

## **REPORTS OF THE COMMITTEES**

### **2. Planning and Land Use Committee – May 28, 2015**

#### **5. Rezoning Application No. 00468 for 1070 Joan Crescent**

It was moved by Councillor Madoff, seconded by Councillor Alto, that Council instruct staff to prepare the necessary *Zoning Regulation Bylaw Amendment* that would authorize the proposed development outlined in Rezoning Application No. 00468 for 1070 Joan Crescent, that first and second reading of the *Zoning Regulation Bylaw Amendment* be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Referral of Rezoning Application No. 00468 to the Heritage Advisory Panel, concurrent with Heritage Alteration Permit Application No. 00195.
2. Registration of an Easement and a Section 219 Covenant to secure access to 10 vehicle parking stalls and one bicycle rack on the property at 1048-1050 Joan Crescent, to the satisfaction of staff.
3. Provision of an updated Arborist Report on the condition of the existing trees on the property at 1048-1050 Joan Crescent to the satisfaction of staff and, if necessary, a landscaping security for replacement trees, prior to the issuance of a Building Permit.

Carried Unanimously

## **8.7 Rezoning Application No. 00468 for 1070 Joan Crescent**

Committee received a report regarding rezoning application for 1070 Joan Crescent. The proposal is to rezone the property to permit a Heritage-Registered house with a new addition and an original garage to be used as a cultural facility with commercial exhibits, multi-purpose spaces, administration offices, a tea room and a gift shop.

**Action:** It was moved by Councillor Madoff, seconded by Councillor Alto, that Committee recommends that Council instruct staff to prepare the necessary *Zoning Regulation Bylaw Amendment* that would authorize the proposed development outlined in Rezoning Application No. 00468 for 1070 Joan Crescent, that first and second reading of the *Zoning Regulation Bylaw Amendment* be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Referral of Rezoning Application No. 00468 to the Heritage Advisory Panel, concurrent with Heritage Alteration Permit Application No. 00195.
2. Registration of an Easement and a Section 219 Covenant to secure access to 10 vehicle parking stalls and one bicycle rack on the property at 1048-1050 Joan Crescent, to the satisfaction of staff.
3. Provision of an updated Arborist Report on the condition of the existing trees on the property at 1048-1050 Joan Crescent to the satisfaction of staff and, if necessary, a landscaping security for replacement trees, prior to the issuance of a Building Permit.

CARRIED UNANIMOUSLY 15/PLUC158



## Planning and Land Use Committee Report

### For the Meeting of May 28

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**To:** Planning and Land Use Committee **Date:** May 14, 2015

**From:** Helen Cain, Senior Planner, Development Services Division

**Subject:** Rezoning Application No. 00468 for 1070 Joan Crescent

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### RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00468 for 1070 Joan Crescent, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Referral of Rezoning Application No. 00468 to the Heritage Advisory Panel, concurrent with Heritage Alteration Permit Application No. 00195.
2. Registration of an Easement and a Section 219 Covenant to secure access to 10 vehicle parking stalls and one bicycle rack on the property at 1048-1050 Joan Crescent, to the satisfaction of staff.
3. Provision of an updated Arborist Report on the condition of the existing trees on the property at 1048-1050 Joan Crescent to the satisfaction of staff and, if necessary, a landscaping security for replacement trees, prior to the issuance of a Building Permit.

### LEGISLATIVE AUTHORITY

In accordance with Section 903(c) of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

### EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1070 Joan Crescent. The proposal is to rezone from the R1-A Zone (Rockland Single Family Dwelling District) to a site-specific zone to permit a Heritage-Registered house and an original garage to be used as a cultural facility with commercial exhibits, multi-purpose spaces, administration offices, a tea room and a gift shop.



Specifically, the applicant, Craigdarroch Castle Society, is proposing to use the property at 1070 Joan Crescent, which the Society owns, as a visitor centre for the castle museum and relocate its offices to the new facility to enable more space within the museum to be open to the public. The garage would also be moved from its current location next to the west side of the house to the southeast part of the site where it would be converted into a tea room with an outdoor patio.

The following points were considered in assessing this Application:

- The proposal is consistent with the *Official Community Plan*, which enables public facilities, public assembly and recreational uses in all Urban Place Designations and has policies to encourage the conservation and adaptive reuse of heritage properties.
- The proposal is consistent with policies in the *Rockland Neighbourhood Plan 1987* that support heritage conservation and the retention of mature trees and historic landscaping.
- A reduction to Schedule C - Parking Requirements would be necessary to facilitate this proposal. The potential effects of the reduced parking requirements can be mitigated through an Easement and a Section 219 Covenant to secure access to 10 stalls on the Craigdarroch Castle parking lot for the new uses located at 1070 Joan Crescent.

## **BACKGROUND**

### **Description of Proposal**

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1070 Joan Crescent. The proposal is to rezone from the R1-A Zone (Rockland Single Family Dwelling District) to a site-specific zone to permit a Heritage-Registered house with a new addition and an original garage to be used as a cultural facility with commercial exhibits, multi-purpose spaces, administration offices, a tea room and a gift shop.

Specifically, the applicant, Craigdarroch Castle Society, is proposing to use the property at 1070 Joan Crescent, which the Society owns, as a visitor centre for the castle museum and relocate its offices to the new facility to enable more spaces within the museum to be open to the public. The garage would also be moved from its location along the west elevation of the house to the southeast section of the site where it would be converted into a tea room with an outdoor patio. The proposal includes one parking space on the subject site and 10 parking stalls on the Craigdarroch Castle site, which has a surplus of 10 stalls that are not required to comply with the parking standards that apply to the museum. Additionally, a new bicycle rack would be installed on the Craigdarroch Castle lot. Access to the 10 parking stalls and the bicycle rack would be secured through an Easement and a Section 219 Covenant in the City's favour.

The following changes from the standard zone are being proposed and would be accommodated in the new zone:

- change in use from a single family dwelling converted to a multiple dwelling to a cultural facility with commercial exhibits and public assembly space with ancillary offices, retail and food preparation and sales
- reduction from Schedule C requirements for a total of 24 vehicle parking stalls for the cultural facility and ancillary uses to one parking stall
- access to vehicle parking spaces on the adjacent lot.

### **Sustainability Features**

The applicant has not identified any sustainability features associated with this proposal.



## Active Transportation Impacts

This Application proposes the following features which support active transportation:

- one new bicycle rack on the property at 1048-1050 Joan Crescent
- one existing bicycle rack, located next to the proposed new bicycle rack.

## Land Use Context

The area is characterized by single family dwellings and houses converted to multiple dwellings. Craigdarroch Castle is adjacent to the south with low-rise apartment buildings and Central Middle School located within walking distance (200m) along Fort Street.

## Existing Site Development and Development Potential

The site is presently a house, constructed in 1913, that has been converted to a multiple dwelling.

Under the current R1-A Zone, the property could be converted to a kindergarten, a rest home, boarding house or rooming house or developed as a public building, a single family dwelling, attached dwellings (townhouse) or semi-attached dwellings (duplex).

## Data Table

The following data table compares the proposal with the existing R1-A Zone. An asterisk is used to identify where the proposal is less stringent than the existing Zone. A double asterisk is used to identify existing non-conforming conditions.

Zoning Criteria	Proposal	Zone Standard R1-A
Site area (m <sup>2</sup> ) - minimum	1040	230
Density (Floor Space Ratio) - maximum	0.44:1	n/a
Total floor area (m <sup>2</sup> ) - maximum	462.44 (including new addition and garage/tea house)*	130.00
Lot width (m) - minimum	37.77	7.50
Height (m) - maximum	8.50**	7.60
Storeys - maximum	2.50	2.50
Site coverage % - maximum	32.30	40.00
Setbacks (m) - minimum		
Front (Joan Crescent)	8.54**	10.50
Rear (southwest corner)	0*	9.50
Side (south)	0*	3.00
Side (west)	2.48**	3.00
Parking - minimum	1	20 <sup>1</sup>
Bicycle parking spaces (minimum)	6	6

Zoning Criteria	Proposal	Zone Standard R1-A
Tea Room (Relocated Garage)		
Location	Front yard*	Rear yard
Height (m) - maximum	2.94	3.50
Storeys	1	1
Setbacks (m) - minimum		
Front (Joan Crescent)	9.70	0.60
Rear (southwest corner)	17.86	0.60
Side (south)	7.80	0.60
Side (west)	15.90	n/a
Separation space from main building (m) minimum	2.15*	2.40

\* public assembly: 5 stalls; tea room: 6 stalls; commercial exhibit: 4 stalls; retail: 2 stalls; office: 3 stall.

## 2.1 Relevant History

### 2.1.1 Heritage Property

The existing house located at 1070 Joan Crescent, built in 1913, is a Heritage-Registered property with an original garage. All design-related aspects of the proposal for an addition to the house and its adaptive reuse as a visitor centre for Craigdarroch Castle, and the relocation and adaptation of the garage as a tea room are addressed in the staff report on the concurrent Heritage Alteration Permit Application.

### Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applicant has consulted with the Rockland CALUC at a Community Meeting held on November 5, 2014. Letters dated January 19, 2015, and November 24, 2014, are attached to this report.

## ANALYSIS

### Official Community Plan

The proposal is consistent with the land use policies in the *Official Community Plan, 2012* (OCP), including the designation of the property as Traditional Residential and, in particular, Policy 6.4 which supports and enables community services, public facilities and assembly throughout the City. Additionally, adaptive reuse of 1070 Joan Crescent as a visitor centre for Craigdarroch Castle would align with OCP policies related to heritage, arts and cultural spaces.

### Regulatory Considerations

Based on the *Zoning Regulation Bylaw*, the proposal would require 20 vehicle parking spaces and one bicycle rack but site constraints and the proposed location of the tea room in the front yard would permit only one stall near to the current location of the existing garage. However, the applicant is proposing to secure access to 10 surplus stalls on the Craigdarroch Castle parking lot which has 23 stalls, whereas 13 stalls are adequate to comply with the parking standards for the museum uses.



OCP Policy 7.11 provides overall direction to consider an array of parking management strategies including reduced parking requirements where appropriate. Additionally, the applicant has provided observational data on the level of use of the Castle parking lot and this indicates that the available parking stalls are underused. Accordingly, the proposal to provide access to 10 parking stalls and one new bicycle rack on the adjacent lot secured through an Easement and a Section 219 Covenant in the City's favour, is reasonable.

### Rockland Neighbourhood Plan

The proposal is consistent with the *Rockland Neighbourhood Plan, 1987*, which emphasizes heritage conservation generally and the retention of historic landscape character and mature trees on private lands, where possible, while accommodating new infill. The proposal would remove a mature apple tree on the subject site and aims to retain all existing trees along the shared north property boundary of the Craigdarroch Castle lot, consistent with the recommendations in a Third-Party Arborist Report (attached). However, the applicant has indicated that the condition of one of these trees would be further investigated at the construction stage. The staff recommendation provided for Council's consideration, includes a condition to provide an Arborist Report on the tree root network and, if necessary, provide the security for replacement trees, prior to the issuance of a Building Permit.

### CONCLUSIONS

The proposal for adaptive reuse of the Heritage-Registered house and garage at 1070 Joan Crescent as a visitor centre and tea room facility for Craigdarroch Castle, the adjacent property, is consistent with OCP policies to support heritage conservation and cultural facilities in all areas of the City. Additionally, the rezoning concept is consistent with policies to preserve the architectural heritage and historic landscape character within the Rockland neighbourhood. The request to reduce the parking requirements in a new zone is recommended for Council's consideration as supportable, subject to the registration of an Easement and a Section 219 Covenant to secure access to 10 spaces on the Castle parking lot, for the use of 1070 Joan Crescent.

### ALTERNATE MOTION

That Council decline Rezoning Application No. 00468 for the property located at 1070 Joan Crescent.

Respectfully submitted,



Helen Cain  
Senior Planner  
Development Services  
Division



Alison Meyer, Assistant Director  
Sustainable Planning and  
Community Development  
Department



Andrea Hudson  
Acting Director  
Sustainable Planning and  
Community Development

Report accepted and recommended by the City Manager:

  
Jason Johnson

Date: May 20, 2015

HC:aw

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## List of Attachments

- Zoning map
- Aerial map
- Letters from John Hughes for Craigdarroch Castle Historical Museum Society stamped April 7, 2015, and December 16, 2014
- Plans for Rezoning Application No. 00468 and Heritage Alteration Permit Application No. 00195 stamped May 11, 2015
- Craigdarroch Castle Parking Review stamped December 16, 2014
- Arborist Report from Talbot McKenzie & Associates stamped April 7, 2015
- Letters from Rockland Community Association stamped January 19, 2015, and November 24, 2014.













## CRAIGDARROCH CASTLE®

CANADA'S CASTLE

April 7, 2015

The City of Victoria  
Attention: Mayor and Council  
1 Centennial Square  
Victoria, BC V8W 1P6



**RE: 1070 Joan Crescent revised proposal for Rezoning and Heritage Alteration Application.**

In response to the Application Review Summary dated Wednesday, January 14, 2015, we are pleased to submit our revised proposal for the above noted development. The subject of this letter is to provide an itemized update and clarification of new information on the proposal and should be reviewed in conjunction with the revised, bubbled drawings.

Specifically, the conditions to be met prior to the Planning and Land Use Committee are:

**1. Further consideration of the voluntary designation of the heritage property.**

Heritage designation will not be pursued at this time.

**2. Please identify the vehicle and bicycle requirements for all proposed uses.**

Vehicle calculations have been revised on A1.01, per Schedule C and in conjunction with comments from staff review on the Zoning Plan Check sheet.

Bicycle requirements have been clarified on A1.01.

**3. Please confirm whether the proposed finished floor level of the proposed Visitor's Centre Addition could be lowered sufficiently to impact the extent of ramps inside the addition – as this could enhance the relationship between the proposed addition and the hipped roof of the existing residence to the north.**

The upper floor level of the addition has been located to provide an accessible entry and transition from the Castle porte-cochere level to the main level of the Visitor Centre. The interior ramping will serve to organize queuing large groups of guests before ticketing and Visitor Centre services.

**4. *Please provide a detailed relocation plan for the existing garage/proposed Tea House.***

The intent is to relocate the superstructure of the existing garage in its entirety. The existing foundation is not reusable and the garage will be placed on a new concrete foundation. The slope of the wood framing is to be retained and new framing will be filled in for connection to the new foundation. Special consideration will be taken to ensure the slope is represented for interpretive purposes. Additional detail of the garage is provided on sheets A3.10 & A3.11.

**5. *Please reconsider the appearance and detail of the north face of the proposed Visitor's Centre addition, having regard to the character and appearance of the existing garage at this location.***

Appearance of the north elevation has been considered and revised to accommodate a proposed garbage enclosure at the end of the driveway. The enclosure is to be in keeping with the proposed addition, with shingle and stone cladding and discrete wood doors. In addition, a proposed green space has been shown in the upper driveway with a path for the roll out bins to be brought to the street while loading is retained at the northern portion of the driveway. A suitable tree is to be planted and will be visible from the large openings in the west wall of the residence.

**6. *Please complete the elevation drawings, depicting the existing garage.***

Additional details are provided on sheets A3.10 & A3.11.

**7. *Please reconsider the treatment of the lower portion of the exterior wall for the proposed relocated garage so as to be more in-keeping with its existing/historic character.***

The stone foundation originally proposed has been deleted and shingle cladding is to extend to top of the new concrete foundation, which will have limited visibility.

**8. *Please provide the findings of the Envelope Review.***

This work has not been engaged to date. The existing house is occupied by tenants. The intent is to retain and restore existing materials wherever possible. Replacement will only occur as a result of finding deterioration beyond repair.

**9. *Please provide a condition assessment for historic materials that are proposed to be replaced.***

A condition assessment has been performed with participation from Heritage Consultant, Stuart Stark. Additional sheets A3.06 – A3.11 for condition assessment details are provided.



**10. Please consider the seismic strengthening of the existing stone chimneys.**

The chimneys will be seismically strengthened/restrained as required, the scope of which will be delineated as part of the Building Permit application process.

**11. Please revise the Statement of Significance so that it is consistent with the Canadian Register of Historic Places Writing Statements of Significance and reflects the relevant themes set out in the Victoria Heritage Thematic Framework.**

Revised Statement of Significance provided. Interior and exterior provided as two (2) separate documents.

**12. The proposed class 2 bicycle parking obstructing the driveway must be relocated on the site and must include a minimum of 6 stalls. At least 50% of these stalls should be horizontal. A 2.0m driveway width is not appropriate.**

The bicycle parking has been deleted from the driveway location and relocated next to the existing bicycle location at the porte cochere level. A new 6 stall (horizontal) rack is to be provided similar to the existing rack. Preference is to group bicycle parking to allow clear visibility of location and not restrict access to new work or impede landscaped grounds. The existing driveway is existing/non-conforming; specifically, its' functionality relies on the informal access "shared" between the site and the adjacent property to the west.

**13. The proposed rezoning and potential increase in density for this property may contribute to an overtaxing of the sanitary sewer system.**

An inventory of existing plumbing fixtures and proposed fixtures has been provided on A1.01, clarifying a reduction of fixtures associated with the proposal.

**14. An arborist report will be required detailing the impacts of the proposal on the existing trees on the subject property, as well as neighbouring property (1050 Joan Crescent). The arborist report is to detail construction impacts and the proposal and the mitigation measures required to successfully retain the trees as indicated.**

Arborist report attached for reference.

- 15. Given the unique nature of applying current codes to existing buildings of historical importance it is preferred that code compliance is achieved by involving inspections staff early in the process. It has been noted that sprinklers will be installed throughout but the exiting looks like it will be something that requires consideration. A code approach should be submitted to initiate discussion regarding code conformance.**

The alterations and restoration to the existing building will be governed by Division A – Appendix A, Section A-1.1.1.1.(1) Application to Existing Buildings. Due consideration will be taken to ensure fire, life, and safety systems meet the intent of current Code compliance where practical, while placing sensitivity in preserving historical elements and character. Both the existing building and the proposed addition will be sprinklered, and the addition will be constructed to meet all current Code requirements.

