REPORTS OF THE COMMITTEES

2. Planning and Land Use Committee – May 28, 2015

6. Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent

It was moved by Councillor Madoff, seconded by Councillor Alto:

1. That Council refer Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent to the Heritage Advisory Panel for the meeting of June 9, 2015, for feedback on the proposed exterior alterations and additions to the Heritage-Registered property.
2. Following consideration of the *Zoning Regulation Bylaw Amendment* pertaining to Rezoning Application No. 00468 for 1070 Joan Crescent:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent, subject to the applicant providing seismic strengthening details of the existing chimneys prior to the Public Hearing for the Rezoning Application in accordance with:

1. Revised drawings date stamped May 11, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of staff."

Carried Unanimously

8.8 Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent

Committee received a report regarding a heritage alteration permit application for 1070 Joan Crescent. The proposal is to convert the existing Heritage-Registered residence to a Visitor Centre for the Craigdarroch Castle Society. The proposal includes the construction of an addition and the relocation of the existing garage for use as a Tea House.

Action: It was moved by Councillor Madoff, seconded by Councillor Alto, that Committee recommends that Council consider the following motions:

"That Council consider referring Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent to the Heritage Advisory Panel for the meeting of June 9, 2015, for feedback on the proposed exterior alterations and additions to the Heritage-Registered property."

Following consideration of the *Zoning Regulation Bylaw Amendment* pertaining to Rezoning Application No. 00468 for 1070 Joan Crescent:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent, subject to the applicant providing seismic strengthening details of the existing chimneys prior to the Public Hearing for the Rezoning Application in accordance with:

1. Revised drawings date stamped May 11, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of staff."

Committee discussed:

- The application provides a way to maintain the character defining elements of the original structures and to adapt to the change in use.

CARRIED UNANIMOUSLY 15/PLUC159

Councillor Isitt withdrew from the meeting at 10:25 a.m. due to a direct pecuniary conflict of interest as he is on the Board of the Greater Victoria Harbour Authority who are the owners of the subject properties.

CITY OF VICTORIA

Planning and Land Use Committee Report
For the Meeting of May 28, 2015

To: Planning and Land Use Committee **Date:** May 14, 2015

From: Murray G. Miller, Senior Heritage Planner, Community Planning

Subject: **Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent**

RECOMMENDATION

Staff recommend that the Committee forward this report to Council and that Council consider the following motions:

> "That Council consider referring Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent to the Heritage Advisory Panel for the meeting of June 9, 2015, for feedback on the proposed exterior alterations and additions to the Heritage-Registered property."

Following consideration of the Zoning Regulation Bylaw Amendment pertaining to Rezoning Application No. 00468 for 1070 Joan Crescent:

> "That Council authorize the issuance of Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent, subject to the applicant providing seismic strengthening details of the existing chimneys prior to the Public Hearing for the Rezoning Application in accordance with:
>
> 1. Revised drawings date stamped May 11, 2015.
> 2. Development meeting all *Zoning Regulation Bylaw* requirements.
> 3. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of staff."

LEGISLATIVE AUTHORITY

In accordance with Sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including:

a. conditions respecting the sequencing and timing of construction;
b. conditions respecting the character of the alteration or action to be authorized, including landscaping, siting, form, exterior design and finish of buildings and structures security;

c. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present the Planning and Land Use Committee with information, analysis and recommendations for Heritage Alteration Permit Application No. 00195 for the property located at 1070 Joan Crescent. The proposal is to convert the existing Heritage-Registered residence to a Visitor Centre for the Craigdarroch Castle Society. The proposal includes the construction of an addition and the relocation of the existing garage for use as a Tea House.

Rezoning Application No. 00468 for consideration of new land uses associated with the proposed Visitor Centre will be considered by Council concurrently with Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

The following points were considered in assessing this Application:

- consistency with the *Official Community Plan* (2012)
- consistency with the *Rockland Neighbourhood Plan* (1987).

The proposed development is consistent with relevant City policies and the *Rockland Neighbourhood Plan*. Staff recommend that Council authorize Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

BACKGROUND

Description of Proposal

The Heritage-Registered property abuts the Heritage-Designated Craigdarroch Castle to the immediate south and opposite Joan Crescent from several Heritage-Registered/Designated properties, in an area that is predominantly in the R1-A Zone, Rockland Single Family Dwelling District.

The proposal is to convert the existing Heritage-Registered residence to a Visitor Centre for the Craigdarroch Castle Society and substantially reinstate the character of the place as it would have appeared in 1913. The proposal includes the construction of an addition to facilitate the transition from the Castle to the Visitor Centre to provide visitor centre services and the relocation of the existing garage for use as a Tea House.

Rezoning Application No. 00468 will be considered by Council concurrently with Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

ANALYSIS

The following sections provide a summary of the Application's consistency with the relevant City policies, regulations and guidelines.

Official Community Plan

The proposal is consistent with *Official Community Plan* (OCP) policies that support new additions that conserve and enhance heritage property, the *Standards and Guidelines for the Conservation of Historic Places in Canada* and OCP policies that seek to maintain views of Craigdarroch Castle from the public realm.

In addition, the proposal is consistent with the Rockland Strategic Directions that include the conservation of historic architectural and landscape character of the neighbourhood and supporting the maintenance of existing dwellings through sensitive infill.

Development Permit Area 15C: Intensive Residential - Rockland

The proposed development is consistent with the objectives of the Development Permit Area where it aims to retain the large-lot character of Rockland.

The Development Permit Area guidelines to be considered in assessing the proposal are the *Advisory Design Guidelines for Buildings, Signs and Awnings* (1981) and *Standards and Guidelines for the Conservation of Historic Places in Canada* (the "Standards and Guidelines"). A summary of the Application's consistency with these Guidelines is provided below.

Advisory Design Guidelines for Buildings, Signs and Awnings

The proposal is consistent with the above Guidelines where they encourage new construction to complement flanking heritage buildings in areas where they predominate and where attractive streetscape, architectural and landscape features of the immediate area are identified and acknowledged.

Standards and Guidelines for the Conservation of Historic Places in Canada

The proposal is consistent with the above Standards where they recommend that heritage values and character-defining elements be conserved when creating any new additions and that new work be physically and visually compatible with, subordinate to and distinguishable from the historic place.

The proposal is consistent with the above Guidelines where they recommend removing a non-character-defining feature of the building's exterior form, reinstating the building's exterior form from the restoration period based on documentary and physical evidence, and designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

Local Area Plans

The proposal is consistent with the *Rockland Neighbourhood Plan* (1987) where it encourages the conservation, maintenance and enhancement of heritage properties, where exterior changes and additions to heritage properties are in keeping with their heritage character.

CONCLUSIONS

The proposed development is consistent with relevant City policies and the *Rockland Neighbourhood Plan*. A key OCP policy also encourages that continued consideration be given to tools available under legislation to protect heritage property including designation. Staff

acknowledge that while the applicant noted in their letter that heritage designation was being considered by the Craigdarroch Castle Society in support of the Heritage Alteration Permit (and that such a designation would be consistent with the OCP), the applicant is not requesting that the residence be designated at this time. Staff recommend that Council authorize Heritage Alteration Permit Application No. 00195 for 1070 Joan Crescent.

ALTERNATE MOTION

That Council decline Heritage Alteration Application No. 00195 for 1070 Joan Crescent.

Respectfully submitted,

Murray G. Miller
Senior Heritage Planner
Community Planning Division

Andrea Hudson
Acting Director
Sustainable Planning and
Community Development Department

Report accepted and recommended by the City Manager: _____
Jason Johnson

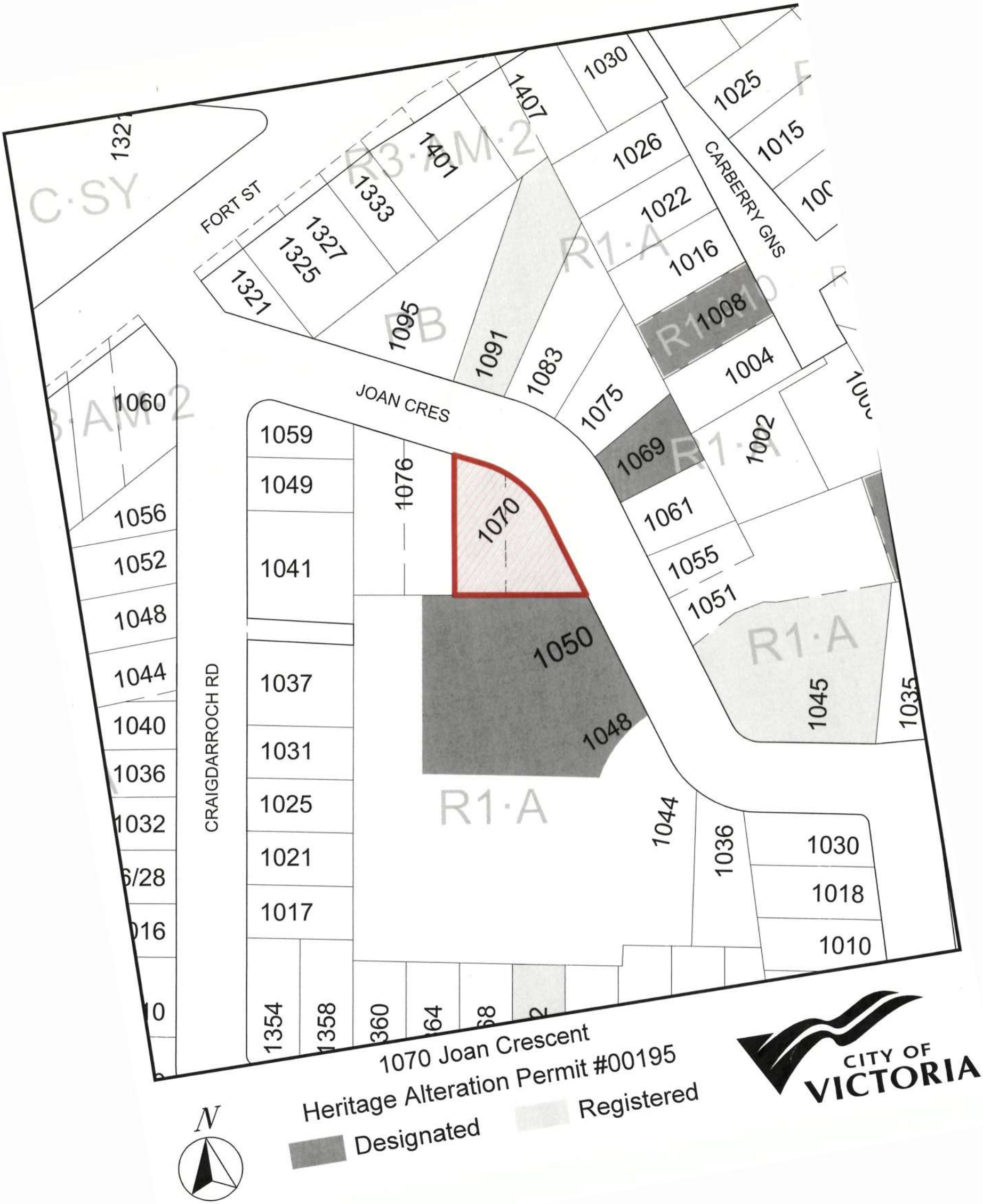
Date: May 21, 2015

MGM:aw

S:\TEMPEST_ATTACHMENTS\PROSPERO\PL\HAP\HAP00195\HAP HAPL REPORT.DOC

List of Attachments

- Subject map
- Aerial photograph
- Revised drawings date stamped May 11, 2015
- Statement of Significance (Exterior)
- Letters from Applicant dated December 16, 2014, and April 7, 2015.



