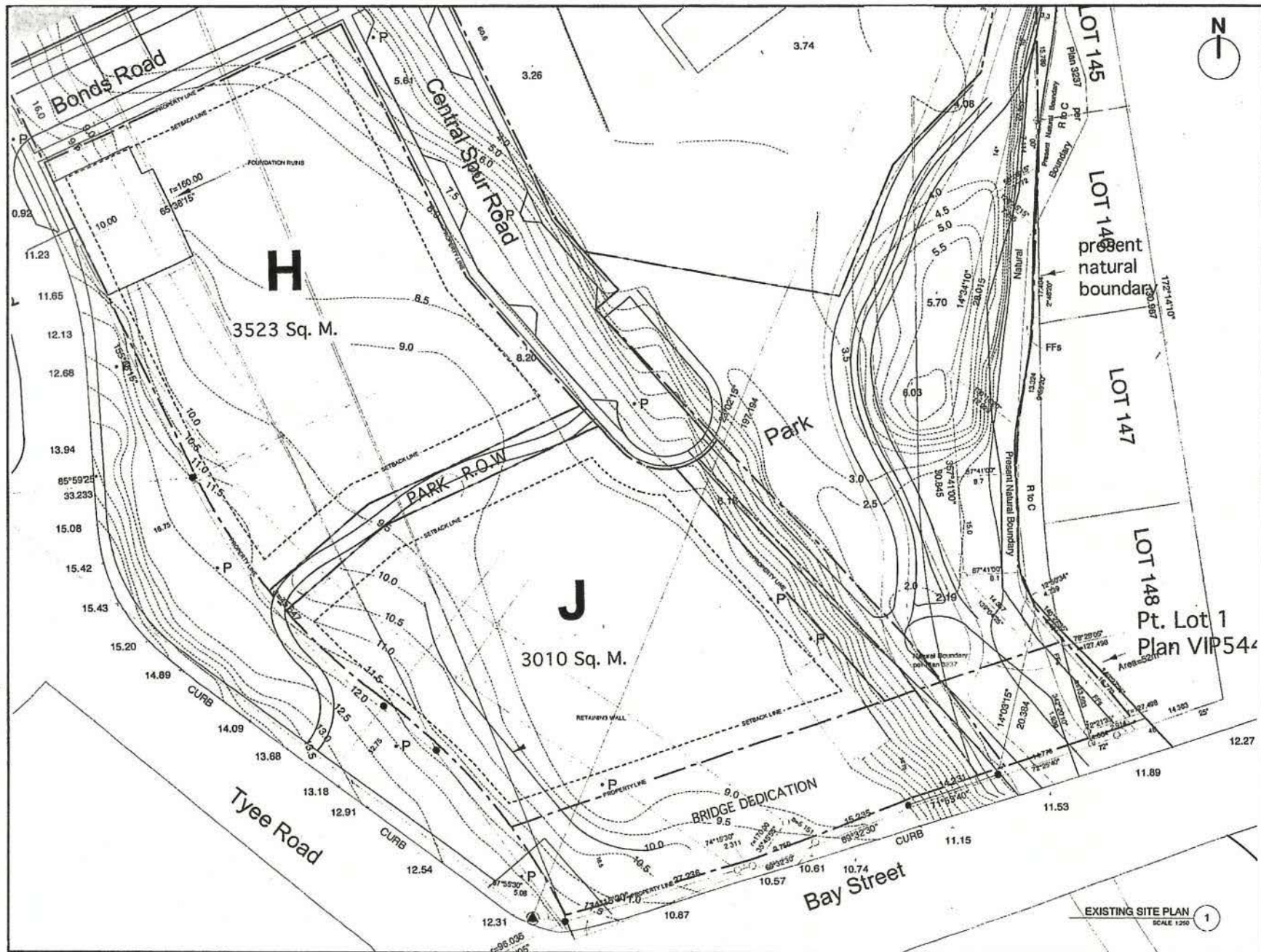
RAILYARDS, LOT H & J

VICTORIA, BC

CONTEXT PLAN

CONTEXT PLAN
 SCALE 1:500

DATE: 28 JAN 2015
A0.02



DIALOG

ISSUED FOR

- A 28 JANU 85 DEVELOPMENT PERMIT
 - B 14 AUG 85 DEVELOPMENT PERMIT REVISIONS
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Fax: (604) 385-1100

OWNER:
LEICAPAC INC COMPANY
100-1100 BROADVIEW STREET
VICTORIA, B.C. V8W 2E1
Tel: (604) 385-1100

SEAL

RAILYARDS, LOT H & J

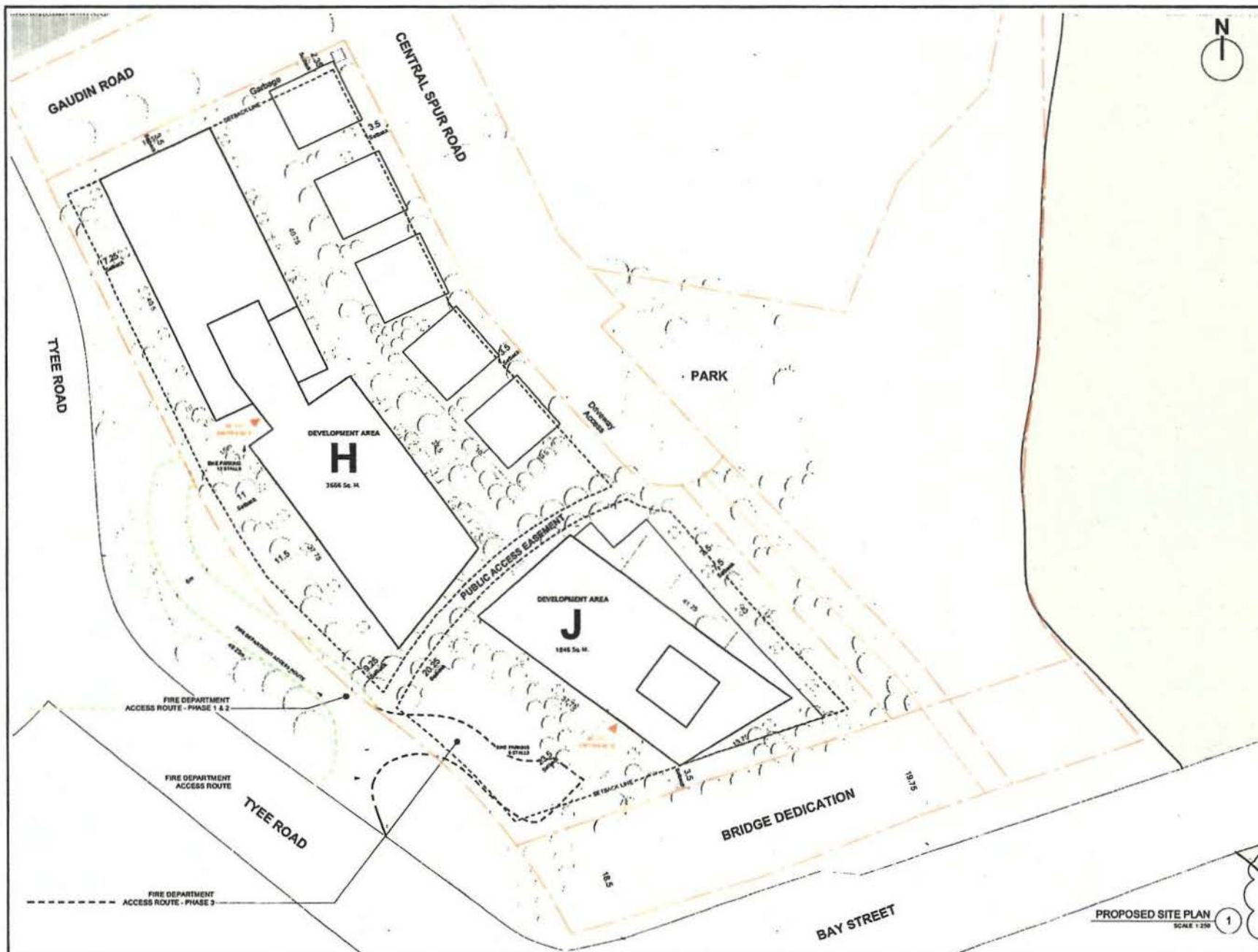
VICTORIA, BC

EXISTING SITE PLAN

DRAWN
PLOT DATE: 01/85

CHECKED

A0.03



DIALOG

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- B 14 AUG/15 DEVELOPMENT PERMIT REVISIONS

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VICTORIA, B.C. V8M 1G1
TEL: 250-383-1100 FAX: 250-383-1101

OWNER:
LEAFWELL AND COMPANY
1000 JAMES STREET
VICTORIA, B.C. V8M 1G1
TEL: 250-383-1100

SEAL

RAILYARDS, LOT H & J

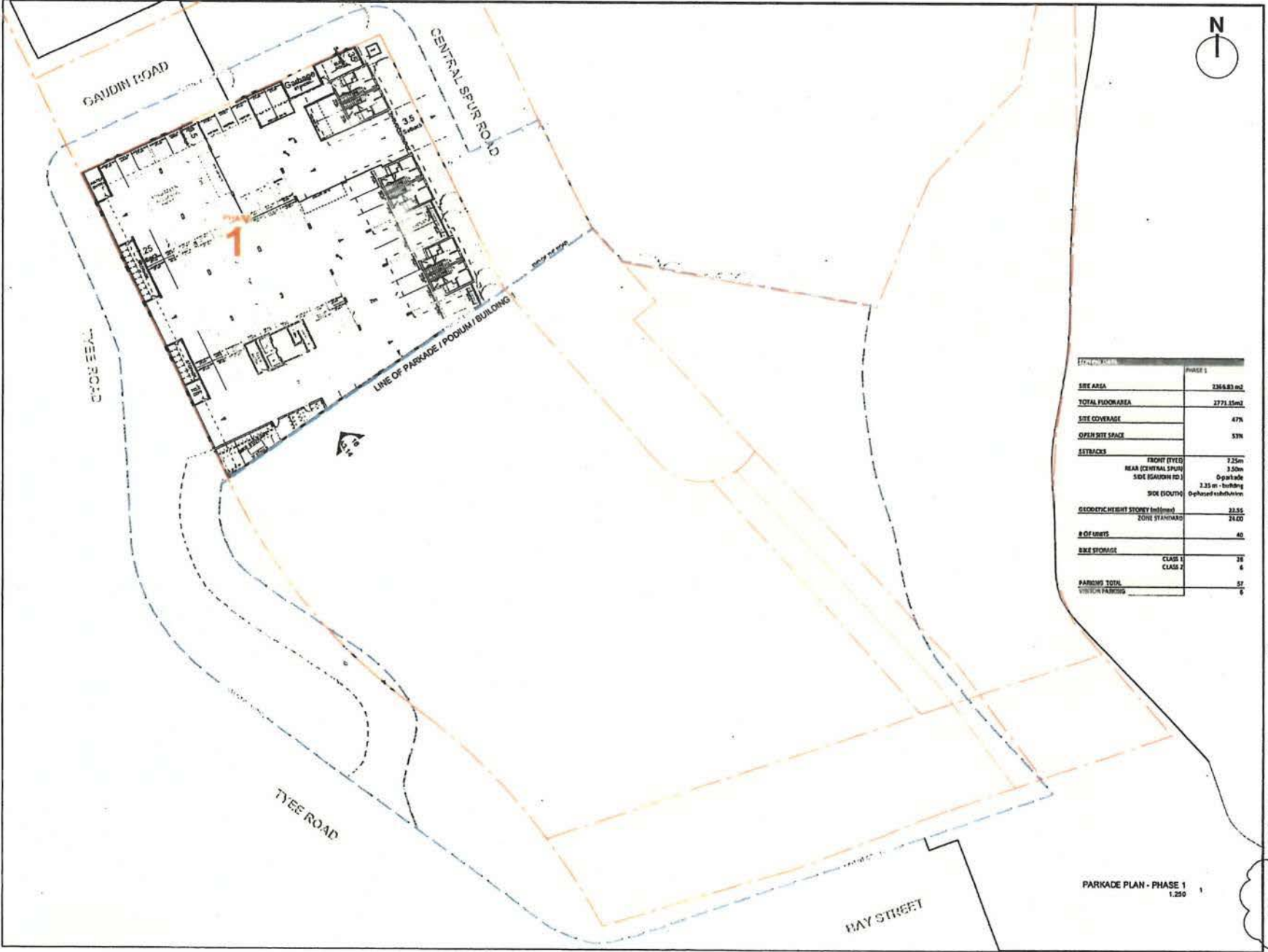
VICTORIA, BC

PROPOSED SITE PLAN

DRAWN: FLOT DATE: 8/20/15 CHECKED:

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PROPOSED SITE PLAN
SCALE 1:200



SITE DATA	
PHASE 1	
SITE AREA	2364.81 m ²
TOTAL FLOOR AREA	2771.15 m ²
SITE COVERAGE	47%
OPEN SITE SPACE	53%
SETBACKS	
FRONT (TYEE)	7.25m
REAR (CENTRAL SPUR)	3.50m
SIDE (GAUDIN RD.)	0.9m side
SIDE (TYEE)	2.23m - building
SIDE (TYEE)	0.9m side building
GEODETIC HEIGHT STONEY (m)	22.35
ZONE STANDARD	24.00
# OF UNITS	40
Bike Storage	
CLASS 1	28
CLASS 2	6
PARKING TOTAL	34
VISITOR PARKING	6

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 B 14 AUG 15 DEVELOPMENT PERMIT REVISIONS
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 LEFTHAND AND COMPANY
 1000 LOCUST STREET
 VANCOUVER, BC V6E 1T1
 TEL: (604) 255-1100

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

PHASING PLAN
 PARKADE PLAN
 PHASE 1

DATE: 29 JAN 15
 PLOT DATE: 29 JAN 15

A0.05B

PARKADE PLAN - PHASE 1
 1:250

DIALOG



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 B 14 AUG 15 DEVELOPMENT PERMIT REVISIONS
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DETAILS	
PHASE 1 + 2	
SITE AREA	4373.33
TOTAL FLOOR AREA	5683.03m ²
SITE COVERAGE	45%
OPEN SITE SPACE	55%
SETBACKS	
FRONT (EYED)	11.00m
REAR (CENTRAL SPUR)	3.00m
SIDE (GAUDIN RD.)	3.35m - building
SIDE (SOUTH)	3.35m - building
GEOMETRIC HEIGHT STORY (MAX)	22.35
2ND STANDARD	24.20
# OF UNITS	70
BIKE STORAGE	
CLASS 1	159
CLASS 2	13
PARKING TOTAL	172
VISITOR PARKING	17

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RAILYARDS, LOT H & J

VICTORIA, BC

PHASING PLAN
 MASTER SITE PLAN
 PHASE 1 + 2

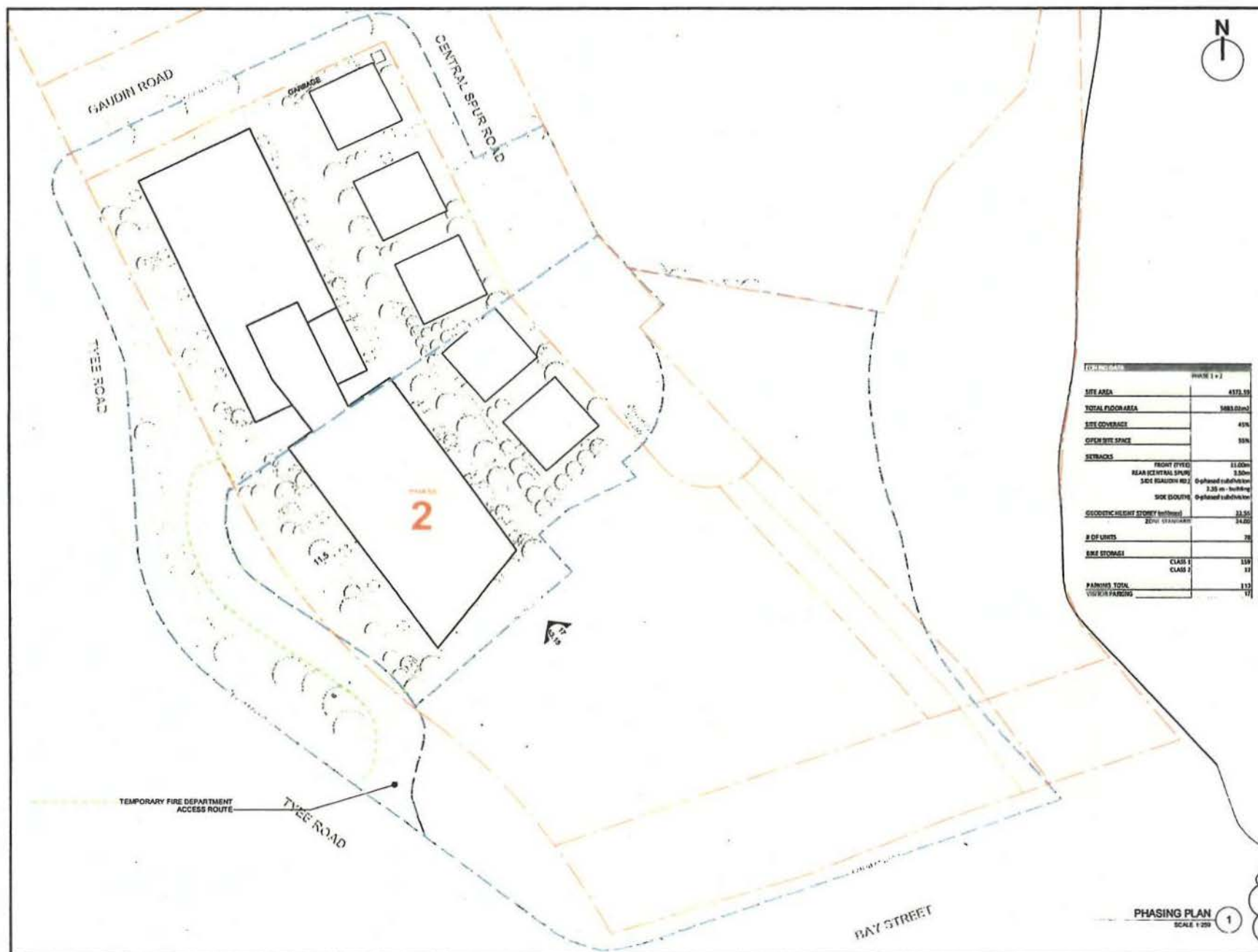
PLANNED DATE 09/15

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PHASING PLAN
 SCALE 1:200

1





DIALOG

ISSUED FOR:
A 28 JAN 15 DEVELOPMENT PERMIT
B 14 AUG 15 DEVELOPMENT PERMIT RYLANDS
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PHASE 1 + 2	
SITE AREA	4373.50
TOTAL FLOORAREA	5683.03m ²
SITE COVERAGE	43%
OPEN SIDE DRIVE	53%
DETRAILS	
FRONT STREET	21.00m
NEAR CENTRAL SPUR	3.00m
SIDE (GAULON RD 2)	Digitalized substation
SIDE (GAULON RD 1)	2.35 m - building
SIDE (GAULON RD 3)	Digitalized substation
GEOMETRIC HEIGHT STONEY (bottom)	12.55
20m STATIONARY	24.00
# OF UNITS	70
BKE STORAGE	
CLASS 1	119
CLASS 7	17
PARKING TOTAL	137
VEHICLE PARKING	17

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SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

PHASING PLAN
PARKADE PLAN
PHASE 1 + 2

DATE: 08/01/15 CHECKED:

A0.06B

PARKADE PLAN - PHASE 2
1:250

DIALOG



ISSUED FOR

A 28 JAN 15 DEVELOPMENT PERMIT
B 14 AUG 15 DEVELOPMENT PERMIT REVISIONS

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www.milneandcompany.com

OWNER
MILNE & COMPANY
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TEL: (250) 363-1100 FAX: (250) 363-1101
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PHASE 1 + 2	
SITE AREA	4372.50
TOTAL FLOOR AREA	5623.00m ²
SITE COVERAGE	45%
OPEN SITE SPACE	55%
SETBACKS	
FRONT (TREE)	11.00m
REAR (CENTRAL SPUR)	3.00m
SIDE (GAUDIN RD.)	0.90m (subterranean)
SIDE (SOUTH)	2.25 m - Building
	0.90m (subterranean)
GEOTECH HEBBY STONEY (meters)	22.50
20% STANDARD	24.00
# OF UNITS	78
SWR STORAGE	
CLASS 1	125
CLASS 2	12
PARKING, SOON	212
VEHICLE PARKING	17