**Additional comments have been made in the Application Review, Zoning Plan Check and are noted as follows:**

- a) Lot Width & Setbacks: New sheet A1.05 provided and setbacks revised in the Project Information Table on A0.00.
- b) Vehicle & Bicycle Parking: Revised and clarified in item 2 listed above.
- c) Garage Detail: New sheet A3.10 & A3.11 provided.

Additional refinements have been made to the drawing set and are noted in the attached "Revisions to Rezoning Submission" list. This involves restoring the building to the original 1913 form and character which includes the removal of a later washroom addition on the east façade, return to original paint colours, and restoring materials such as metal roofing and leaded glass windows in locations noted.

We trust that the above responses to the Application Review Summary further support the proposal for this sensitive, neighbourhood-scaled building. We welcome the opportunity to appear before the Planning and Land Use Committee and to continue our work with staff to realize this important project.

Sincerely,



John Hughes, Executive Director  
Craigdarroch Castle Historical Museum Society





## CRAIGDARROCH CASTLE®

CANADA'S CASTLE

December 16, 2014

The City of Victoria  
Attention: Mayor and Council  
1 Centennial Square  
Victoria, BC V8W 1P6



**RE: 1070 Joan Crescent, Rezoning and Heritage Alteration Permit Application**

In December 2012, Directors and Staff undertook a review of the Craigdarroch Castle Historical Museum Society's presentation plan that was originally developed in 2003. A room-by-room examination of the interpretative space inside Craigdarroch Castle was conducted in order to better understand its current use and how the remaining spaces should be incorporated into the visitor experience. The Society's mission is to preserve Craigdarroch Castle and bring its stories to life so the questions asked during this review were whether we could tell additional stories exclusively in the digital realm or could we continue to develop new content in the Castle while working around the existing offices and workshop? If not, then should we remove these operational activities to a Visitor Center and dedicate the Castle spaces to our mission?

As a museum with a National Historic Site designation we are constantly challenged to remain relevant to our visitors while preserving the Castle. In January 2013, with this in mind, the Board of Directors came to the conclusion that the best place for our stories to reside is inside the Castle and approved an updated presentation plan recommending removal of operational activities from the Castle. One of the driving factors behind this decision was the number one request of visitors that they be able to see what a period kitchen looked like. At this time the gift shop inhabits the rooms that were the kitchen and scullery and our lunchroom is in what was the Dunsmuir's pantry. These are important rooms that visitors have told us would add value to their experience and the Society plans to focus restoration and interpretation efforts on these as soon as we've relocated our operational activities. There are also new galleries to be developed in the rooms occupied by our Registrar, Curator and Visitor Service personnel.

In November 2013 Christine Lintott Architect was engaged to determine how the Society might develop a visitor centre on the property located at 1070 Joan Crescent. Over the last 12 months Christine and I, in consultation with staff and the Board of Directors have developed a comprehensive plan for developing this property. As we progressed with our planning we took time to have informal conversations with City of Victoria staff and the Rockland Neighbourhood Association Land Use Committee, culminating recently in hosting a formal CALUC meeting on November 5, 2014.

## **Description of Proposal**

The proposal seeks to retain the existing residence and convert the use to that of a Visitor Centre for the Craigdarroch Castle Society. The residence is listed on the City of Victoria's Heritage Registry and as such the proposed conversion will be in keeping with those character defining elements defined by Heritage Consultant, Stuart Stark, in the attached Statement of Significance. A modest addition is proposed to the south and southwest corner of the residence, which will replace the various porches and external stairs that served the previous conversion of the residence to multiple suites. The proposed addition will comply with the Standards and Guidelines for the Conservation of Historic Places in Canada. The proposal will rezone the existing R1-A zoned site to a site specific zone to support the proposed uses. A concurrent Heritage Alteration Permit will also be required.

## **Government Policies**

The proposed conversion of the 1070 Joan Crescent residence is consistent with the goals of Placemaking – Urban Design and Heritage in the City of Victoria's Official Community Plan. Specifically,

- "cultural and natural heritage resources are protected and celebrated";
- "that heritage property is conserved as resources with value for present and future generations";
- "maintain views of identified heritage landmark building from the public realm through careful consideration of new development within a 90m or 180m radius";
- "conserve and enhance the heritage value, character and special features of...individual properties";
- "continue to support new additions that conserve and enhance heritage property, as consistent with the National Standards and Guidelines for the Conservation of Historic Places in Canada".

With respect to the Neighbourhood Directions for Rockland, Section 21 of the OCP, the proposal is consistent with the strategic directions which seek to "continue to conserve the historic architectural and landscape character of the neighbourhood", and "support the maintenance of existing dwellings and large lot character through sensitive infill that preserves green space and estate features."

## **Project Benefits and Amenities**

The proposal, as noted above, facilitates the further development of interpretive spaces within the Castle proper by hosting administrative and ancillary uses and activities that are currently housed within. The heritage restoration of key spaces within the Castle has a broader benefit to the community in celebrating this heritage landmark.

The sensitive conversion of the heritage residence at 1070 Joan Crescent to host new uses, which are publicly accessible, furthers the inventory of heritage value in the Rockland neighbourhood. The proposed uses reside within the Castle already, with the exception of the addition of a seasonal tea hut, which is intended to supplement the offerings for visitors to the site, as well as serving the immediate neighbourhood.

## **Need and Demand**

The proposal alleviates the challenges of hosting ancillary uses and administrative space within the Castle proper. The addition ensures accessibility to interpretive installations and provides for visitor



support including storage of bags and access to washrooms. An enhanced visitor experience allows for better management of visitor flow through the Castle.

In addition, the proposal provides an opportunity to offer accessible interpretive experiences within 1070 Joan Crescent, for visitors who are challenged to navigate the Castle proper. The residence will also supply much needed archival storage of historic fixtures and fittings, which are seasonally installed in the Castle.

### **Neighbourhood**

The proposed conversion and addition is consistent with Part 2 of the Rockland Neighbourhood Plan. Specifically,

- “properties of heritage character and merit should be conserved, maintained and enhanced”;
- “...man-made...landscape features such as rock outcrops, stone walls...should be retained”;
- “neighbourhood views should be maintained, particularly public views towards buildings of architectural and heritage merit.”
- “the architectural character of new development should complement nearby heritage sites”;
- “the institutional, and semi-institutional land uses in Rockland contribute greatly to the neighbourhood’s character and should be supported”.

### **Impacts**

The proposed conversion and addition complements the activities of Craigdarroch Castle and enhances the visitor experience. The intended consequence is that the flow through activities of Castle visitation will be more streamlined which should further reduce visitation impact to the surrounding neighbourhood. The conversion of this registered property solidifies its continued role in the neighbourhood as a character property, securing it from less compatible development proposals in the future.

### **Design and Development Permit Guidelines**

The proposal will conform to the intent of the referenced applicable guidelines for DPA 15C: Intensive Residential – Rockland, generally, with respect to retention of the existing character building. It is notable that in this instance, a Heritage Alteration Permit is required and that the Statement of Significance is the foundation for considering specific form and character. The Standards and Guidelines for the Conservation of Historic Places in Canada is referenced with respect to the proposed addition.

### **Safety and Security**

The proposal acknowledges key CPTED principles. The existing building on its site promotes natural surveillance. Walkways, fencing, lighting and signage promote movement to and from the building’s entrances, creating strong connections to the street, overlook and visibility. The public realm is clearly delineated through paving treatments, connectivity, and building placement, reinforcing ownership/control thereby discouraging nuisance behavior. As a complementary use to Craigdarroch Castle, and its continued use as an attraction, the proposal will be assured of quality maintenance and upkeep, thereby discouraging negative activity.

## Transportation

The proposed conversion and addition of 1070 Joan Crescent, in conjunction with Craigdarroch Castle proper, exceeds the minimum vehicle parking standards of Schedule C with the existing parking provided on the Castle grounds, a total of 24 spaces. An inventory of the uses and the attributable demand is provided below:

### Parking Calculations per Schedule C

#### *Craigdarroch Castle (Lot A) – Commercial Exhibit*

4 spaces or

1 space/232m<sup>2</sup> of lot area = 13 spaces

#### *1070 Joan Crescent*

Retail 1 space/37.5m<sup>2</sup> = 2 spaces

Office 1 space/65m<sup>2</sup> = 3 spaces

Commercial Exhibit 4 spaces or

1 Space/232m<sup>2</sup> of lot area = 5 spaces

Patio 1 space/5 seats = 6 spaces

(Assumed 30 seats)

Gross Total – minimum required 19 spaces to maximum required 29 spaces

In addition, the proposal meets the bicycle parking standards of Schedule C with provisions for both staff and visitors.

The proposal seeks to enhance the current pedestrian experience by more overtly denoting entrance for visitors to the historic precinct, providing greater accessibility and visibility.

## Heritage

The existing residence, as noted above, is a registered property on the City of Victoria's Heritage Registry. The Craigdarroch Castle society is considering seeking designation of the property as part of the overall proposal for Rezoning and support of the Heritage Alteration Permit.

## Summary

The proposed conversion and addition to the 1070 Joan Crescent residence represents a sensitive, complementary project within the Rockland Neighbourhood. Support of the proposal will aid in furthering the core activities of the Craigdarroch Castle society in expanding the interpretive installations within the Castle proper. The conversion itself represents an excellent opportunity to further the Society's preservation activities and to celebrate another one of the neighbourhood's assets.

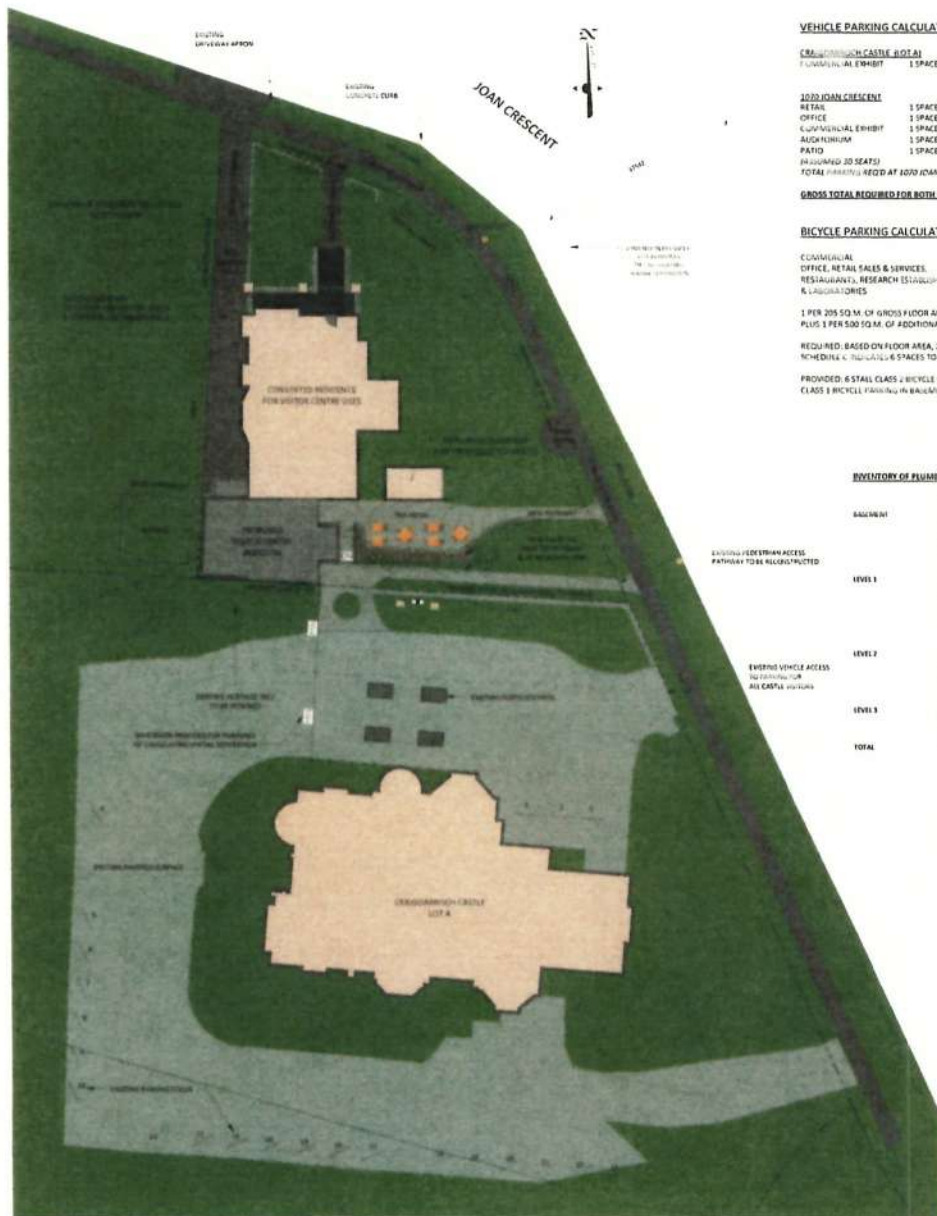
Sincerely,



John Hughes, Executive Director  
Craigdarroch Castle Historical Museum Society







#### VEHICLE PARKING CALCULATIONS PER SCHEDULE C

<b>CRAIGDARROCH CASTLE (LOT A)</b>		
EXISTING VISITOR CENTRE	1 SPACE/232m <sup>2</sup> OF LOT AREA	+ 13 SPACES
<b>2010 JOAN CRESCENT</b>		
RETAIL	1 SPACE/177.5m <sup>2</sup>	+ 2 SPACES
OFFICE	1 SPACE/100m <sup>2</sup>	+ 3 SPACES
COMMERCIAL EXHIBIT	1 SPACE/132m <sup>2</sup> = 2 OF LOT AREA	+ 4 SPACES
AUGUSTA MUSEUM	1 SPACE/100m <sup>2</sup> OF ASSEMBLY AREA	+ 5 SPACES
PATIO	1 SPACE/75 SEATS	+ 6 SPACES
(ASSUMING 20 SEATS)		
TOTAL PARKING REQUIRED AT 1070 JOAN CRESCENT		+ 20 SPACES
GROSS TOTAL REQUIRED FOR BOTH LOTS		+ 33 SPACES

#### BICYCLE PARKING CALCULATIONS PER SCHEDULE C

COMMERCIAL OFFICE, RETAIL SALES & SERVICES, RESTAURANTS, RESEARCH ESTABLISHMENTS, & LABORATORIES

1 PER 205 SQ M. OF GROSS FLOOR AREA FOR THE 1ST 500 SQ M., PLUS 1 PER 500 SQ M. OF ADDITIONAL FLOOR AREA

REQUIRED: BASED ON FLOOR AREA, 2 SPACES ARE CALCULATED (RECOMMEND 4 SPACES TO BE PROVIDED AT MINIMUM)

PROVIDED: 6 STALL CLASS 2 BICYCLE PARKING (SHOWN ON A1.00 CLASS 1 BICYCLE PARKING IN BASEMENT)

#### INVENTORY OF PLUMBING FIXTURES

	EXISTING	PROPOSED
BASINMENT	1 CLOSET, 1 SHOWER, 1 WATER CLOSET, 1 LAUNDRY, 1 SINK	
LEVEL 1	2 BATHS, 2 KITCHENS, 2 WATER CLOSETS, 2 LAUNDRY, 2 SINKS	4 WATER CLOSETS, 2 LAUNDRY, 1 SINK
LEVEL 2	2 BATHS, 2 KITCHENS, 2 WATER CLOSETS, 2 LAUNDRY, 2 SINKS	
LEVEL 3	2 WATER CLOSETS, 2 LAUNDRY, 2 SINKS	1 WATER CLOSET, 1 LAUNDRY
TOTAL	32	10

Overall Site Context  
1: 200



Existing Context Plan  
1: 500



Proposed Context Plan  
1: 500



Issue Date  
Revising & Date  
Heritage Alteration December 12, 2014

Revision No. Description Date

1. December 12, 2014  
Retention of express line at driveway to Proposed Visitor Centre  
Site location from community meeting

2. March 31, 2015  
A1.02  
Relocation of bicycle parking from driveway  
Carroll's independent driveway steps in front of Tea house  
Addition of garage enclosure at end of north driveway and green space along upper fence

A1.01  
Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New street added for lot width & setback calculations

A3.01-A3.04 - Carpool of proposed exterior elevations revised to match original character

A3.06 - A3.09  
New sheets added for conditions Assessment

A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and conditions Assessment

A3.11 - Proposed visitor detection revised

3. May 8, 2015  
A1.00  
Landscape area removed from existing driveway to ensure parking stall is maintained  
Calculations revised in Project Table

A3.10  
Project Information Table provided for Tea House to include setbacks, separation and height