1070 Joan Crescent

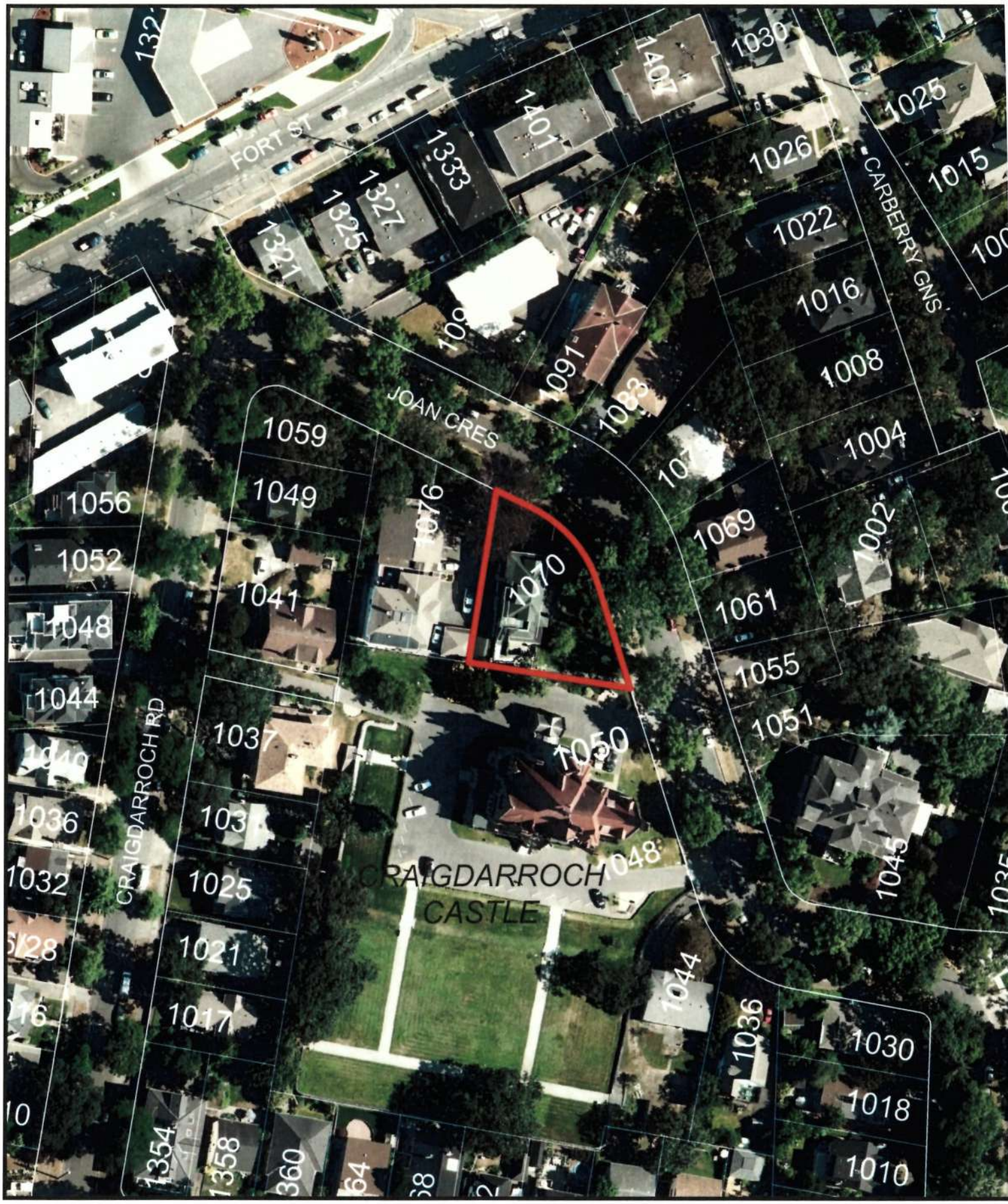
Heritage Alteration Permit #00195

Designated

Registered

N

CITY OF VICTORIA



1070 Joan Crescent

Heritage Alteration Permit #00195

N

CITY OF VICTORIA

1070 JOAN CRESCENT ALTERATIONS & PROPOSED VISITOR CENTRE

APPLICATION FOR REZONING & HERITAGE ALTERATION

LEGAL DESCRIPTION

LOT 128, PLAN VIP684, SECTION 74 &
LOT 127, PLAN VIP684, SECTION 74 VICTORIA LAND DISTRICT

1 Looking North West From Porte Cochere

APPLICANT

CRAIGDARROCH CASTLE SOCIETY
1050 JOAN CRESCENT
VICTORIA, BC V8S 3L5
250 592 5323

CONTACT: JOHN HUGHES, EXECUTIVE DIRECTOR

CONSULTANTS

ARCHITECTURAL	SURVEYOR
CHRISTINE LINTOTT ARCHITECT UNIT 1 - 864 QUEEN STREET VICTORIA, BC V8T 1W5 250-384-1969 CONTACT: CHRISTINE LINTOTT	BRAD CUNNIN LAND SURVEYING INC 407 SWIFT STREET VICTORIA, BC V8W 1S2 250-381-2257 CONTACT: BRAD CUNNIN

BUILDING CODE INFORMATION

BUILDING CLASSIFICATION:
BCBC 2012 EDITION
A1.1.1.1 (1) APPLICATION TO EXISTING BUILDING AND PART 9
GROUP D, BUSINESS AND PERSONAL SERVICES OCCUPANCY &
GROUP E, MERCANTILE OCCUPANCY

BUILDING HEIGHT	2 1/2 STOREYS
BUILDING AREA	261.63 SQ M. (INCLUDES EXISTING & PROPOSED ADDITION)
CONSTRUCTION TYPE	COMBUSTIBLE
CLASSIFICATION TYPE	COMBUSTIBLE & NON COMBUSTIBLE
SPRINKLERED	YES, AND BEING INSTALLED AT EXISTING

REZONING PROJECT INFORMATION TABLE

	ALLOWABLE IN ZONE	EXISTING CONDITION	PROPOSED
ZONING	R1-A	R1-A	SITE SPECIFIC
SITE AREA		1040 SQ M	1040 SQ M
TOTAL FLOOR AREA		336.95	463.07
FLOOR SPACE RATIO		0.37:1	0.445:1
SITE COVERAGE	40%	23.8%	32.6%
OPEN SITE SPACE		66%	58.3%
HEIGHT OF BUILDING	11m	9.32m	8.55m
NUMBER OF STOREYS	2 1/2 STOREYS	2 1/2 STOREYS	UNCHANGED
PARKING STALLS ON SITE	5 PER SCHEDULE C	1	24 (SEE A1.01)
BICYCLE PARKING	12 PER SCHEDULE C	0	MIN. 6 TOTAL REQ'D (SHARED EQUALLY BETWEEN CLASS 1 & 2)
BUILDING SETBACK*			
FRONT YARD (NORTH & EAST)	10.5m	8.54m	8.54m UNCHANGED
REAR YARD (SOUTH WEST CORNER)	9.5m	3.91m	0m
SIDE YARD (SOUTH)	3.0m	7.26m	0m
SIDE YARD (WEST)	3.0m	2.48m	2.48m UNCHANGED

EXISTING SETBACK DIMENSIONS TAKEN FROM SURVEY BY BRAD CUNNIN LAND SURVEYING. SEE A1.03

TOTAL FLOOR AREA CALCULATION

LEVEL 1	273.20 SQ M.
LEVEL 2	129.74 SQ M.
LEVEL 3	60.13 SQ M.
TOTAL	**463.07 SQ M.**

FLOOR SPACE RATIO

TOTAL FLOOR AREA 463.07 SQ M /
LOT AREA 1040 SQ M
= 0.445

HEIGHT LOWERED IN RESULT OF REMOVAL OF WEST DORMER
RECALCULATED HEIGHT TO EXISTING NORTH DORMER
TAKEN FROM SITE MEASUREMENTS. EXACT TO BE DETERMINED BY SURVEYOR

SITE COVERAGE

AREAS
(MEASURED TO OUTSIDE FACE OF BUILDING & STRUCTURES)

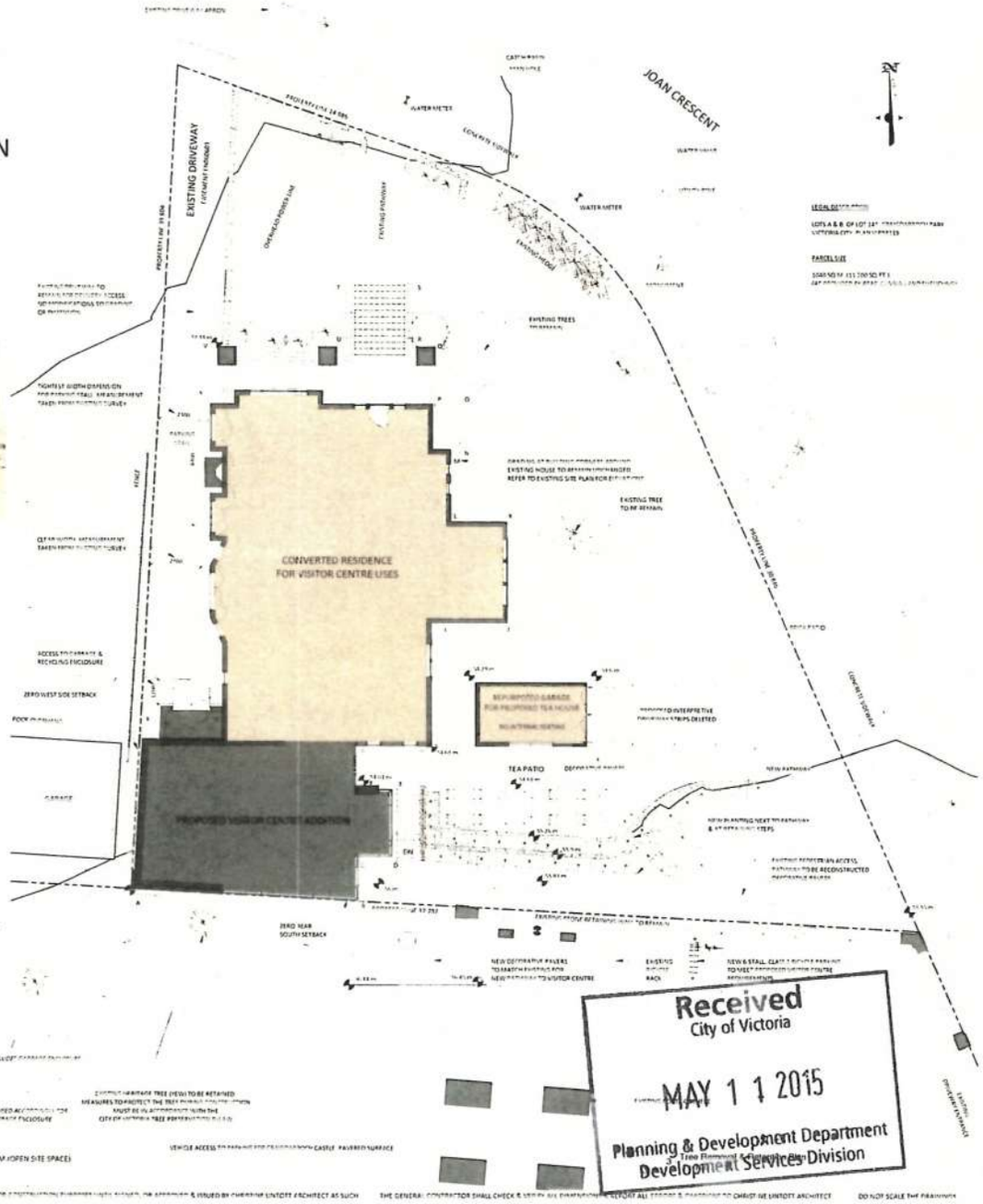
GARAGE/TEA HOUSE STRUCTURE	16.17 SQ M
EXISTING RESIDENCE	231.60 SQ M
PROPOSED ADDITION	90.80 SQ M
TOTAL STRUCTURES	**338.57 SQ M.**
LOT AREA	/1040 SQ M
	= 32.6%