SEAL

RAILYARDS, LOT H & J

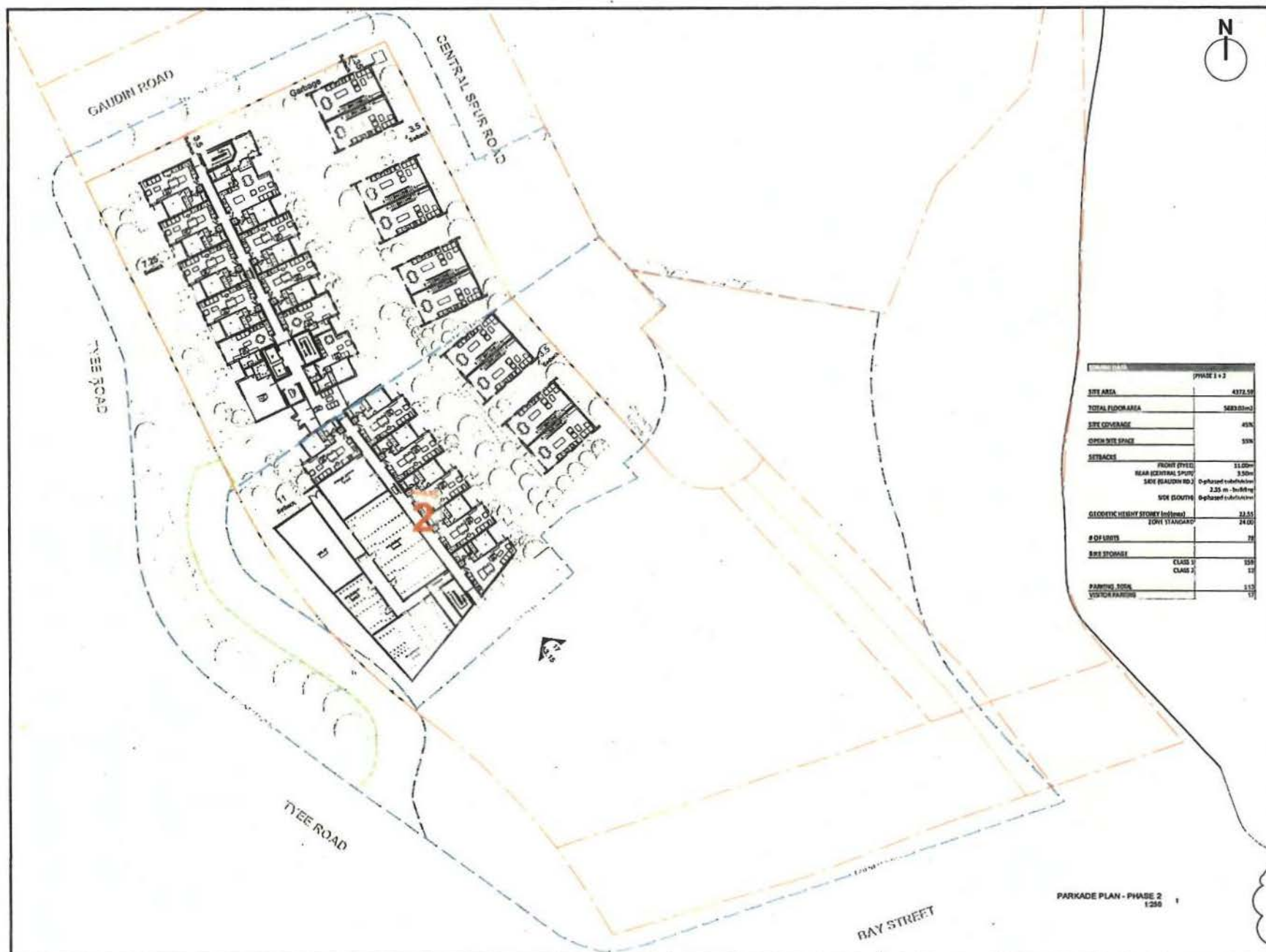
VICTORIA, BC

PHASING PLAN
PARKADE PLAN
PHASE 1 + 2

DRAWN
PLOT DATE 08/01/15

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PARKADE PLAN - PHASE 2
1:250





A 28 JAN15 DEVELOPMENT PERIST
B 14 AUG15 DEVELOPMENT PERIST REVISIONS

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ARCHITECT & PRIME CONSULTANT
DIVISION OF ARCHITECTURE ENGINEERING
INTERIOR DESIGN & PLANNING
400-100 ALEXANDER STREET
BOSTON, MA 02114
For info call 617-552-1100
www.dpmprinc.org

OWNER:
LEHMAN AND COMPANY
200 HOLLIS STREET
BOSTON, MA 02114
Tel: 617-552-4000

RAILYARDS, LOT H & J

VICTORIA, BC

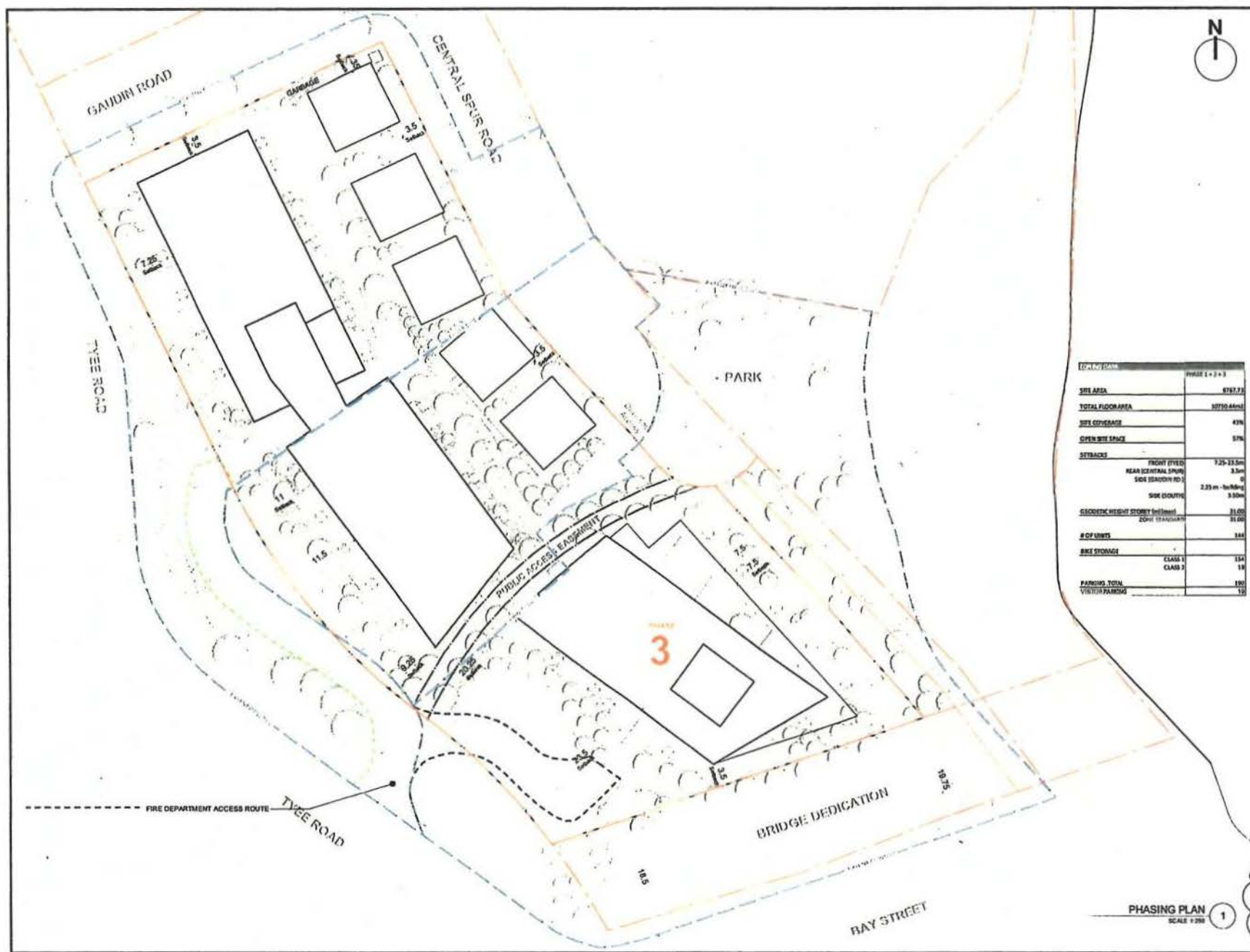
PHASING PLAN
MASTER SITE PLAN
PHASE 1 + 2 + 3

DRAWN BY: CHECKED BY:
 PLOT DATE: 8/20/15

A0.07A

LIFE CYCLE DATA		PHASE 1 + 2 + 3
SITE AREA		6767.37
TOTAL FLOOR AREA		30750.50
SITE COVERAGE		43%
OPEN SITE SPACE		57%
SETBACKS		
FRONT (FEET)		7.25 - 25.00
REAR (CENTRAL SPUR)		3.50
SIDE (STANDARD RD)		2.25 on - 15.00
SIDE (DOWNTOWN)		3.50
GEOTECHNICAL HEIGHT STUDY (Infilling)		31.00
ZONE (STANDARD)		31.00
# OF UNITS		34
BKS STORAGE		
	CLASS 1	1
	CLASS 2	1
PARKING TOTAL		19
VISITOR PARKING		

PHASING PLAN 1
SCALE 1/250



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OWNER:
LEFEVRE AND COMPANY
535 HEALD STREET
VICTORIA BC V8W 1S8
Tel: (250) 363-4932

RENDERING OF PROJECT
VIEW NORTH FROM CORNER OF BAY ST. & TYEE RD.

DEADLINE
PLOT DATE BY 6/15

A0.08



ISSUED FOR
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 B. 14 AUGUST DEVELOPMENT PERMIT REVISIONS
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 DIALOG BC ARCHITECTURE & DESIGN
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OWNER
 LEFROY AND COMPANY
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 VICTORIA, BC V8W 1Y8
 TEL: 250 383-1111

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

RENDERING

RENDERING OF PROJECT
 VIEW SOUTH ALONG CENTRAL SPUR ROAD 1

DATE: 01/01/13
 A0.09



RENDERING OF PROJECT 1
VIEW WEST BAY STREET BRIDGE

ISSUED FOR:
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B 14 AUG15 DEVELOPMENT REPORT REVISIONS
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NOT FOR CONSTRUCTION

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400-400-400-400
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OWNER
LIVING AND COMMUNITY
400-400-400-400
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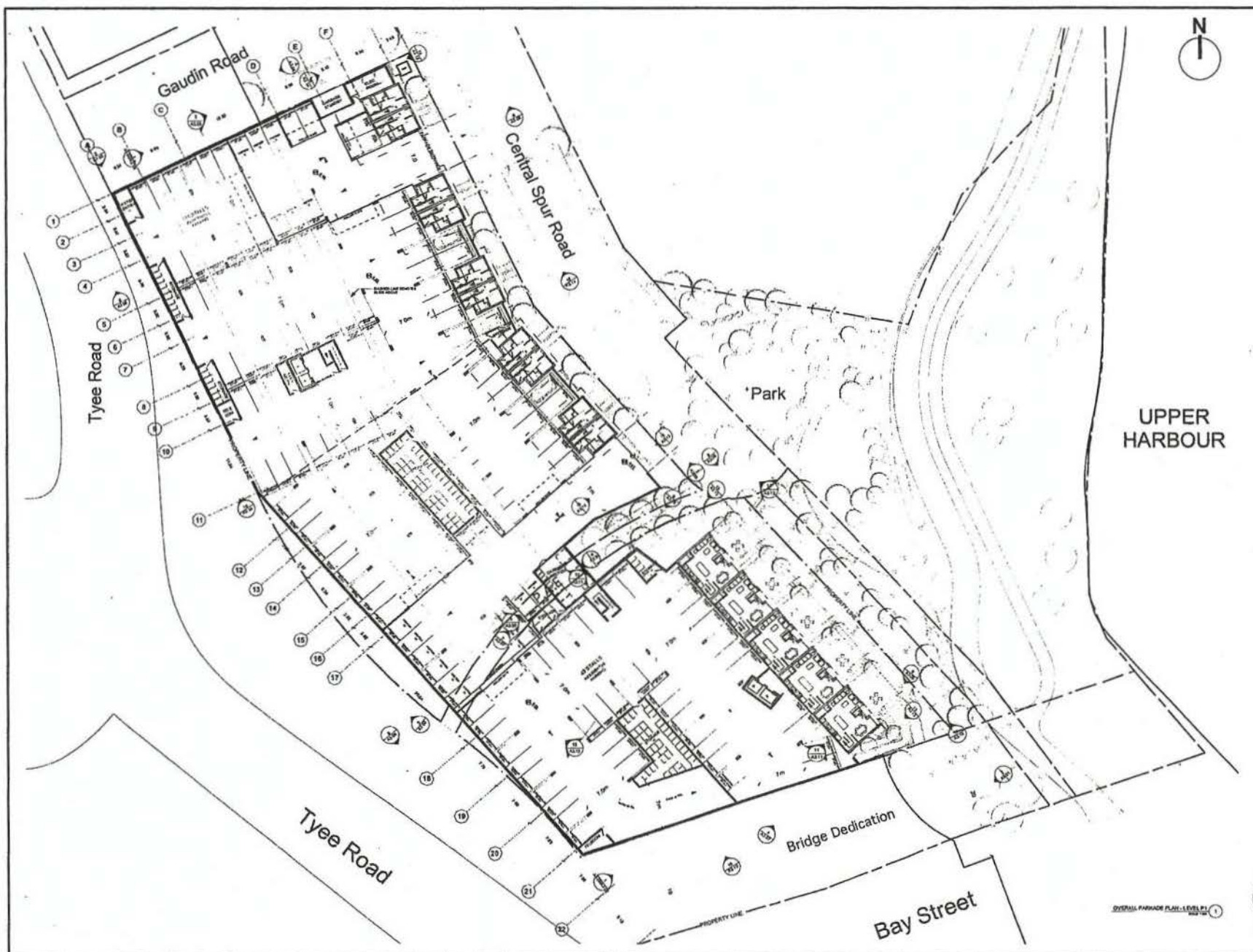
RAILYARDS, LOT H & J

VICTORIA, BC

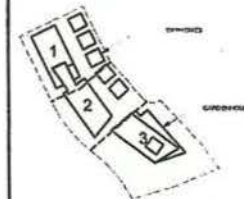
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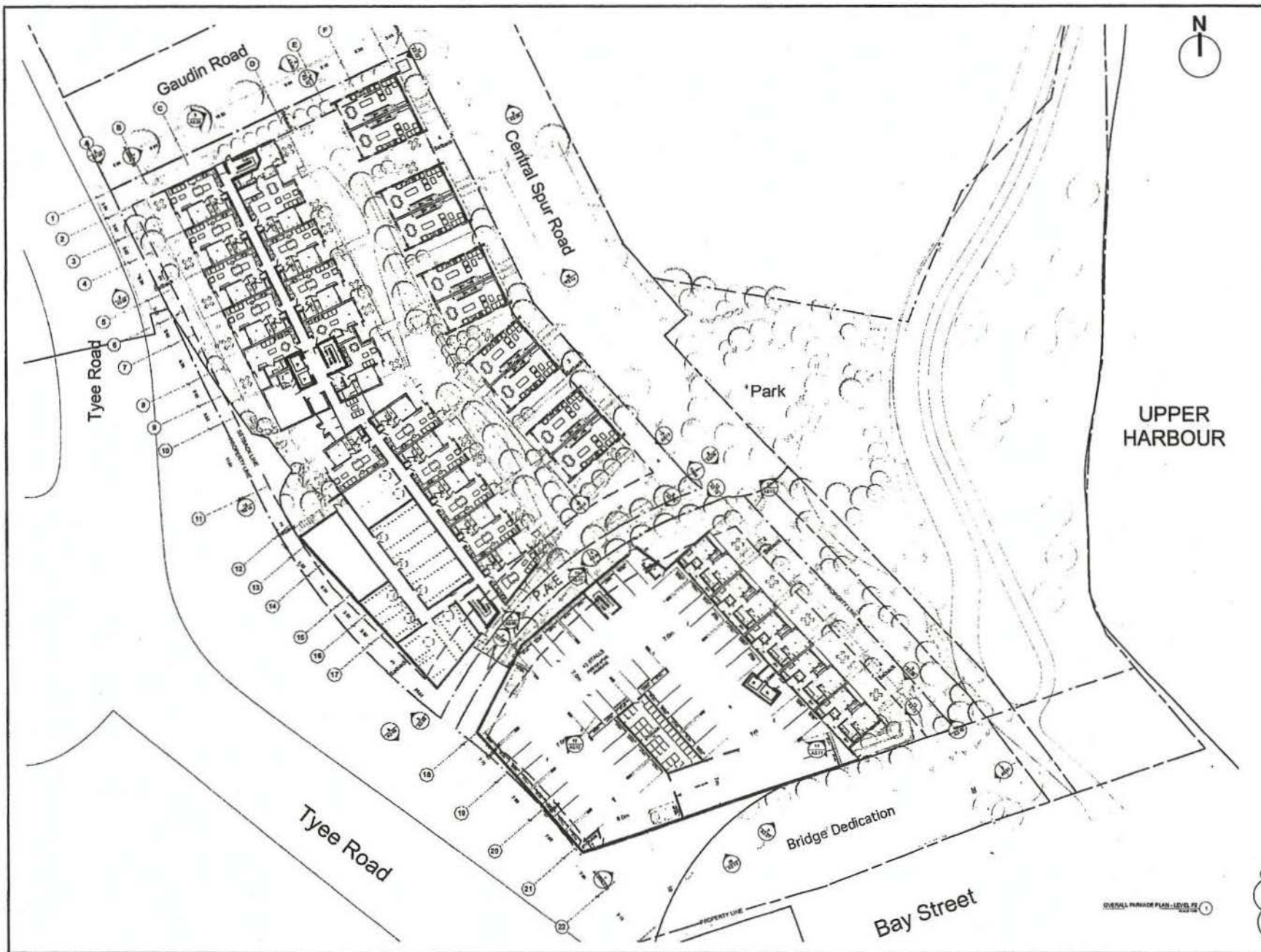
VICTORIA, BC

OVERALL PARKADE PLAN
 LEVEL P1

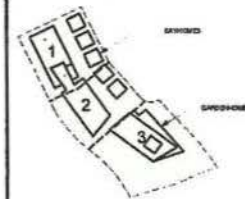
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8/20/2019 10:00 AM



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RAILYARDS, LOT H & J

VICTORIA, BC

OVERALL PARKADE PLAN
 LEVEL P2

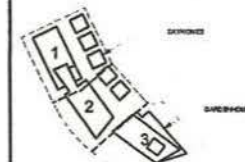
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UPPER HARBOUR, 15 JANUARY 2015



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VICTORIA, BC

PARKADE PLAN - LEVEL P1
PHASE 1 & 2

DRAWN: AGL/BC
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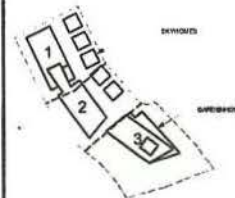
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A2.03

P1 PARKADE PLAN - PHASE 1 & 2
01/01/15

01/01/15 10:00 AM 01/01/15 10:00 AM

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VICTORIA, BC V8M 2K2

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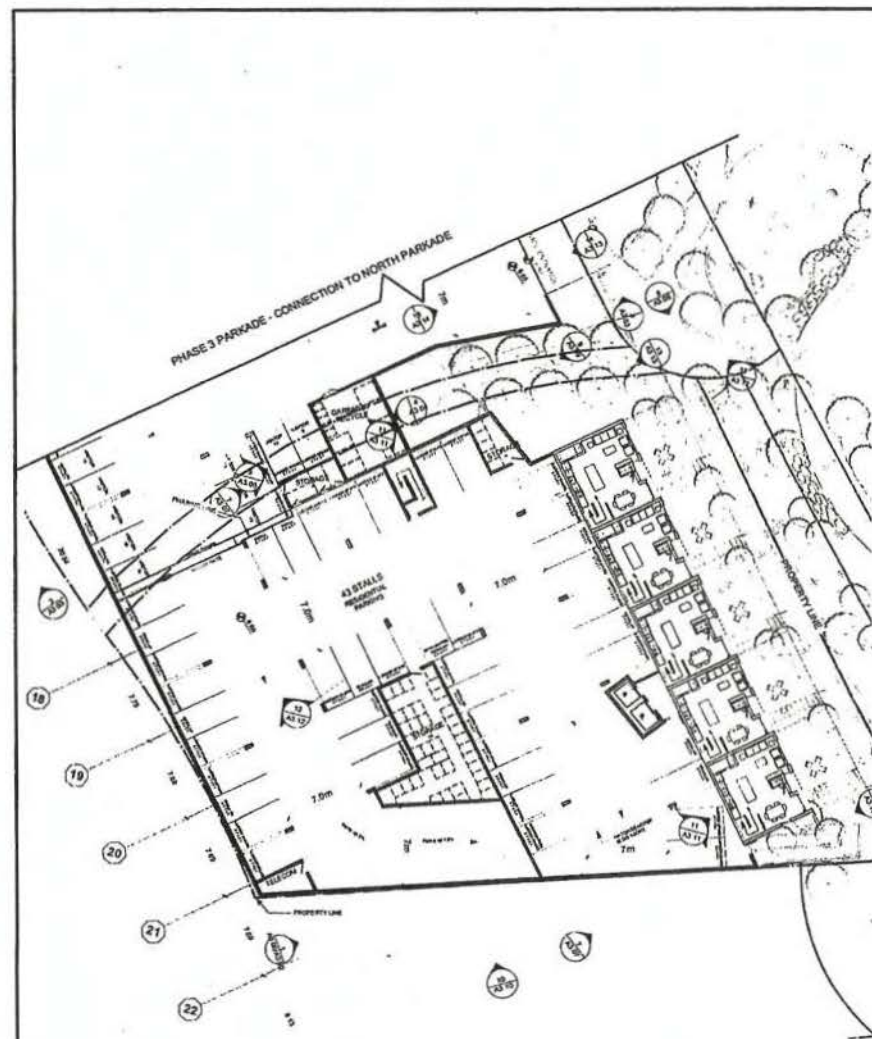
VICTORIA, BC

PARKADE PLAN - LEVELS P1 & I
PHASE 3

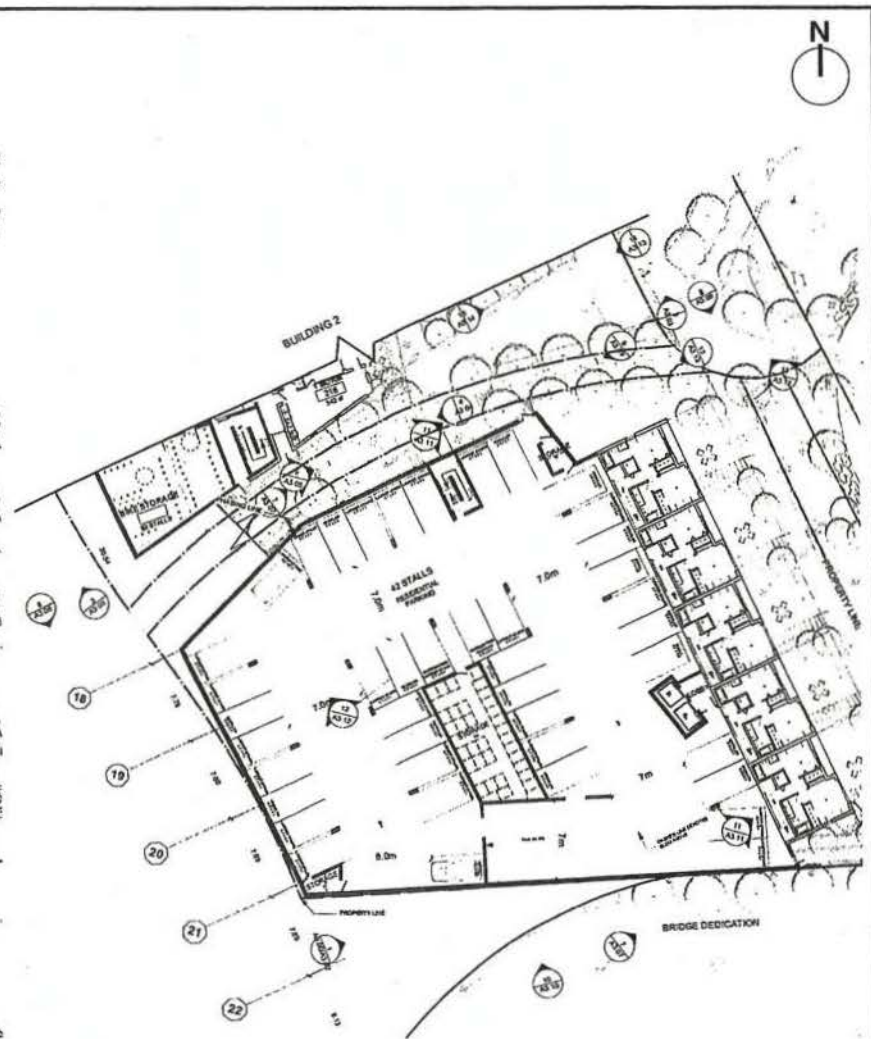
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Plot Date: 07-01-13