Consultant

### Craigdarroch Castle Proposed Visitor Centre

At 1070 Joan Crescent,  
Victoria, BC

#### Site Context Plans

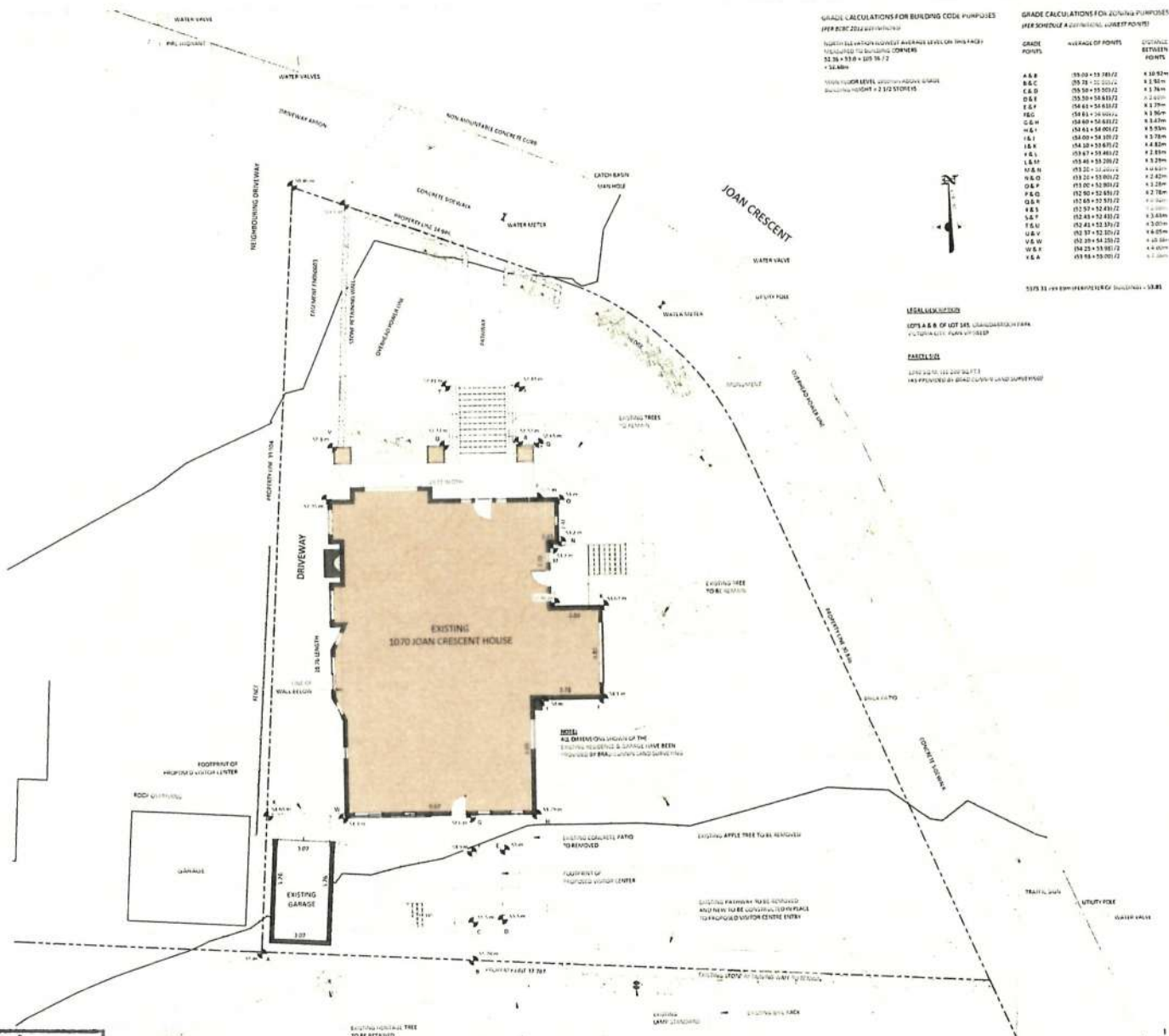
Date 5/8/2015 9:59:37 AM  
Drawn by NF  
Checked by CL

### A1.01

Scale As indicated

Received  
City of  
MAY 11 2015  
Planning & Development Department  
Development Services Division





**CHRISTINE LINTOTT ARCHITECT**

Issue Date  
Reasoning & Heritage Alteration December 12, 2014  
Revision No. Date  
Description

1. Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
2. March 31, 2015  
A1.02  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
3. May 8, 2015  
A1.03  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
4. May 8, 2015  
A1.04  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
5. May 8, 2015  
A1.05  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
6. May 8, 2015  
A1.06  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
7. May 8, 2015  
A1.07  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
8. May 8, 2015  
A1.08  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
9. May 8, 2015  
A1.09  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
10. May 8, 2015  
A1.10  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.
11. May 8, 2015  
A1.11  
Revision of site plan to show new driveway to proposed Visitor Centre. City revision from Community Meeting.

**Craigdarroch Castle Proposed Visitor Centre**

At 1070 Joan Crescent, Victoria, BC  
Existing Site Plan

Date 5/8/2015 9:59:38 AM  
Drawn By RSP, NF  
Checked By CL  
Scale 1:100  
Sheet A1.02

**Received**  
City of Victoria  
MAY 11 2015  
Planning & Development Department  
Development Services Division







EXISTING & PROPOSED FRONT STREET ELEVATION  
NO CHANGE FROM THIS VIEWPOINT

**CHRISTINE LINTOTT ARCHITECT**

1070 Joan Crescent, Victoria, BC  
V8N 4K1  
Tel: 250-383-1111  
www.christinelintott.com

Issue	Date
Re zoning & Heritage Allocation	December 12, 2014

Revision No	Description	Date
1	Extension of Cypress tree to driveway to Proposed Visitor Centre. Only revision from Communities Meeting	December 12, 2014
2	March 11, 2015	

A0 00  
Revision of driveway parking from driveway  
Location of Intensive driveway steps in front of Tea House

A0 01  
Addition of garage enclosure at end of north driveway and green space along upper fence.

A1 01  
Vehicle & bicycle parking calculations revised

A1 04 - Proposed street elevations updated to reflect revisions

A1 05 - New sheet added for lot width & setback calculations

A3 01 - A3 04 - Contours of proposed exterior elevations revised to match original character

A3 06 - A3 09  
New sheets added for Conditions Assessment

A3 10 & A3 11 - New sheets added for re-proposed garage/proposed Tea House details and Conditions Assessment

A3 11 - Proposed colour selections added

Issue	Date
3	May 8, 2015

A0 00  
Landscape area removed from existing driveway to ensure parking stall is clear  
Calculations revised in Appendix Table

A3 10  
Project information table provided for Tea House to include setbacks, separation and height

Contractor

**Craigdarroch Castle  
Proposed Visitor Centre**

At 1070 Joan Crescent,  
Victoria, BC

Context Street Elevations

Date	Drawn By	Checked By
5/8/2015 9:59:39 AM	KL	CL

**A1.04**

Scale



EXISTING STREET ELEVATION LOOKING SOUTH EAST



PROPOSED STREET ELEVATION LOOKING SOUTH EAST



EXISTING STREET ELEVATION LOOKING WEST



PROPOSED STREET ELEVATION LOOKING WEST

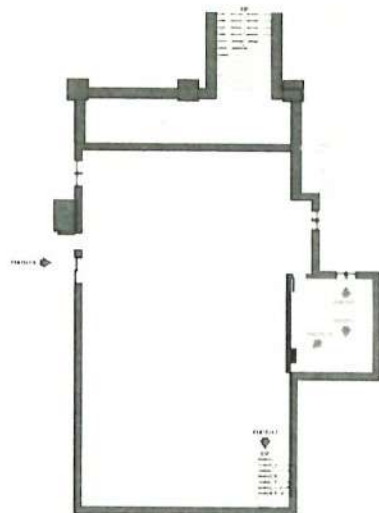
PROPOSED ADDITION 1070 JOAN CRESCENT

**Received  
City of Victoria**

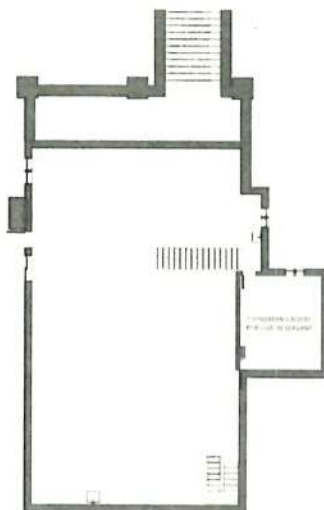
**MAY 11 2015**



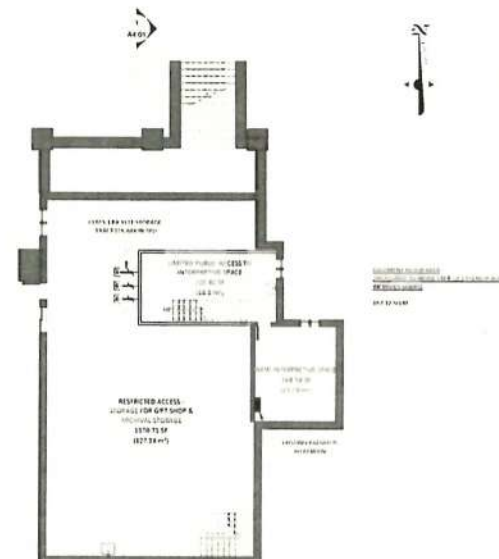




1 Existing Basement Plan  
1:100



2 Historic Basement Plan  
1:100



3 Basement Proposed Plan  
1:100

CHRISTINE LINTOTT  
ARCHITECT

Issue Date  
Revising & Date  
Heritage Activation December 12, 2014

Revision No. Description Date  
1 Retention of cypress tree at driveway to Proposed Visitor Centre  
Only revision from Community Meeting December 12, 2014

2 March 31, 2015  
A1.02 Retention of cypress tree from driveway  
Retention of cypress tree at driveway to Proposed Visitor Centre  
Addition of garage enclosure at end of north driveway and green space along upper fence

A1.01 Vehicle & bicycle parking setbacks revised

A1.04 Proposed street environment updated to reflect revisions

A1.05 New sheet added for lot width & setbacks classifications

A1.01-A1.04 Colours of proposed exterior elevations revised to match original character

A1.06-A1.09 New sheets added for Landmarks Assessment

A1.10 & A1.11 New sheets added for proposed garage/proposed Tea House details and Landmarks Assessment

A1.11 Proposed fence selections added

3 May 8, 2015  
A1.10 To remove area removed from existing driveway to ensure parking stalls maintained. Calculations revised in Project Table

A1.10 Project Information Table provided for Tea House to include setbacks, location and height

Consultant



PHOTO 1  
ENTRANCE DOWN TO BASEMENT FROM WEST DRIVEWAY



PHOTO 2  
INTERIOR STAIR TO MAIN FLOOR



PHOTO 3  
WINDOWS IN DRIVEWAY PARKING



PHOTO 4  
UNFINISHED SPACE WITH ORIGINAL, HISTORIC & PROPOSED WALLS AND CEILING AND A THERMAL LAG MAT ON ALL RADIATOR RAISED ABOVE THE FLOOR  
Image courtesy of Stuart Jones



PHOTO 5  
ENTRANCE TO ROOM  
Image courtesy of Stuart Jones

# CHARACTER PHOTOGRAPHS

## Craigdarroch Castle Proposed Visitor Centre

At 1070 Joan Crescent  
Victoria, BC

## Basement Floor Plans (Existing, Historic & Proposed)

Date 5/8/2015 9:59:42 AM  
Drawn by RSP, NF  
Checked by CL

A2.00

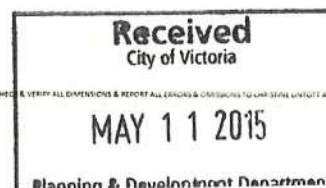
Scale 1:100

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THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECT.

DO NOT SCALE THE DRAWINGS.



1. Extension of existing time at driveway to Proposed Visitor Centre  
Only revision from Community Meeting  
December 12, 2014

2. A1.00  
Removal of existing parking from driveway  
Extension of interpretive driveway strips in front of Tea House  
Addition of garage enclosure at end of north driveway and green space along upper fence.  
March 31, 2015

A1.01  
Vehicle & bicycle parking calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for its width & to show calculations

A3.01-A3.04 - Columns of proposed exterior structures removed for multi-angled elevation

A3.05 - A3.09  
New sheets added for calculations Assessment

A3.10 & A3.11 - New sheets added for required garage proposed Tea House, access and circulation Assessment

A3.12 - Proposed column calculations added  
May 8, 2015

A3.00  
Landscape area removed from existing driveway to ensure parking strip is maintained  
Calculations revised in Project Table

A3.10  
Project information table provided for Tea House, landscape, approach, separation and height.

Consultant:

**Craigdarroch Castle  
Proposed Visitor Centre**

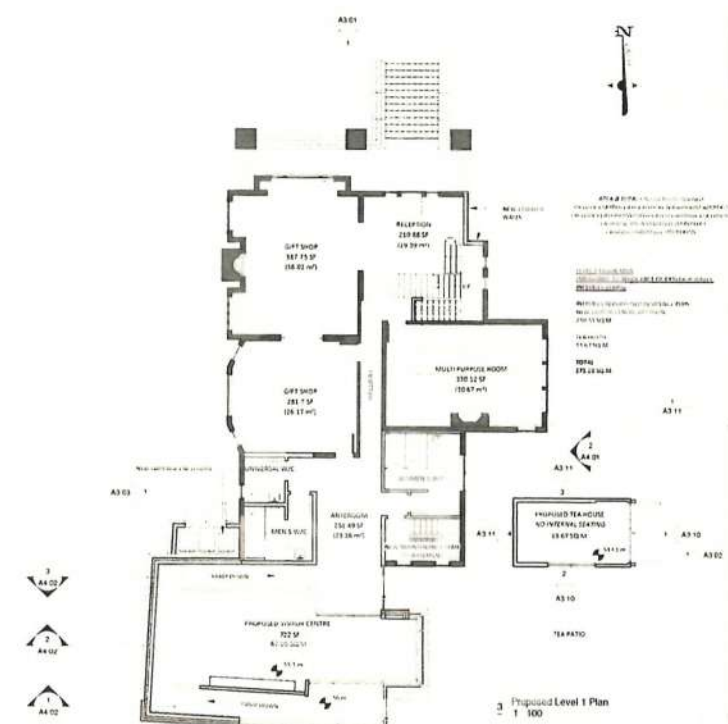
A1 1070 Jean Crescent  
Victoria, BC

**Level 1 Floor Plans (Existing, Historic & Proposed)**

Date: 5/8/2015 9:59:44 AM  
Drawn by: RJP, NE  
Checked by: CL

**A2.01**

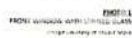
Scale: 1:100



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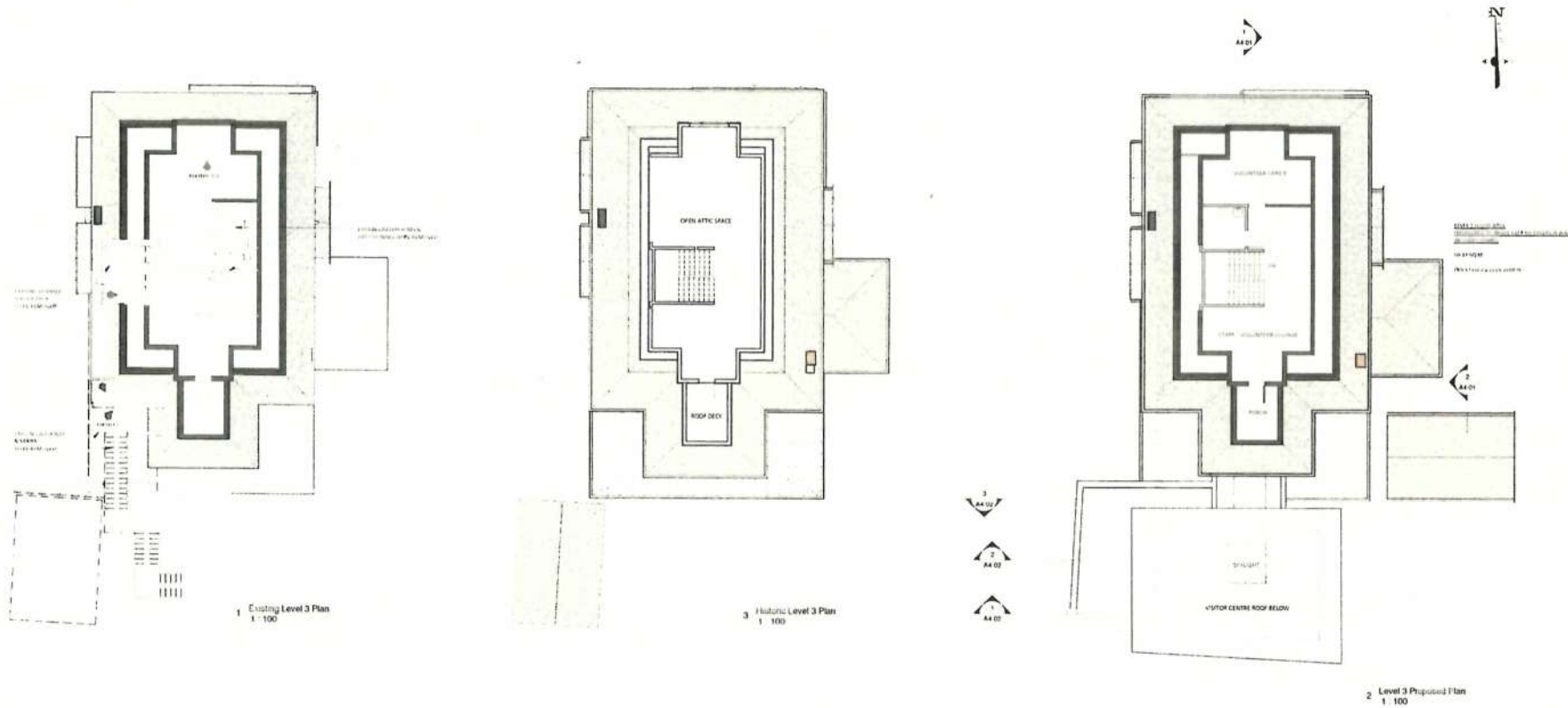
MAY 11 2015