OPEN SITE SPACE

TOTAL STRUCTURES	338.57 SQ M
DRIVEWAY	94.99 SQ M.
TOTAL	**433.56 SQ M.**

1040 SQ M. (LOT AREA) - 433.56 (TOTAL ABOVE) = 606.44 SQ M (OPEN SITE SPACE)

606.44/1040 = 0.583 = 58.3%



CHRISTINE LINTOTT ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of cypress tree at request to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway steps in front of Tea House Addition of pathway enclosure at end of north driveway and green space steps + open fence A1.01 Vehicle & Bicycle Parking dimensions revised A1.05 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback dimensions A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for renovated garage/converted Tea House details and Conditions Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is visible and Conditions revised in Project Table A3.10 Project Information Table provided for Tea House to include setbacks, separation and height Consultant	May 8, 2015

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Cover Sheet /
Tree Removal & Retention Plan

Date	5/8/2015 10:06:41 AM
Drawn by	KSP, NF
Checked by	CL

A0.00

Scale 1 : 100

1 Overall Site Context
1 : 200

VEHICLE PARKING CALCULATIONS PER SCHEDULE C

CRAIGDARROCH CASTLE (LOT A)		
COMMERCIAL EXHIBIT	1 SPACE/232m2 OF LOT AREA	= 13 SPACES
1070 JOAN CRESCENT		
RETAIL	1 SPACE/37.5m2	= 2 SPACES
OFFICE	1 SPACE/65m2	= 3 SPACES
COMMERCIAL EXHIBIT	1 SPACE/232m2 OF LOT AREA	= 4 SPACES
AUDITORIUM	1 SPACE/6m2 OF ASSEMBLY AREA	= 5 SPACES
PATIO	1 SPACE/5 SEATS	= 6 SPACES
(APPROVED 30 SEATS)		
TOTAL PARKING REQD AT 100% USAGE REQUIRED		= 20 SPACES
GROSS TOTAL REQUIRED FOR BOTH LOTS		**= 33 SPACES**

BICYCLE PARKING CALCULATIONS PER SCHEDULE C

COMMERCIAL
OFFICE, RETAIL SALES & [illegible],
RESTAURANTS, RESEARCH ESTABLISHMENTS
& LABORATORIES

- 1 PER 205 SQ.M. OF GROSS FLOOR AREA FOR THE 1ST 5000 SQ.M.,
PLUS 1 PER 500 SQ.M. OF ADDITIONAL FLOOR AREA

REQUIRED: BASED ON FLOOR AREA, 2 SPACES ARE CALCULATED
SCHEDULE C INDICATES 6 SPACES TO BE PROVIDED AT MINIMUM

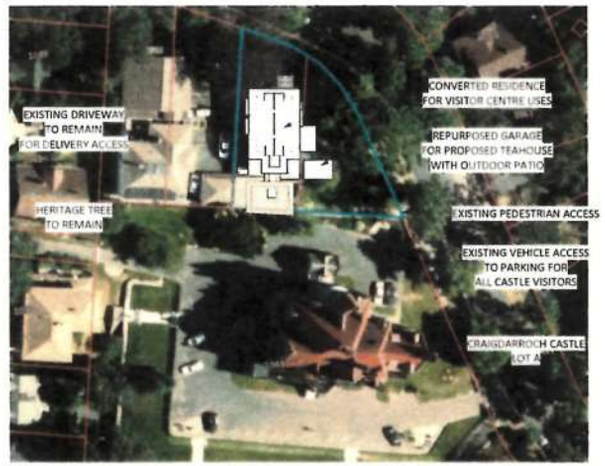
PROVIDED: 6 STALL CLASS 2 BICYCLE PARKING CURRENT ON A0.00
CLASS 1 BICYCLE PARKING IN BASEMENT

INVENTORY OF PLUMBING FIXTURES

	EXISTING	PROPOSED
BASEMENT	1 [illegible] 1 WASHBOWL EXISTING 1 WATER CLOSET 1 LAVATORY 1 [illegible]	
LEVEL 1	3 KITCHEN SINKS 1 [illegible] 8 WATER CLOSETS 3 LAVATORIES 2 BATHTUBS	4 WATER CLOSETS 3 LAVATORIES 1 URINAL
LEVEL 2	2 KITCHEN SINKS 2 WATER CLOSETS 2 LAVATORIES 1 BATHTUBS	
LEVEL 3	2 WATER CLOSETS 2 LAVATORIES 2 BATHTUBS	1 WATER CLOSET 1 LAVATORY
TOTAL	32	10

EXISTING VEHICLE ACCESS TO PARKING FOR ALL CASTLE VISITORS

2 Existing Context Plan
1 : 500



3 Proposed Context Plan
1 : 500

CHRISTINE LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of cypress tree at walkway to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway strips in front of Tea House Addition of garbage enclosure at end of north driveway and green space along cypress hedge A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match related character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment A3.11 Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table provided for Tea House to include setbacks, separation and height	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

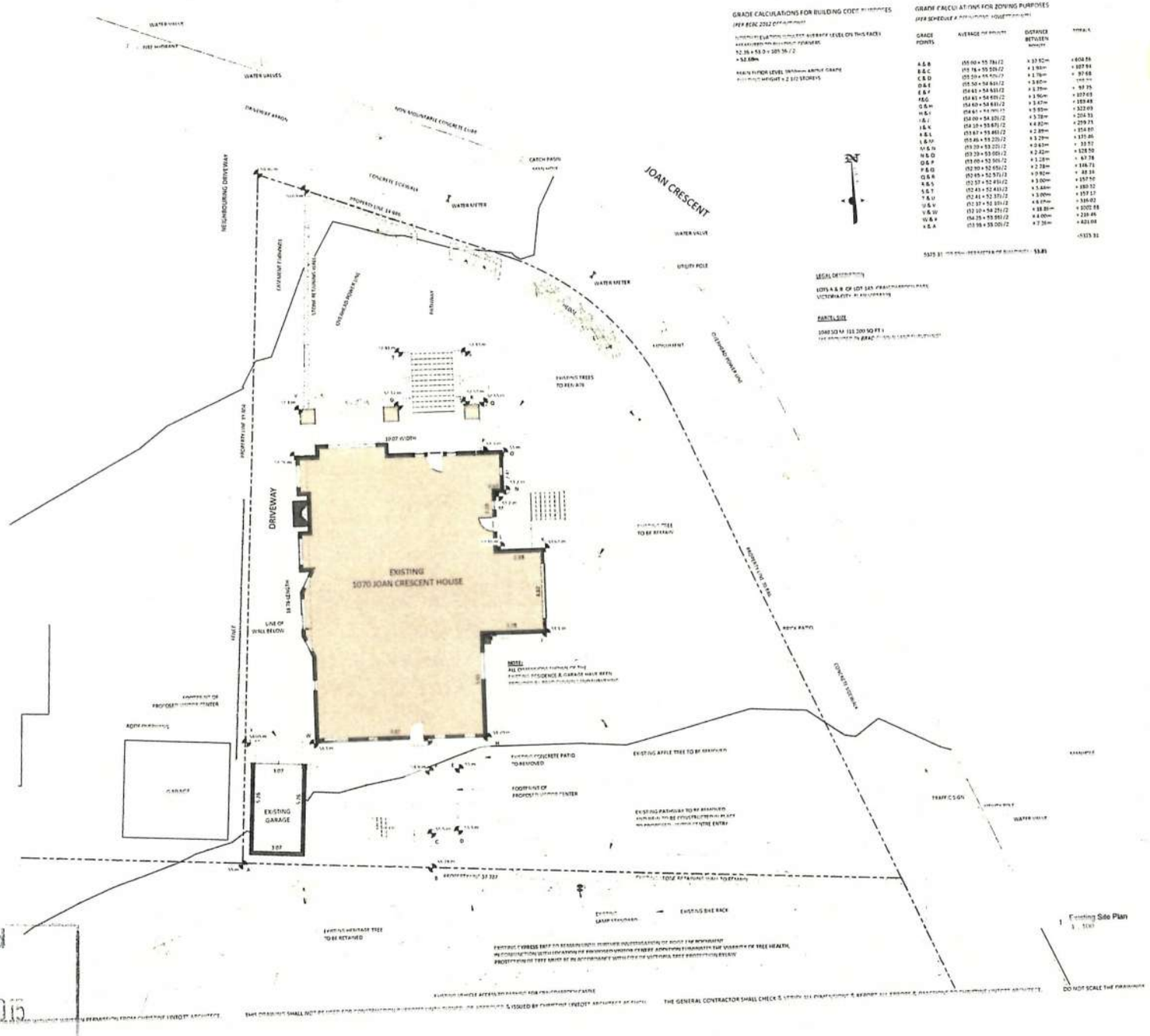
At 1070 Joan Crescent,
Victoria, BC

Site Context Plans

Date	5/8/2015 10:00:18 AM
Drawn by	NF
Checked by	CL

A1.01

Scale As indicated



GRADE CALCULATIONS FOR BUILDING CODE PURPOSES

GRADE CALCULATIONS FOR ZONING PURPOSES

GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN POINTS	TOTALS
A & B	(55.60 + 55.784) / 2	x 33.92m	= 1854.86
B & C	(55.78 + 55.59) / 2	x 1.96m	= 107.94
C & D	(55.59 + 55.42) / 2	x 1.76m	= 97.68
D & E	(55.50 + 54.63) / 2	x 3.65m	[illegible]
E & F	(54.63 + 54.63) / 2	x 1.79m	= 97.75
F & G	(54.63 + 54.63) / 2	x 1.96m	= 107.03
G & H	(54.63 + 54.63) / 2	x 3.67m	= 189.48
H & I	(54.63 + 54.63) / 2	x 5.95m	= 323.69
I & J	(54.09 + 54.10) / 2	x 3.78m	= 204.51
J & K	(54.10 + 53.67) / 2	x 4.82m	= 259.73
K & L	(53.67 + 53.46) / 2	x 2.89m	= 154.80
L & M	(53.46 + 53.23) / 2	x 3.29m	= 175.86
M & N	(53.23 + 53.23) / 2	x 0.63m	= 33.52
N & O	(53.23 + 53.00) / 2	x 2.42m	= 128.50
O & P	(53.00 + 52.99) / 2	x 1.28m	= 67.78
P & Q	(52.99 + 52.65) / 2	x 2.28m	= 119.71
Q & R	(52.65 + 52.57) / 2	x 0.92m	= 48.33
R & S	(52.57 + 52.43) / 2	x 3.00m	= 157.50
S & T	(52.43 + 52.43) / 2	x 3.44m	= 180.32
T & U	(52.41 + 52.37) / 2	x 3.00m	= 157.17
U & V	(52.37 + 52.10) / 2	x 6.67m	= 349.02
V & W	(52.10 + 54.25) / 2	x 18.85m	= 1002.98
W & X	(54.25 + 53.95) / 2	x 4.00m	= 216.49
X & A	(53.95 + 55.00) / 2	x 7.76m	= 421.04
			= 5325.31