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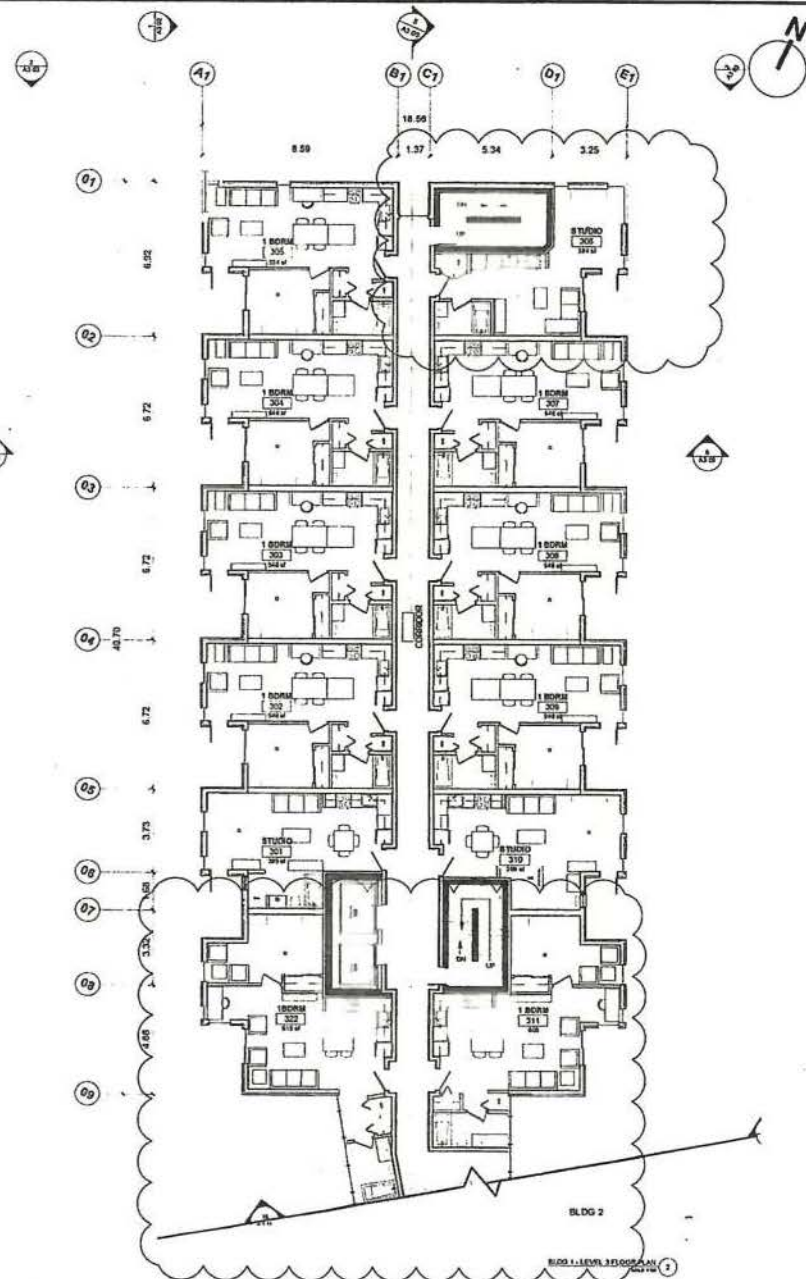
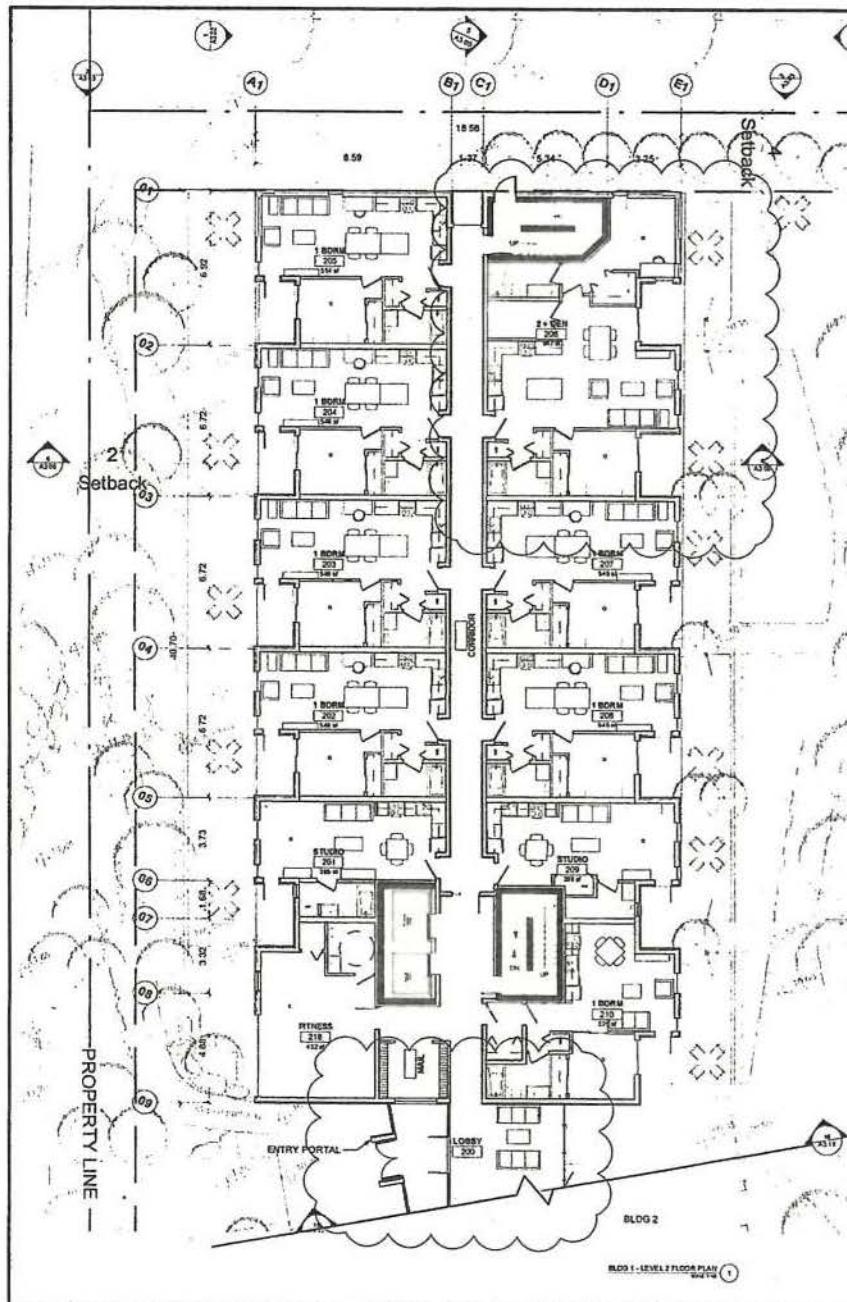
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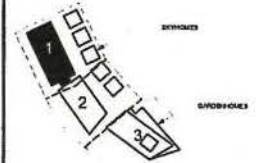
PARKADE PLAN - LEVEL P1 - PHASE 3
SHEET 1



PARKADE PLAN - LEVEL P1 - PHASE 3
SHEET 2



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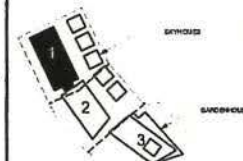
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FLOOR PLANS**

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A2.11

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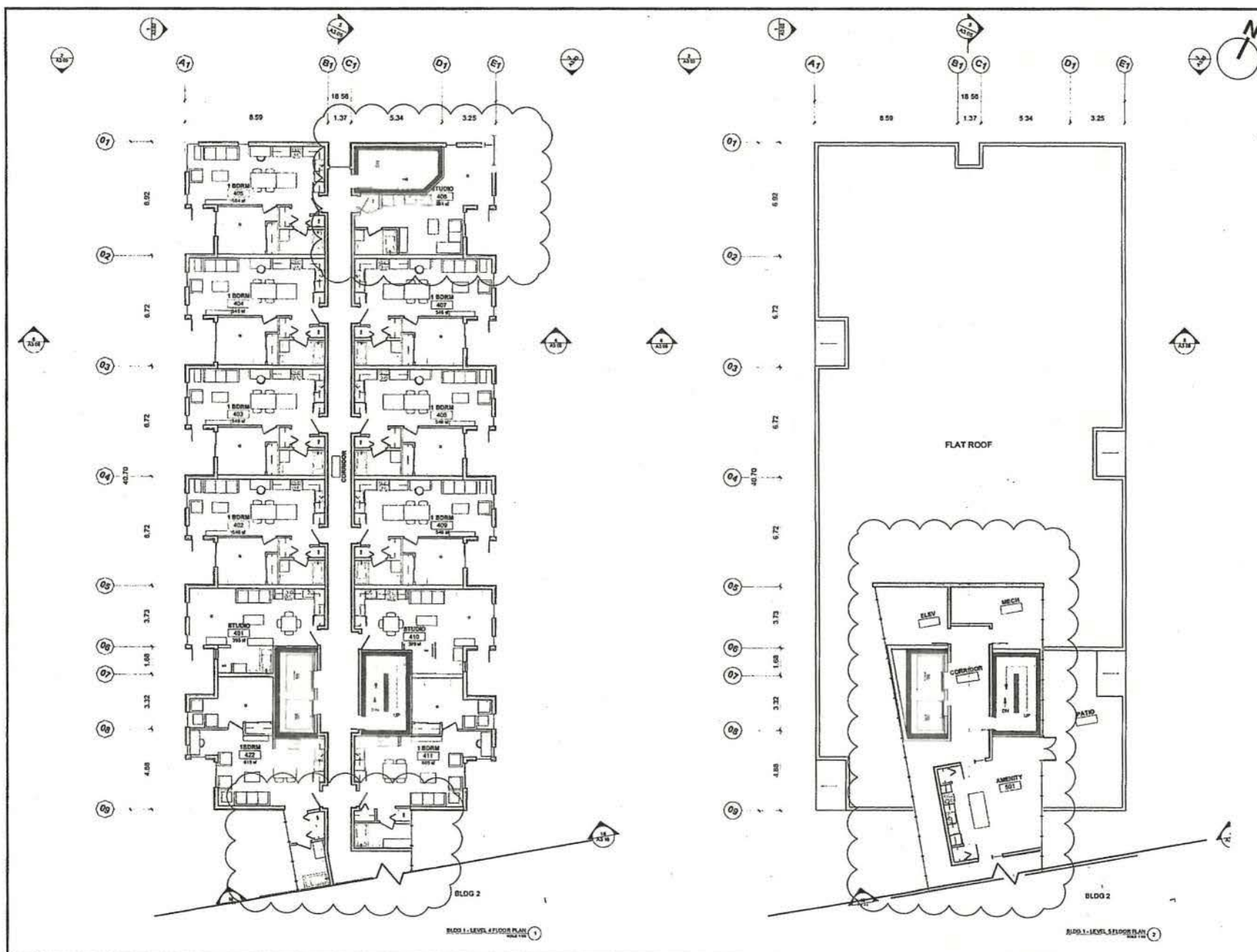
VICTORIA, BC

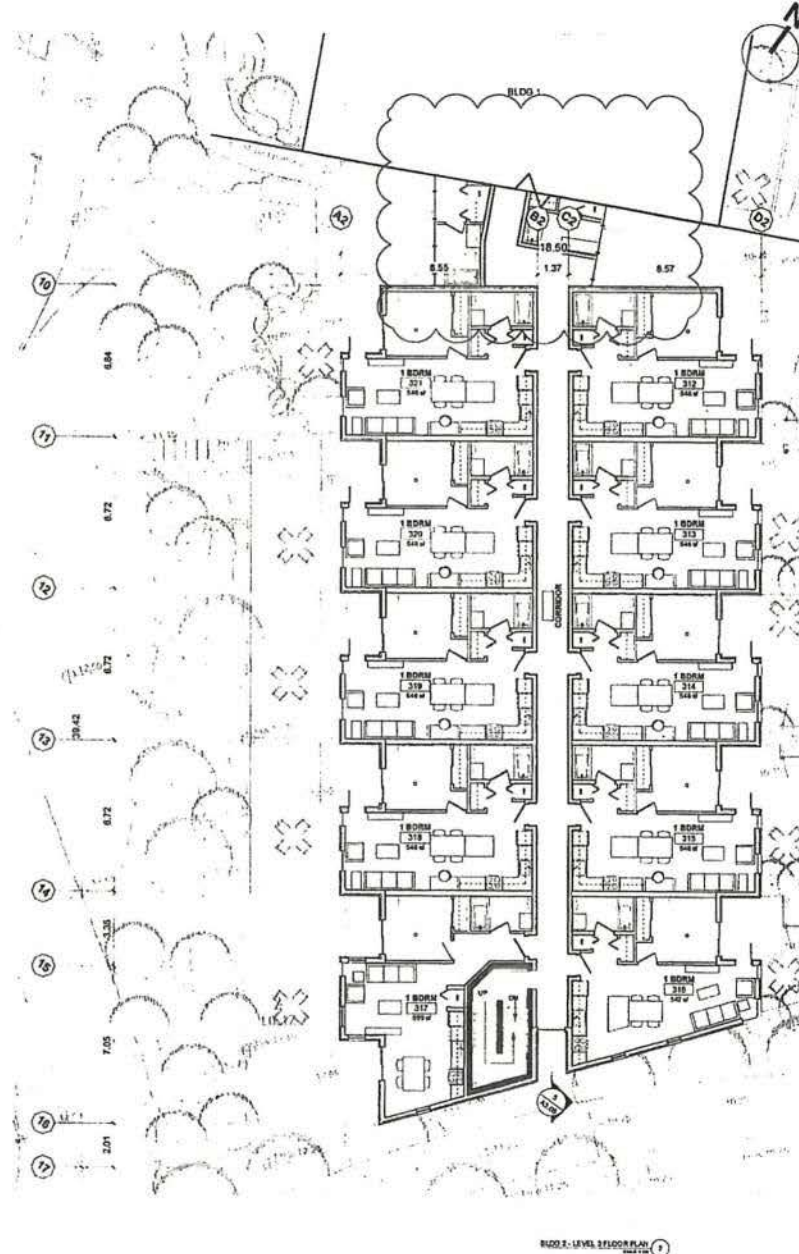
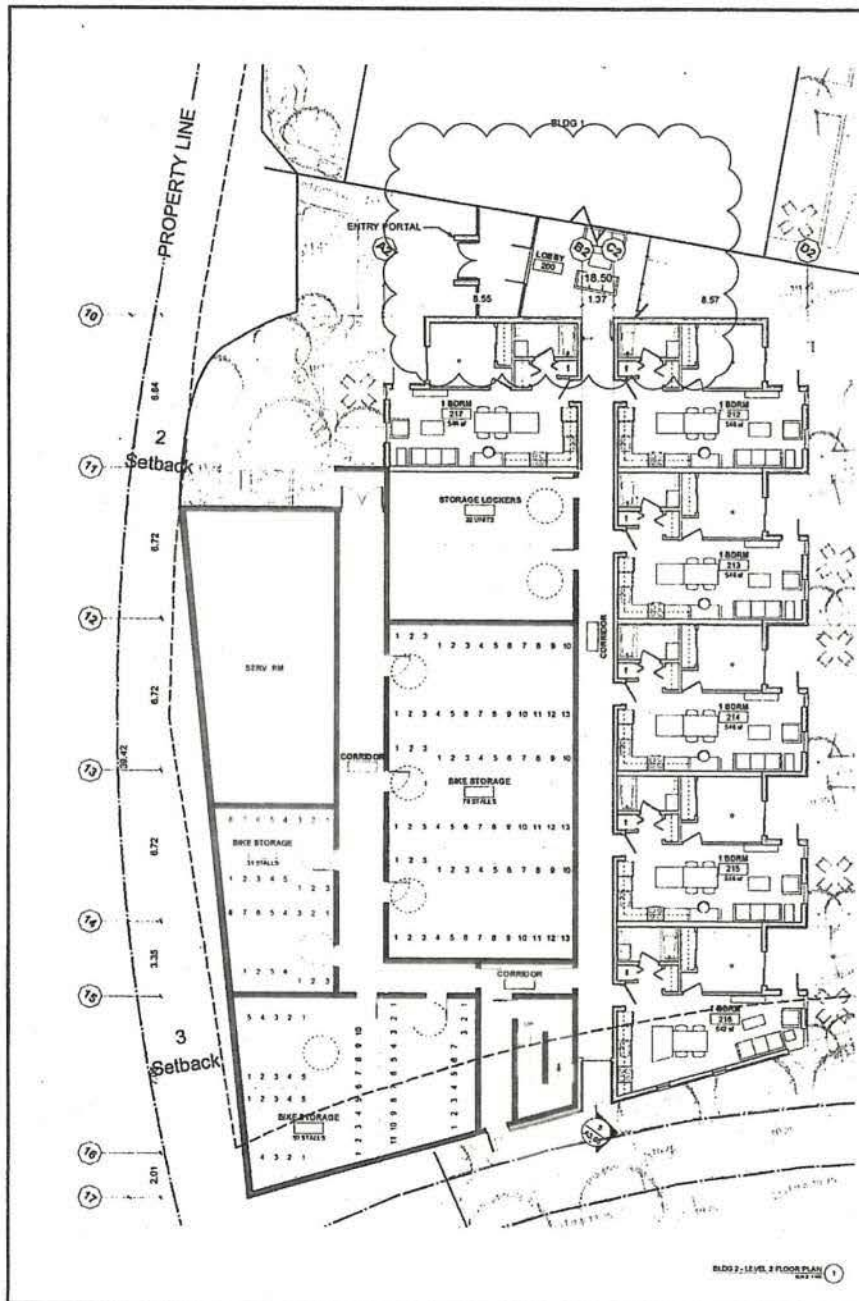
**BLDG 1 - LEVELS 4 & 5
 FLOOR PLANS**

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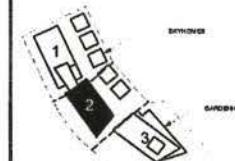
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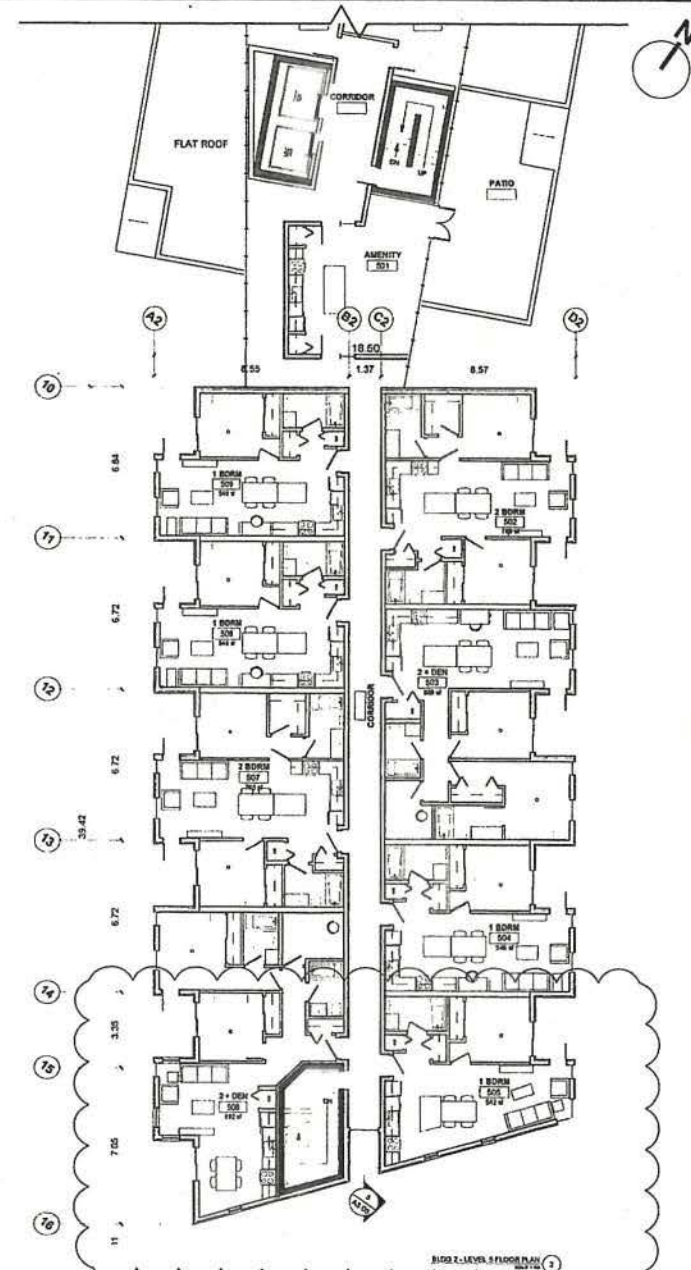
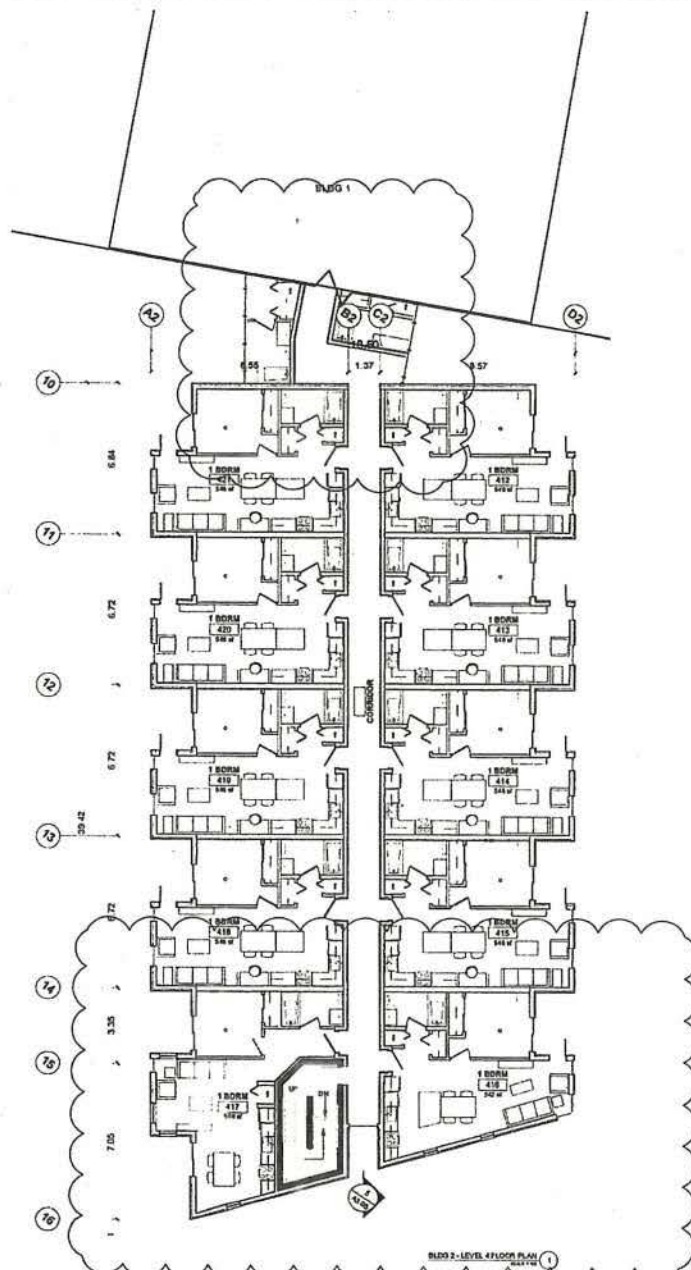
VICTORIA, BC