Scale 1 100

MAY 11 2015



<b>CHRISTINE LINTOTT ARCHITECT</b>	
Issue	Date
Revising & Heritage Alteration	December 12, 2014
Revision No.	Date
1	December 12, 2014
Attention of upper floor at walkway to Proposed Visitor Centre	
Only revision from Community Meeting	
2	March 31, 2015
A0.00 Replication of level 3 parking from driveway. Deletion of interpretive driveway steps in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along upper terrace.	
A1.01 Vehicle & Bicycle Parking Calculations revised	
A1.04 - Proposed street elevations updated to reflect revisions	
A1.05 - New sheet added for lot width & setbacks calculations	
A3.01 - A3.04 - Colours of proposed exterior elements revised to match original character	
A3.05 - A3.09 New sheets added for Landmark Assessment	
A3.10 & A3.11 - New sheets added for proposed proposed Tea House details and Landmark Assessment	
A3.11 - Proposed outdoor table additions added	
3	May 8, 2015
A0.00 Landmark area removed from existing driveway to ensure parking staff is standardized. Calculations revised in project table.	
A1.10 Project Information Table provided for Tea House to include setbacks, separation and height.	
Consultants	

#### CHARACTER PHOTOGRAPHS



PHOTO 1  
FASCIA DETAIL



PHOTO 2  
EXISTING ROOF CALCULATIONS



PHOTO 3  
EXTERIOR VIEW AT SOUTH



PHOTO 4  
INTERIOR OF VISITOR CENTRE UNIT



PHOTO 5  
INTERIOR OF VISITOR CENTRE UNIT

#### Craigdarroch Castle Proposed Visitor Centre

At 1070 Ivan Crescent  
Victoria, BC

#### Level 3 Floor Plans (Existing, Historic & Proposed)

Date: 5/8/2015 9:54:49 AM  
Drawn by: REP, NF  
Checked by: CL

A2.03

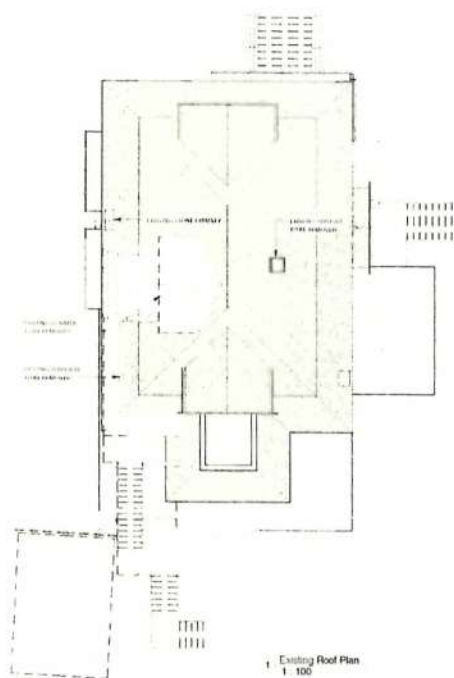
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Received  
City of Victoria

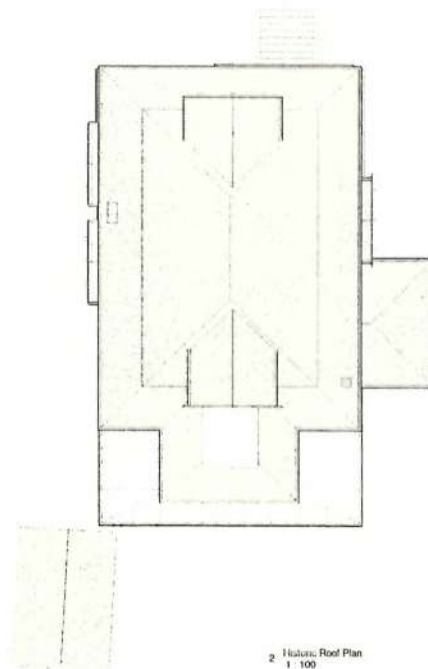
MAY 11 2015

Planning & Development

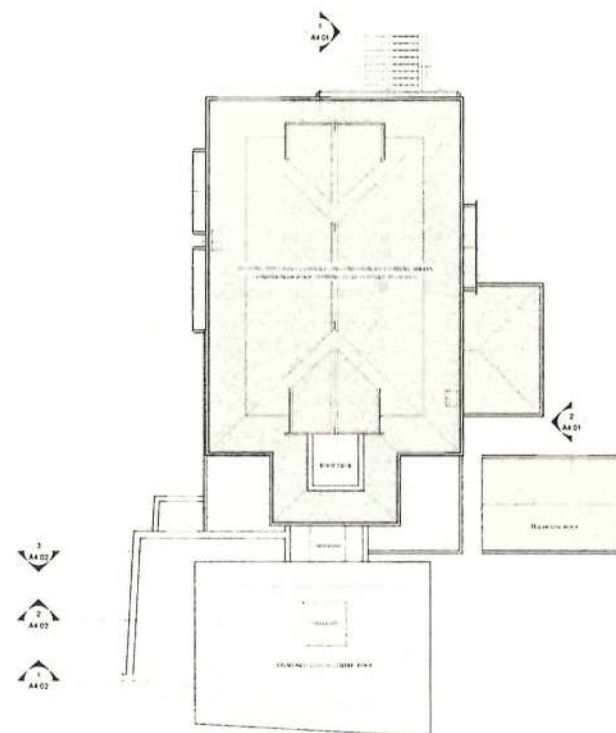




1 Existing Roof Plan  
1:100



2 Historic Roof Plan  
1:100



3 Proposed Roof Plan  
1:100



CHRISTINE  
LINTOTT  
ARCHITECT

Issue Date  
Planning & Heritage Assessment December 12, 2014

Revision No. Description Date

1 December 12, 2014  
Extension of Express tree at walkway to  
Proposed Visitor Centre  
Only revision from Community Meeting

2 March 31, 2015

A0.00  
Removal of bicycle parking from driveway  
Extension of interpretive driveway strips in  
front of Tea House  
Addition of garbage enclosure at end of north  
driveway and green space along upper fence

A1.01  
Vehicle & bicycle parking calculations revised

A1.04 - Proposed street elevations updated to  
reflect revisions

A1.05 - New sheets added for lot width &  
 setbacks calculations

A1.01-A1.04 - Colours of proposed exterior  
 elevations revised to match original character

A1.06 - A1.09  
New sheets added for Conditions Assessment

A3.10 & A1.11 - New sheets added for  
 re-proposed garage/proposed Tea House  
 details and Conditions Assessment

A3.11 - Proposed outdoor seating area added

3 May 8, 2015

A0.00  
Unusable area removed from existing  
 driveway to ensure parking stalls maintained  
 Calculations revised in Project Table

A3.10  
Project information table provided for  
 Tea House to include setbacks, separation  
 and height

Consultant

Consultant

Craigdarroch Castle  
Proposed Visitor Centre

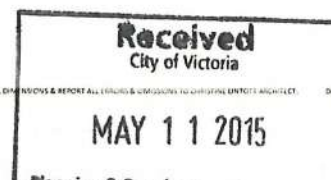
At 1070 Joan Crescent  
Victoria, BC

Roof Plans (Existing, Historic &  
Proposed)

Date 5/8/2015 9:59:31 AM  
Drawn by BP, NF  
Checked by CL

A2.04

Scale 1:100





CHRISTINE  
LINTOTT  
ARCHITECT

1070 Leah Crescent  
Victoria, BC

Issue: December 12, 2014  
Revising & message Alteration

Revision No. Date  
Excavation

1: December 12, 2014  
Retention of cypress tree at driveway to Proposed Visitor Centre  
Site revision from community meeting

2: March 31, 2015  
A2.00  
Revelation of driveway parking from driveway  
Creation of interpretive driveway strips in front of Tea House  
Addition of garbage enclosure at end of north driveway and green space along water front.

A1.01  
Vehicle & Bicycle Parking calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New shed added for lot width & setback calculations

A3.01 - A3.04 - Layout of proposed exterior elevations revised to reflect original structure

A3.06 - A3.09  
New streets added for Landmarks Assessment

A3.10 & A3.11 - New streets added for Newfound garage/propose Tea House details and Landmarks Assessment

A3.11 - Proposed minor alterations added

3: May 8, 2015  
A0.00  
Landscape area removed from existing driveway to ensure parking staff is maintained calculations revised in Project Table

A3.10  
Project Information Table provided for Tea House to include setbacks, elevation and height

Consultant

Craigdarroch Castle  
Proposed Visitor Centre

At 1070 Leah Crescent  
Victoria, BC

3D Floor Plans  
Birdseye View From West

Date: 5/8/2015 10:00:11 AM  
Drawn by: BGP, JPL  
Checked by: CL

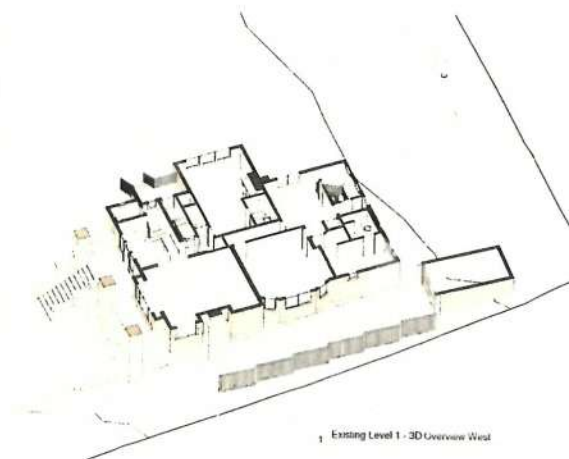
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Scale

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City of Victoria

MAY 11 2015

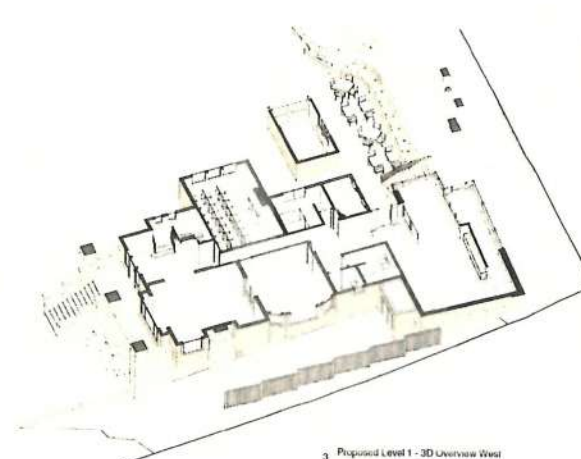
Planning & Development Department  
Development Services Division



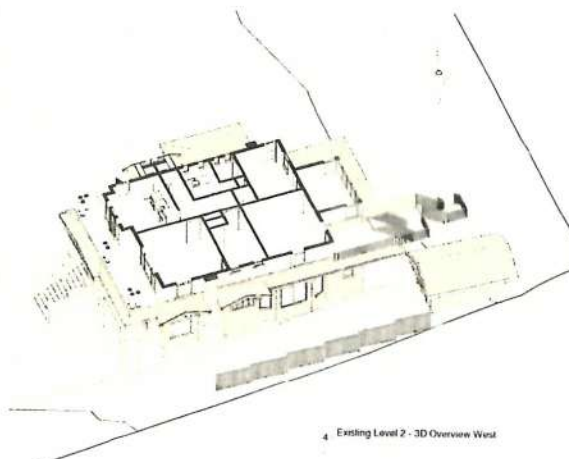
1 Existing Level 1 - 3D Overview West



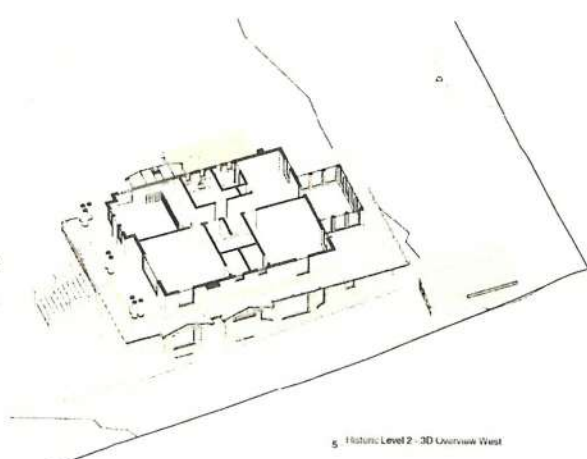
2 Historic Level 1 - 3D Overview West



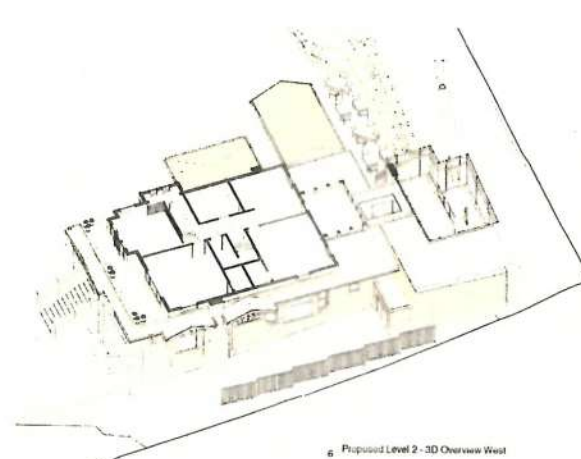
3 Proposed Level 1 - 3D Overview West



4 Existing Level 2 - 3D Overview West

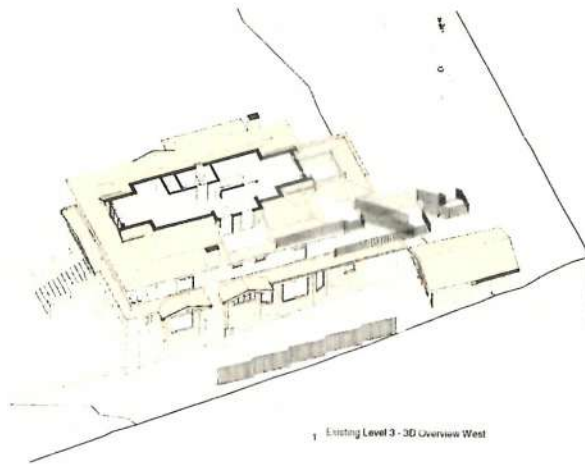


5 Historic Level 2 - 3D Overview West

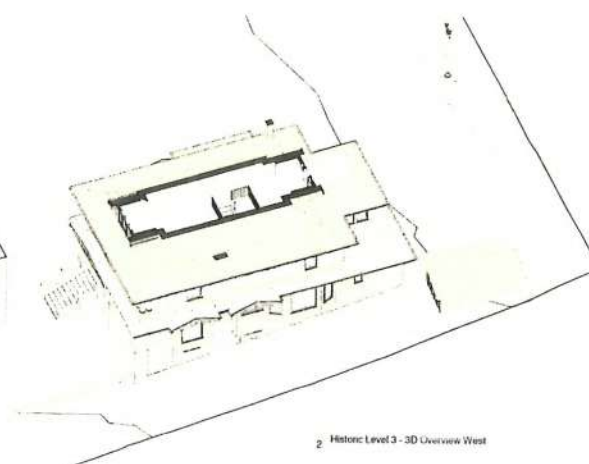


6 Proposed Level 2 - 3D Overview West

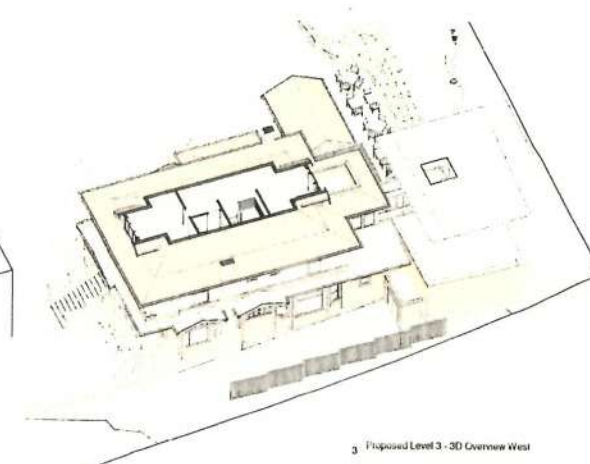




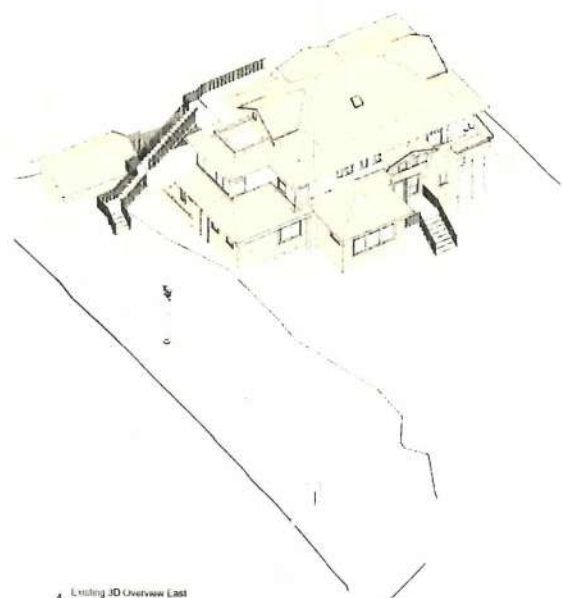
1 Existing Level 3 - 3D Overview West



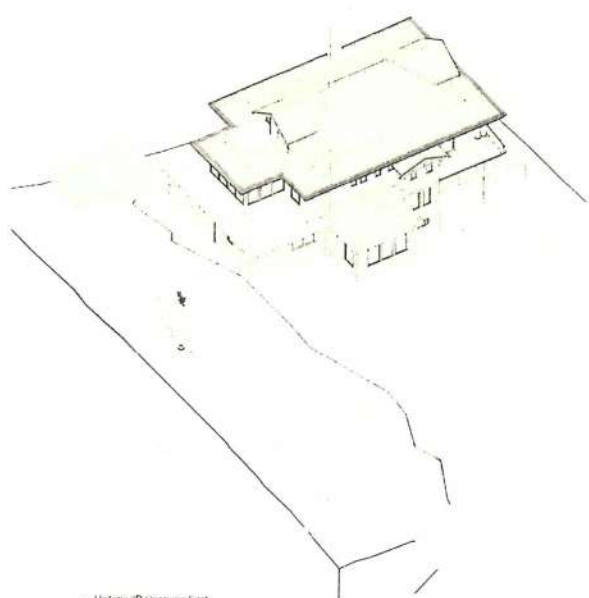
2 Historic Level 3 - 3D Overview West



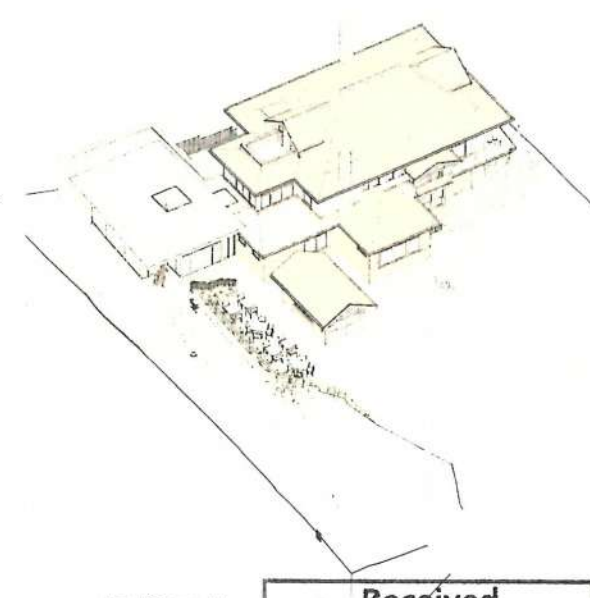
3 Proposed Level 3 - 3D Overview West



4 Existing 3D Overview East



5 Historic 3D Overview East



6 Proposed 3D Overview East



Issue: December 12, 2014  
Revising & Heritage Alteration

Revision No. Description Date

1. November 12, 2014  
Removal of egress tree at walkway to Proposed Visitor Centre  
Only revision from Community Meeting

2. March 31, 2015  
A1.02 Refinement of bicycle parking from driveway  
Removal of integrated driveway steps in front of Tea House  
Addition of garage enclosure at end of north driveway and green space along upper fence.