5325.31 / [illegible] = 53.85

LEGAL DESCRIPTION

LOTS A & B OF LOT 145 [illegible]
VICTORIA CITY [illegible]

PARCEL SIZE

1040 SQ M 111 200 SQ FT

CHRISTINE LINTOTT ARCHITECT

Issue	Date
Revision B Heritage Alteration	December 12, 2014

Revision No	Date
Description	
1 Retention of cypress tree at walkway to Proposed Visitor Centre Only revision from Commercial Alterations	December 12, 2014
2 A0.00 Retention of height markers from drawings. Deletion of proposed parking stalls in front of Tea House. Addition of garbage enclosure at end of north driveway and green image along cross fence. A1.01 Vehicle & Bicycle Parking Calculations revised. A1.04 - Proposed street elevations updated to reflect revisions. A1.05 - New sheet added for lot width & setback clarifications. A3.01-A3.04 - Colours of proposed exterior elevations revised to match revised elevations. A3.06 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment. A3.11 - Proposed Colour Elevations added	March 31, 2015
3 A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table amended by Tea House to include setbacks, separation and height. Consistent	May 8, 2015

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Existing Site Plan

1 Existing Site Plan
1 : 100

Date 5/8/2015 10:06:10 AM
Drawn By RSP, NF
Checked By CL

A1.02

Scale 1 : 100

SITE PLAN OF

LOTS A & B OF LOT 145, CRAIGDARROCH PARK, VICTORIA CITY, PLAN VIP58119

2 Site Survey 1070 Joan Crescent
1 : 200

1 Site Survey Craigdarroch Castle
1 : 250

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Response & Heritage Alteration	December 12, 2014

Revision No	Description	Date
1	Retention of cypress tree at entrance to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from the property Deletion of impermeable driveway strips in front of Tea House Addition of garbage enclosure at end of north driveway and green screen along upper fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for requested earlier/proposed Tea House details and Conditions Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised – Project Table A3.10 Project Information Table provided for Tea House showing setbacks, separation and height	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Site Survey

Date	5/8/2015 10:08:40 AM
Drawn By	RSP, NF
Checked By	CL

A1.03

Scale	As indicated

EXISTING & PROPOSED FRONT STREET ELEVATION

NO CHANGE FROM THIS VIEWPOINT

EXISTING STREET ELEVATION LOOKING SOUTH EAST

PROPOSED STREET ELEVATION LOOKING SOUTH EAST

EXISTING STREET ELEVATION LOOKING WEST

PROPOSED STREET ELEVATION LOOKING WEST

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No	Description	Date
1	Retention of cypress tree at northern tip to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway strips in front of Tea House Addition of garbage enclosure at end of north driveway and green space along upper fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.05 - A3.09 New sheets added for Condition Assessment A3.10 & A3.11 - New sheets added for renovated garage/proposed Tea House details and Condition Assessment A3.11 Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table provided for Tea House to include setbacks, separation and height	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

Context Street Elevations

Date	5/8/2015 10:09:51 AM
Drawn by	NF
Checked by	CL
Scale	

A1.04

1 Lot Width & Setbacks
1 : 100

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No	Description	Date
1	Retention of cypress tree at setback to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of information driveway signs at front of Tea House Addition of garbage enclosure at end of north driveway and green space along north fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed sheet alignment updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior alterations revised to match original character A3.06 - A3.09 New sheets added for Condition Assessment A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Condition Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table revised for Tea House to include setbacks, separation and height Consultant	May 8, 2015

Craigdarroch Castle
Proposed Visitor Centre

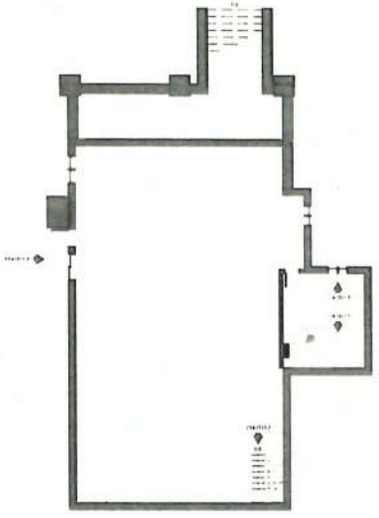
At 1070 Joan Crescent
Victoria, BC

Lot Width & Setback
Clarifications

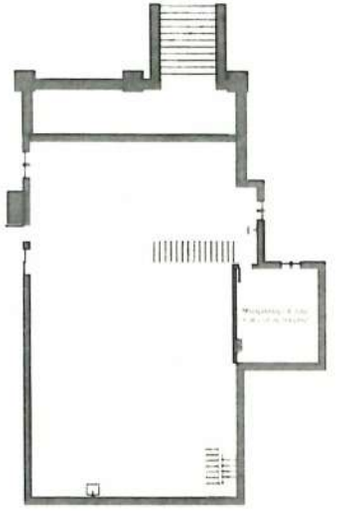
Date	5/8/2015 10:08:53 AM
Drawn by	NF
Checked by	CL

A1.05

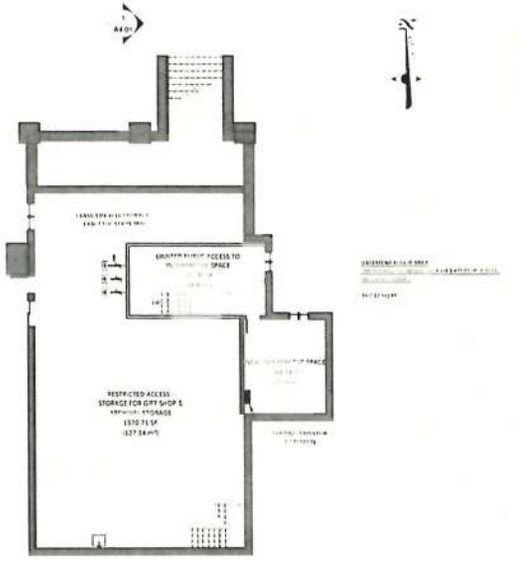
Scale 1 : 100



1 Existing Basement Plan
1 : 100



2 Historic Basement Plan
1 : 100



3 Basement Proposed Plan
1 : 100

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Revision B Heritage Alteration	December 12, 2014

Revision No Description	Date
1 Retention of cypress tree at entrance to Proposed Visitor Centre Only access from Community Meadow	December 12, 2014
2 A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway stops in front of Tea House Addition of garbage enclosure at end of north driveway and green waste stump cover fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.06 - A3.09 New sheets added for Condition Assessment A3.10 & A3.11 - New sheets added for renovated garage/proposed Tea House details and Conditions Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3 A0.00 Landscape area removed from existing driveway to ensure parking stall is compliant Calculations revised in Project Table A3.10 Project Information Table revised for Tea House to include setbacks, separation and height	May 8, 2015

Consultant

CHARACTER PHOTOGRAPHS

PHOTO 1
ENTRANCE DOWN TO BASEMENT
FROM WEST DRIVEWAY

PHOTO 2
INTERIOR STAIR TO MAIN FLOOR

PHOTO 3
WINDOWS IN TEA ROOM & GIFT

PHOTO 4
TEA ROOM WITH OR OAK TONGUE & GROOVE WALLS AND CEILING
AND A TYPICAL CAST IRON TRUSS BALUSTER WITH ABOVE THE WINDOW

Image courtesy of Grant Dixon

PHOTO 5
TEA ROOM'S WINDOWS

Image courtesy of Grant Dixon

Craigdarroch Castle
Proposed Visitor Centre

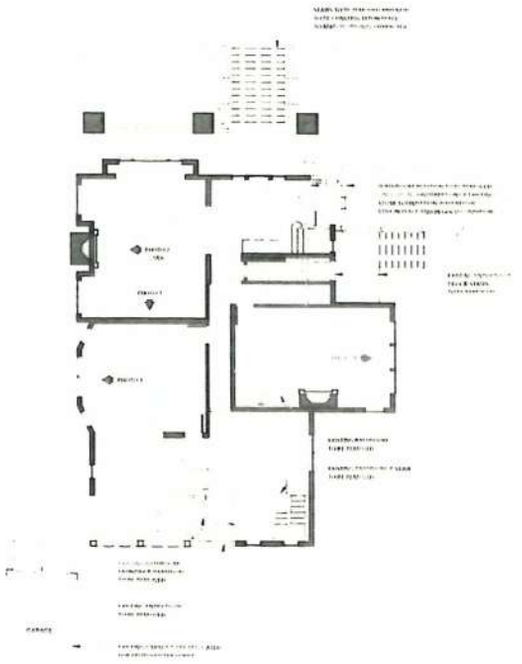
At 1070 Joan Crescent,
Victoria, BC

Basement Floor Plans (Existing, Historic & Proposed)

Date	5/8/2015 10:08:54 AM
Drawn By	RSP, NF
Checked By	CL

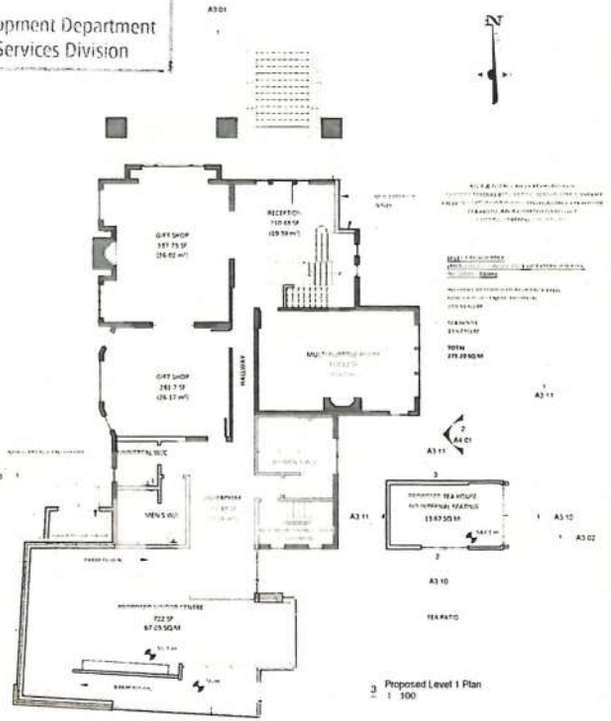
A2.00

Scale	1 : 100



1 Existing Level 1 Plan
1 : 100

2 Historic Level 1 Plan
1 : 100



3 Proposed Level 1 Plan
1 : 100

CHRISTINE LINTOTT ARCHITECT

Issue	Date
Renovations & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of cypress tree at northwest to Proposed Visitor Centre. Deletion from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway. Deletion of integration of driveway steps in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along upper fence. A1.01 Vehicle & Bicycle Parking Calculations revised. A1.04 Proposed sheet elevations updated to reflect revisions. A1.05 - New sheet added for parking & setback calculations. A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character. A3.05 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment. A3.11 Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to allow one parking stall in required rear yard. Calculations revised in Project Table. A3.10 Project Information Table revised by Tea House to include setbacks, separation and height. Consultant	May 8, 2015