Bldg 2 - Levels 2 & 3
FLOOR PLANS

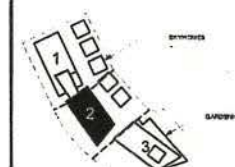
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01/25/15 Plans BLDG2_12_20151111.dwg



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VICTORIA, BC

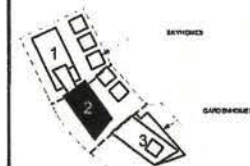
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FLOOR PLANS**

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BLDG 2 - LEVELS 4 & 5 FLOOR PLANS, 12 JAN/15 12:12

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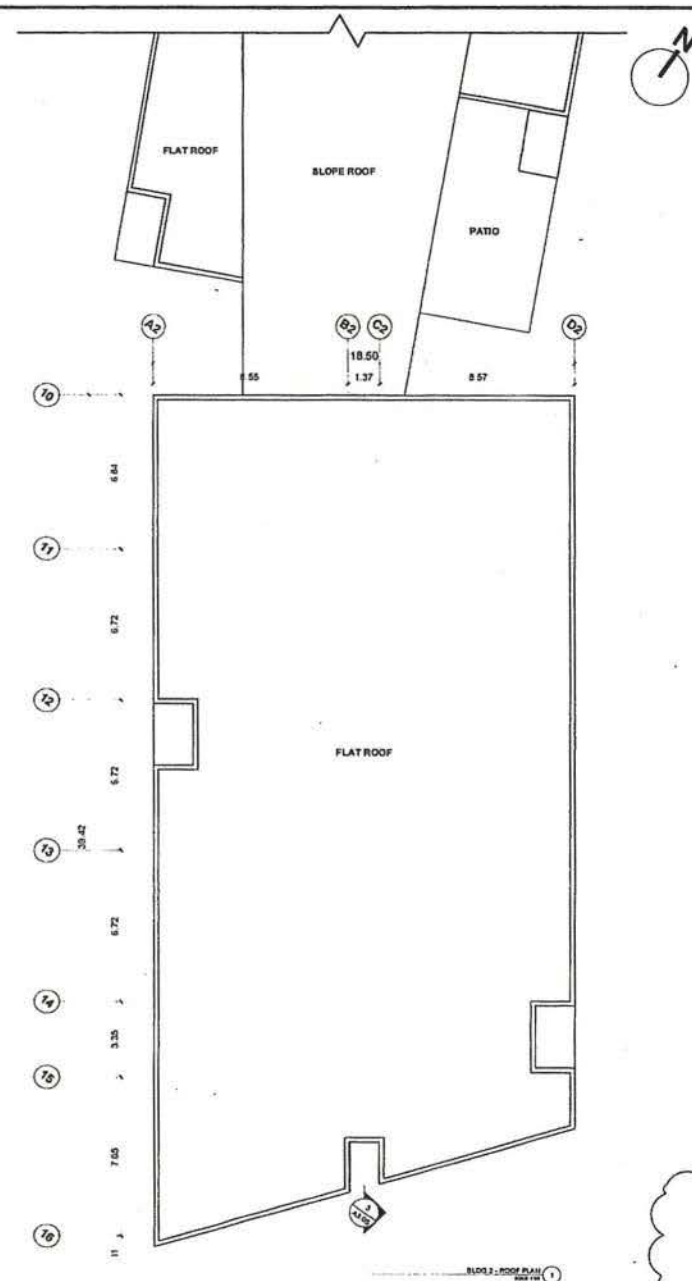
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BLDG 2 - ROOF PLAN

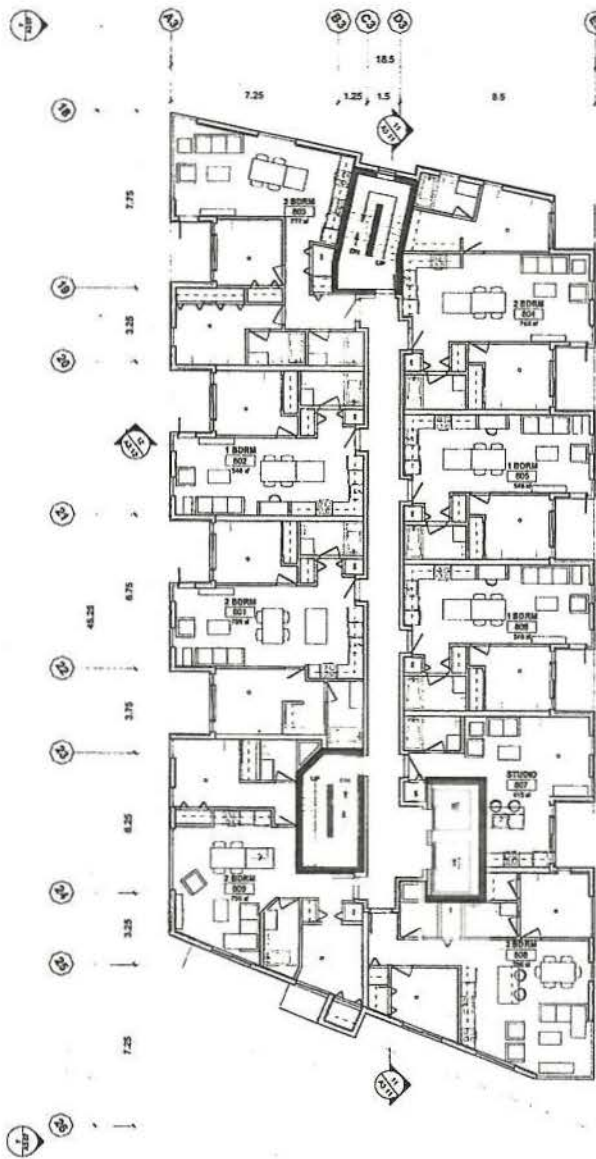
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 PLOT DATE: 20/1/15

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BLDG 2 - ROOF PLAN
 20/1/15



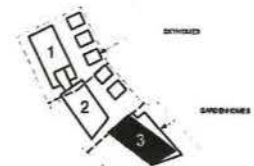
BLDG 3 - LEVEL 8 FLOOR PLAN 1



BLDG 3 - LEVEL 9 FLOOR PLAN 1



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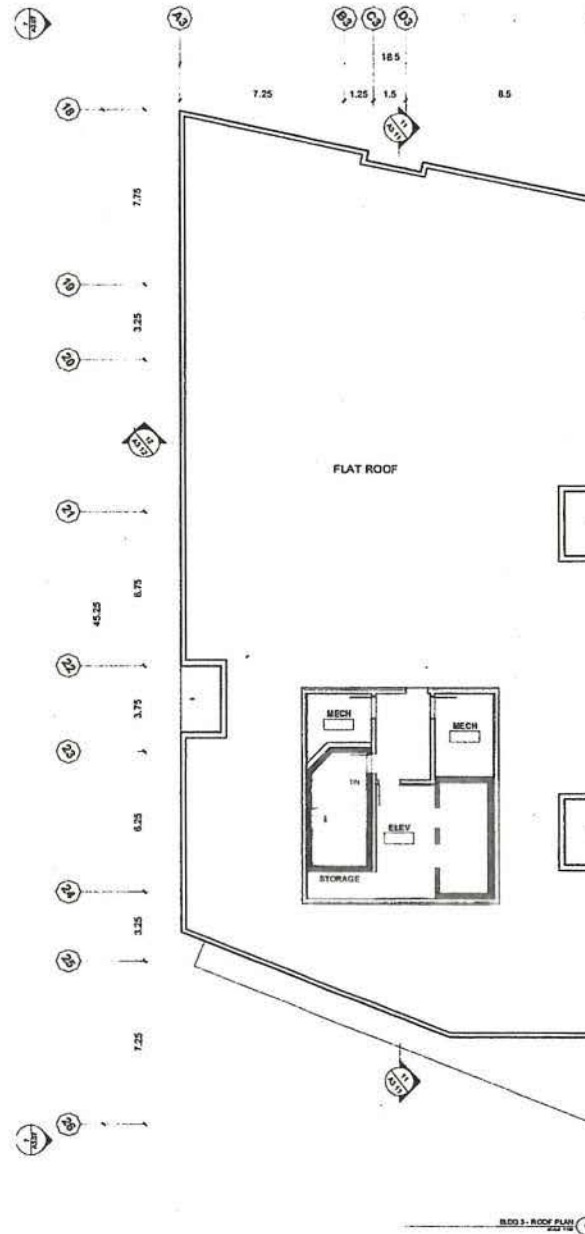
RAILYARDS, LOT H & J

VICTORIA, BC

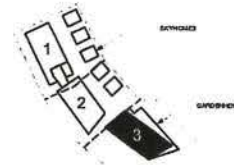
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FLOOR PLANS

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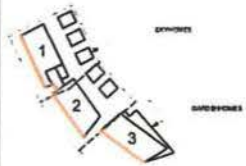
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VICTORIA, BC

BLDG 3 - ROOF PLAN

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 PERTH WA 6150
 Tel: (08) 9441 1111 Fax: (08) 9441 1112
 www.dialogarchitects.com.au

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 PERTH WA 6150
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WEST ELEVATION LEGEND 1A
 SCALE 1:200



WEST STREETScape ALONG TYEE RD. 1B
 SCALE 1:200

RAILYARDS, LOT H & J

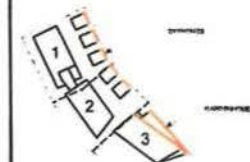
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WEST ELEVATION

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RAILYARDS, LOT H & J

VICTORIA, BC

EAST ELEVATION

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A3.01



EAST ELEVATION - LEGEND
 SCALE: 1:200 2A



EAST STREETSCAPE ELEVATION
 SCALE: 1:200 2B

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VICTORIA BC V8W 1S4
TEL. (250) 363-8028

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PLOT DATE 8/14/73

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 100 ALBANY STREET
 VICTORIA BC V8A 1A1
 Tel: 250.363.1100 Fax: 250.363.1100
 www.dialog-arch.ca

OWNER:
 USTONE AND COMPANY
 100 ALBANY STREET
 VICTORIA BC V8A 1A1
 Tel: 250.363.1100

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

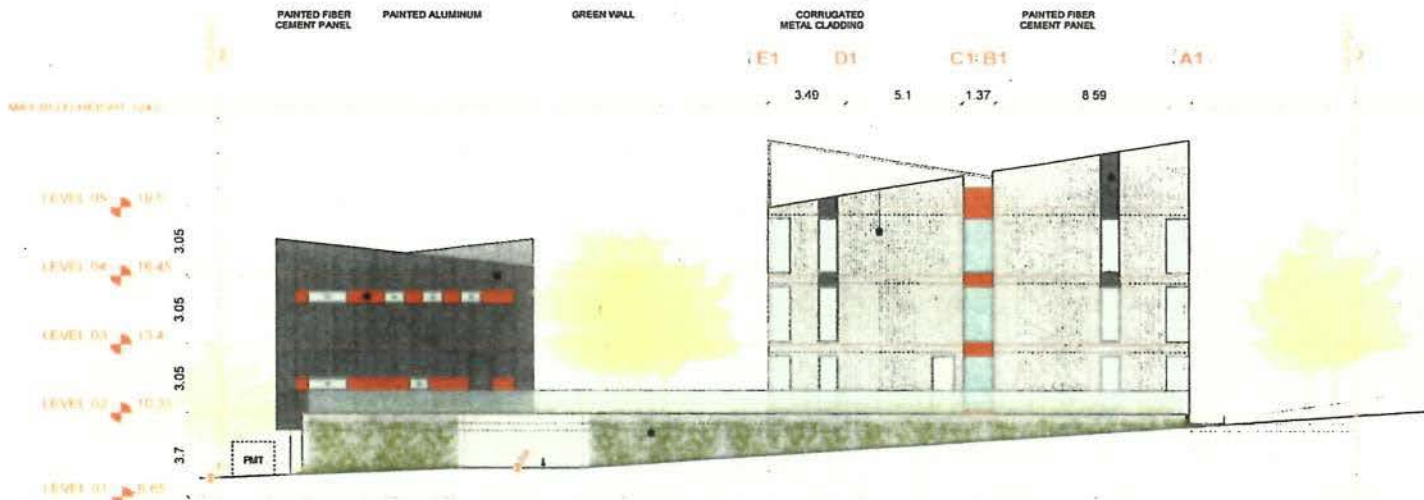
NORTH & SOUTH ELEVATION

BLDG 1 & 2

PROJECT NO. 81475

A3.03

DESIGN BY DIALOG ARCHITECTURE



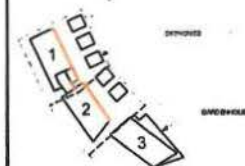
NORTH ELEVATION - BLDG 1
 SCALE 1:100



SOUTH ELEVATION - BLDG 2
 SCALE 1:100

CONCEALED LIGHTING
 IN PLANTER

DIALOG



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- B 14 AUG15 DEVELOPMENT PERMIT REVISIONS

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info@dialog.ca

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1000 BAYVIEW STREET
VICTORIA BC V8P 1B8
Tel: (250) 383-1138

SEAL

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VICTORIA, BC

EAST ELEVATION

BLDG 1 & 2

DESIGN AND PLOT DATE: 07/01/15 CHECKED: MC

A3.04

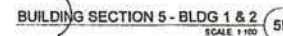
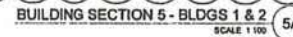
REVISIONS: 01/11/15



EAST ELEVATION - BLDG 2
SCALE: 1/100 4A



EAST ELEVATION - BLDG 1
SCALE: 1/100 4B



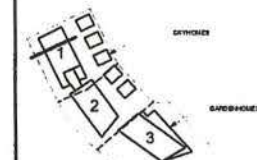
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LEFEBRE AND COMPANY
633 HERALD STREET
VICTORIA BC V8W 1 S8
Tel: (250) 763-8800

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SECTION 201.101

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 email: info@dialog.ca
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 VICTORIA, BC V8N 1S8
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SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

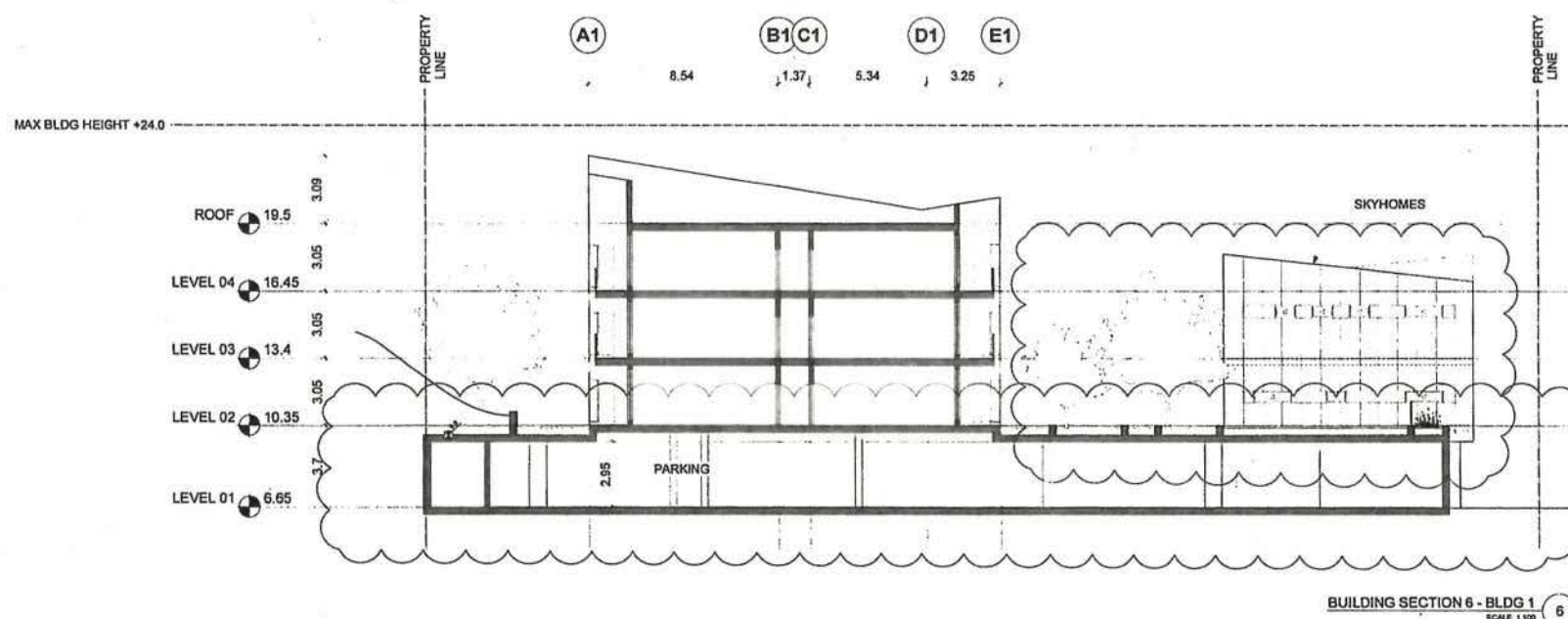
BUILDING SECTION

BLDG 1

DRAWN AG
 PLOT DATE: 8/14/15
 CHECKED MC

A3.06

SECTION 1 OF 10



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SYSTEMS DESIGN PLANNING INC
408 - 411 ALEXANDER STREET
WILMINGTON, DE USA 191
Tel: (302) 255-1100 Fax: (302) 255-1700

OWNER:
LEFEVRE AND COMPANY
50 HERALD STREET
VICTORIA VIC 3220
Tel. (03) 520 2000

REAL

RAILYARDS, LOT H & J

VICTORIA, BC

WEST ELEVATION

BLDG 3

DRAWN AS
PLOT DATE: 8/14/85

CHICAGO, ILL.

A3.07

STUDY IN PROGRESS



WEST ELEVATION - BLDG 3

DRAWN AD
PLOT DATE 8/14/85

DIALOG



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1000 1000 1000 1000

1000 1000 1000 1000

1000 1000 1000 1000

OWNER:

1000 1000 1000 1000

1000 1000 1000 1000

1000 1000 1000 1000

SEAL

RAILYARDS, LOT H & J

NORTH ELEVATION

BLDG 3

GROUP 22
PLOT DATE: 01/15/15

A3.08

02/24/2015 11:11 AM

PAINTED FIBER CEMENT PANEL PAINTED FIBER CEMENT PANEL CORRUGATED METAL CLADDING

E3 D3 C3 B3 A3

8.69 14.143 7.44

ROOF @ MAX HEIGHT 17.0

LEVEL 06 26.25

LEVEL 05 25.7

LEVEL 04 25.25

LEVEL 03 24.8

LEVEL 02 24.35

LEVEL 01 23.9

LEVEL 00 23.45

LEVEL -01 23.0

LEVEL -02 22.55

LEVEL -03 22.1

LEVEL -04 21.65

LEVEL -05 21.2

LEVEL -06 20.75

LEVEL -07 20.3

LEVEL -08 19.85

LEVEL -09 19.4

LEVEL -10 18.95

LEVEL -11 18.5

LEVEL -12 18.05

LEVEL -13 17.6

LEVEL -14 17.15

LEVEL -15 16.7

LEVEL -16 16.25

LEVEL -17 15.8

LEVEL -18 15.35

LEVEL -19 14.9

LEVEL -20 14.45

LEVEL -21 14.0

LEVEL -22 13.55

LEVEL -23 13.1

LEVEL -24 12.65

LEVEL -25 12.2

LEVEL -26 11.75

LEVEL -27 11.3

LEVEL -28 10.85

LEVEL -29 10.4

LEVEL -30 9.95

LEVEL -31 9.5

LEVEL -32 9.05

LEVEL -33 8.6

LEVEL -34 8.15

LEVEL -35 7.7

LEVEL -36 7.25

LEVEL -37 6.8

LEVEL -38 6.35

LEVEL -39 5.9

LEVEL -40 5.45

LEVEL -41 5.0

LEVEL -42 4.55

LEVEL -43 4.1

LEVEL -44 3.65

LEVEL -45 3.2

LEVEL -46 2.75

LEVEL -47 2.3

LEVEL -48 1.85

LEVEL -49 1.4

LEVEL -50 0.95

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LEVEL -52 0.05

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LEVEL -97 0.0

LEVEL -98 0.0

LEVEL -99 0.0

LEVEL -100 0.0

GARDE HOMES

P.A.E.