A1.01 Vehicle & bicycle Parking calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A3.01 - A3.08 - Section of proposed exterior elevations revised to match original character

A3.09 - A3.09 New sheets added for Landmarks Assessment

A3.10 & A3.11 - New sheets added for historic tea house and proposed Tea House details and Landmarks Assessment

A3.11 - Proposed colour select one added

3. May 8, 2015

A3.02 Landscaping area removed from existing driveway to ensure parking staff is maintained. Calculations revised in project table.

A3.10 Project Information table provided for Tea House to include setbacks, scale and height.

Consultant

## Craigdarroch Castle Proposed Visitor Centre

At 1070 Joan Crescent  
Victoria, BC

3D Floor Plans  
Birdseye View

A2.06

Date: 5/8/2015 10:00:40 AM  
Drawn by: RSP, NP  
Checked by: CL

Scale

Received  
City of Victoria

MAY 11 2015

Planning & Development Department

# CHARACTER PHOTOGRAPHS



EXISTING ELEVATION SHOWING GRANITE STONE FOUNDATIONS & PILLARS



EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION

Received  
City of Victoria

MAY 11 2015

Planning & Development Department  
Development Services Division



1 Existing North Elevation  
1:50



2 Proposed North Elevation  
1:50

CHRISTINE  
LINTOTT  
ARCHITECT

Issue Date  
Restoring & Heritage Activation December 12, 2014

Revision No. Description Date

1. Retention of existing tree at walkway to proposed Visitor Centre  
Only revision from community meeting

2. March 31, 2015

AD 00 Relocation of bicycle parking from driveway  
Deletion of comprehensive driveway strips in front of Tea House

Level 1 54610 Addition of garbage enclosure at end of north driveway and green space along upper fence.

Zoning Grade 53810

A1 01 Vehicle & Bicycle Parking Submissions revised

A1 04 - Proposed street elevations updated to reflect revisions

A1 05 - New sheet added for lot width & setbacks calculations

A3 01-A3 04 - Colours of proposed exterior materials revised to match original character

A3 06 - A3 09 New sheets added for Conditions Assessment

A3 10 & A3 11 - New sheets added for proposed garage/porch/Tea House details and Conditions Assessment

A3 11 - Proposed colour selections added

3. May 8, 2015

AD 00 Landscape area removed from existing driveway to ensure parking stalls is maximized. Calculations revised in project table

A3 10 Project information table provided for Tea House to include setbacks, orientation and height

Level 3 60541

Consultant

Craigdarroch Castle  
Proposed Visitor Centre

At 1070 Joan Crescent,  
Victoria, BC

North Exterior Elevations

Basement 52330 Date 5/8/2015 10:00:09 AM  
Drawn by RSP, NF  
Checked by CL

A3.01

Scale 1:50





**CHRISTINE LINTOTT ARCHITECT**

Issue Date  
Heritage Alteration December 12, 2014

Revision No. Description Date

1. Extension of Cypress tree at walkway to Proposed Visitor Centre  
City revision from community meeting

2. March 31, 2015

A0.00 Relocation of bicycle parking from driveway  
Relocation of interpretive driveway steps in front of Tea House  
Addition of garage enclosure at end of north driveway and green space along upper fence.

A1.01 Vehicle & Bicycle parking locations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Colours of proposed exterior materials revised to match original character

A3.06 - A3.09 New sheets added for conditions Assessment

A3.10 & A3.11 - New sheets added for repair/replace garage/proposed Tea House details and conditions Assessment

A3.11 - Proposed Linear Schedules added

3. May 8, 2015

A0.00 Landscaping after removal from building driveway to ensure parking staff is maintained, calculations revised in project table

A3.10 Project Information Table provided for Tea House to include setbacks, separation and height.

Consultant

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840

Level 3 60541

Level 2 57607

Level 1 54610

Roof Peak 63840



**Craigdarroch Castle  
Proposed Visitor Centre**

At 1070 Joan Crescent  
Victoria, BC

East Exterior Elevations

**CHARACTER PHOTOGRAPHS**

**CHARACTER DRAINAGE ELEMENTS**

The character of the historic building is defined by its form, materials, and details. The following photographs show the character elements of the historic building.

Staircase



LEADED GLASS WINDOWS TO BE RETAINED



GABLE TO BE RELOCATED & REINFORCED AS TEA HOUSE



EXIST ENTRY & STAIRS TO BE RETAINED



ARTS & CRAFT STYLE GABLE TO BE RETAINED

THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL IT IS APPROVED & ISSUED BY CHRISTINE LINTOTT ARCHITECT AS SUCH

THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL DISCREPANCIES TO CHRISTINE LINTOTT ARCHITECT

DO NOT SCALE DRAWINGS

**Received**  
City of Victoria

**MAY 11 2015**

Planning & Development Department

Date 5/8/2015 10:01:13 AM

Drawn by ASP, NF

Checked by CL

**A3.02**

1:50







NORTH & WEST ELEVATIONS ARE NOT SHOWN  
NO CHANGES TO PERCENTAGE OF OPENINGS, EXISTING CONDITIONS

CHRISTINE LINTOTT  
ARCHITECT

Issue Date

Revising & 60541 December 12, 2014

Revision No. Description Date

1. Revisions of express tree at walkway to Proposed Visitor Centre. Only revision from Community Meeting. December 12, 2014

2. March 31, 2015

A0.00: Revisions of bicycle parking from driveway. Location of interpretive driveway strips in front of Tea House. Addition of garbage enclosure at end of north walkway and green space along upper fence. March 31, 2015

A1.01: Vehicle & bicycle parking calculations revised. December 12, 2014

A1.04: Proposed street elevations updated to reflect revisions. December 12, 2014

A1.05: New sheet added for lot width & setbacks calculations. December 12, 2014

A3.01-A3.04: Colours of proposed exterior elevations revised to match original character. December 12, 2014

A3.06 - A3.09: New sheets added for conditions Assessment. December 12, 2014

A3.10 & A3.11: New sheets added for proposed garage/porch Tea House details and conditions Assessment. December 12, 2014

A3.11: Proposed colour selections added. December 12, 2014

3. May 8, 2015

A0.00: Landscaping area removed from existing driveway to ensure parking stall is installed. Calculations revised in Project Table. May 8, 2015

A3.10: Project Information Table provided for Tea House to include setbacks, separation and height. May 8, 2015

Consultant. May 8, 2015

Level 3 60541

Level 2 57607

Level 1 54810

Zoning Grade 53810

Basement 52330

Floor Peak 63840

Level 3 60541

Level 2 57607

Level 1 54810

Zoning Grade 53810

Basement 52330

Floor Peak 63840

Level 3 60541

Level 2 57607

Level 1 54810

Zoning Grade 53810

Basement 52330

Floor Peak 63840

Level 3 60541

Level 2 57607

Level 1 54810

Zoning Grade 53810

Basement 52330

Floor Peak 63840

Level 3 60541

Level 2 57607

Level 1 54810

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Basement 52330

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Level 3 60541

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Level 1 54810

Zoning Grade 53810

Basement 52330

Floor Peak 63840

Level 3 60541

Level 2 57607

Level 1 54810

Zoning Grade 53810

Basement 52330





**WEST WALL OF MAIN ENTRANCE STAIR**  
STAIR PLANT WALLING IN STONE MASONRY  
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH  
PAINT TO BE REMOVED FROM MAIN PORCH & FRONT ENTRY CONCRETE CAPS OVER STONE  
CAPS TO REMAIN UNPAINTED



**MAIN ENTRANCE STAIR**  
WOODEN STEPS TO BE RECONSTRUCTED  
NEW STEPS TO BE CONSTRUCTED FROM PAVED 20mm MATERIAL WITH SINGLE GAP  
AND INTEGRAL BALUNDE, FASTENING TO BE FROM BELOW BY BRACKETS  
RESTORATION OF NEW FRONT STEPS TO BE MORE IN KEEPING WITH ORIGINAL DETAIL



**EAST WALL OF MAIN ENTRANCE STAIR**  
STAIR PLANT WALLING IN STONE MASONRY  
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH



**MAIN ENTRANCE**

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS  
FOR LONG TERM DURABILITY AND MAINTENANCE.  
TYPICAL ALL GABLE BEAMS

DOWNPOUT ON FRONT TO BE RELOCATED WHEN ALL NEW PROVIDED  
ALL NEW DOWNPOUTS TO BE AROUND TYPICAL OF ORIGINAL CHARACTER

**MAIN PORCH**  
UPPER FRONT PORCH TO BE RESTORED  
GLAZING & DOOR TO BE REMOVED



**SECOND FLOOR PORCH CEILING**

ALL EXTERIOR MATERIALS TO BE PAINTED NEW  
EXISTING TO BE STRIPPED, TYPICAL THROUGHOUT

CONFIRM ORIGINAL COLOUR WHEREVER  
BEFORE FINAL PAINTING



**SECOND FLOOR PORCH CEILING**

PORCH CEILING IN POOR CONDITION  
MOISTURE FROM ABOVE HAS SEPARATED XENITEK PAINT OFF THE CEILING  
CEILING TO BE REPAIRED AND RESTORED AS REQUIRED



**UPPER GABLE**  
MAINTENANCE TO BE PERFORMED AS REQUIRED



**NORTH ELEVATION CONTEXT PHOTO**



**NORTH ELEVATION CONTEXT PHOTO**

**GENERAL NOTE:**  
XENITEK EXTERIOR PAINT FAULTING SUBSTANTIALLY  
IN SOME INSTANCES LARGE PANELS OF PAINT ARE PEELING OFF

PROPOSAL IS TO STRIP XENITEK PAINT OFF AND  
REPAINT ENTIRE HOUSE IN COLOURS SEEN TO MATCH ORIGINAL CHARACTER.  
WORK MAY BE COMPLETED AS FUNDING BECOMES AVAILABLE

ROOFING IN POOR CONDITION. NEW ROOFING TO BE COMPLETED.  
SEE CONDITION ASSESSMENT SHEETS AND RECOMMENDATIONS FOR CLARIFICATION OF MATERIALS  
ROOF CRESTING TO BE RESTORED ON UPPER MAIN ROOF ONLY WITH  
TYPICALS AT EACH END OF MAIN ROOF RIDGE AND THE TOP OF THE FRONT AND REAR GABLES

# CHRISTINE LINTOTT ARCHITECT

Issue Date  
Revising & December 12, 2014  
Heritage Assessment

Revision No. Description Date

1. December 12, 2014  
Relocation of cypress tree at walkway to  
Proposed Visitor Centre  
City revision from community Meeting

2. March 31, 2015  
A0 00  
Relocation of beech parking from driveway  
Location of interpretive driveway steps in  
front of Tea House  
Addition of garbage enclosure at end of north  
driveway and gas space along upper fence.

A1 01  
Vehicle & Bicycle Parking Calculations revised

A1 04 - Proposed street elevations updated to  
reflect revisions

A1 05 - New sheet added for lot width &  
vehicle distribution

A1 01 - A3 04 - Summary of proposed exterior  
elevations revised to match original character

A3 06 - A3 09  
New sheets added for landscape Assessment

A1 10 & A3 11 - New sheets added for  
reproposed garage/visitors Tea House  
details and landscape Assessment

A3 11 - Proposed colour selections added

3. May 8, 2015  
A3 02  
Vehicle area removed from existing  
driveway to ensure parking still is maintained  
Calculations revised in project table

A3 10  
Project Information Table provided for  
Tea House to include setbacks, orientation  
and height

Consultant

Craigdarroch Castle  
Proposed Visitor Centre

At 1070 Joan Crescent  
Victoria, BC

North Elevation - Conditions  
Assessment

Date 5/8/2015 10:02:22 AM  
Drawn by NF  
Checked by CL

A3.06





**MAIN PORCH**  
OPEN FRONT PORCH TO BE RESTORED  
GLAZING TO BE REMOVED



**UPPER PORCH**  
CONCRETE PILLAR TO BE REMOVED  
UPON RELOCATION OF SERVICES  
PORCH WALL & COLUMNS TO BE MAINTAINED  
WITH WORK TO INCLUDE SKIMMING AND NEW PAINT, TYPICAL THROUGHOUT



**STONE CHIMNEY**  
SERIAL RESTAINT TO BE PROVIDED  
STONE LINING & FOUNDATIONS TO HAVE REPAIRING AS REQUIRED



PARTIAL WEST ELEVATION CONTEXT PHOTO



PARTIAL WEST ELEVATION CONTEXT PHOTO



**LEADED GLASS WINDOW**  
WINDOW IS RELATIVELY GOOD CONDITION  
RELEADING TO BE PERFORMED AS REQUIRED



**ARCH & CRAFT STYLE GABLE**  
WORK TO INCLUDE SKIMMING & NEW PAINT  
NEW FLASHING TO BE INSTALLED OVER TOP OF BEAMS ENDS  
ALL TYPICAL THROUGHOUT  
CONFIRM ORIGINAL COLOUR BEHIND GABLE BEFORE FINAL PAINTING



**ARCH & CRAFT STYLE GABLE & LEADED GLASS WINDOW**  
FLASHING TO GABLE AS PREVIOUSLY NOTED  
RELEASED TO BE PERFORMED AS REQUIRED  
THIRD PANE IN POOR CONDITION AND TO BE RESTORED



**UPPER MAIN ROOF**  
GABLE AND PREVIOUS STAIR ENTRANCE PATIOS TO BE REMOVED  
AND ROOF RESTORED WITH NEW SHINGLES



**WINDOW TO BE REPLACED WITH GLASS TO SUIT NEW WINDOW**  
GLASS TO BE REPLACED WITH GLASS TO SUIT NEW WINDOW  
PANEL BESIDE TO BE REMOVED AND SHINGLES TO BE RESTORED

**WINDOW TO BE REPLACED WITH GLASS TO SUIT NEW WINDOW**  
GLASS TO BE REPLACED WITH GLASS TO SUIT NEW WINDOW  
PANEL BESIDE TO BE REMOVED AND SHINGLES TO BE RESTORED

**SOUTH WEST CORNER SECOND FLOOR**  
SCULPTURE & OVERHANGING ROOF TO BE REMOVED  
ROOF OVERHANG AT SECOND FLOOR TO BE RESTORED  
TO MATCH ORIGINAL DETAILING



**BAY WINDOW**  
NEW WINDOWS TO BE REMOVED AND REPLACED  
WITH THOSE TYPICAL OF ORIGINAL CHARACTER



**BAY ROOF OVER**  
ROOF OVER BAY TO BE RECONSTRUCTED FOR APPROPRIATE OVERHANGING DETAILING  
AND TO MATCH GABLE ROOF TO MATCH TYPICAL DETAILING



**BAY WINDOW SILL CONDITION**  
WINDOW SILL & CATCHES TO BE MAINTAINED, TYPICAL THROUGHOUT  
WORK TO INCLUDE SKIMMING AND NEW PAINT



**ROOF LINING**  
LOWER ROOF TO BE RECONSTRUCTED  
TO CORRECT DRAINAGE OF ROOFING, PATCH AREA



**SOUTH WEST CORNER HISTORIC PORCH**  
ENTRANCE PORCH (ADJACENT TO THE SOUTH)  
STRUCTURE TO BE MAINTAINED AND STRENGTHENING TO BE PROVIDED  
VERTICAL SILLING TO BE MAINTAINED AND  
SHINGLE CLADDING TO BE RESTORED

## CHRISTINE LINTOTT ARCHITECT

Issue: December 12, 2014  
Revising & message: Alteration

Revision No: Description Date

1. December 12, 2014  
Production of egress fire exit strategy for  
Proposed Visitor Centre  
UNIVERSITY OF THE SOUTH COAST Meeting

2. March 31, 2015  
A0 00  
Revising of egress fire exit strategy  
UNIVERSITY OF THE SOUTH COAST Meeting

A1 01  
Vehicle & Bicycle Parking, calculations revised  
A1 04 - Proposed street elevations updated to  
reflect revisions

A1 05 - New sheet added for lot width &  
setback calculations

A3 01-A3 04 - Contents of proposed exterior  
elevations revised to match original character

A3 06 - A3 09  
New sheets added for landscape Assessment

A3 10 & A3 11 - New sheets added for  
reputation garage assessment (see House  
drawings and landscape Assessment)

A3 11 - Proposed colour selections added

3. May 8, 2015  
A0 02  
Window area removed from existing  
drawings to ensure parking light is maintained  
Calculations revised in project table

A3 10  
Project Information Table provided for  
Tea House to include setbacks, separation  
and height

Consultant:

## Craigdarroch Castle Proposed Visitor Centre

At 1000 Iron Crescent  
Victoria, BC

## West Elevation - Conditions Assessment

Date: 5/8/2015 10:02:22 AM  
Drawn by: NF  
Reviewed by: CL

Sheet: A3.07

Received  
City of Victoria  
MAY 11 2015



UPPER GABLE AND DECK WALL TO BE MAINTAINED.  
WORK TO INCLUDE SHIPPIPS AND NEW PAINT

SUITE DOOR TO BE REMOVED AND RESTORED  
WITH WINDOW AND WALL CLADDING  
TYPICAL OF ORIGINAL CHARACTER

PORTION OF LOWER ROOF TO BE REMOVED  
FOR CONNECTION OF PROPOSED ADDITION



SOUTH ELEVATION CONTEXT PHOTO

PORTION OF LOWER ROOF TO BE RETAINED  
STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED TO CORRECT  
ROOFING MATERIAL TO BE RESTORED TO ROLLED METAL TO MATCH ORIGINAL CHARACTER

**CHRISTINE LINTOTT ARCHITECT**

Issue: December 12, 2014  
Requiring: Heritage Assessment

Revision: Description: Date:

1. December 12, 2014  
Retention of cypress tree at walkway to  
Proposed Visitor Centre  
Line revision from Community Meeting

2. March 31, 2015

A0.00  
Retention of bicycle parking from driveway  
Location of interpretive driveway strips in  
front of Tea House  
Addition of garage structure at end of north  
driveway and green space along upper fence.