CHARACTER PHOTOGRAPHS

PHOTO 1
INTERIOR DETAILS

PHOTO 2

PHOTO 3 & 4

PHOTO 3
INTERIOR DETAILS & FILLER PANELS

PHOTO 4
ENTRANCE FROM TO BASEMENT
FROM GIFT SHOP

Craigdarroch Castle
Proposed Visitor Centre

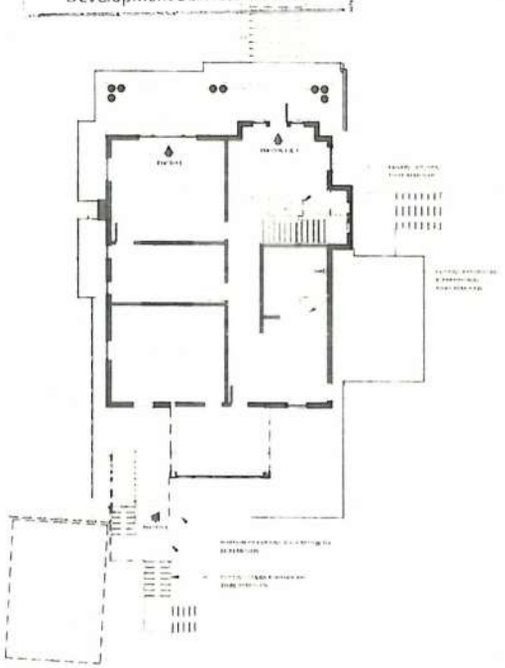
At 1070 Joan Crescent
Victoria, BC

Level 1 Floor Plans (Existing, Historic & Proposed)

Date	5/8/2015 10:08:56 AM
Drawn by	RSP, NF
Checked by	CL

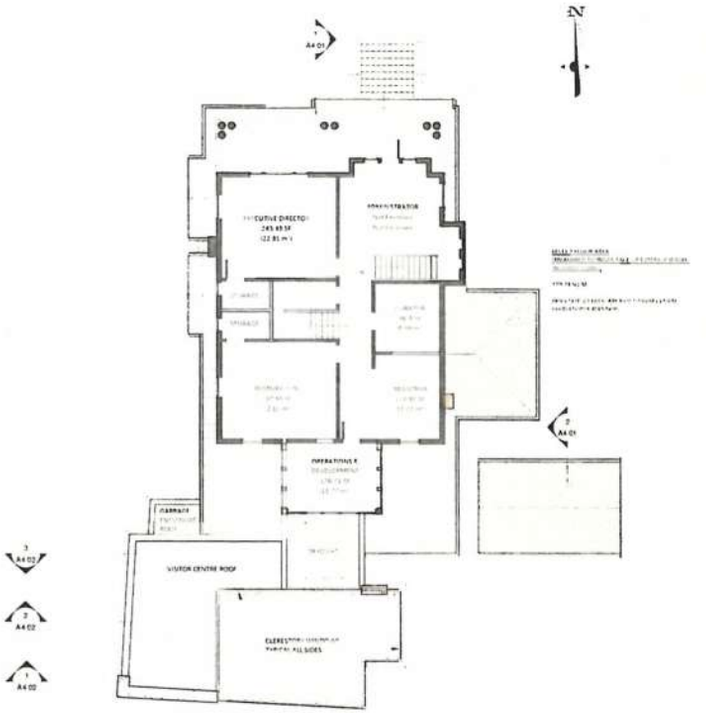
A2.01

Scale 1 : 100



1 Existing Level 2 Plan
1 : 100

2 Historic Level 2 Plan
1 : 100



3 Proposed Level 2 Plan
1 : 100

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No

Description	Date
1 Retention of cypress tree at [illegible] Proposed Visitor Centre. Only revision from Community Meeting	December 12, 2014
2 A0.00 Retractions of bicycle parking from driveway. Relation of interior/exterior driveway stairs in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along upper fence. A1.01 Vehicle & Bicycle Parking Circulation revised. A1.04 - Proposed street elevations updated to reflect revisions. A1.05 - new sheet added for lot width & setback clarifications. A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character. A3.05 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for repurposed garage/renovated Tea House details and Conditions Assessment. A3.11 - Proposed Colour Relations added	March 31, 2015
3 A0.00 Landscape: new removed from existing driveway; fire service making stall is maintained. Calculations revised in Revision Table. A3.10 Project Information Table provided for Tea House to include setbacks, separation and height.	May 8, 2015

Consultant

CHARACTER PHOTOGRAPHS

PHOTO 1
FRONT [illegible] STAINED GLASS

PHOTOS 2 & 3
PORCH DOOR & [illegible]

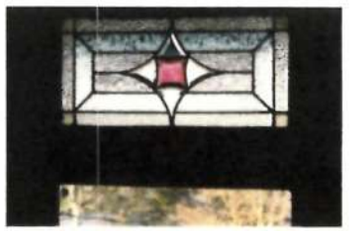


PHOTO 2

PHOTO 4
SOUTH [illegible]

Craigdarroch Castle
Proposed Visitor Centre

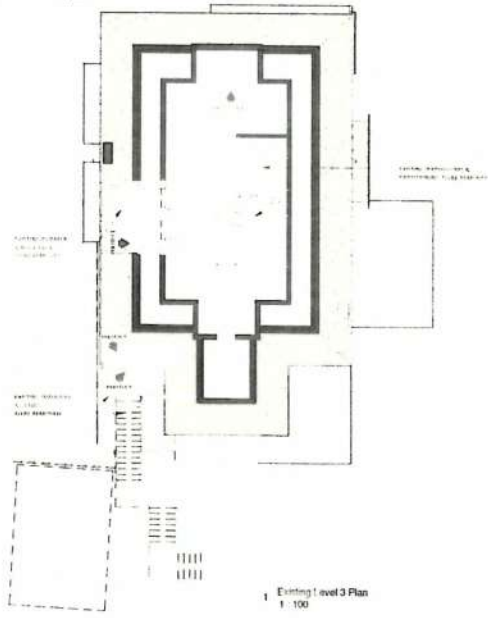
At 1070 Joan Crescent,
Victoria, BC

Level 2 Floor Plans (Existing, Historic & Proposed)

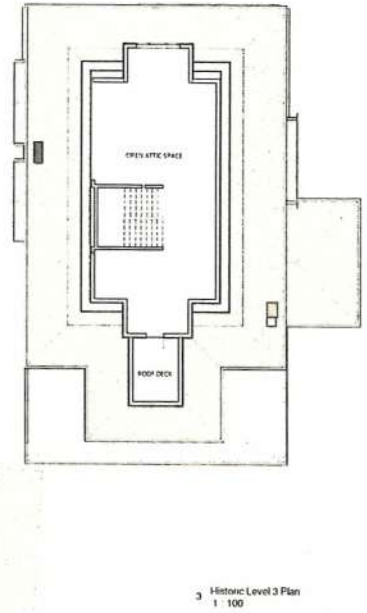
Date	5/8/2015 10:08:59 AM
Drawn by	KSP, NF
Checked by	CL

A2.02

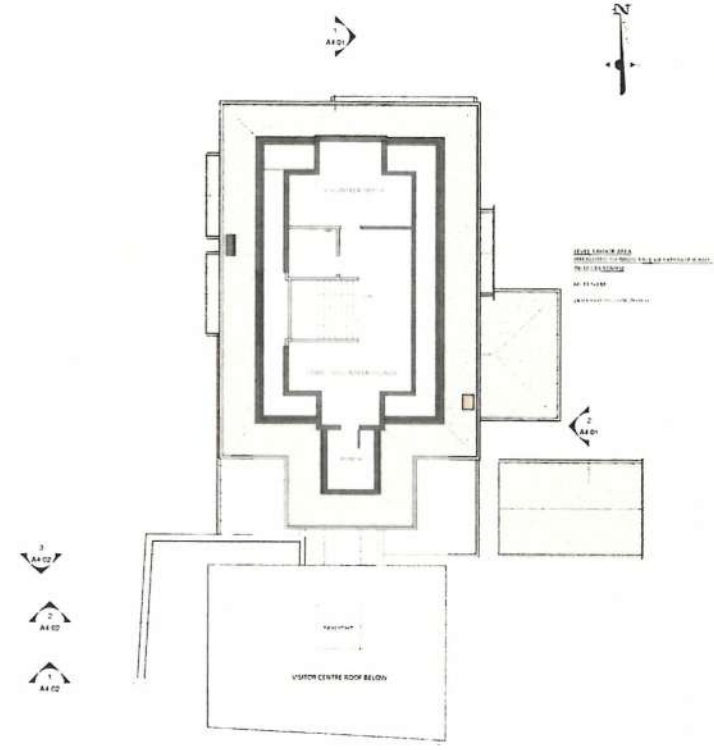
Scale 1 : 100



1 Existing Level 3 Plan
1 : 100



3 Historic Level 3 Plan
1 : 100



2 Level 3 Proposed Plan
1 : 100

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No Description	Date
1. Retention of cypress tree at walkway to Proposed Visitor Centre. Only revisions from Community Meeting	December 12, 2014
2. A0.00 Relocation of bicycle parking from driveway. Deletion of integrebap driveway strips in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along lower fence. A1.01 Vehicle & Bicycle Parking Calculations updated. A1.04 - Proposed street elevations updated to reflect revisions. A1.05 - New sheet added for lot width & setback diagrams. A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character. A3.08 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 New sheets added for repurposed green/greenhouse Tea House details and Conditions Assessment. A3.11 Proposed Colour Selections added	March 31, 2015
3. A0.00 Landscape step removed from existing driveway to enable parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table revised for Tea House to include setbacks, separation and height. Consultant	May 8, 2015

CHARACTER PHOTOGRAPHS

PHOTO 1
FASCIA DETAIL

PHOTO 2
EXISTING ROOF CONDITIONS

PHOTO 3
EXTERIOR DRIVEWAY AT SOUTH

PHOTO 4
INTERIOR OF SOUTH BEDROOM/FULL UNIT

PHOTO 5
INTERIOR OF SOUTH BEDROOM/FULL UNIT

Craigdarroch Castle
Proposed Visitor Centre

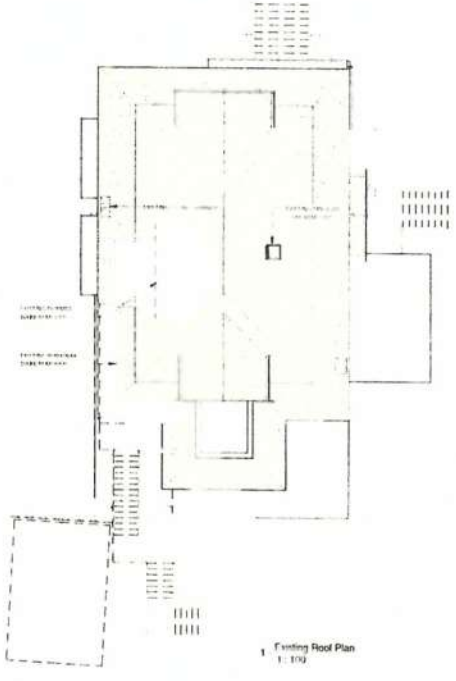
At 1070 Joan Crescent,
Victoria, BC

Level 3 Floor Plans (Existing, Historic & Proposed)

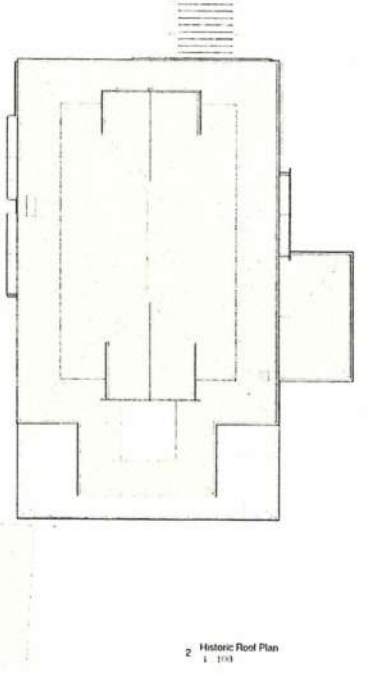
Date	5/8/2015 10:09:01 AM
Drawn by	RSP, NF
Checked by	CL