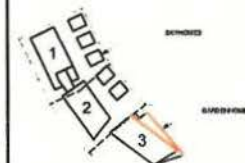
CONCEALED LIGHTING IN PLANTER



NORTH ELEVATION - BLDG 3
SCALE 1:100

8

DIALOG



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 www.dialog.ca
OWNER:
 LEVINE AND COMPANY
 100 HAROLD STREET
 VANCOUVER, BC V6C 1A4
 Tel: 604.681-4000

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

EAST ELEVATION

BLDG 3

DRAWN BY
 PLOT DATE 07/14/15

CHECKED BY

A3.09

6/20/15 ELEVATION_3010701.dwg

PAINTED FIBER CEMENT PANEL PAINTED FIBER CEMENT PANEL CORRUGATED METAL CLADDING

26 25 24 23 22 21 20 19 18

7.32 3.11 6.19 3.79 6.71 6.71 3.6 7.01

ROOF @ MAX HEIGHT 31.00

LEVEL 09 28.35

LEVEL 08 25.7

LEVEL 07 23.05

LEVEL 06 20.4

LEVEL 05 17.75

LEVEL 04 15.1

LEVEL 03 12.45

LEVEL 02 9.8

LEVEL 01 6.95



EAST ELEVATION - BLDG 3
 SCALE 1:100

9

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INTERNATIONAL, INC.
ONE 911 LAUREL STREET
ANN ARBOR MI 48106-1501
Phone: (313) 761-1100 Fax: (313) 761-1101
Asgn@seapch.com

OWNER:
LEFEBVRE AND COMPANY
THOMAS STREET
ANN ARBOR MI 48106

REAL

RAILYARDS, LOT H & J

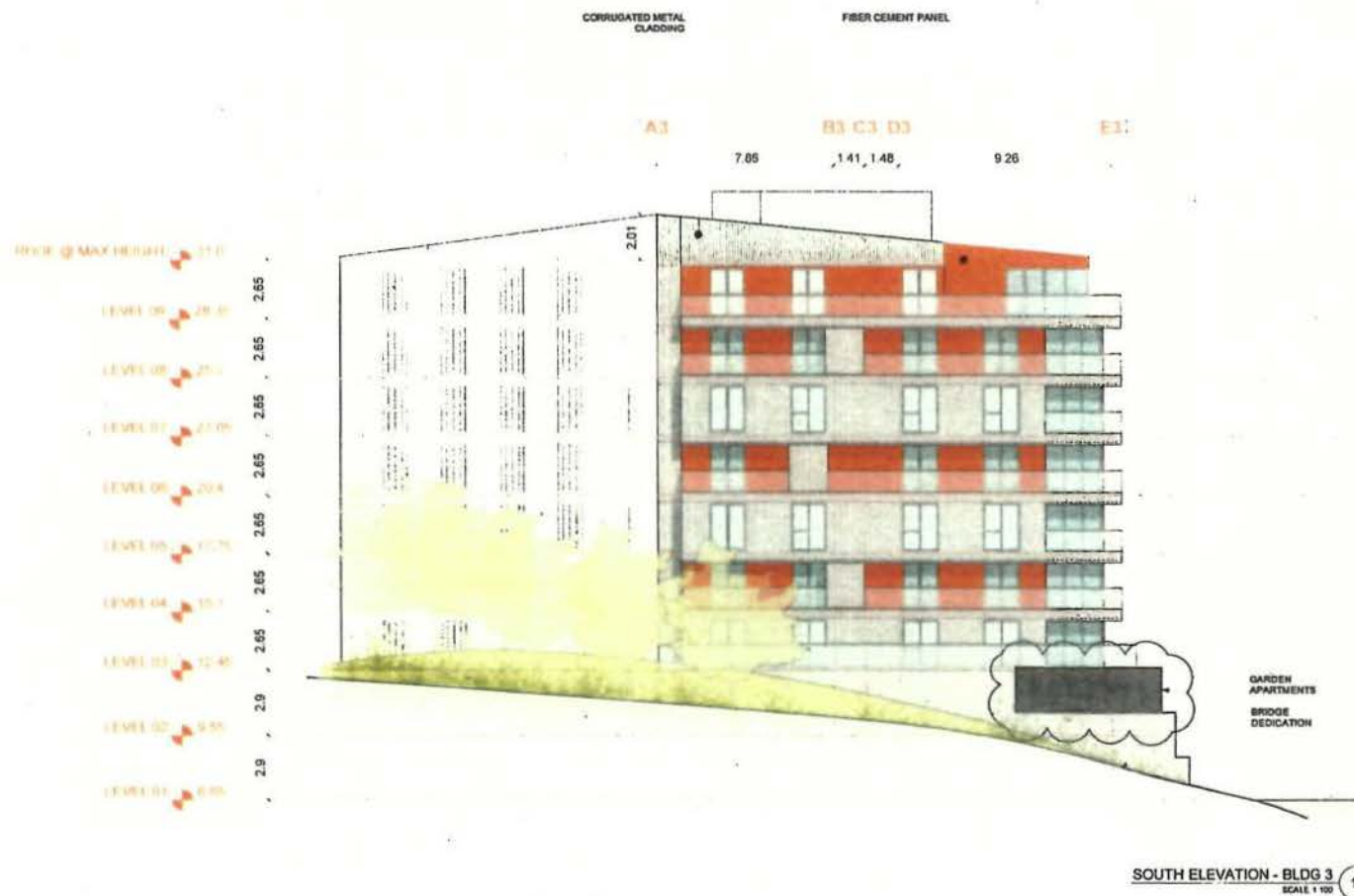
VICTORIA, BC

SOUTH ELEVATION

BLDG 3
DRAWN AG
PLOT DATE: 8/14/75
CHECKED L

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OWNER:
LEFEBVRE AND COMPANY
230 HERALD STREET
VICTORIA BC V8W 1T8
Tel: (250) 363-4924

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

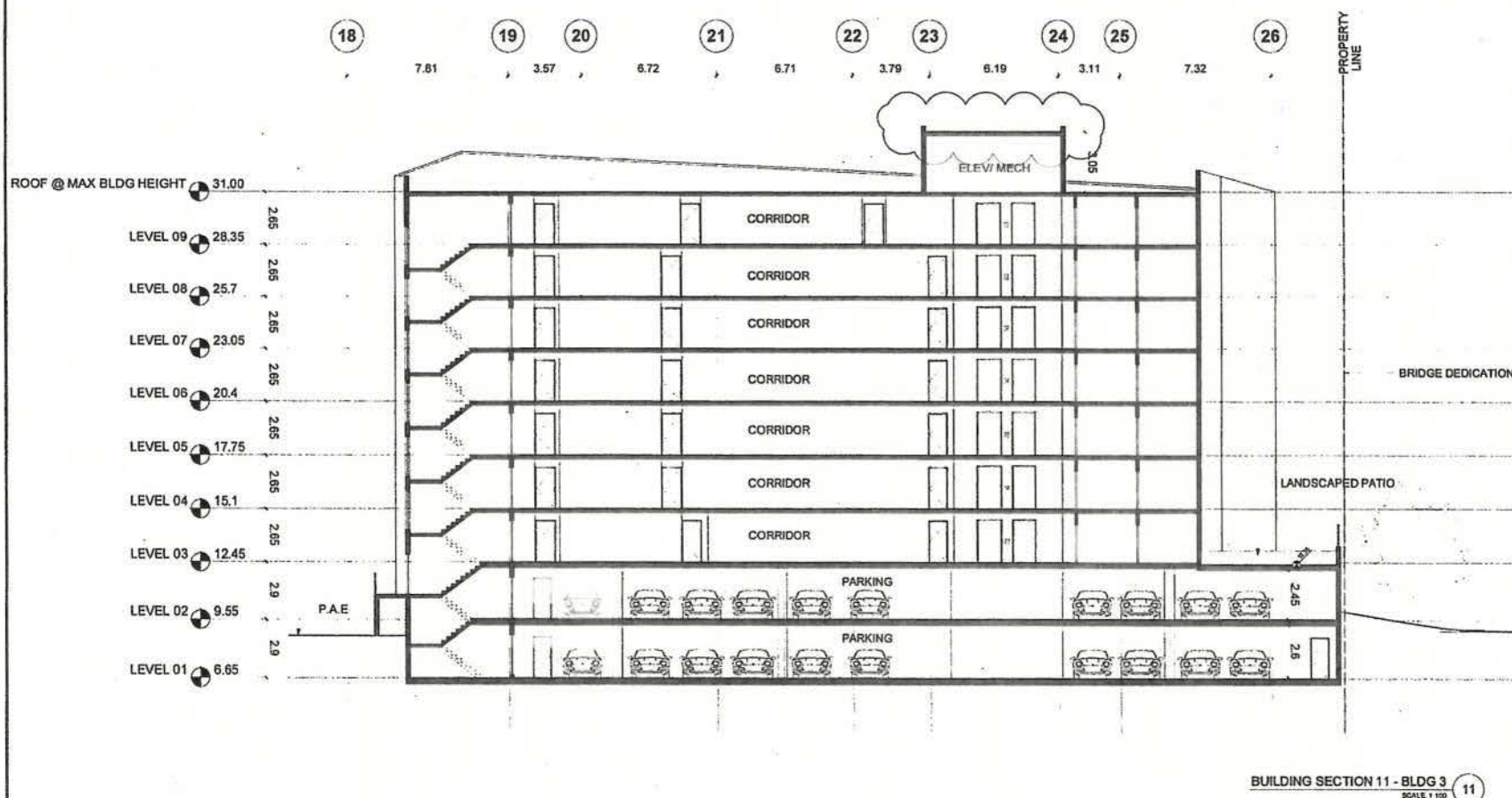
BUILDING SECTION

BLDG 3

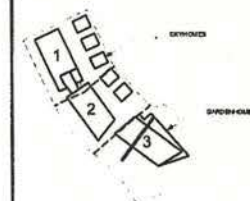
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SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

BUILDING SECTION

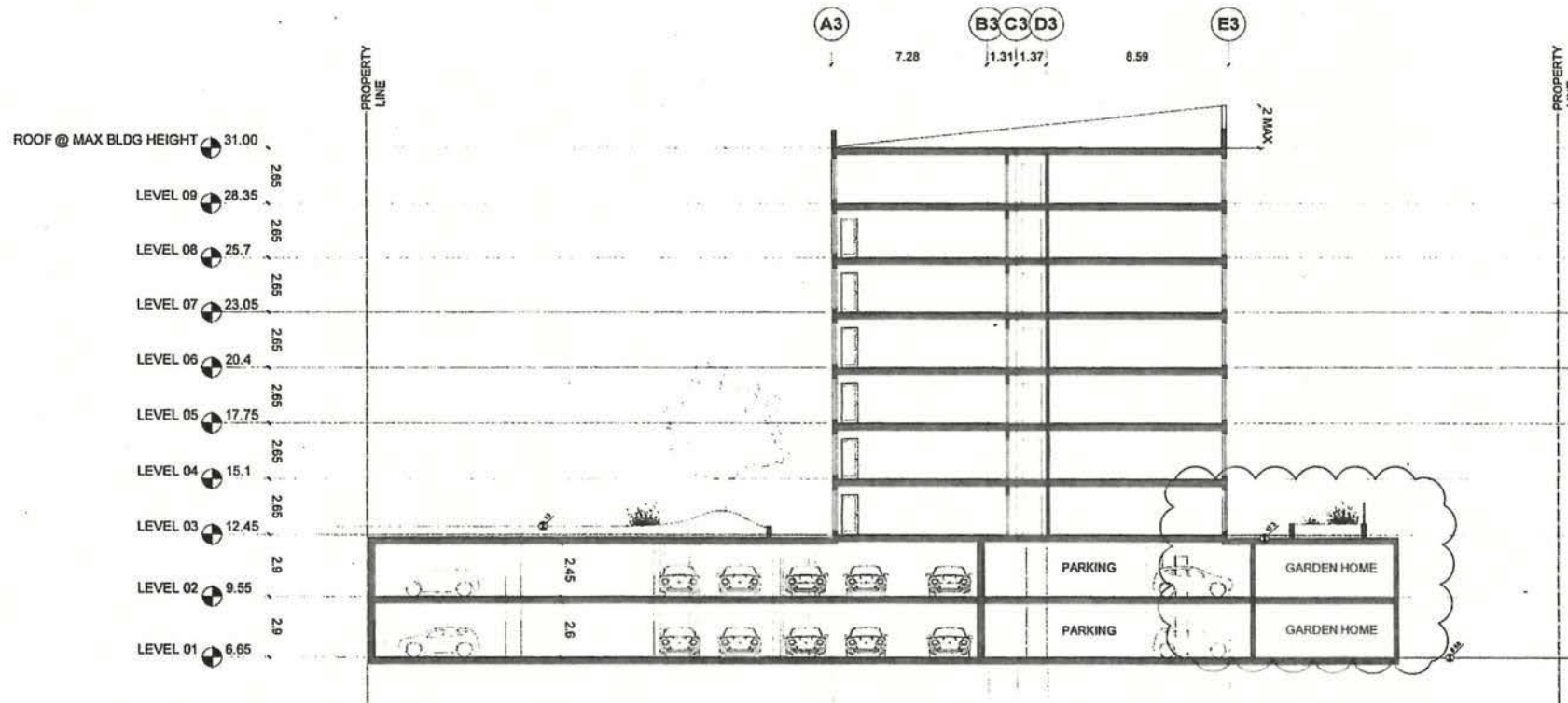
BLDG 3

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CHECKED: MC

A3.12

SECTION 12 - BLDG 3



BUILDING SECTION 12 - BLDG 3
 SCALE: 1/100

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SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

EAST ELEVATIONS - GARDEN HOMES & SKY HOMES

DRAWN: AD
 PLOT DATE: 01/14/15
 CHECKED: MC

A3.13

2015/01/14/15

ROOF @ MAX HEIGHT 11.15

LEVEL 06 28.4

LEVEL 06 25.7

LEVEL 07 23.0

LEVEL 06 20.4

LEVEL 05 17.7

LEVEL 04 15.0

LEVEL 03 12.4

LEVEL 02 9.7

LEVEL 01 7.0

2.65
2.65
2.65
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2.65
2.35
2.65
2.9
2.9

PAINTED CORRUGATED
METAL CLADDING

PAINTED
ALUMINUM

PAINTED FIBER
CEMENT PANEL

PAINTED FIBER
CEMENT PANEL



EAST ELEVATION - GARDEN HOMES

SCALE 1/100

13

MAX BUILDING HEIGHT 24.0

PARKING ENTRANCE

GREEN WALL

PAINTED FIBER
CEMENT PANEL

CORRUGATED
METAL CLADDING

PAINTED
ALUMINUM

PAINTED FIBER
CEMENT PANEL

PARKING ENTRANCE

LEVEL 05 19.5

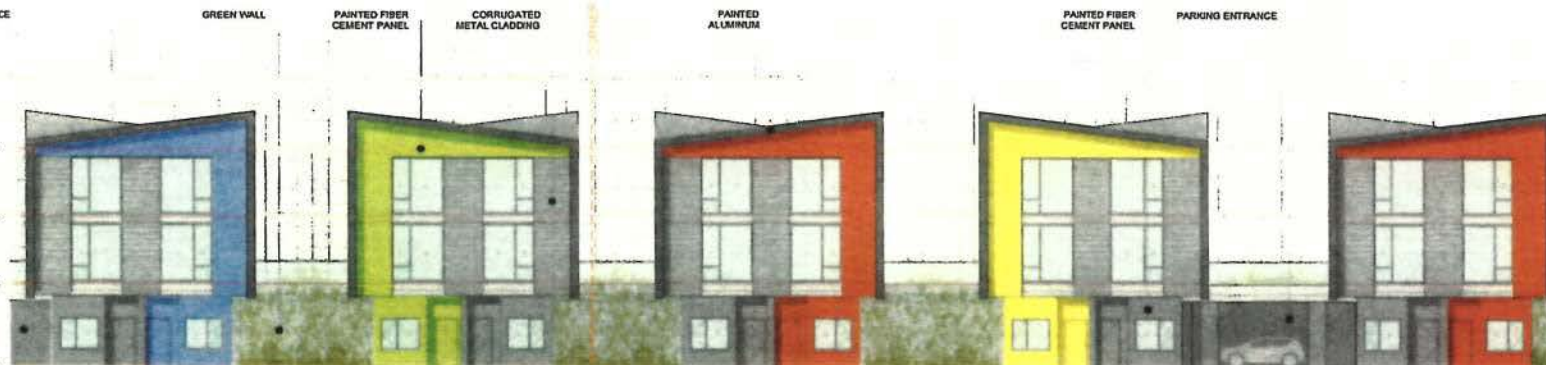
LEVEL 04 16.45

LEVEL 03 13.4

LEVEL 02 10.35

LEVEL 01 7.65

3.05
3.05
3.05
3.7



EAST ELEVATION - SKY HOMES

SCALE 1/100

14

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 Tel: (604) 265-1180 Fax: (604) 265-0700

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LEFEVRE AND COMPANY
50 HERALD STREET
CAMBRIDGE, MA 02142
Tel: (617) 552-4550

SEAL

RAILYARDS, LOT H & J

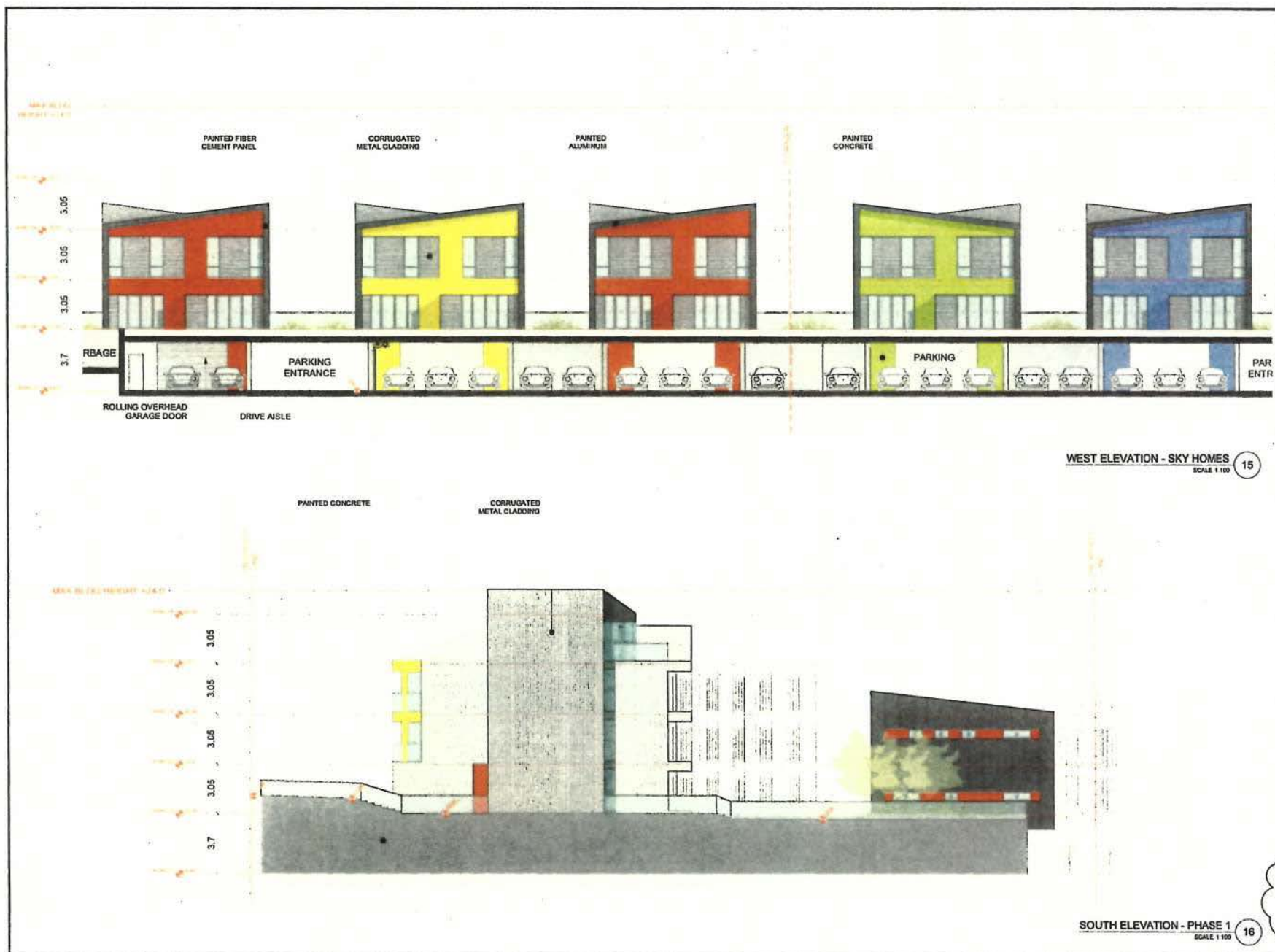
VICTORIA, BC

WEST ELEV. - SKY HOMES
SOUTH ELEV. - PHASE 1

DRAWN AD
PLOT DATE 8/14/05

A3.14

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LIFEYNE AND COMPANY
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VICTORIA BRISBANE
Tel: 0011 61 7 533 1000

RAILYARDS, LOT H & J

SOUTH ELEVATION - PHASE 2

DRAWN AS
PLOT DATE: 2/14/15

CHECKED MC

A3.15

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 401 ALAN AVENUE SUITE 101
 VICTORIA, BC V8W 1A1
 TEL: 250-363-1100 FAX: 250-363-1101
OWNER:
 LAFINE AND COMPANY
 100 BAY STREET
 VICTORIA, BC V8W 1A1
 TEL: 250-363-1100