A1.01  
Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to  
reflect revisions

A1.05 - New sheet added for lot work &  
setback calculations

A3.01-A3.04 - Colours of proposed exterior  
materials revised to match original character

A3.06 - A3.09  
New sheets added for variations Assessment

A3.10 & A3.11 - New sheets added for  
reproposed garage/proposed Tea House  
details and variations Assessment

A3.11 - Proposed colour scheme added

3. May 8, 2015

A2.00  
Setback area removed from existing  
driveway structure parking stall - maintained  
Calculations revised in Project Table

A3.10  
Project Information Table provided for  
Tea House to include setbacks, separation  
and height

Consultant



SOUTH ELEVATION  
ENTRANCE AND WALL/ROOF TO WEST TO BE REMOVED  
FOR ADDITION OF PROPOSED ADDITION



UPPER SUNROOM  
HISTORIC SUNROOM WINDOWS TO BE MAINTAINED



HISTORIC SITTING ROOM  
EXISTING DOUBLE HUNG WINDOW TO BE REMOVED AND RESTORED  
WITH WINDOW TYPICAL OF ORIGINAL CHARACTER  
WINDOW TO MATCH OPPOSITE SIDE



SOUTH EAST CORNER CONDITION  
EXTERIOR IN GOOD CONDITION, WALL CLADDING & ROOF TO BE MAINTAINED



BRICK CHIMNEY NOT VISIBLE  
CHIMNEY LEANING  
BRICK CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE  
TYPICAL OF ORIGINAL CHARACTER



OLD TEA HOUSE WINDOW  
WINDOW TO BE RESTORED TO INCLUDE LEADED GLASS  
TYPICAL OF ORIGINAL CHARACTER

**Craigdarroch Castle  
Proposed Visitor Centre**

At 1070 Joan Crescent,  
Victoria, BC

**South Elevation - Conditions  
Assessment**

Date: 5/8/2015 10:02:23 AM  
Drawn by: NF  
Reviewed by: CL

**A3.08**





**HISTORIC LIVING ROOM**  
HORIZONTAL PLANKS TO BE REMOVED  
ADDITIONAL NEW WINDOWS TO BE RESTORED  
TYPICAL OF ORIGINAL CHARACTER OF BUILDING



**HISTORIC KITCHEN WINDOWS**  
RESTORE WINDOW SASH  
TO MATCH ORIGINAL CHARACTER  
NEW GLASSING IN BOTH LOWER PANES



**HISTORIC LIVING ROOM WINDOWS**  
WINDOWS IN GOOD CONDITION  
WORK TO INCLUDE STRIPPING AND NEW PAINT



**PARTIAL EAST ELEVATION CONSENT PHOTO**  
COURTESY OF STUART STARR



**SECOND FLOOR HISTORIC SITTING ROOM**  
DOOR TO BE RESTORED  
WALL CLADDING AND HORIZONTAL TRIM TO BE RESTORED



**BRICK CHIMNEY AND WINDOW**  
CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE  
TYPICAL OF ORIGINAL CHARACTER



**SKYLIGHT TO BE REMOVED**  
**UPPER ROOF TO BE REPLACED**  
WITH NEW 3/4 INCH ROOFING



**WINDOW CONSTRUCTION**  
CONDITION TO BE REVIEWED  
IN FURTHER DETAIL  
**NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS**  
FOR LONG TERM DURABILITY AND MAINTENANCE



**NORTH EAST CORNER**  
STAIRS & DECK TO BE REMOVED  
WALL CLADDING TO BE RESTORED



**DOOR TO BE REMOVED AND RESTORED WITH**  
WINDOW. BOTH WINDOWS AT THIS LEVEL  
TO BE RESTORED WITH LEADED GLASS TO BE  
IN KEEPING WITH ORIGINAL WINDOW ABOVE.  
WALL CLADDING RESTORED AS REQUIRED

**LATER ADDITION OF WINDOW (NOT ORIGINAL)**  
FOUNDATION SAGGING  
ADDITION TO BE REMOVED IN ENTIRETY.  
WALL CLADDING TO BE RESTORED  
AT ORIGINAL PLANE OF EXTERIOR  
POTENTIAL FOR ADDITIONAL WINDOW  
TO MATCH ONE ABOVE OR ADJACENT

**REMOVAL OF ADDITION TO PROCEED ONLY**  
UPON CONFIRMATION OF EXISTING STONE  
FOUNDATION WALL BEHIND IS IN PLACE  
AND IN GOOD CONDITION.  
IF STONE WALL IS NOT IN PLACE OR  
NOT IN GOOD CONDITION,  
ADDITION IS NOT TO BE REMOVED.

**ALL BASEMENT WINDOWS IN GOOD CONDITION**  
WORK TO INCLUDE STRIPPING & NEW PAINT  
WINDOWS TO HAVE DIRECT EXPOSURE UPON  
REMOVAL OF EXTERIOR STAIR & DECK



**LOWER FLOOR STAIR ADDITION**



**UPPER FLOOR STAIR ADDITION**

**CONCRETE PAD, STAIRS & PATH**  
TO BE REMOVED  
LANDSCAPE TO BE RESTORED IN PLACE

**ONE UPPER WINDOW & TWO NEW LOWER**  
WINDOWS IN STAIRWELL TO BE RESTORED  
WITH LEADED GLASS TO BE IN KEEPING  
WITH ORIGINAL LEADED GLASS WINDOW  
STILL IN FACT. GLASSING OF WINDOWS  
AND WINDOW SASH PATTERN THROUGH  
EACH

**STONE FOUNDATION IN GOOD CONDITION**  
REPOINTING AS REQUIRED



# CHRISTINE LINTOTT ARCHITECT

Issue Date  
Reasoning & Heritage Assessment December 17, 2014

Revision No. Description Date  
1. December 17, 2014  
Retention of express tree at driveway for Proposed Visitor Centre  
Only revision from Community Meeting

2. March 31, 2015  
A1.02  
Relocation of bicycle parking from driveway  
Removal of exterior verandah steps in front of Tea House  
Addition of garbage enclosure at end of north driveway and green space along upper fence

A1.01  
Vehicle & Bicycle Parking Calculations revised

A1.04 - Proposed street elevations updated to reflect revisions

A1.05 - New street added for lot width & setback calculations

A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character

A3.06 - A3.09  
New sheets added for Landscaping Assessment

A3.10 & A3.11 - New sheets added for landscape assessment  
details and calculations Assessment

A3.11 - Proposed visitor centre details

3. May 6, 2015  
A1.02  
Landscape area removed from parking  
driveway elevations and lot is maintained  
Calculations revised in Project Table

A3.10  
Project Information Table provided for  
Tea House to include setbacks, separation  
and height

Comments

## Craigdarroch Castle Proposed Visitor Centre

At 1070 Joan Crescent,  
Victoria, BC

### East Elevation - Conditions Assessment

Date 5/8/2015 10:02:23 AM  
Drawn by NF  
Checked by CL

A3.09

Received  
City of Victoria

MAY 11 2015



Received  
City of Victoria

MAY 11 2015

Planning & Development Department  
Development Services Division

CHRISTINE  
LINTOTT  
ARCHITECT

Issue Date  
Revising & Heritage Alteration December 12, 2014

Revision No. Description Date

1. Attention of cypress tree at walkway to Proposed Visitor Centre. City is vision from Community Meeting. December 12, 2014

2. Au 01 Relocation of bicycle parking from driveway. Location of interpretive driveway strips in front of Tea House. Addition of garage, available at end of north driveway and green space along upper fence. March 31, 2015

A1.01 Vehicle & Bicycle parking calculations revised

A1.04 - Proposed street elevations updated to reflect proposals

A1.05 - New sheet added for lot width & setback calculations

A1.01-A1.04 - Sections of proposed exterior elevations revised to match original character

A1.06 - A1.09 New sheets added for Conditions Assessment

A1.10 & A1.11 - New sheets added for proposed garage/porch/tea house details and Conditions Assessment

A1.11 - Proposed colour directions added

3. May 8, 2015

A0.00 Structural and removed from existing driveway to ensure parking strip is maintained. Calculations in project table.

A1.10 Project information table provided for Tea House to include setbacks, separation and height.

Consultant

Consultant

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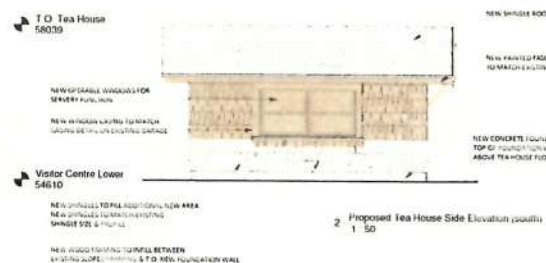
Consultant

Consultant

Consultant

Consultant

Consultant



# REZONING PROJECT INFORMATION TABLE FOR THE TEA HOUSE

PROPOSED	
HEIGHT OF BUILDING	2.935m
NUMBER OF STOREYS	1
AVERAGE GRADE OF TEA HOUSE IN NEW LOCATION	54.50m
LENGTH	5.26m (TAKEN FROM EXISTING SURVEY)
WIDTH	3.07m (TAKEN FROM EXISTING SURVEY)
FLOOR AREA	13.6750 M. (TAKEN TO INSIDE FACE OF VARIABLE FRASING OVERVIEW)
SEPARATION FROM TEA HOUSE & VISITOR CENTRE BUILDING	
REAR (WEST)	2.15m
SIDE (EAST)	2.87m
BUILDING SETBACKS	
FRONT (NORTH & EAST)	9.7m
SIDE YARD (SOUTH)	7.8m
REAR YARD (WEST)	15.9m (SHOWN ON A2.01)



EXISTING LIGHT FIXTURE TO BE REMOVED & REPLACED WITH NEW



EXISTING ASPHALT SHINGLE ROOF TO BE REMOVED & REPLACED

SHINGLE CLADDING TO BE MAINTAINED  
ARTS & CRAFT STYLE GABLE TO BE MAINTAINED WITH NEW SHINGLE AND NEW PAINT



EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION

STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED TO CORRECT SUBSTANTIAL DAMAGE



EXISTING SIDE ELEVATION

EXISTING WINDOW TO BE REMOVED



EXISTING SIDE ELEVATION

Craigdarroch Castle  
Proposed Visitor Centre

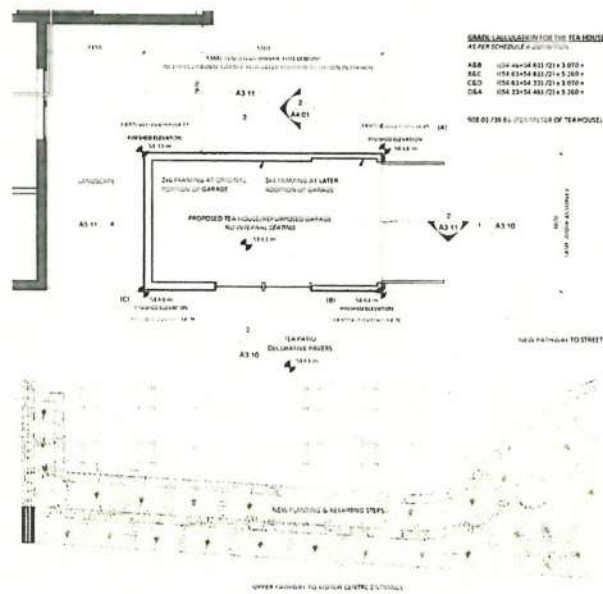
At 1070 John Crescent  
Victoria, BC

Garage/Proposed Tea House -  
Conditions Assessment &  
Details

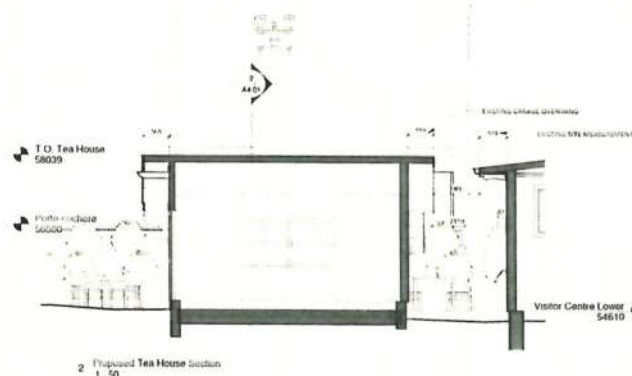
Date 5/8/2015 10:02:36 AM  
Drawn by NF  
Checked by CL

A3.10

Scale 1:50



1 Proposed Tea House Plan  
1:50

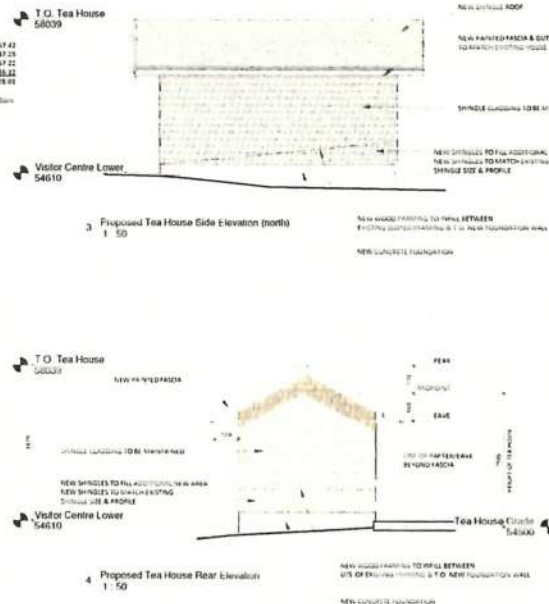


2 Proposed Tea House Section  
1:50

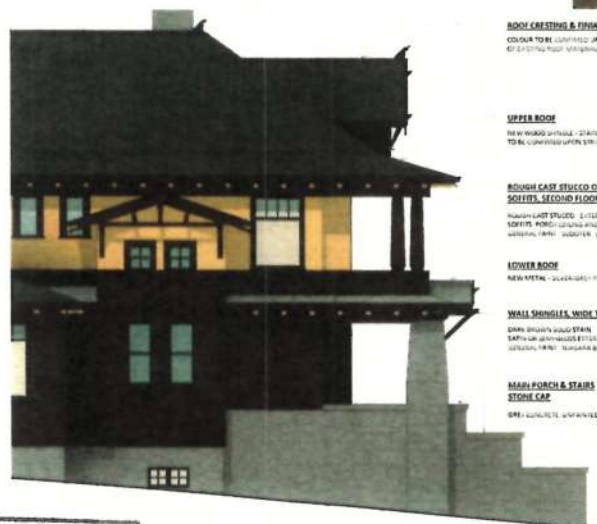
#### PROPOSED TEA HOUSE PROJECT DATA

FLOOR AREA	13.5 SQ.M. (MEASURED TO INSIDE OF FINISHING, IS APPROXIMATE DUE TO CHANGE IN FINISHING)
HEIGHT OF BUILDING	3.42m FROM FLOOR LEVEL TO MATCH HEIGHT OF EXISTING GARAGE, NO CHANGE 4.22m FROM FINISHING GARAGE CALCULATED (5809 - 5387)
NUMBER OF STOREYS	1
DISTANCE BETWEEN BUILDINGS	N/A (WALLS) 2.87m
BUILDING SETBACKS	SEE SHEET A3.05

Received  
City of Victoria  
MAY 11 2015  
Planning & Development Department  
Development Services Division



4 Proposed Tea House Rear Elevation  
1:50



#### BOOD CRESTING & FINALS

COLOR TO BE COORDINATED WITH STRIPPING AND NEW PAINT

#### UPPER BOOD

NEW WOOD SHINGLES - STRIPPING AND NEW PAINT

#### ROUGH CAST STUCCO ON SECOND FLOOR, SOFFITS, SECOND FLOOR PORCH CEILING AND MULLION BRACKETS

ROUGH CAST STUCCO - EXTERIOR AND INTERIOR  
SOFFITS, PORCH CEILING AND BRACKETS - STAIN-LESS STEEL EXTERIOR AND INTERIOR  
MULLION BRACKETS - STAIN-LESS STEEL EXTERIOR AND INTERIOR

#### LOWER BOOD

NEW METAL - STAIN-LESS STEEL

#### WALL SHINGLES, WOOD TRIM AND SECOND FLOOR PORCH COLUMNS

DARK GRAY SHINGLES  
DARK GRAY WOOD TRIM  
DARK GRAY WOOD TRIM  
DARK GRAY WOOD TRIM

#### MAPLE PORCH & STAIRS

STONE CAP

ONE-PIECE CONCRETE

#### FRONT DOOR

UPPER PORCH DOOR (1/2)

NATURAL WOOD FINISH - VARNISH

WINDOW SASHES, SECOND FLOOR PORCH FLOOR AND NEW FRONT STAIRS

VERY DARK BLUE GREEN PAINT

INTERIOR PAINT: TEAL, CIVILIAN, DARK BLUE GREEN AND WHITE (100% WHITE PAINT)

PROPOSED COLOURS TO MATCH ORIGINAL  
SAMPLES OF ALL COLOURS TO BE PREPARED AND REVIEWED  
BEFORE FINAL CONFIRMATION AND APPLICATION.