A2.03

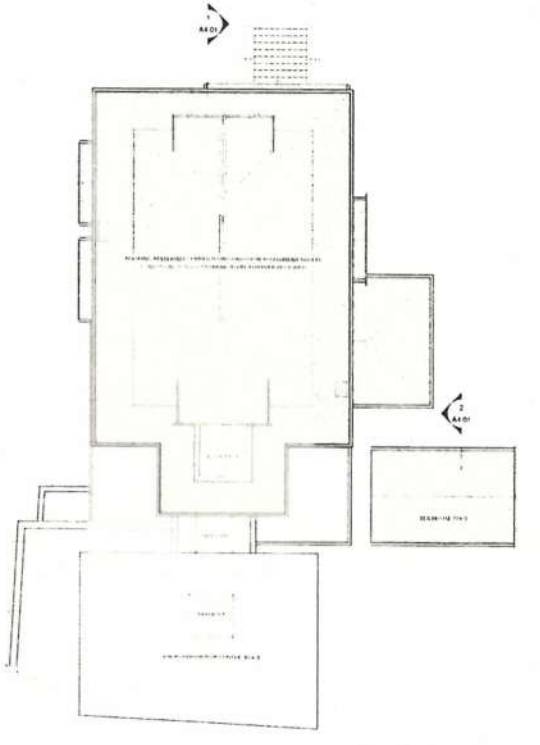
Scale 1 : 100



1 Existing Roof Plan
1 : 100



2 Historic Roof Plan
1 : 100



3 Proposed Roof Plan
1 : 100

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 11, 2014

Revision No. Description	Date
1 Retention of cypress tree at setback to Proposed Visitor Centre. Only revision from Community Meeting	December 11, 2014
2 A0.00 Retention of bicycle parking from driveway. Deletion of interpretive driveway stone in front of Tea House. Addition of garbage enclosure at end of north driveway and green coarse stone upper fence. A1.01 Website & Bicycle Parking Calculations revised. A1.04 Proposed street elevations updated to reflect revisions. A1.05 - New sheet added for lot width & setback clarifications. A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character. A3.06 - A3.09 New sheets added for Compliance Assessment. A3.10 & A3.11 New sheets added by requirement pro-forma proposed Tea House details and Compliance Assessment. A3.11 - Proposed Fence Selection added	March 31, 2015
3 A0.00 Landscape area removed from south driveway to ensure parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table provided for Tea House to include setbacks, separation and height. Consultant	May 8, 2015

Craigdarroch Castle
Proposed Visitor Centre

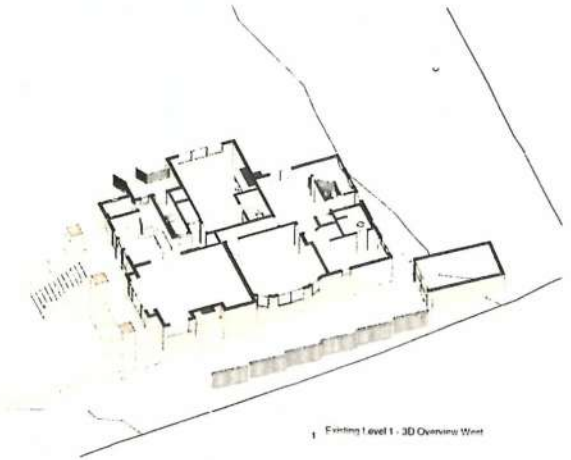
At 1070 Joan Crescent,
Victoria, BC

Roof Plans (Existing, Historic & Proposed)

Date	5/8/2015 10:00:01 AM
Drawn By	RP, NF
Checked By	CL

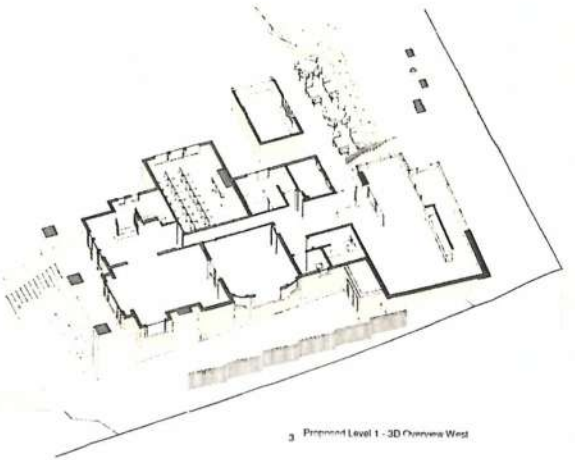
A2.04

Scale 1 : 100

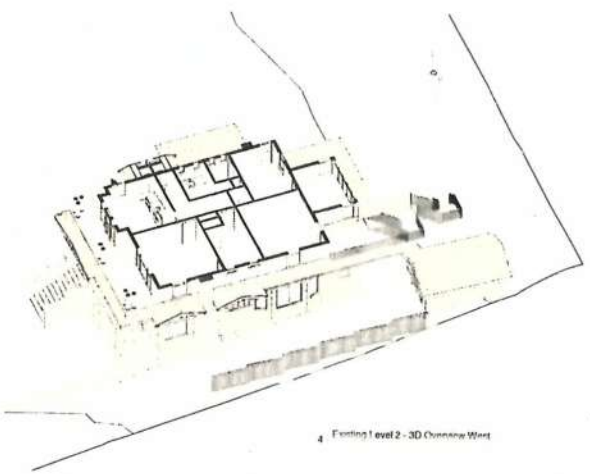


1 Existing Level 1 - 3D Overview West

2 Historic Level 1 - 3D Overview West

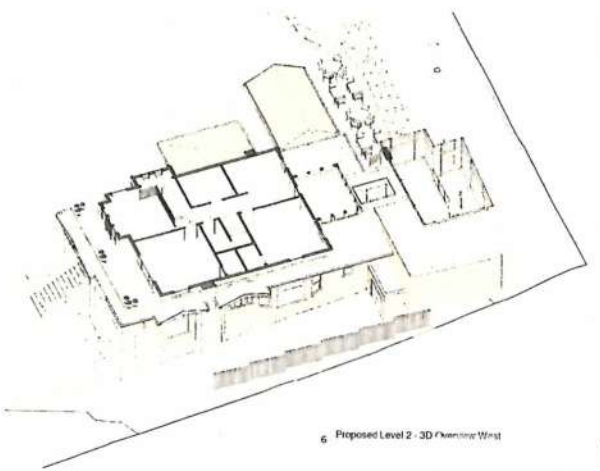


3 Proposed Level 1 - 3D Overview West



4 Existing Level 2 - 3D Overview West

5 Historic Level 2 - 3D Overview West



6 Proposed Level 2 - 3D Overview West

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No Description	Date
1 Retention of cypress tree in lieu of Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2 A0.00 Relocation of bicycle parking from driveway Deletion of interpretive directional signs in front of Tea House Addition of garbage enclosure at end of north driveway and green space along south fence	March 31, 2015
A1.01 Website & Bicycle Parking Calculations revised	
A1.02 - Renewed sheet elevations updated to reflect revisions	
A1.05 - New sheet added for lot width & setback clarifications	
A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character	
A3.05 - A3.09 New sheets added for Conditions Assessment	
A3.10 & A3.11 - New sheets added for remaining garage/tennis rd Tea House details and Conditions Assessment	
A3.11 - Proposed Colour Selections added	
3 A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table	May 8, 2015
A3.10 Project Information Table revised for Tea House to include setbacks, separation and height	

Consultant

Craigdarroch Castle
Proposed Visitor Centre

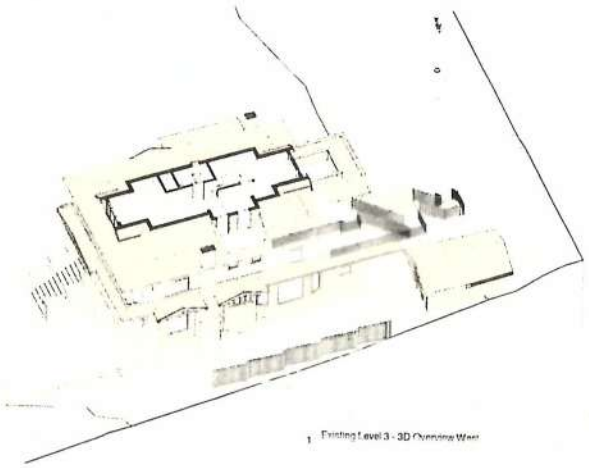
At 1070 Joan Crescent
Victoria, BC

3D Floor Plans
Birdseye View From West

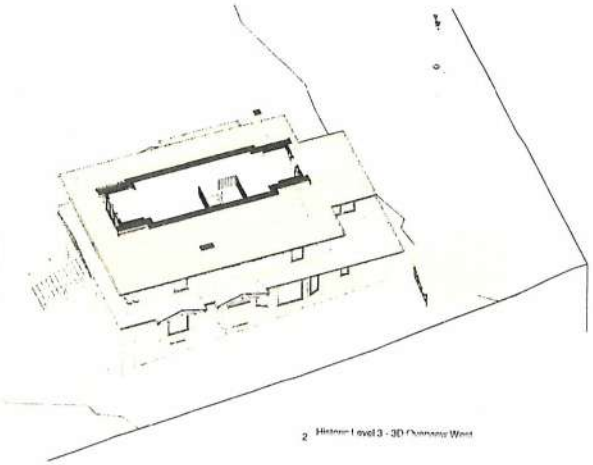
Date	5/8/2015 10:09:23 AM
Drawn By	RSP, NF
Checked By	CL