SEAL

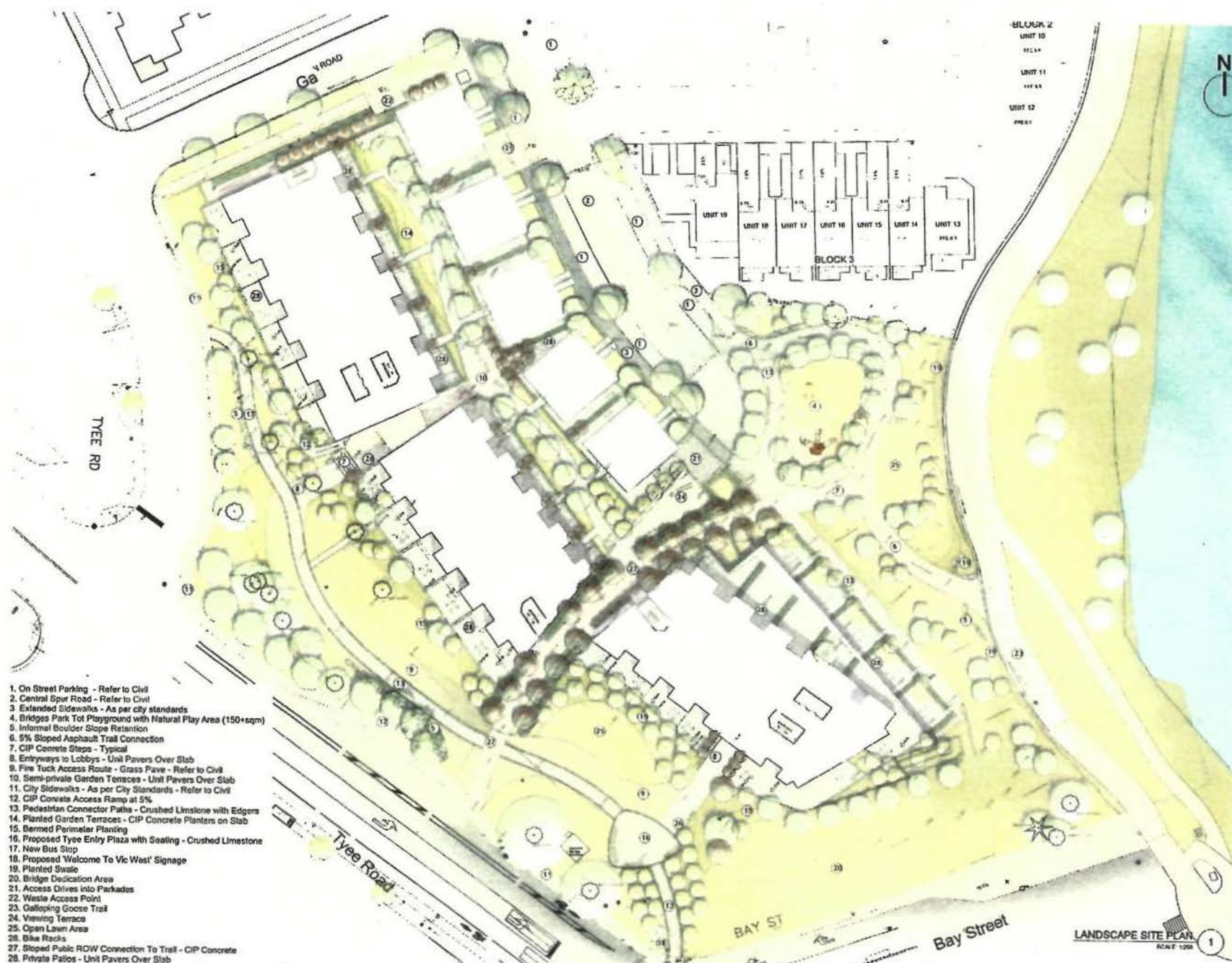
RAILYARDS, LOT H & J

VICTORIA, BC

LANDSCAPE PLAN

DRAWN: PLD DATE: 04/15 CHECKED:

L0.01



1. On Street Parking - Refer to Civil
2. Central Spur Road - Refer to Civil
3. Extended Sidewalks - As per city standards
4. Bridges Park Tot Playground with Natural Play Area (150+sqm)
5. Informal Boulder Slope Retention
6. 5% Sloped Asphalt Trail Connection
7. CIP Concrete Steps - Typical
8. Entryways to Lobbies - Unit Pavers Over Slab
9. Fire Truck Access Route - Grass Pave - Refer to Civil
10. Semi-private Garden Terraces - Unit Pavers Over Slab
11. City Sidewalks - As per City Standards - Refer to Civil
12. CIP Concrete Access Ramp at 5%
13. Pedestrian Connector Paths - Crushed Limestone with Edgers
14. Planted Garden Terraces - CIP Concrete Planters on Slab
15. Bermed Perimeter Planting
16. Proposed Tye Entry Plaza with Seating - Crushed Limestone
17. New Bus Stop
18. Proposed Welcome To Vic West Signage
19. Planted Slope
20. Bridge Dedication Area
21. Access Drives into Parkades
22. Waste Access Point
23. Galloping Goose Trail
24. Viewing Terrace
25. Open Lawn Area
26. Bike Racks
27. Sloped Public ROW Connection To Trail - CIP Concrete
28. Private Patios - Unit Pavers Over Slab

NOTE:
 1. CIVIL TO PROVIDE GEOTECHNICAL TEXTURE BASE DETAILS FOR GRASSED & IRRIGATED FIRE ACCESS ROUTES.
 2. IRRIGATION TO BE DESIGNED AND BUILT AS PER CITY OF VICTORIA'S STANDARDS AND REQUIREMENTS

DIALOG

ISSUED FOR:

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B 24 JUL 15 DEVELOPMENT PERMIT REVISIONS

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VICTORIA, BC V8V 1K6
TEL: 250-381-4500

SEAL

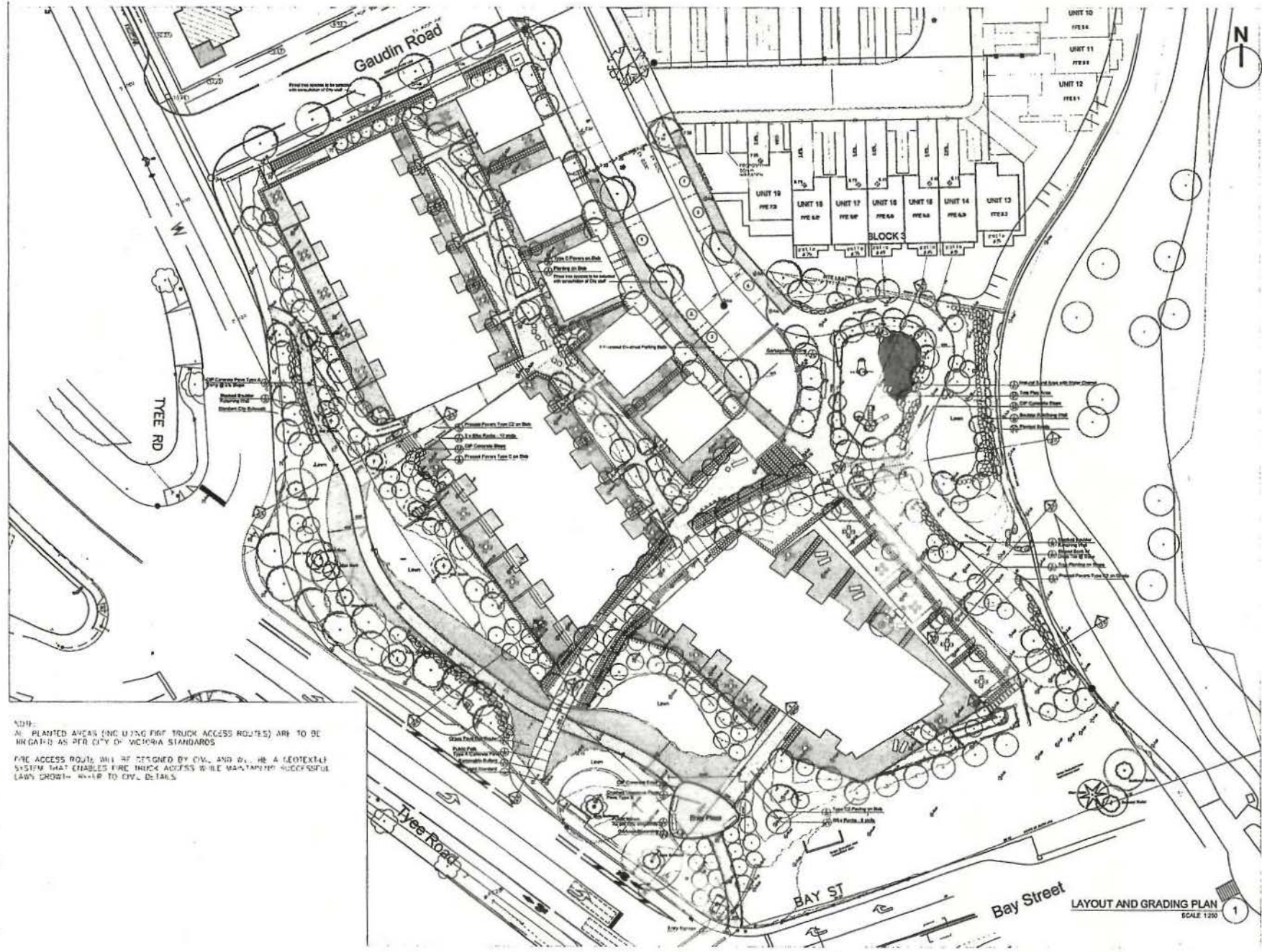
RAILYARDS, LOT H & J

VICTORIA, BC

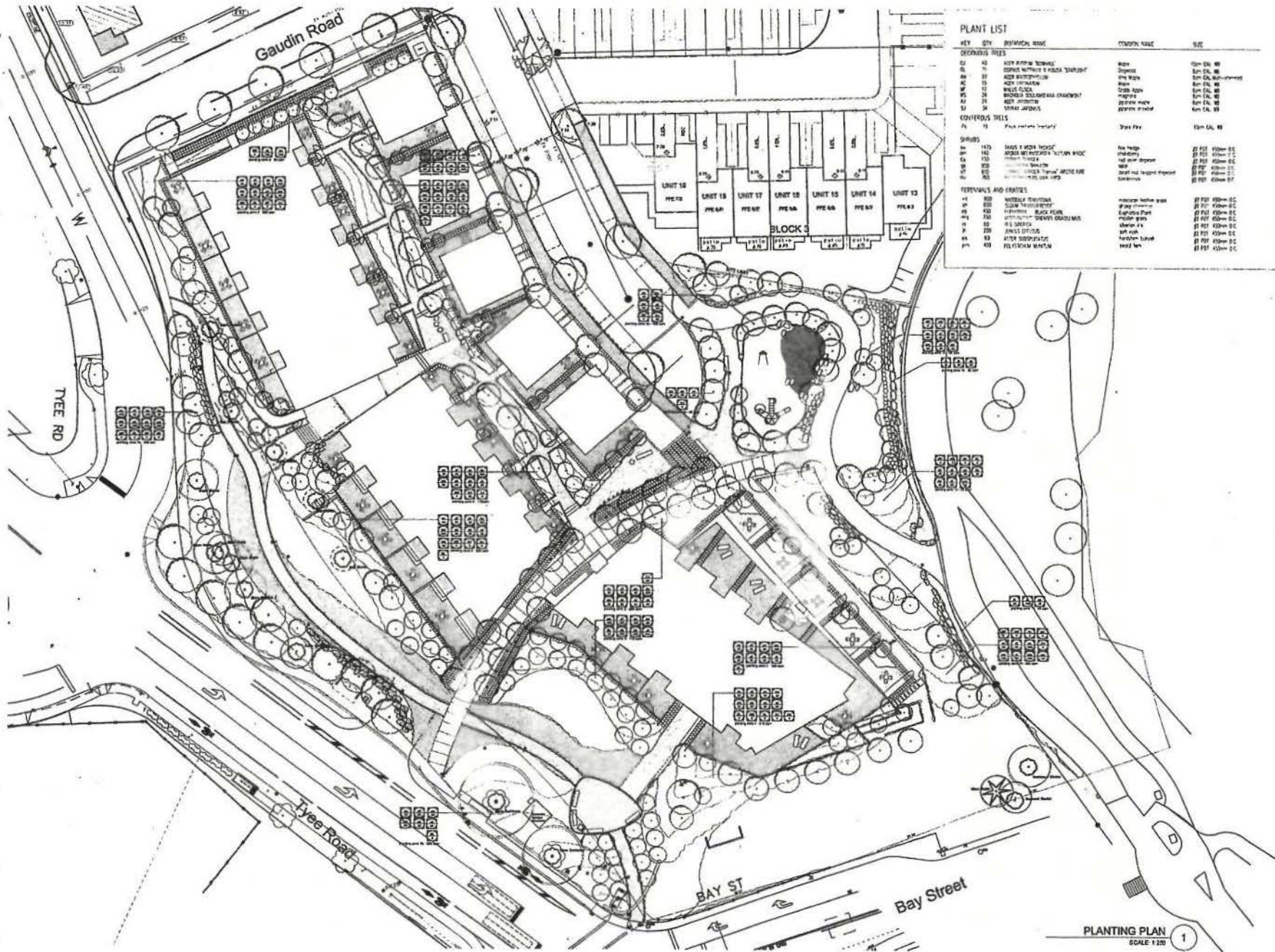
LAYOUT AND GRADING PLAN

DRAWN: PLOT DATE: 5/14/15 CHECKED:

L0.02



NOTE:
ALL PLANTED AREAS (INCLUDING FIRE TRUCK ACCESS ROUTES) ARE TO BE
REGULATED AS PER CITY OF VICTORIA STANDARDS.
FIRE ACCESS ROUTE WILL BE DESIGNED BY CIVIL AND SHALL BE A GEOTECHNICAL
SYSTEM THAT ENABLES FIRE TRUCK ACCESS WHILE MAINTAINING SUFFICIENT
LAWN GROWTH. REFER TO CIVIL DETAILS.



KEY	QTY	SYMBOL	PLANT NAME	SIZE
DECIDUOUS TREES				
10	10	[Symbol]	RED BAY LEAF	10m CL, 10m
11	10	[Symbol]	RED BAY LEAF	10m CL, 10m
12	10	[Symbol]	RED BAY LEAF	10m CL, 10m
13	10	[Symbol]	RED BAY LEAF	10m CL, 10m
14	10	[Symbol]	RED BAY LEAF	10m CL, 10m
15	10	[Symbol]	RED BAY LEAF	10m CL, 10m
16	10	[Symbol]	RED BAY LEAF	10m CL, 10m
17	10	[Symbol]	RED BAY LEAF	10m CL, 10m
18	10	[Symbol]	RED BAY LEAF	10m CL, 10m
19	10	[Symbol]	RED BAY LEAF	10m CL, 10m
20	10	[Symbol]	RED BAY LEAF	10m CL, 10m
CONIFERUS TREES				
21	10	[Symbol]	RED BAY LEAF	10m CL, 10m
22	10	[Symbol]	RED BAY LEAF	10m CL, 10m
23	10	[Symbol]	RED BAY LEAF	10m CL, 10m
24	10	[Symbol]	RED BAY LEAF	10m CL, 10m
25	10	[Symbol]	RED BAY LEAF	10m CL, 10m
26	10	[Symbol]	RED BAY LEAF	10m CL, 10m
27	10	[Symbol]	RED BAY LEAF	10m CL, 10m
28	10	[Symbol]	RED BAY LEAF	10m CL, 10m
29	10	[Symbol]	RED BAY LEAF	10m CL, 10m
30	10	[Symbol]	RED BAY LEAF	10m CL, 10m
SHRUBS				
31	10	[Symbol]	RED BAY LEAF	10m CL, 10m
32	10	[Symbol]	RED BAY LEAF	10m CL, 10m
33	10	[Symbol]	RED BAY LEAF	10m CL, 10m
34	10	[Symbol]	RED BAY LEAF	10m CL, 10m
35	10	[Symbol]	RED BAY LEAF	10m CL, 10m
36	10	[Symbol]	RED BAY LEAF	10m CL, 10m
37	10	[Symbol]	RED BAY LEAF	10m CL, 10m
38	10	[Symbol]	RED BAY LEAF	10m CL, 10m
39	10	[Symbol]	RED BAY LEAF	10m CL, 10m
40	10	[Symbol]	RED BAY LEAF	10m CL, 10m
PERENNIALS AND GRASSES				
41	10	[Symbol]	RED BAY LEAF	10m CL, 10m
42	10	[Symbol]	RED BAY LEAF	10m CL, 10m
43	10	[Symbol]	RED BAY LEAF	10m CL, 10m
44	10	[Symbol]	RED BAY LEAF	10m CL, 10m
45	10	[Symbol]	RED BAY LEAF	10m CL, 10m
46	10	[Symbol]	RED BAY LEAF	10m CL, 10m
47	10	[Symbol]	RED BAY LEAF	10m CL, 10m
48	10	[Symbol]	RED BAY LEAF	10m CL, 10m
49	10	[Symbol]	RED BAY LEAF	10m CL, 10m
50	10	[Symbol]	RED BAY LEAF	10m CL, 10m

ISSUED FOR

A. 30 JANUARY DEVELOPMENT PERMIT

B. 24 JANUARY DEVELOPMENT PERMIT REVISIONS

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SPACING AND DISTANCES ARE GIVEN TO THE CENTER OF THE PLANT.

DEVIATIONS FROM THE CONTRACT INCLUDING ANY VARIATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ARCHITECT & PRIME CONSULTANT

DIALOG ARCHITECTURE

1000 BAY STREET

VICTORIA, BC V8W 2E1

TEL: 250-363-1100

WWW.DIALOGARCHITECTURE.COM

OWNER:

RAILYARDS DEVELOPMENT

1000 BAY STREET

VICTORIA, BC V8W 2E1

TEL: 250-363-1100

RAILYARDS, LOT H & J

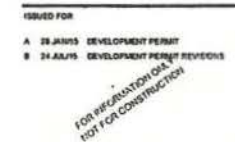
VICTORIA, BC

PLANTING PLAN

DRAWN: [Name] PLOT DATE: 01/16/15 CHECKED: [Name]

L0.03

PLANTING PLAN
SCALE 1:250



METRIC
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**ALL DISCUSSIONS AND REVISIONS MUST BE DONE
IN WRITING**
No verbal discussions

**A GROUP OF METRICS AND DIRECTIONS TO THE EVALUATOR
FOR CLARIFICATION BEFORE COMMENCEMENT OF THE
EVALUATION**

**DEFINITIONS FROM THE CURRENT DOCUMENTS ARE IN
BOLD CAPITAL LETTERS. THE FOLLOWING ARE NOT IN
BOLD CAPITALS BUT THE DOCUMENTS**

ARCHITECT & PRIME CONSULTANT
SHOULD BE ARCHITECTURE ENGINEERING
CONSULTING GROUP, ANALYST INC.
801 N. JEFFERSON STREET
CHICAGO, IL 60610
Tel: 312-523-1123 Fax: 312-523-1770
email: arch@agc.com

**OWNER AND COMPUTER
SOLUTIONS GROUP
100 N. JEFFERSON STREET
CHICAGO, IL 60610
Tel: 312-523-1123 Fax: 312-523-1770**

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

TREE PRESERVATION PLAN

DRAWN
PLOT DATE: 8/14/15

L0.04

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ARCHITECT & PRIME CONSULTANT
DALGO BC ARCHITECTURE ENGINEERING
INTERIOR DESIGN PLANNING INC
406 811 ALEXANDER STREET
VANCOUVER, BC V6A 1E1
Tel: (604) 275-1508 Fax: (604) 275-1799
dalgo@mvancouver.ca

OWNER:
LEFEVRE AND COMPANY
220 HERALD STREET
VICTORIA BC V8W 1S8
TEL: (250) 383-4000

SEAL

RAILYARDS, LOT H & J

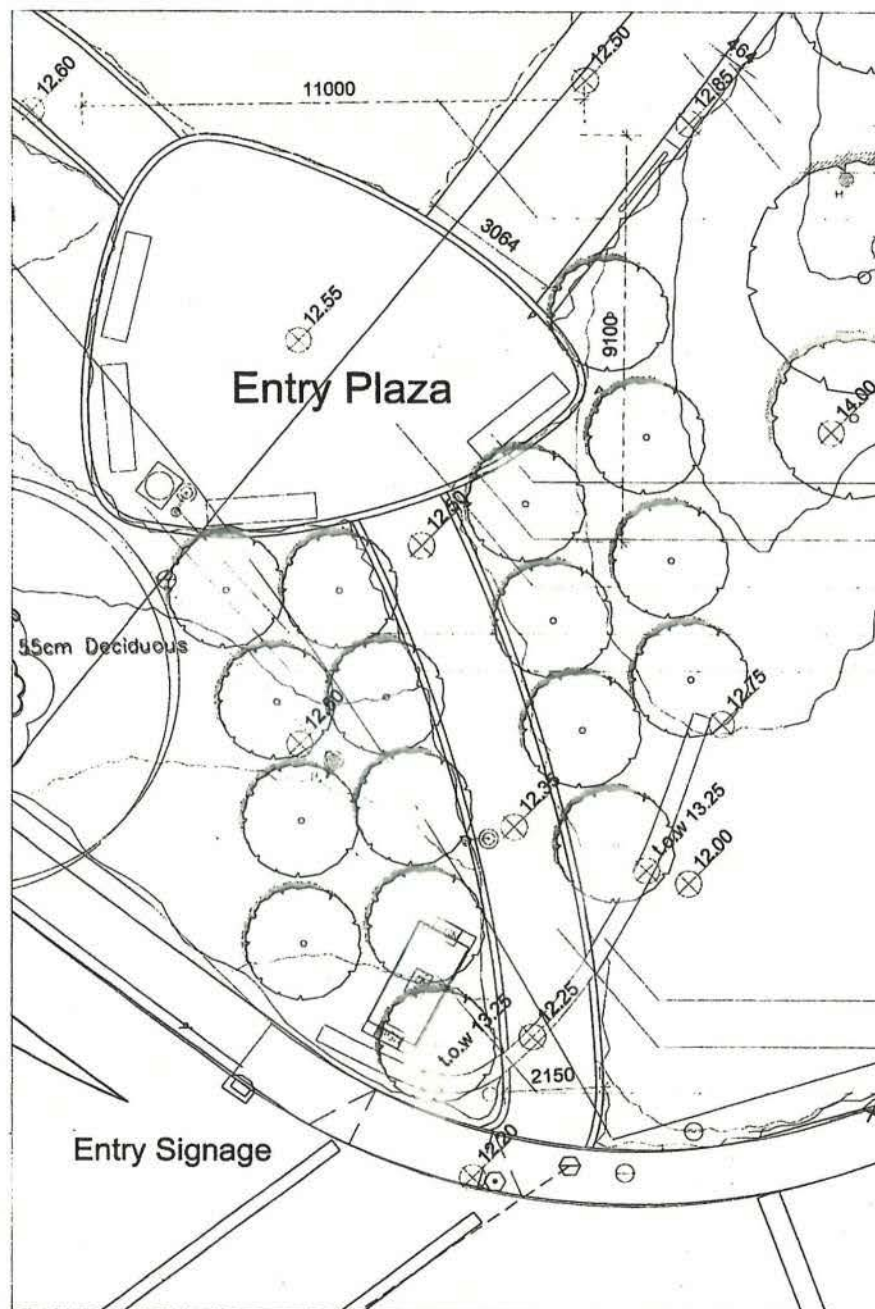
VICTORIA, BC

ENTRY PLAZA & NEW SIGNAGE

DRAWN
PLOT DATE 8/14/15

CHECKED

L0.06



RESIDENTIAL ENTRY SEATING WALL
CAST IN PLACE, SITTING HEIGHT CONCRETE RETAINING WALL
REFER TO LANDSCAPE DETAILS

RESIDENTIAL ENTRY PATH TO LOBBY
PRECAST UNIT PAVES OVER PIAH
REFER TO LANDSCAPE DETAILS

6M WIDE FIRE TRUCK ACCESS ROUTE
PRECAST CRACK-PAVE OR PRE-APPROVED ALTERNATIVE
REFER TO LANDSCAPE DETAILS

- PUBLIC PARK BENCH (TYP) ON CIP CONCRETE - HAND
AS PER CITY STANDARDS

CIP CONCRETE EDGING TO # 4/A AND PATHWAYS (TYP)
REFER TO LANDSCAPE DETAILS

TYPE ROAD ENTRANCE PLAZA AS PER ADA
COMPACTOR CRUSHED LIMESTONE WITH 1/2" LEAVEN IT PAVING

LIGHT STANDARD AS PER CITY STANDARDS
(FINAL LOCATIONS TO BE DETERMINED)

TRASH RECEPTACLE ON CIP CONCRETE PAD (TYP)
AND AS PER CITY STANDARDS
REFER TO LANDSCAPE DETAILS

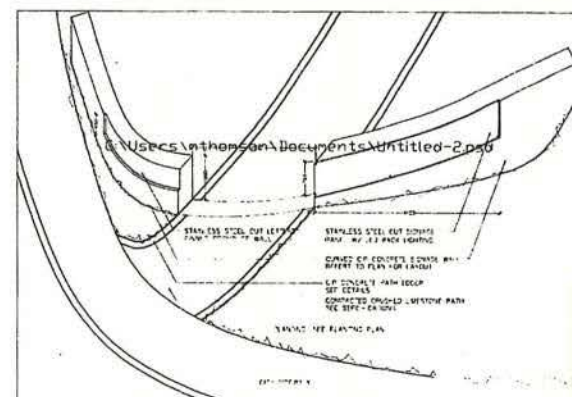
- TOP CONCRETE ENTRY SIGNAGE WALL, WITH STEEL LETTERS/SIGNAGE ELEMENTS AND LED LIGHTING.