PHOTOGRAPH OF TEA HOUSE (CURRENTLY WEST)  
EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT  
SHINGLES TO BE MAINTAINED WITH STRIPPING AND NEW PAINT



#### PHOTOGRAPH OF TEA HOUSE (CURRENTLY WEST)

EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT

SHINGLES TO BE MAINTAINED WITH STRIPPING AND NEW PAINT



PHOTOGRAPH OF TEA HOUSE (CURRENTLY WEST)  
EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT  
SHINGLES TO BE MAINTAINED WITH STRIPPING AND NEW PAINT



#### PHOTOGRAPH OF TEA HOUSE (CURRENTLY WEST)

EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT

SHINGLES TO BE MAINTAINED WITH STRIPPING AND NEW PAINT

CHRISTINE LINTOTT ARCHITECT

Revised: December 12, 2014

Revision No. 1

Date: December 12, 2014

1. Revision of Cypress tree at walkway to Proposed Visitor Centre  
Only revision from community meeting

2. March 31, 2015

A3.00

Revisions of Cypress tree at walkway to Proposed Visitor Centre

Location of interpretive driveway steps in front of Tea House

Addition of garbage enclosure at end of north driveway and green space along upper fence

A3.01

Vehicle & Bicycle Parking Calculations revised

A3.04 - Proposed street elevations updated to reflect revisions

A3.05 - New sheet added for lot width & setback calculations

A3.01-A3.04 - Layouts of proposed exterior elevations revised to match original character

A3.05 - A3.09

New sheets added for conditions Assessment

A3.10 & A3.11 - New sheets added for proposed garage (Proposed Tea House) and conditions Assessment

A3.11 - Proposed street elevations added

3. May 8, 2015

A3.00

Landscaping area removed from existing driveway to ensure parking stall is maintained

Calculations revised in respect table

A3.10

Project Information Table provided for Tea House to provide setbacks, separation and height

Consultant

Consultant

Consultant

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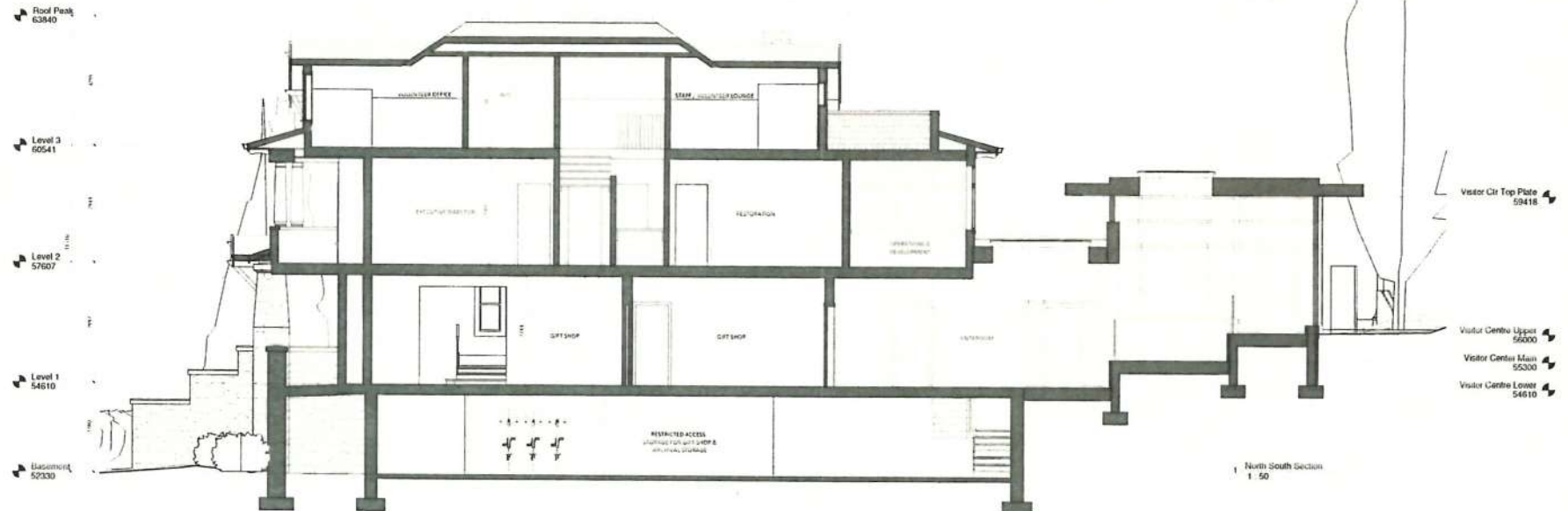
Consultant

Consultant

Consultant

Consultant





**CHRISTINE LINTOTT ARCHITECT**

Issue: Reasoning & Heritage Alteration  
Date: December 12, 2014

Revision No.: Description  
Date:

1. Revision of egress fire at walkway to Proposed Visitor Centre. Only revision from Community Meeting  
December 12, 2014

2. A0.00 Relocation of bicycle parking from driveway. Location of Interpretive driveway steps in front of Tea House.  
March 31, 2015

A0.00 Addition of garage enclosure at end of north driveway and green space along water feature.  
March 31, 2015

A1.01 Vehicle & Bicycle Parking calculations revised  
March 31, 2015

A1.04 - Proposed street elevations updated to reflect new plans  
March 31, 2015

A1.02 - New street added for lot width & setback verifications  
March 31, 2015

A3.01-A3.04 - Currents of proposed exterior elevations revised to match original character  
March 31, 2015

A3.05 - A3.09 New street added for Conditions Assessment  
March 31, 2015

A3.10 & A3.11 - New street added for new proposed garage/proposed Tea House details and Conditions Assessment  
March 31, 2015

A3.11 - Proposed Colour Selections added  
March 31, 2015

3. A0.00 Unfinished area removed from existing driveway to ensure parking. All is important. Calculations revised in Project Table.  
May 8, 2015

A3.10 Project Information Table provided for Tea House to include setbacks, separation and height.  
May 8, 2015

Consultant:  
May 8, 2015

**Craigdarroch Castle  
Proposed Visitor Centre**

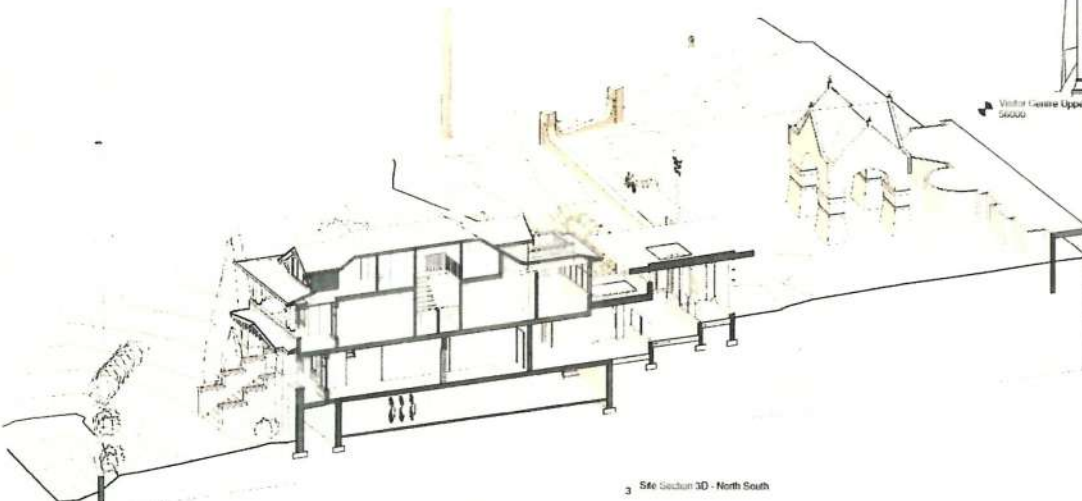
At 1010 10th Avenue  
Victoria, BC

Building Sections

Date: 5/8/2015 10:02:43 AM  
Drawn by: RSP, NF  
Checked by: CL

**A4.01**

Scale: 1: 50



THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED, SEALED, APPROVED & ISSUED BY CHRISTINE LINTOTT ARCHITECT AS SUCH

THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECT

DO NOT SCALE THE DRAWINGS



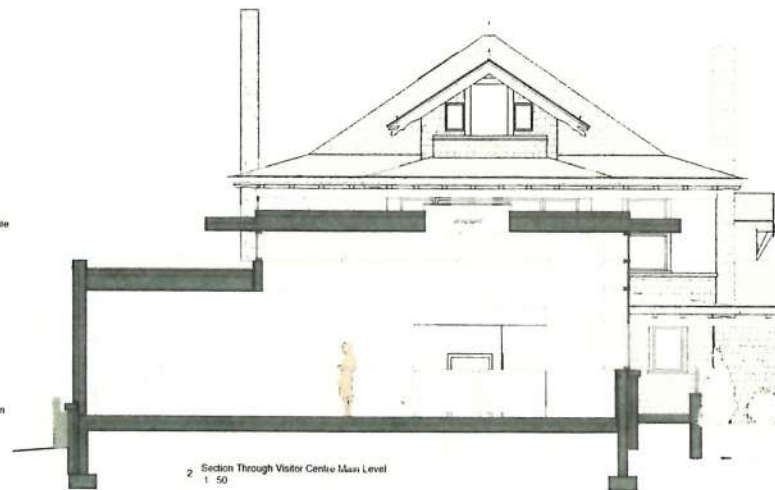
Roof Peak  
63840

Level 3  
60541

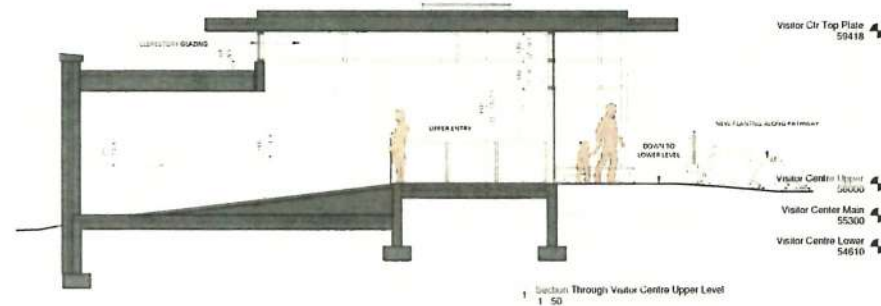
Visitor Ctr Top Plate  
59418

Level 2  
57667

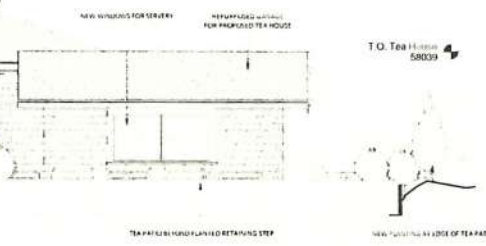
Visitor Center Main  
55300



2 Section Through Visitor Centre Main Level  
1:50



1 Section Through Visitor Centre Upper Level  
1:50



3 Section Through Visitor Centre Lower Level  
1:50



CHRISTINE LINTOTT ARCHITECT

Issue Date  
Revising & Heritage Alteration December 12, 2014

Revision No. Date

1. December 12, 2014  
Retention of express tree at driveway to Proposed Visitor Centre  
See revision 02M. Local Council Meeting

2. March 31, 2015

A0.00  
Relocation of bicycle parking from driveway  
Location of interpretive walkway steps in front of Tea House  
Addition of garage enclosure at end of route driveway and green space along upper fence

A1.01  
Vehicle & Bicycle Parking Calculations revised

A1.01 - Proposed street elevations updated to reflect revisions

A1.01 - New sheet added for lot width & setback calculations

A3.01-A3.04  
Contents of proposed exterior elevations revised to match original character

A3.05 - A3.09  
New sheets added for window/door Assessment

A3.10 & A3.11 - New sheets added for proposed garage enclosure & Tea House details and window/door Assessment

A3.11 - Proposed Colour Selections added

3. May 8, 2015

A0.00  
Landscape area removed from existing driveway to remove parking steps maintenance calculations revised in report table

A3.10  
Project Information Table provided for Tea House to include setbacks, separation and height

Author/Date

Craigdarroch Castle  
Proposed Visitor Centre

At 1070 Joan Crescent  
Victoria, BC

Building Sections

Date 5/8/2015 10:02:47 AM  
Drawn by RJP, NF  
Checked by CL

A4.02

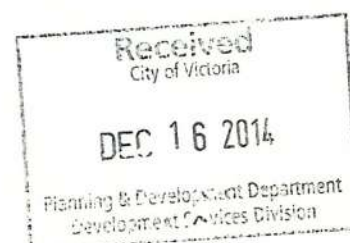
Scale 1:50



# Craigdarroch Castle Parking review

23 spaces checked randomly each day

Month	Daily Operating Hours	Evening Use Special Events	Notes	Month	Daily Operating Hours	Evening Use Special Events	Notes	Month	Daily Operating Hours	Evening Use Special Events	Notes
October	Average # of Empty spaces	Average # of Empty spaces	Notes	November	Average # of Empty spaces	Average # of Empty spaces	Notes	December	Average # of Empty spaces	Average # of Empty spaces	Notes
1	8			1	14			1	9	7	Private event
2	12			2	Not Checked			2	14		
3	9			3	17			3	16	Lot Full	Member's Night
4	7			4	13			4	9		
5	not checked			5	12			5	12	2	Private Function and Theatre Program
6	11			6	14			6	Not Checked		
7	13			7	15			7	11		
8	10			8	10			8	7		
9	6			9	Not Checked			9	8		
10	11			10	11			10	12		
11	not checked			11	Closed for film shoot						
12	7			12	14						
13	14			13	15						
14	12			14	10						
15	12			15	14						
16				16	Not Checked						
17	8			17	16						
18	9			18	16						
19	not checked			19	14						
20	11			20	15	Lot Full	Educational Speaker				
21	15			21	16						
22	10			22	12						
23	Closed for film shoot	Lot Full	Halloween film festival	23	Not Checked						
24	Closed for film shoot	Lot Full	Halloween film festival	24	18						
25	Closed for film shoot	Lot Full	Halloween film festival	25	11						
26	Closed for film shoot			26	14						
27	Closed for film shoot			27	14						
28	Closed for film shoot			28	17						
29	Closed for film shoot			29	12						
30	8	Lot Full	Halloween film festival	30	Not Checked						
31	14	Lot Full	Halloween film festival								





## **Talbot Mackenzie & Associates**

Consulting Arborists



March 12, 2015

Christine Lintott Architect  
Unit 1 – 864 Queens Avenue  
Victoria, BC V8T 1M5

Attention: Nicole Fitzgerald

Re: 1070 Joan Crescent – Proposed Visitor Centre Addition

**Assignment:** To review the plans for the proposed visitor centre addition at 1070 Joan Crescent and comment on how it may impact the existing trees on the property. Provide recommendations for mitigating any impacts the proposal may have on those trees deemed suitable to retain.

**Methodology:** As part of our assignment, we inventoried only the trees that have the potential to be impacted by the proposed addition and related construction activity. There are a number of other trees on the property, that we were not asked to examine that we feel can be successfully isolated from any proposed construction activity by installing barrier fencing at the time of construction. The trees that were examined were tagged and details regarding their species, current health and structural characteristics are listed in the attached spreadsheet.

**Observations:** After reviewing the plans provided, we anticipate that it will be necessary to remove apple tree #296, but feel that Chamaecyparis #311 and Yew #297 can be retained, providing their critical root zones can be adequately protected during the construction process. It will likely be necessary to prune both of these trees in order to provide clearance and access to the new buildings being constructed, but we do not feel this pruning will have a significant impact on the health or structure of either of the trees. We anticipate that there will be some excavation required within their critical root zones, but feel that it should be possible to minimize any excavation and achieve the necessary grades to facilitate the required construction activity by following the recommendations below.

### **Anticipated impacts:**

**Yew tree #297:** We anticipate that there will some minor clearance pruning required for the proposed building clearance and working room.

..../2

Box 48153 RPO Uptown  
Victoria, BC V8Z 7H6  
Ph: (250) 479-8733 ~ Fax: (250) 479-7050  
Email: treehelp@telus.net



Where the proposed new foundation intersects the critical root zone of the tree there is an existing grade change and a shed that we anticipate has already restricted root growth in this area. Providing the excavation for any additional working room or cut slopes can be minimized in this area, we anticipate that the proposed foundation excavation can be achieved without having a significant impact on the tree.