A2.05

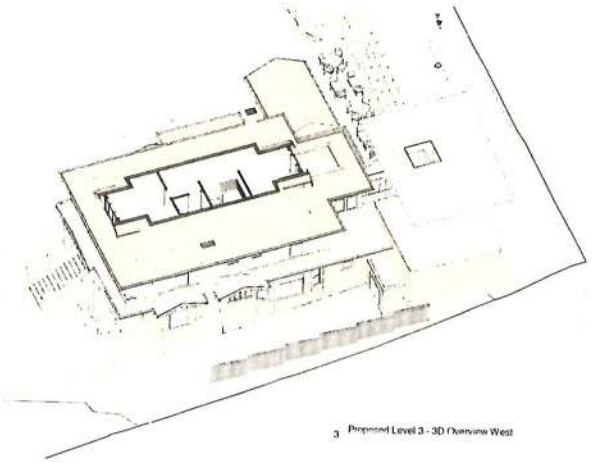
Scale



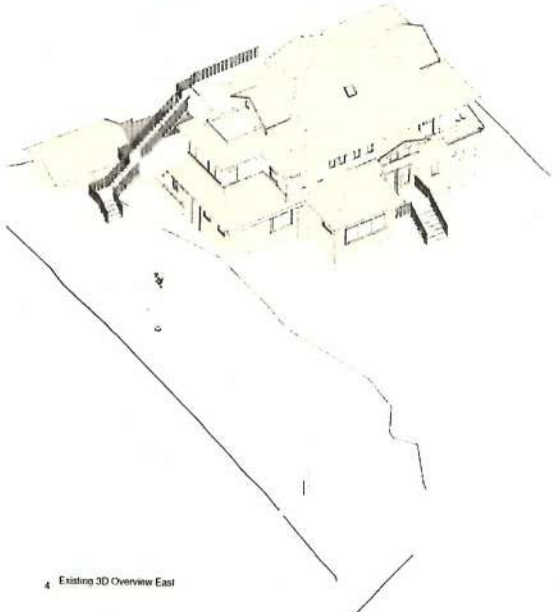
1 Existing Level 3 - 3D Overview West



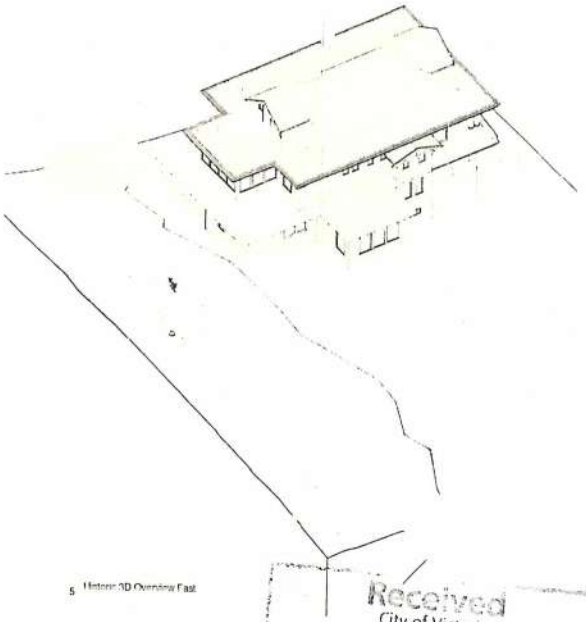
2 Historic Level 3 - 3D Overview West



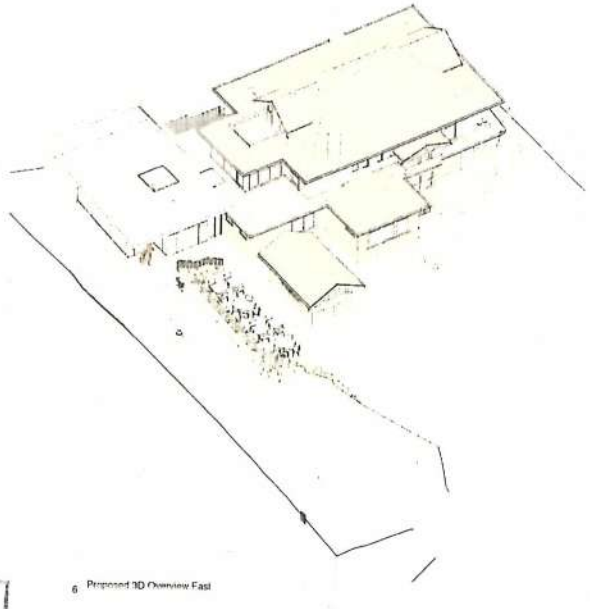
3 Proposed Level 3 - 3D Overview West



4 Existing 3D Overview East



5 Historic 3D Overview East



6 Proposed 3D Overview East

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of cypress tree at walkway to Proposed Visitor Centre Oak removal from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle rack on front property Relocation of interpretive directional signs in front of Tea House Addition of garbage enclosure at end of visitor parking and green space along upper fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed upper elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback diagrams A3.01-A3.04 - Colours of proposed exterior elevations revised to match original chosen colors A3.08 - A3.09 New sheets added for Condition Assessment A3.10 & A3.11 - New sheets added for renovated garage/proposed Tea House details and Condition Assessment A3.11 - Proposed Entry Selections added	March 31, 2015
3	A0.00 Landscape area removed from eastern property to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table provided for Tea House to include setbacks, separation and height	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

3D Floor Plans
Birdseye View

Date	5/8/2015 10:09:53 AM
Drawn By	RSP, NF
Checked By	CL
Scale	

A2.06

CHARACTER PHOTOGRAPHS

FRONT ELEVATION

FRONT ENTRY DOOR AT MAIN FLOOR

CHARACTER DEFINING ELEMENTS

1 Existing North Elevation
1 : 50

2 Proposed North Elevation
1 : 50

CHRISTINE LINTOTT ARCHITECT

Issue	Date
Revision 8 Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of cypress tree at walkway to Proposed Visitor Centre. Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway. Deletion of intermediate delineator strips in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along corner fence. A1.01 Vehicle & Bicycle Parking Calculations revised. A1.02 - Proposed street elevations updated to reflect revisions. A1.05 - New sheet added for lot width & setback clarifications. A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character. A3.05 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for requested garage/proposed Tea House details and Conditions Assessment. A3.11 - Proposed Colour Selections added.	March 31, 2015
3	A0.00 Landscape area removed from driveway to ensure parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table provided for Tea House showing setbacks, separation and height.	May 8, 2015

Consultant

Craigdarroch Castle Proposed Visitor Centre

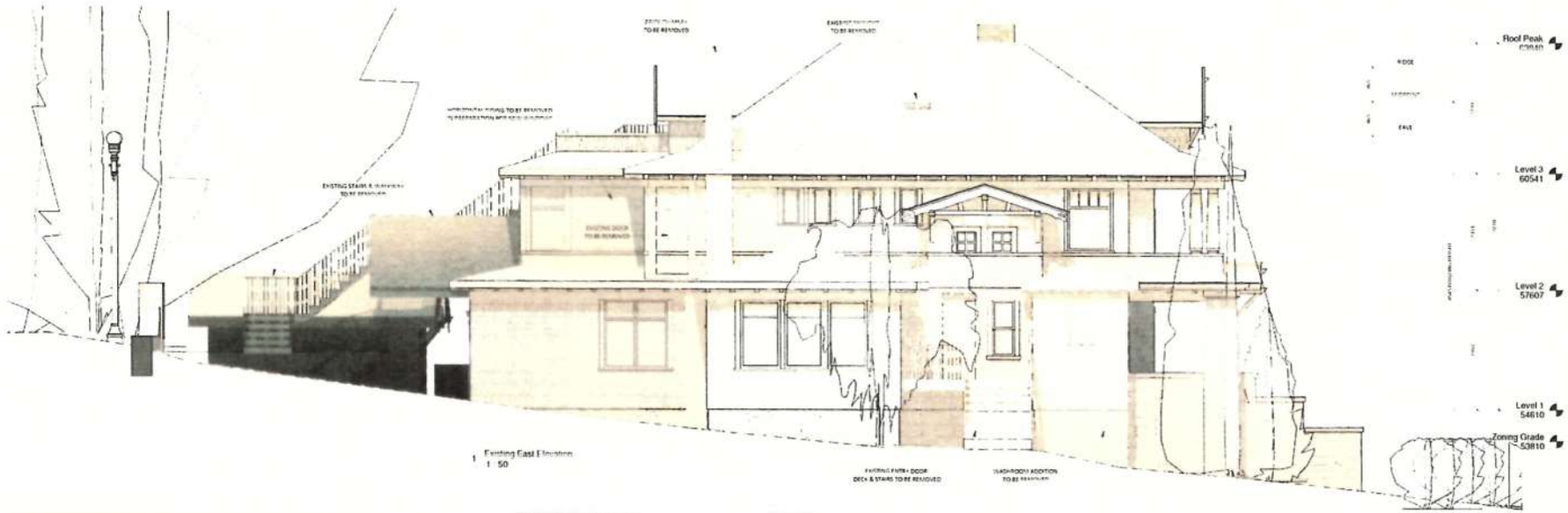
At 1070 Joan Crescent, Victoria, BC

North Exterior Elevations

Date	5/8/2015 10:10:00 AM
Drawn by	RSP, NA
Checked by	CL

A3.01

Scale 1 : 50



1 Existing East Elevation
1 : 50

2 Proposed East Elevation
1 : 50

CHARACTER PHOTOGRAPHS

CHARACTER DEFINING ELEMENTS

LEADED GLASS WINDOWS TO BE RETAINED

GARAGE TO BE RELOCATED & REPURPOSED AS TEA HOUSE

EAST ENTRY & STAIRS TO BE REMOVED

ARTS & CRAFTS STYLE GABLE TO BE RETAINED

THIS DRAWING IS A INSTRUMENT OF SERVICE & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED, SEALED, OR APPROVED & ISSUED BY CHRISTINE LINTOTT ARCHITECT AS SUCH

THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECT

DO NOT SCALE THE DRAWING

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Response & Heritage Alteration	December 12, 2014

Revision No	Description	Date
1	Retention of cypress tree at walkway to Proposed Visitor Centre Only response from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway flags in front of Tea House Addition of garbage enclosure at end of north driveway and green space along upper fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Condition Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table updated for Tea House to include setbacks, separation and height	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

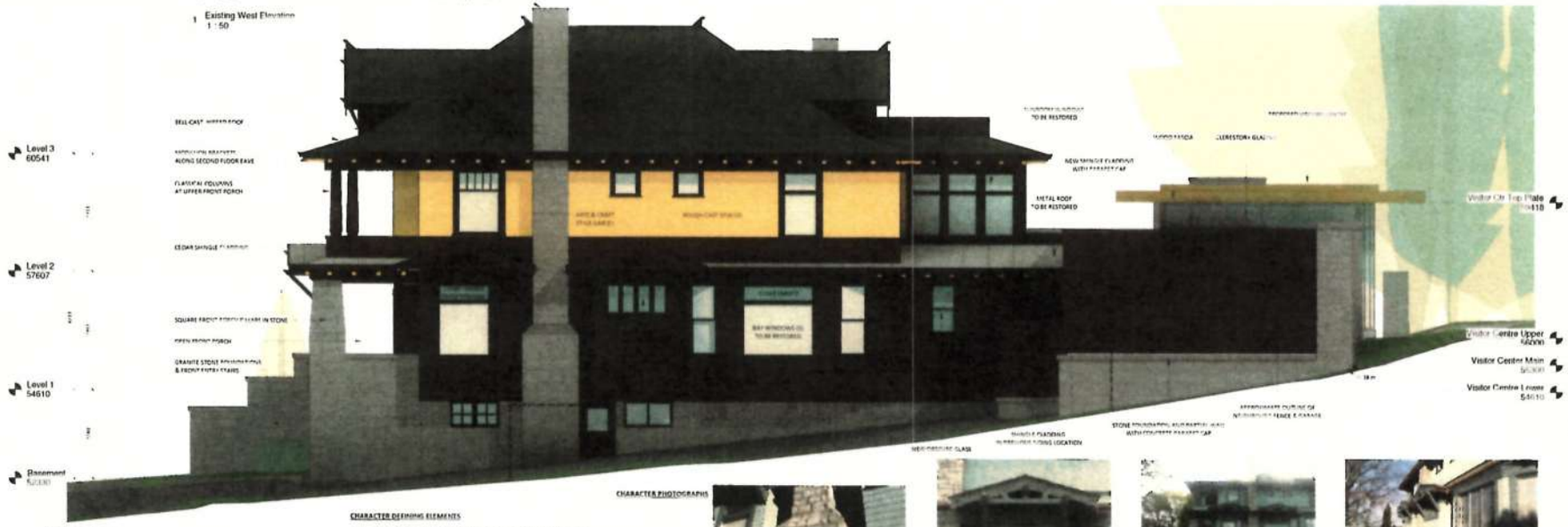
At 1070 Joan Crescent
Victoria, BC

East Exterior Elevations

Date	5/8/2015 10:10:24 AM
Drawn By	RSP, NF
Checked By	CL
Scale	1 : 50

A3.02

1 Existing West Elevation
1 : 50



2 Proposed West Elevation

CHARACTER DEFINING ELEMENTS

CHARACTER PHOTOGRAPHS

ARTS & CRAFT STYLE GABLE WITH LEADED GLASS WINDOW

GRANITE STONE FOUNDATION PILLAR & PARAPET

CEDAR SHINGLE CLADDING AND ROUGH CAST STUCCO ABOVE

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No
Description Date

1 December 17, 2014
Retention of cypress tree at northern to
Proposed Visitor Centre
Only revisions from Community Meeting