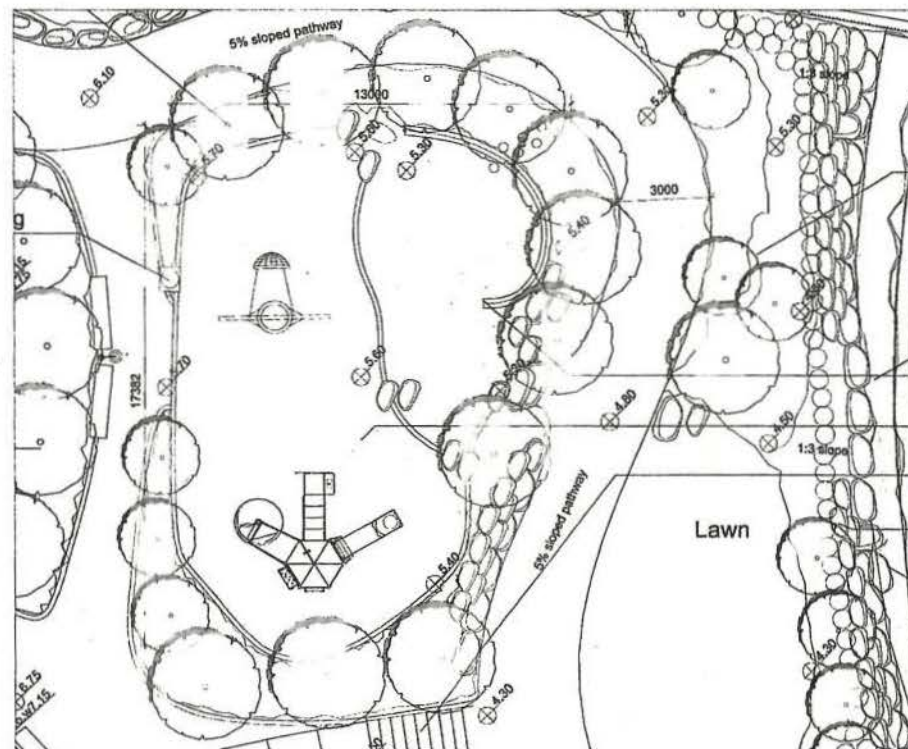
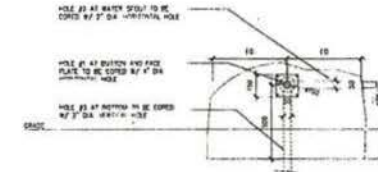
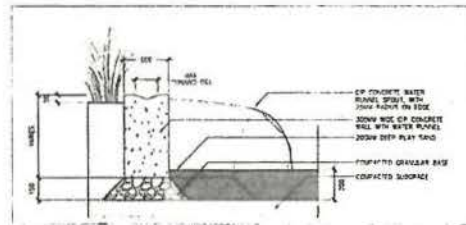
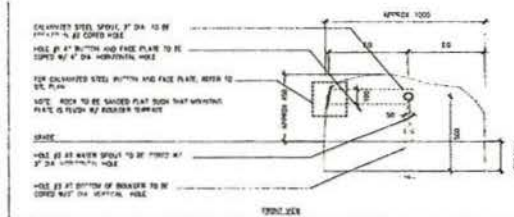
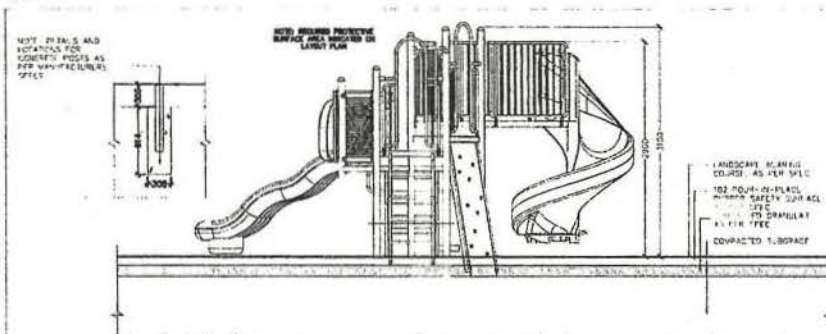
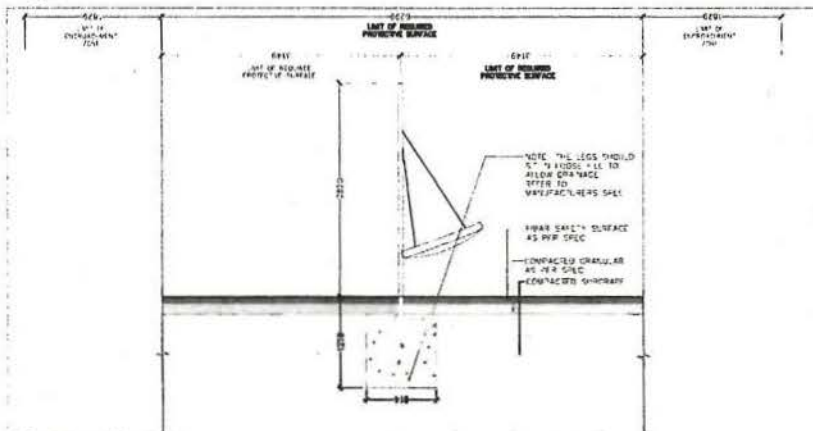
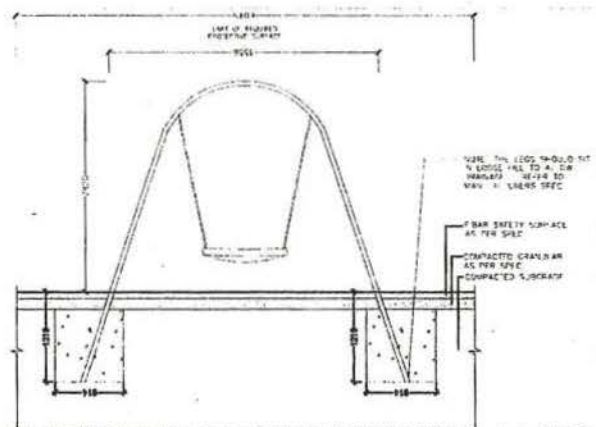
ENTRY PATHWAY
CRUSHED IN SLOTTED PATHWAY WITH CORRUPT
EDGING

EXISTING SIGNAGE TO BE REMOVED



PRECEDENT PICTURE OF SIGNAGE TYPE





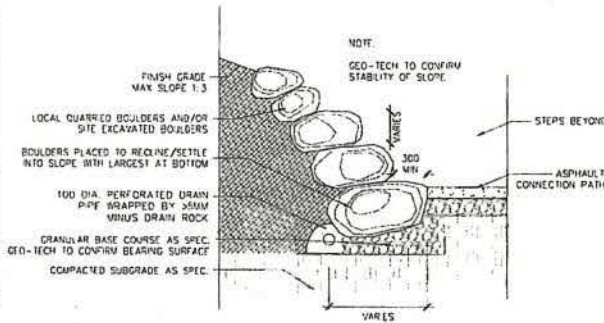
DIALOG

ISSUED FOR:
A 28 JAN15 DEVELOPMENT PERMIT
B 24 JUL15 DEVELOPMENT PERMIT REVISIONS
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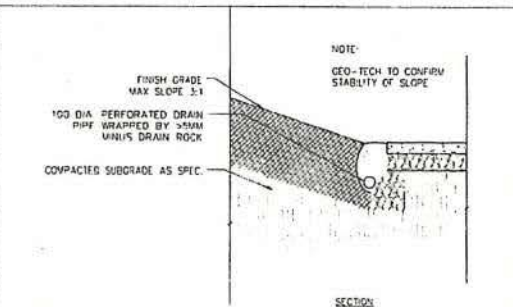
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WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO
THE CONSULTANT'S DISCRETION AND WILL BE CHARGED.
ARCHITECT & PRIME CONSULTANT
DIALOG ARCHITECTURE & INTERIORS
1000-1000 RAILROAD AVENUE
VICTORIA, BC V8W 2E1
Tel: 250-363-1000 Fax: 250-363-1000
www.dialog-arch.com
OWNER:
LEVERAGE AND COMPANY
100 HOLLAND STREET
VICTORIA, BC V8W 2E1
Tel: 250-363-1000

SEAL
RAILYARDS, LOT H & J
VICTORIA, BC
TOTS PLAY AREA DETAILS

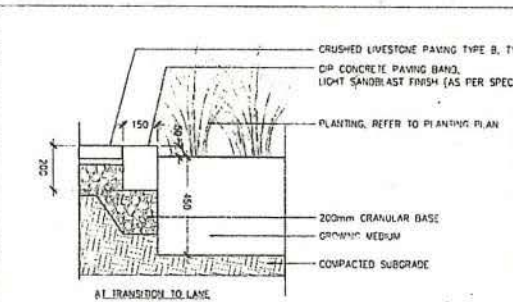
DRAWN: PLOT DATE: 01/15/15 CHECKED:
L0.07



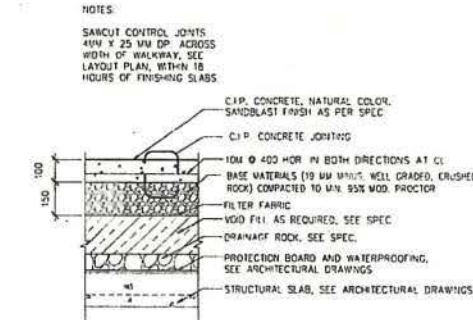
1 L0.08 1:30 Stacked Boulder Retaining Wall



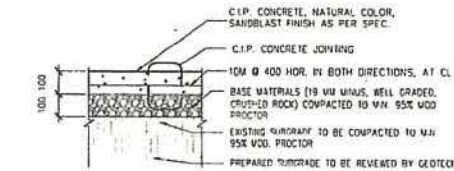
2 L0.08 1:30 Sloped to Drain Tile at Edge of Path



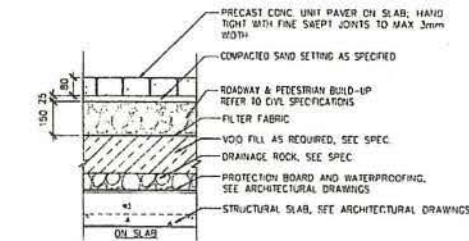
3 L0.08 1:30 Concrete Edger at Pathways



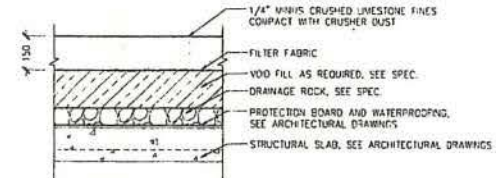
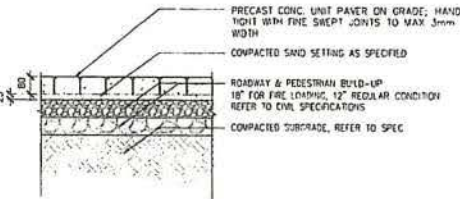
1 L0.08 1:10 PAVING TYPE A - C.I.P. CONCRETE PAVING ON SLAB



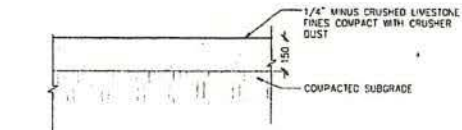
14 L0.08 1:10 PAVING TYPE A - C.I.P. CONCRETE PAVING



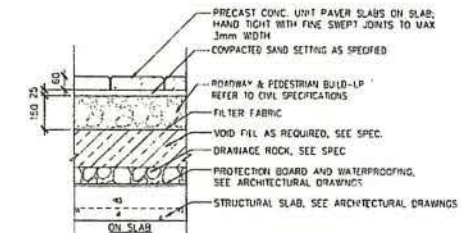
5 L0.08 1:10 PAVING TYPE C - CONCRETE UNIT PAVERS ON SLAB



3 L0.08 1:10 CRUSHED STONE PAVING ON SLAB



4 L0.08 1:10 PAVING TYPE B - CRUSHED STONE PAVING ON GRADE



6 L0.08 1:10 PAVING TYPE C-2 - CONCRETE UNIT PAVERS ON GRADE

ISSUED FOR

A 28 JANIS DEVELOPMENT PERMIT

B 24 JULIS DEVELOPMENT PERMIT REVISIONS

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LOCATION OF PAVING AND DIMENSIONS OF DIMENSIONS WITHIN THE SYSTEM.

ARCHITECT & PRIME CONSULTANT

SHOUB & ASSOCIATES INCORPORATED

1000 WEST 10TH AVENUE SUITE 100

VANCOUVER, BC V6H 1A1

TEL: 604.255.1111 FAX: 604.255.1112

OWNER:

LESLIE AND COMPANY

301 HANCOCK STREET

VANCOUVER, BC V6H 1A1

TEL: 604.255.1111

REAL

RAILYARDS, LOT H & J

VICTORIA, BC

PAVING DETAILS

DRAWN PLOT DATE 9/14/15 CHECKED

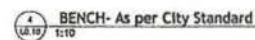
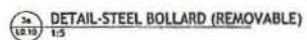
L0.08

ISSUED FOR

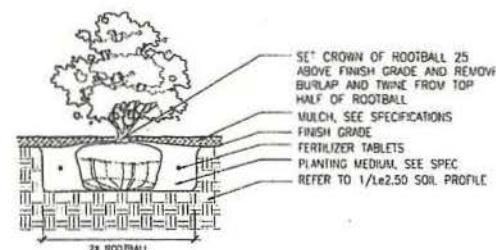
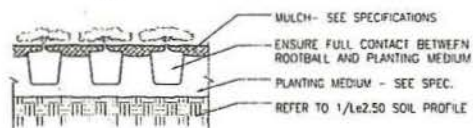
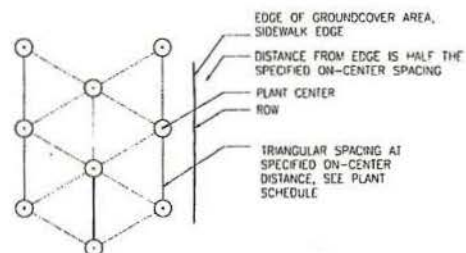
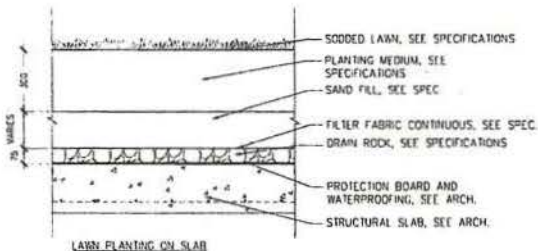
A	29 JAN/15	DEVELOPMENT PERMIT
B	24 JUL/15	DEVELOPMENT PERMIT REVISIONS

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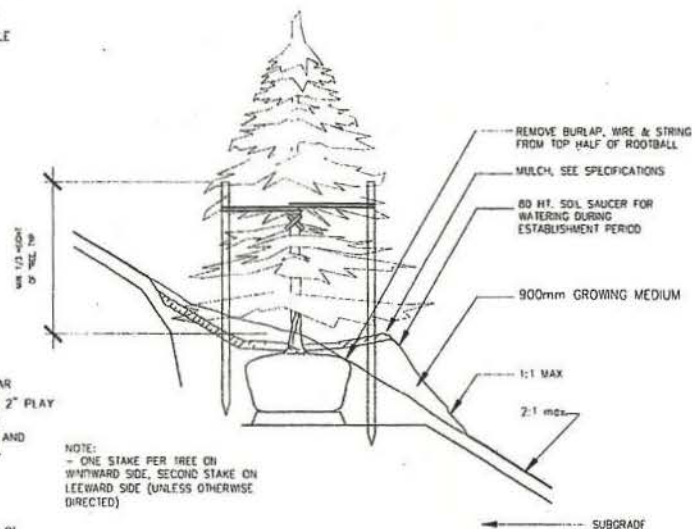
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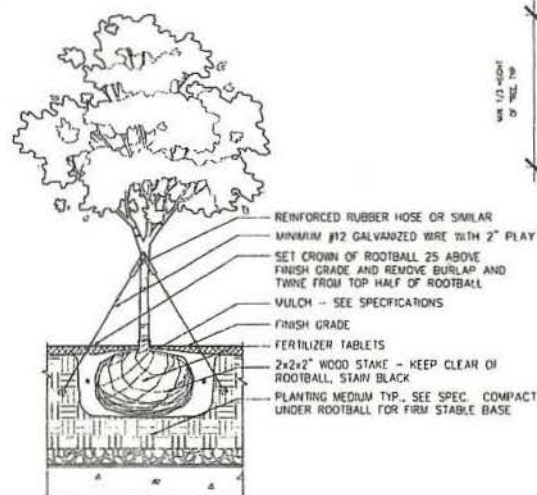
LO.10



4 SHRUB PLANTING



5 CONIFER PLANTING ON SLOPE
LH 11 NTS



4 TREE PLANTING
18/11 HTS

1 SOIL PROFILES
12-71 NTS

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ARCHITECT & PRIME CONSULTANT
STRENGTHENING OF BRIDGE (S) OVER I-95
10000 W. 10TH AVE. #200
DENVER, CO 80231
TEL: 303-733-8800
FAX: 303-733-1759
dmr@dmrgrp.com