**Chamaecyparis tree #311:** We anticipate that there will be pruning necessary to raise the canopy of the tree both for pedestrian access and for the proposed building clearance. The proposed foundation excavation will encroach into a portion the tree's critical root zone, but providing the remaining portion of its critical root zone can be adequately protected, we do not feel it will have a significant impact on the health or stability of the tree. There is a proposed walkway into the new building that surrounds the base of the tree and will cover a significant portion of the tree's critical root zone. Providing the walkway can be constructed over the existing grades with only minimal excavation, using floating permeable construction techniques, we feel that any potential impacts from the walkway can be successfully mitigated.

#### **Recommendations:**

- **Barrier fencing:** Protect the remaining portions of the trees critical root zone with barrier fencing. The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing (see attached diagram). The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.
- **Mulch layer or plywood over heavy traffic areas:** In portions of the trees critical root zones where there will be heavy foot traffic anticipated throughout the construction phase of the project, we recommend that a layer of wood chip horticultural much or plywood be installed to reduce compaction.
- **Excavation for footings:** We recommend that the excavation for the footings be carried out with a combination of hand digging and machinery under the direction of the project arborist. Any small roots that are in direct conflict with the footing locations, must be pruned back to sound tissue to encourage new root growth. In the unlikely event that any significant roots are encountered, their location must be reviewed with the project arborist and it may be required that they be left intact and bridged over by the proposed new footings.

- **Concrete work:** Provisions must be made to ensure that no concrete wash or left over concrete material is allowed to wash into the root zone of the trees. This may involve using plastic or tarps or similar methods to temporarily isolate the root zones of the trees from any of the concrete installation or finishing work.
- **Servicing:** The location of any proposed new underground or aboveground services were not defined or reviewed prior to the preparation of this report. Where possible these services should be located where they do not conflict with the critical root zones or the canopy spread of trees that are designated for retention on this property. The project arborist must supervise excavation for any underground services that encroach within the critical root zones of trees that are to be retained on the lots or the municipal frontages.
- **Canopy /Building conflicts:** We recommend that any pruning for building and pedestrian clearances be completed by an ISA certified arborist. We do not anticipate that any required pruning will have a significant impact on either the health or stability of the trees to be retained.
- **Hardscape and pathway within critical root zones:** In order to minimize any impacts the proposed pathway around Chamaecyparis #311 may have on the tree, we recommend that it be installed using floating, permeable techniques (see attached specifications).
  1. Excavate for the required sidewalk surface, under the supervision of an ISA Certified Arborist.
  2. Excavation for the area around the root structures with an airspade or by hydro excavation to bearing layer of soil.
  3. Backfill the area around the roots with coarse sand or a structural soil mix.
  4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the sidewalk.
  5. Construct a base layer and permeable sidewalk surface over Geotextile layer to required grade.
- **Offsite work:** The plans that were reviewed did not show any off site work, eg road widening or sidewalks or any upgrades or improvements to the existing municipal infrastructure.
- **Work Area and Material Storage:** It is important that the issue of storage of excavated soil, construction material, and site parking be reviewed prior to the start of construction; where possible, these activities should be kept outside of the critical root zones of the trees that are to be retained. If there is insufficient room for onsite storage and working room, the arborist must determine a suitable working area within the critical root zone, and outline methods of mitigating the associated impacts (i.e. mulch layer, bridging etc).



- **Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
  - Locating the barrier fencing
  - Reviewing the report with the project foreman or site supervisor
  - Locating work zones, where required
  - Supervising excavation for the building driveway and service footprints
  - Reviewing and advising of any pruning requirements for building clearances.
- **Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any demolition, site clearing or other construction activity occurs.

Please do not hesitate to call us at 250-479-8733 should you have any further questions. Thank you.

Yours truly,  
Talbot Mackenzie & Associates



Graham Mackenzie & Tom Talbot  
ISA Certified, & Consulting Arborists

Encl. 1-page tree resource, 1-page site plans, 1-page barrier fencing specifications, 1-page floating permeable pathway specifications.

#### Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve the health and structure of individual trees or group of trees, or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an arborist to identify every flaw or condition that could result in failure nor can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

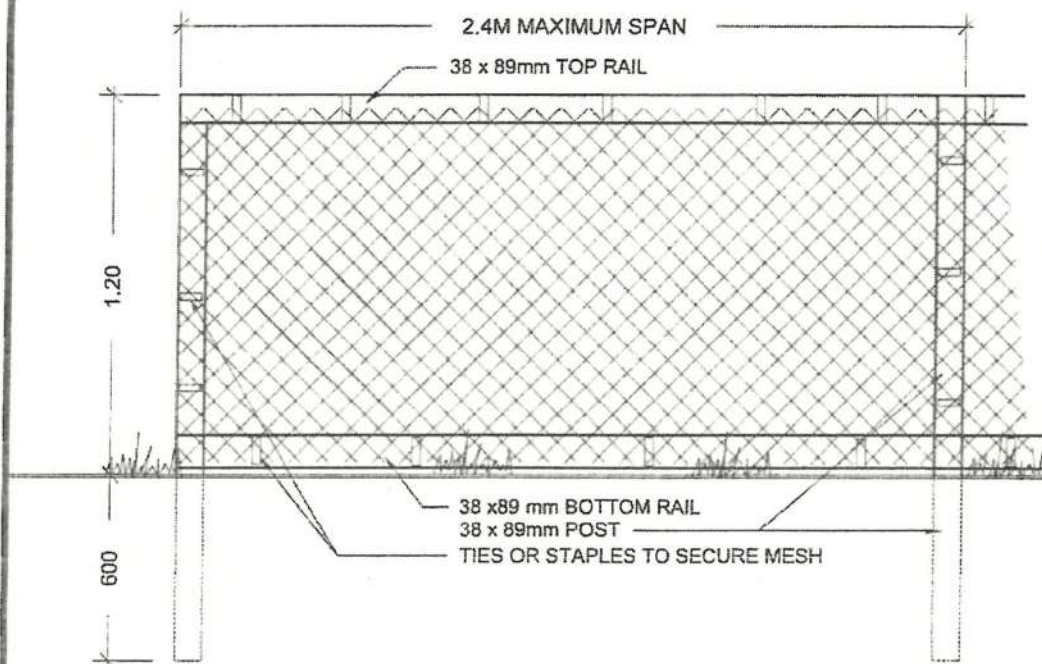
Box 48153 RPO Uptown  
Victoria, BC V8Z 7H6  
Ph: (250) 479-8733 ~ Fax: (250) 479-7050  
Email: treehelp@telus.net

**Tree Resource  
1070 Joan Crescent**

Page 1

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown/ Spread (m)</i>	<i>Condition/ Health</i>	<i>Condition/ Structure</i>	<i>Relative tolerance</i>	<i>Remarks/Recommendations</i>
0296	30	3.5	Apple	8.0	Fair	Fair	Moderate	Measured below crotch, old pruning wounds with some associated decay.
311	52	6.0	Chamaecyparis	8.0	Good	Fair	Moderate	Recent basal wound, end-weighted.
0297	50	7.0	Yew	14.0	Good	Fair	Moderate	Measured below crotch, multiple stems.





**TREE PROTECTION FENCING**  
**FENCE WILL BE CONSTRUCTED USING**

**38 X 89 mm (2"X4") WOOD FRAME:**

**TOP, BOTTOM AND POSTS. \***

**USE ORANGE SNOW-FENCING MESH AND  
 SECURE TO THE WOOD FRAME WITH  
 "ZIP" TIES OR GALVANIZED STAPLES**

**\* IN ROCKY AREAS, METAL POSTS (T-BAR  
 OR REBAR) DRILLED INTO ROCK WILL BE  
 ACCEPTED**

DETAIL NAME:

**TREE PROTECTION FENCING**

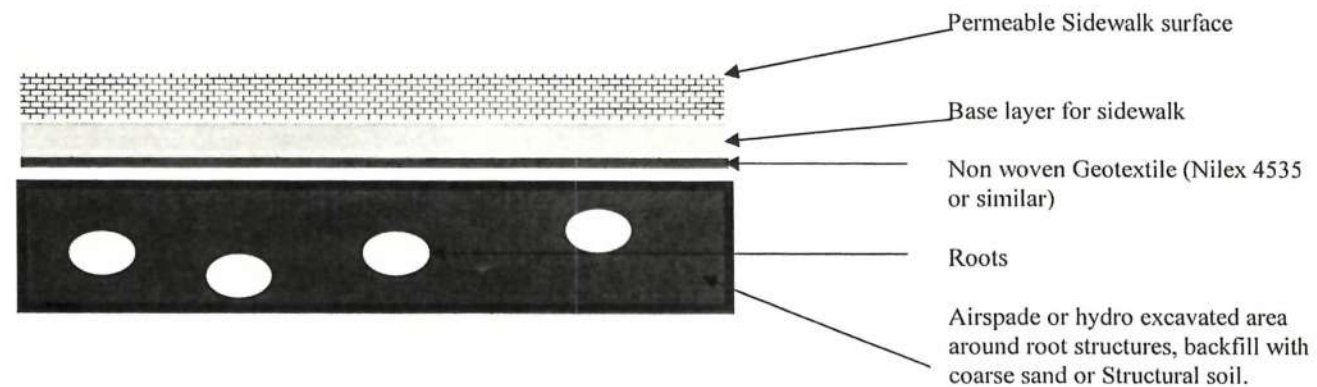
DATE: Oct 30/07  
 DRAWN: DM  
 APP'D: RR  
 SCALE: N.T.S.

**E105**  
 DRAWING





**Diagram – Permeable sidewalk crossing over Critical Root Zone**

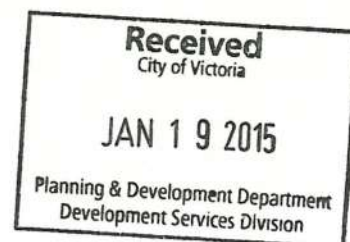


**Specifications for permeable sidewalk crossing over critical root zone**

1. Excavate for the required sidewalk surface, under the supervision of an ISA Certified Arborist.
2. Excavation for area around root structures with an Airspade or by Hydro Excavation to bearing layer of soil.
3. Backfill area around roots with coarse sand or a structural soil mix
4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the sidewalk.
5. Construct base layer and permeable sidewalk surface over Geotextile layer to required grade.



**ROCKLAND NEIGHBOURHOOD ASSOCIATION**



January 18, 2015

Mayor and Council  
Planning & Development  
City of Victoria

**Re: Rezoning Application for 1070 Joan Crescent**

Further to my letter of November 22, 2014, on this topic, I am pleased to acknowledge that a key concern raised by the Rockland Neighbourhood Association (RNA) has been addressed in a subsequent modification to the design of the Proposed Visitor Centre Addition that allows for the retention of the previously threatened mature cypress tree on the Craigdarroch Castle property. The RNA is gratified that its voice and those of the neighbours attending the November 5<sup>th</sup> community meeting were heard on this issue.

The RNA would, however, draw the City's attention to Major Recommendation 1.1 of the Rockland Neighbourhood Plan in regard to the requested rezoning of the subject property to Site Specific. While we remain supportive of the Craigdarroch enterprise and its proposed adaptive reuse of the 1070 property, the RNA foresees vulnerability in the requested rezoning to a defining characteristic of the Rockland neighbourhood. Should the subject property ever be sold off by Craigdarroch or in any way become detached from that heritage enterprise, the RNA, in upholding the values of the Neighbourhood Plan, strongly urges Mayor and Council to ensure that the subject property automatically revert to its original R1-A designation.

Sincerely,

Janet Simpson,  
President, Rockland Neighbourhood Association





**ROCKLAND NEIGHBOURHOOD ASSOCIATION**



November 22, 2014

Mayor and Council  
Planning & Development Departments  
City of Victoria

**Re: Rezoning Application: 1070 Joan Crescent**

The community meeting regarding the subject rezoning application was held on Wednesday, November 5<sup>th</sup>, 2014. Fifteen neighbours attended and one email with additional comments was received subsequently.

Attendees expressed the following:

- General support for the proposed adaptive reuse of property and intended restoration of the registered heritage home to close to its original configuration and character.
- Heightened sensitivity to increased demand for on-street parking and encroachment by tour bus operators.
- Concern that proposed "tea house" and patio will increase noise level and loss of privacy for nearby neighbours.
- Inquiry as to hours of operation for "tea house" and the intended products for sale when same might be available from nearby competing local merchants.
- Concerns for the neighbouring Franciscan Friary regarding a) possible impact of service traffic using immediately adjacent driveway and b) increase in level of ambient lighting.
- Objection to removal of significant cypress tree on Craigdarroch property to accommodate wheelchair access to proposed Visitor Centre Addition.
- Inquiry as to plans for mitigating flight-hazard for birds posed by proposed large areas of plate glass.
- Inquiry as to whether 1044 Joan Crescent, also owned by Craigdarroch, might similarly be re-purposed.

The conservation, maintenance and enhancement of the heritage building, in keeping with tenets of the RNA Plan and of benefit to the neighbourhood, might otherwise lend support for the rezoning application, yet the case for rezoning to Site Specific is unconvincing. Furthermore, attending heritage consultant, Stuart Stark, in explaining the architectural style of the proposed Visitor Centre Addition, stated that the presence or even later removal of such an addition must not affect the heritage building it adjoins. If the institution of Craigdarroch retains its R1-A designation, why should not this ancillary property be permitted to do the same?

Retention of tree canopy is another core value of the RNA Plan; sacrifice of the cypress tree to facilitate provision of wheelchair access is to be deplored, especially considering that the Castle itself is an unsuitable venue for those with mobility challenges. Another loss will be the mature apple tree on the 1070 property to make way for the proposed re-siting of the old garage and its reincarnation as a "tea house."

Sincerely,  
Janet Simpson,  
President, Rockland Neighbourhood Association

## Janice Appleby

---

**From:** Janice Schmidt  
**Sent:** Thursday, November 06, 2014 3:19 PM  
**To:** Janice Appleby  
**Subject:** FW: Craigdarroch Castle & 1070 Joan Crescent Rezoning

**From:** Helen Cain  
**Sent:** Thursday, Nov 6, 2014 3:18 PM  
**To:** Janice Schmidt  
**Subject:** FW: Craigdarroch Castle & 1070 Joan Crescent Rezoning

**From:** [carberrygardens@shaw.ca](mailto:carberrygardens@shaw.ca) [<mailto:carberrygardens@shaw.ca>]  
**Sent:** Thursday, Nov 6, 2014 3:17 PM  
**To:** Councillors; Helen Cain  
**Subject:** Craigdarroch Castle & 1070 Joan Crescent Rezoning

Mayor, Councilors & Helen Cain:

I attended the community meeting last night regarding the above rezoning proposal. I would like to offer the following comments.

1. I support the use of 1070 Joan Crescent as the Visitor Centre and admin office for the castle.
2. I understand the castle's desire to preserve the original garage, but I'm not sure the identified location and use is best for the neighbourhood. As Marc, the neighbour across the street said "It could make sitting on his veranda on a summer's evening less inviting because he will be looking directly across the street at the patio where many people will be located."
3. I would hope that no blasting will be allowed on this site. We had an issue with blasting on Carberry Gardens when 1000 was converted to strata units.
4. With regards to the tree removal, I have no problem with the removal of the apple tree. The Cypress tree is another matter. During the presentation, it was mentioned the tree needed to be removed for wheel chair access. This doesn't make sense. The castle is not wheel chair friendly, so why would the connecting walkways to the castle need to be wheel chair friendly? The tree is on the Castle property not 1070 Joan, so it doesn't need to be removed to accommodate the new addition to the house. Since the castle itself is not wheel chair friendly, why does the connecting walkway have to be wheel chair friendly? I would suggest a set of stairs, similar to what is used between the castle & Craigdarroch Rd. would work perfectly & would save the cypress tree. We are losing so many of our trees in Rockland to developers, the wind and old age. Any way to save a tree should be looked at very closely.

Sincerely,  
Sandie Menzies  
1008 Carberry Gardens





## ROCKLAND NEIGHBOURHOOD ASSOCIATION

November 22, 2014

Mayor and Council  
Planning & Development Departments  
City of Victoria

### **Re: Rezoning Application: 1070 Joan Crescent**

The community meeting regarding the subject rezoning application was held on Wednesday, November 5<sup>th</sup>, 2014. Fifteen neighbours attended and one email with additional comments was received subsequently.

Attendees expressed the following:

- General support for the proposed adaptive reuse of property and intended restoration of the registered heritage home to close to its original configuration and character.
- Heightened sensitivity to increased demand for on-street parking and encroachment by tour bus operators.
- Concern that proposed "tea house" and patio will increase noise level and loss of privacy for nearby neighbours.
- Inquiry as to hours of operation for "tea house" and the intended products for sale when same might be available from nearby competing local merchants.
- Concerns for the neighbouring Franciscan Friary regarding a) possible impact of service traffic using immediately adjacent driveway and b) increase in level of ambient lighting.
- Objection to removal of significant cypress tree on Craigdarroch property to accommodate wheelchair access to proposed Visitor Centre Addition.
- Inquiry as to plans for mitigating flight-hazard for birds posed by proposed large areas of plate glass.
- Inquiry as to whether 1044 Joan Crescent, also owned by Craigdarroch, might similarly be re-purposed.

The conservation, maintenance and enhancement of the heritage building, in keeping with tenets of the RNA Plan and of benefit to the neighbourhood, might otherwise lend support for the rezoning application, yet the case for rezoning to Site Specific is unconvincing. Furthermore, attending heritage consultant, Stuart Stark, in explaining the architectural style of the proposed Visitor Centre Addition, stated that the presence or even later removal of such an addition must not affect the heritage building it adjoins. If the institution of Craigdarroch retains its R1-A designation, why should not this ancillary property be permitted to do the same?

Retention of tree canopy is another core value of the RNA Plan; sacrifice of the cypress tree to facilitate provision of wheelchair access is to be deplored, especially considering that the Castle itself is an unsuitable venue for those with mobility challenges. Another loss will be the mature apple tree on the 1070 property to make way for the proposed re-siting of the old garage and its reincarnation as a "tea house."

Sincerely,  
Janet Simpson,  
President, Rockland Neighbourhood Association