OWNER:
LEWIS AND CLARK
10000 W. 10TH AVE.
VICTORIA BLD 1010
DENVER, CO 80231

SEAL

RAILYARDS, LOT H & J

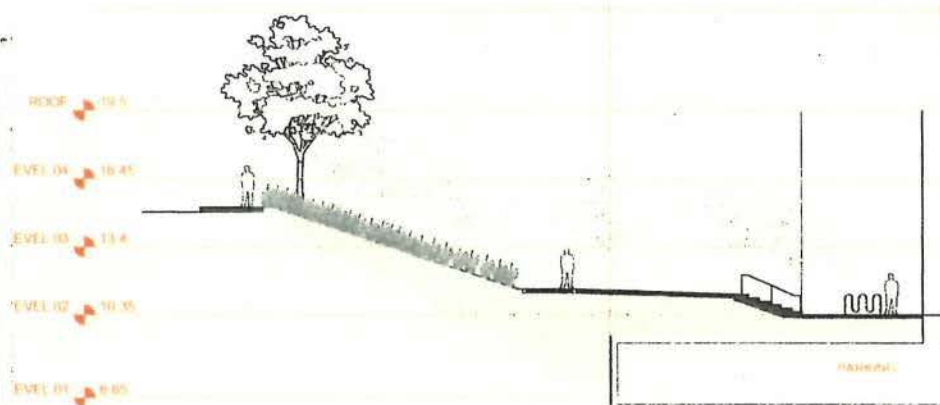
VICTORIA, BC

PLANTING DETAILS

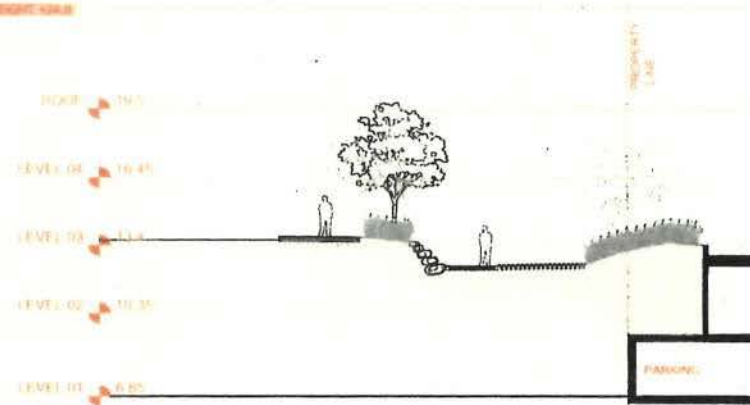
ORIGIN
PLOT DATE: 8/14/12

CHICAGO

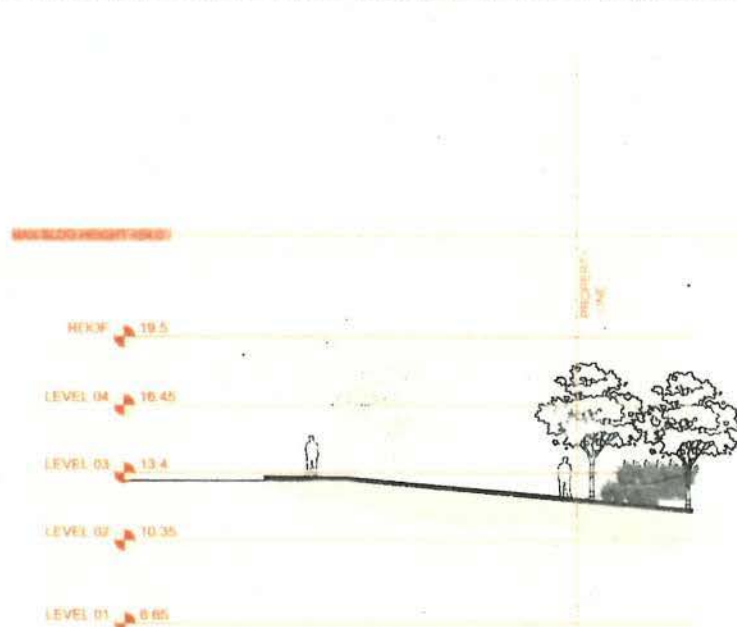
LO.11



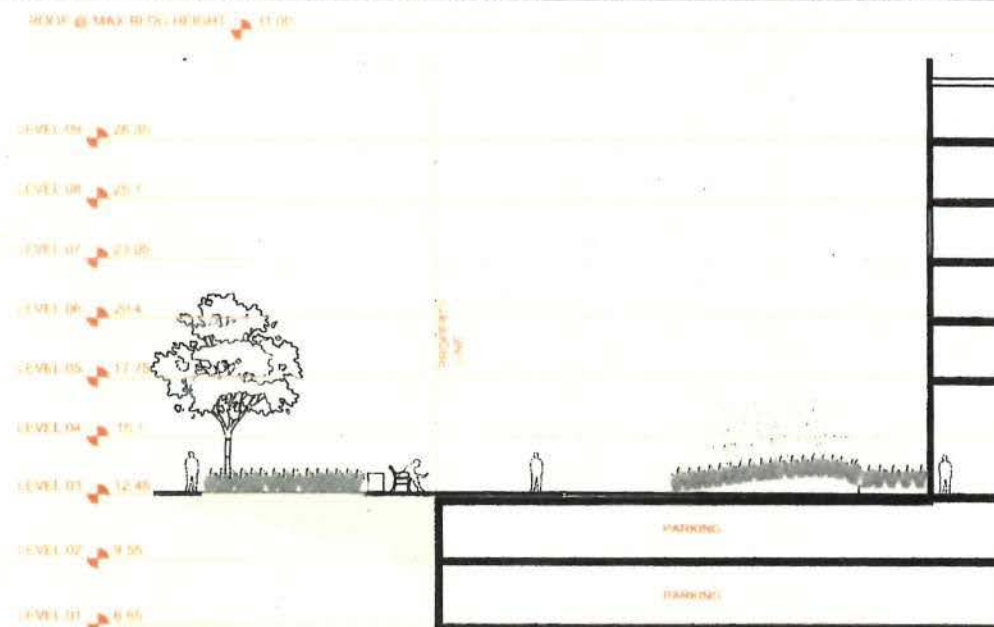
1 Section through Public trail at entry to Building 1.
L0.12 1:30



2 Section through Public Trail at new Bus stop location
L0.12 1:30



3 Section through top of Public connection/ROW between Buildings 2 & 3
L0.12 1:30



4 Section through Public Entry Plaza and entry to Building 3
L0.12 1:30

ISSUED FOR
A 28 JAN15 DEVELOPMENT PERMIT
B 24 JUL15 DEVELOPMENT PERMIT REVISIONS
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REPORT & CONSTRUCTION AND CONSTRUCTION TO THE CONTRACTOR
FOR CONSTRUCTION. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
CONSTRUCTION TO THE CONTRACTOR. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.

ARCHITECT & PRIME CONSULTANT
DIALOG ARCHITECTURE
ARCHITECT & PRIME CONSULTANT
400-801-1111
VICTORIA BC V8W 2E1
TEL 250-353-1111 FAX 250-353-1111
www.dialog.ca

OWNER:
LUMINA AND COMPANY
400-801-1111
VICTORIA BC V8W 2E1
TEL 250-353-1111

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

LANDSCAPE SECTIONS 1-4

DRAWN PLOT DATE 8/1/15 CHECKED

L0.12

ISSUED FOR
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 B 24 JUL13 DEVELOPMENT PERMIT REVISIONS
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 REPORT ACCURACIES AND DIMENSIONS TO THE CONSULTANT
 FOR CLARIFICATION BEFORE COMMENCING THE WORK.
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 WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO
 CHANGE WITHOUT NOTICE.

ARCHITECT & PRIME CONSULTANT
 DESIGN & ARCHITECTURE
 1000-1000 PLANNING INC.
 401-401-1000
 1000-1000 PLANNING INC.
 401-401-1000
 1000-1000 PLANNING INC.
 401-401-1000

OWNER:
 VICTORIA AND COMPANY
 1000-1000 PLANNING INC.
 401-401-1000
 1000-1000 PLANNING INC.
 401-401-1000

SEAL

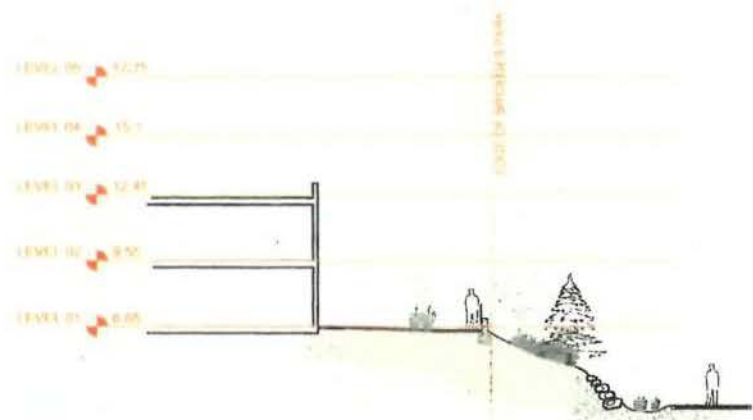
RAILYARDS, LOT H & J

VICTORIA, BC

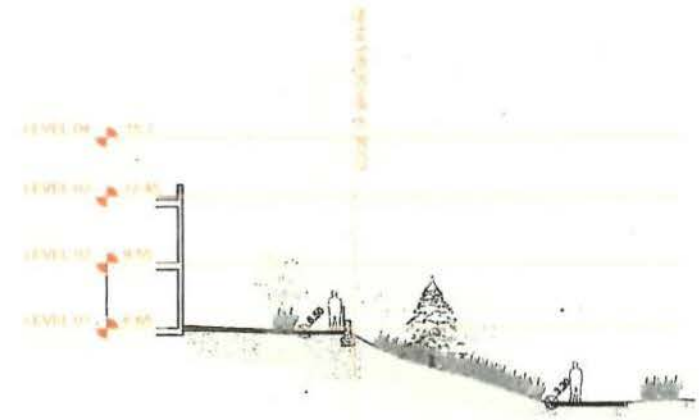
LANDSCAPE SECTIONS 5-8

DRAWN
 PLOT DATE: 07/14/13
 CHECKED

L0.13



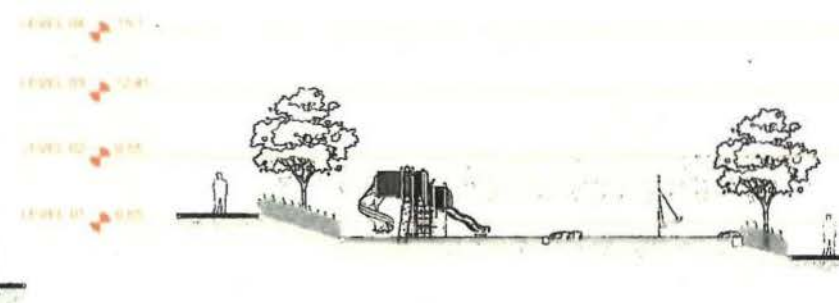
6 (L0.13) Section through boulder retaining wall, swale and Galloping Goose
 1:30



8 (L0.13) Section through planted slope at trail connection
 1:30



7 (L0.13) Section at steps into Bridges Park
 1:30



9 (L0.13) Section through Tots Play Area in Bridges park
 1:30

REPORTS OF THE COMMITTEES

2. Planning and Land Use Committee – October 1, 2015

1. Development Permit with Variances Application No. 000404 for 701 Tyee Road (Railyards)

It was moved by Councillor Thornton-Joe, seconded by Councillor Alto, that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 000404 for 701 Tyee Road, in accordance with:

- 1. Plans date stamped August 24, 2015.*
- 2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:*
 - a. Reduce the north setback (Gaudin Road) from 3.5m to nil;*
 - b. Reduce the south setback from 4m to nil for Phases 1 and 2;*
 - c. Reduce the south setback from 4m to 3.5m;*
 - d. Increase the height in DA-H from 24m to 25.49m for Phase 2;*
 - e. Increase the height in DA-J from 31m to 33m for Phase 3;*
 - f. Reduce parking from 50 stalls to 49 stalls for Phase 1;*
 - g. Reduce parking from 185 stalls to 178 stalls; and*
 - h. Reduce the bicycle storage (Class 1) from 40 stalls to 28 stalls for Phase 1.*
- 3. The Development Permit lapsing two years from the date of this resolution.*
- 4. Revised plans to the satisfaction of staff that:*
 - a. Either enclose or screen the proposed garbage enclosure adjacent to Gaudin Road;*
 - b. Provide further details of the proposed grass pave finish;*
 - c. Provide comprehensive details relating to landscaping for Phases 1 and 2; and*
 - d. Provide reduced annual landscaping maintenance costs within Bridges Park and along Tyee Road.*
- 5. Referral to the Advisory Design Panel for a comprehensive review and with particular attention to the following issues:*
 - a. The design of building entrances facing Tyee Road;*
 - b. The design and appearance of the "Sky Home" end units; and*
 - c. The treatment of parkade walls that project above grade.*
- 6. An amendment to the Railyards Master Development Agreement, to the satisfaction of staff, to:*
 - a. Address proposed revisions to the public parking required in conjunction with Bridges Park and the path from Tyee Road to Central Spur Road; and*
 - b. Secure cost estimates for all required on-site services, off-site services and public amenities prior to any building in proposed Phase 1 being occupied.*
- 7. A Public Access Easement registered on title, to the satisfaction of staff, to secure public access through the site from Tyee Road to Central Spur Road.*
- 8. A Statutory Right-of-Way registered on title, to the satisfaction of staff, to secure public access to the Victoria West Entry Park and public pathways located on private land adjacent to Tyee Road.*
- 9. That Council authorize staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m² of exposed shored face during construction, in a form satisfactory to staff."*

Carried Unanimously

2. Development Permit with Variances Application No. 000404 for 701 Tyee Road (Railyards)

It was moved by Councillor Thornton-Joe, seconded by Councillor Alto, that Council direct that staff report back to Council after the application is reviewed by the Advisory Design Panel, on the feasibility of retaining the provision in the Master Development Agreement of the City acquiring ownership title to the public access from Tyee Road to Central Spur Road, including the legal mechanism and pros and cons.

Carried Unanimously

4. DEVELOPMENT APPLICATION REPORTS

4.1 Development Permit with Variances Application No. 000404 for 701 Tyee Road (Railyards)

Committee received a report regarding an application for 701 Tyee Road (Railyards). The application is to authorize the design, siting and landscaping for a 144 unit apartment to be constructed in three phases.

Committee discussed:

- Concerns regarding the smaller vehicle parking spots and the type of vehicles that could be accommodated.
 - Affordability and the range of housing types that will be built.
 - Sustainability features and if there is an opportunity to request that LEED standards be incorporated.
 - Concerns from the Community Association regarding the lack of community gardens and affordable housing.
 - The pathway and if there was a way to ensure the City will retain the right-of-way.

Action: It was moved by Councillor Young, seconded by Councillor Coleman, that Committee recommends this report be forwarded to Council and that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

Committee discussed:

- Why the park cannot be built at the onset.
 - The area will be under construction and the land will be used as a staging area for equipment.
- The lack of affordability options and inclusionary zoning. There are no legal requirements built in.
- The public wants more sustainability features looked at.
- The timing of amenities.
- The need to develop policies to ensure that any amenities desired be requested at the beginning of the application process instead of at the time of the public hearing.
- If there is a mechanism by which the City remains the owner of the public pathway.

That Council authorize the issuance of Development Permit Application No. 000404 for 701 Tyee Road, in accordance with:

1. Plans date stamped August 24, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Reduce the north setback (Gaudin Road) from 3.5m to nil;
 - b. Reduce the south setback from 4m to nil for Phases 1 and 2;
 - c. Reduce the south setback from 4m to 3.5m;
 - d. Increase the height in DA-H from 24m to 25.49m for Phase 2;
 - e. Increase the height in DA-J from 31m to 33m for Phase 3;
 - f. Reduce parking from 50 stalls to 49 stalls for Phase 1;

- g. Reduce parking from 185 stalls to 178 stalls; and
- h. Reduce the bicycle storage (Class 1) from 40 stalls to 28 stalls for Phase 1.
- 3. The Development Permit lapsing two years from the date of this resolution.
- 4. Revised plans to the satisfaction of staff that:
 - a. Either enclose or screen the proposed garbage enclosure adjacent to Gaudin Road;
 - b. Provide further details of the proposed grass pave finish;
 - c. Provide comprehensive details relating to landscaping for Phases 1 and 2;
 - d. Provide reduced annual landscaping maintenance costs within Bridges Park and along Tyee Road.
- 5. Referral to the Advisory Design Panel for a comprehensive review and with particular attention to the following issues:
 - a. The design of building entrances facing Tyee Road;
 - b. The design and appearance of the "Sky Home" end units; and
 - c. The treatment of parkade walls that project above grade.
- 6. An amendment to the Railyards Master Development Agreement, to the satisfaction of staff, to:
 - a. Address proposed revisions to the public parking required in conjunction with Bridges Park and the path from Tyee Road to Central Spur Road;
 - b. Secure cost estimates for all required on-site services, off-site services and public amenities prior to any building in proposed Phase 1 being occupied.
- 7. A Public Access Easement registered on title, to the satisfaction of staff, to secure public access through the site from Tyee Road to Central Spur Road.
- 8. A Statutory Right-of-Way registered on title, to the satisfaction of staff, to secure public access to the Victoria West Entry Park and public pathways located on private land adjacent to Tyee Road.
- 9. That Council authorize staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m² of exposed shored face during construction, in a form satisfactory to staff.

CARRIED UNANIMOUSLY 15/PLUC210

Action: It was moved by Councillor Isitt, seconded by Councillor Madoff, that Committee recommends that Council direct that staff report back to Council after the application is reviewed by the Advisory Design Panel, on the feasibility of retaining the provision in the Master Development Agreement of the City acquiring ownership title to the public access from Tyee Road to Central Spur Road, including the legal mechanism and pros and cons

CARRIED UNANIMOUSLY 15/PLUC211

PLUC meeting
October 1, 2015

**MINUTES OF THE
ADVISORY DESIGN PANEL
HELD WEDNESDAY, OCTOBER 28, 2015, 12 P.M.**

1. THE CHAIR CALLED THE MEETING TO ORDER AT 12:05 P.M.

Panel Members Present: Rod Windjack (Chair); Brad Forth; Cynthia Hildebrand; Mickey Lam; Ann Katherine Murphy; Christopher Rowe

Absent: Barry Cosgrave; Gerald Gongos; Mike Miller

Staff Present: Mike Wilson – Senior Planner - Urban Design;
Jim Handy– Senior Planner - Development
Agreements;
Charlotte Wain – Senior Planner - Urban Design;
Quinn Anglin - Secretary

Barry Cosgrave joined the meeting at 12:07 P.M.

2. APPLICATIONS

2.1 Development Permit No. 000404 for 701 Tyee Road

The proposal is to construct 144 residential units on the undeveloped portion of the Railyards.

Applicant Meeting attendees: Mr. Joost Bakker, DIALOG
Mr. Matthew Thomson, DIALOG

Mr. Handy provided the Panel with a brief introduction of the Application and the areas that Council is seeking advice on, including the following:

- Design of building entrances facing Tyee Road.
- Design and appearance of the "Sky Home" end units.
- Treatment of the parkade walls that project above grade.

Mr. Thomson and Mr. Bakker then provided the Panel with a detailed presentation of the proposal.

Panel Members discussed:

- Views of the eight-storey building from the Bay Street Bridge, particularly in relation to the architectural design and treatment of the south east corner of the building.
- The visibility of the main building entrances from Tyee Road.
- Landscape treatment of the undeveloped areas between phases of construction.
- The proposed crushed limestone finish for pathways and its practicality for strollers, wheelchairs, and pedestrians. Building entrance canopies should be increased to provide for adequate weather protection and improve visibility from Tyee Road.
- The lack of dedicated parking stalls for the proposed park.

- The application of colour, particularly on Building 3 to improve the expression of building volumes.
- The proposed screening of the garbage and recycling area and the proposed access for garbage pickup.
- Concerns relating to the terminus of Central Spur Road as an adequate vehicle turn around and on-street parking has not been proposed.
- The expression of the east elevation of the 8-storey building.
- The delivery of the public park is proposed as part of Phase 3 of the development. Panel members discussed delivering the public park as part of Phase 2.
- Major public pathway between the street and site down is not constructed until the construction of the final phase.
- The landscape design within the area of the bridge dedication should be considered by the City prior to the completion of the first phase.
- The proposed landscape screening of the exposed parking garage walls is acceptable.
- The treatment of the Sky Home end units is acceptable.

Action:

MOVED / SECONDED

It was moved by Rod Windjack, seconded by Brad Forth, that the Advisory Design Panel recommend to Council that Development Permit Application No. 000404 for 701 Tyee Road be approved with consideration of the following:

- Further consideration of the layout and resolution at the end of Central Spur Road.
- Reconsideration of the scale, building finish, landscape materiality, and accessibility of entrances on Tyee Road.
- Provision of the playground as part of the Phase 2 development.
- Provision of landscape treatment between Phases as they are completed.

Amendment:

MOVED / SECONDED

It was moved by Christopher Rowe, seconded by Brad Forth, that the motion be amended as follows:

That the Advisory Design Panel recommend to Council that Development Permit Application No. 000404 for 701 Tyee Road be approved with consideration of the following:

- Further consideration of the layout and resolution at the end of Central Spur Road.
- Reconsideration of the scale, building finish, landscape materiality, and accessibility of entrances on Tyee Road.
- Provision of the playground as part of the Phase 2 development.
- Provision of landscape treatment between Phases as they are completed.
- **Recommend to City staff that they explore the opportunities for providing access from Tyee Road to Central Spur Road through the Bridge Dedication lands.**

On the amendment:
CARRIED UNANIMOUSLY

On the main motion as amended:
CARRIED UNANIMOUSLY

2.2 Development Permit No. 000439 for 1101 Fort Street

The proposal is to construct a six-storey, mixed-use building with 81 residential units and ground-floor commercial/retail

Applicant Meeting attendees: Mr. Korbin Dasilva, Abstract Developments
Mr. Sam Ganong, Abstract Developments
Greg Damant, Cascadia Architects Inc.
Andy Guiry, Cascadia Architects Inc.
Peter Johannknecht, Cascadia Architects Inc.
Scott Murdoch, Murdoch de Greef Inc. Landscape Architects

Ms. Wain provided the Panel with a brief introduction of the Application and the areas that staff are seeking advice on, including the following:

- The potential impacts on the neighbouring Zen building to the east.
- The height of the six-storey street wall along Cook Street and Fort Street
- The blank east elevation as viewed from Meares Street.
- Location of bicycle racks.

Ms. Wain also advised the Panel that this application has not yet been presented before the Planning and Land Use Committee as it does not require any variances.

Mr. Damant and Mr. Ganong then provided the Panel with a detailed presentation of the proposal.

Panel Members discussed:

- The proposal is a contemporary approach but is different to the existing approach along Fort Street.
- How the building relates to the character of Fort Street to the west and the design of retail frontages to respect pedestrian scale at the street level.
- The proposed wood detailing is appreciated, the applicant should explore increasing this along the retail frontage to aid in breaking up long expansions of glass and to add warmth to the expression of the building.
- Opportunities to reduce CPTED concerns associated with the east facing blank wall fronting the rear courtyard and consideration of adding window openings to the wall.
- The landscaped area fronting Meares Street could be improved to offer increased outdoor amenity space for occupants of the proposed live/work units.
- Opportunities to refine the window placement and increase the recess on the second and third floors.

Action:

MOVED / SECONDED

It was moved by Christopher Rowe, seconded by Barry Cosgrave, that the Advisory Design Panel recommend to Council that Development Permit Application No. 000439 for 1101 Fort Street be approved with consideration of the following:

- Revisions to the design of the outdoor amenity space associated with the live/work units to provide for increased private outdoor space.

CARRIED UNANIMOUSLY

3. Approval of Comments on the Proposed Delegation/Exemption Process

- Panel members did not offer any additional comments to those already provided.

4. ADJOURNMENT

The Advisory Design Panel meeting of October 28, 2015 adjourned at 2:20 P.M.

Rod Windjack, Chair

DRAFT