2 March 11, 2015
A0.00
Relocation of bicycle parking from driveway
Deletion of information driveway steps in front of Tea House
Addition of garbage enclosure at end of north driveway and green space along upper fence

A1.01
Vehicle & Bicycle Parking Calculations revised

A1.05 - Proposed street elevations updated to reflect revisions

A1.05 - New sheet added for lot width & setback calculations

A3.01-A3.03 - Contours of proposed exterior elevations revised to match survey not observation

A3.06 - A3.09
New sheets added for Condition Assessment

A3.10 & A3.11 - New sheets added for renovated garage/proposed Tea House details and Condition Assessment

A3.11 - Proposed Colour Selections added

3 May 8, 2015
A0.00
Landscape area removed from existing driveway to ensure parking stall is maintained
Calculations revised in Project Table

A3.10
Project Information Table provided for Tea House to include setbacks, separations and height

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

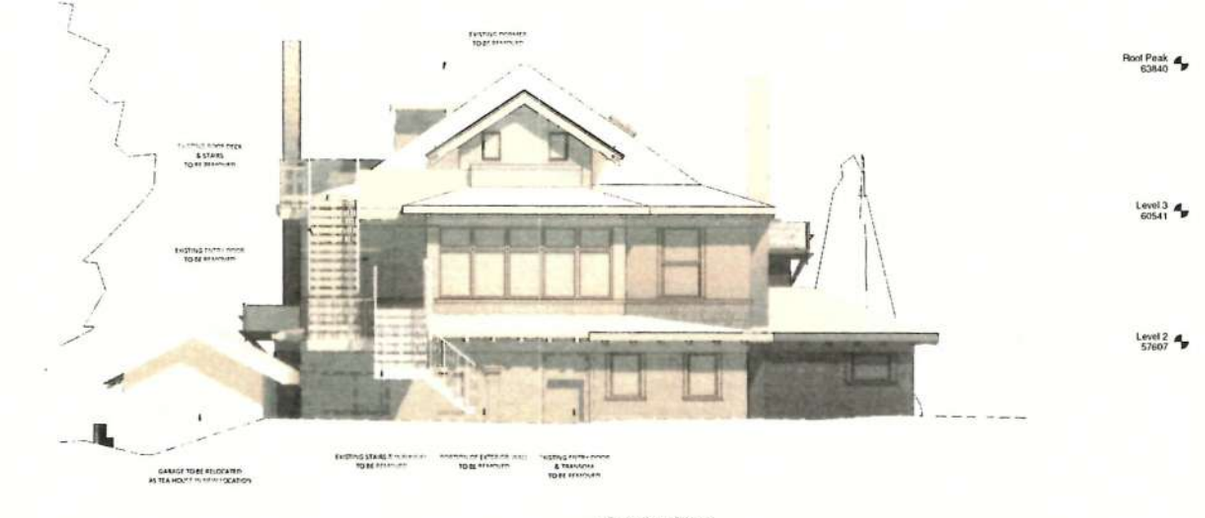
West Exterior Elevations

Date	5/8/2015 10:10:57 AM
Drawn by	RSP, NF
Checked by	CL

A3.03

Scale 1 : 50

CHARACTER PHOTOGRAPHS



1 Existing South Elevation
1 : 50

2 Proposed South Elevation
1 : 50

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No	Description	Date
1	Retention of current type of bicycle rack Proposed Visitor Centre Only revisions from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway rings in front of Tea House Addition of partial enclosure at end of north driveway and green space along upper fence A1.01 Website & Bicycle Parking Calculations revised A1.02 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for replacement garage/proposed Tea House details and Conditions Assessment A3.11 - Proposed Colour Palette was added	March 31, 2015
3	A0.00 Landscape goes removed from existing driveway to ensure parking stalls are contained Calculations revised in Project Table A3.10 Project Information Table revised for Tea House to include setbacks, separation and height Consultant	May 8, 2015

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

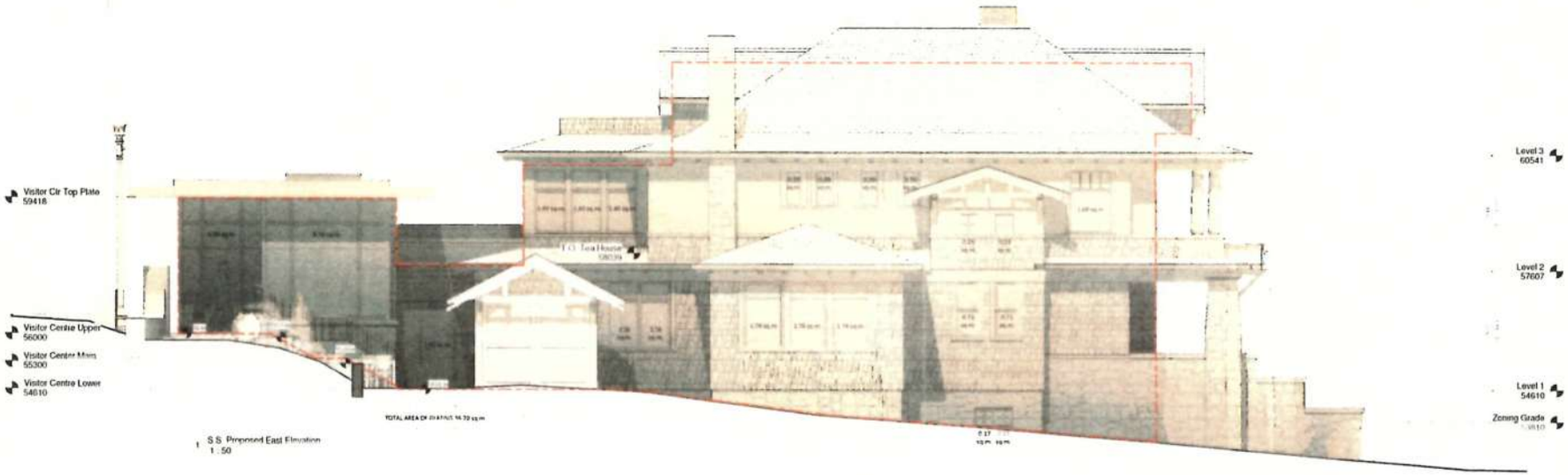
South Exterior Elevations

Date	5/8/2015 10:11:10 AM
Drawn by	Author
Checked by	Checker

A3.04

Scale 1 : 50

NORTH & WEST ELEVATIONS ARE NOT SHOWN
NO CHANGES TO PERCENTAGE OF OPENINGS, EXISTING CONDITIONS



TOTAL AREA OF GLAZING 16.70 sq.m

1 S.S. Proposed East Elevation
1 : 50

IN ACCORDANCE WITH TABLE 9.10.14.4.A

EAST SPATIAL SEPARATION

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	168.62 sq.m
LIMITING DISTANCE	17.5m
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	95% (business & personal services at 17.5m) 55% (mercantile at 17.5m)
ACTUAL AREA OF UNPROTECTED OPENINGS	21.8%

CONSTRUCTION REQUIREMENTS

MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>50 to <100 (mercantile)
MINIMUM REQUIRED FIRE RESISTANCE RATING	1 HOUR
TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLE OR NON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	COMBUSTIBLE OR NONCOMBUSTIBLE

SOUTH SPATIAL SEPARATION

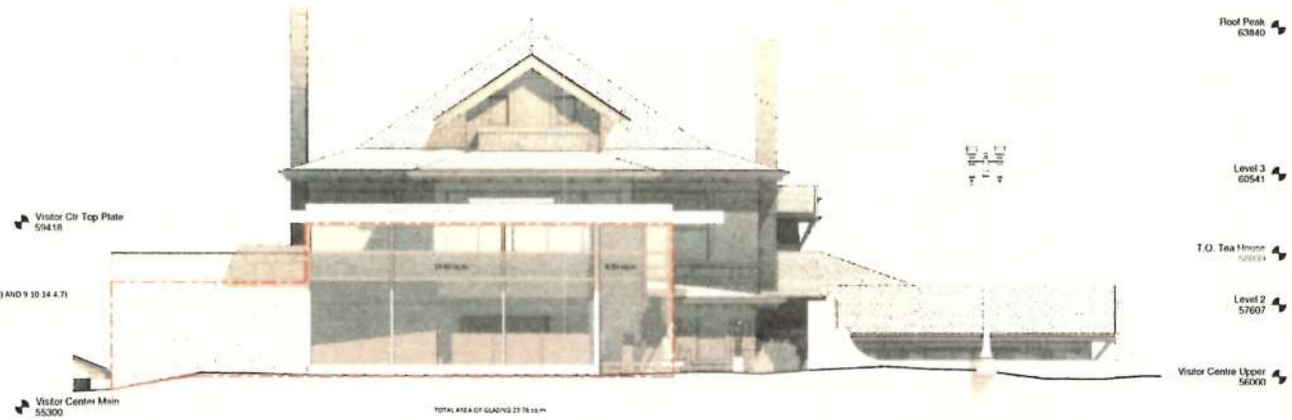
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	37.11 sq.m
LIMITING DISTANCE	7.5m
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	92.25% (business & personal services at 7.5m) 54.25% (mercantile at 7.5m) 100% ALLOWABLE AS PER ARTICLES 9.10.14.4.1.c) AND 9.10.14.4.7)
ACTUAL AREA OF UNPROTECTED OPENINGS	64%

CONSTRUCTION REQUIREMENTS

MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>50 to <100 (mercantile)
MINIMUM REQUIRED FIRE RESISTANCE RATING	1 HOUR
TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLE OR NONCOMBUSTIBLE
TYPE OF CLADDING REQUIRED	COMBUSTIBLE OR NONCOMBUSTIBLE

ARTICLE 9.10.14.4.1)c)
WHERE THE LIMITING DISTANCE IS NOT LESS THAN 1.2 m, BE EQUAL TO OR LESS THAN
i) THE LIMITING DISTANCE SQUARED, FOR RESIDENTIAL OCCUPANCIES, BUSINESS AND PERSONAL SERVICES OCCUPANCIES AND LOW HAZARD INDUSTRIAL OCCUPANCIES, AND
ii) HALF THE LIMITING DISTANCE SQUARED, FOR MERCANTILE OCCUPANCIES AND MEDIUM HAZARD INDUSTRIAL OCCUPANCIES.

ARTICLE 9.10.14.4.7)
WHERE THE BUILDING IS SPRINKLERED, THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS SHALL BE NOT MORE THAN TWICE THE AREA DETERMINED ACCORDING TO SENTENCE (1) PROVIDED ALL ROOMS, INCLUDING CLOSETS AND BATHROOMS, THAT ARE ADJACENT TO THE EXPOSING BUILDING FACE AND THAT HAVE UNPROTECTED OPENINGS ARE SEPARATED BETWEEN STANDING ANY EXEMPTIONS IN THE SPRINKLER STANDARD REFERENCED IN ARTICLE 3.2.5.12



TOTAL AREA OF GLAZING 23.76 sq.m

2 S.S. Proposed South Elevation
1 : 50

Received

Planning & Development Department
Development Services Division

CHRISTINE LINTOTT ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Relocation of cypress tree at entrance to Proposed Visitor Centre Only revision from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway strips in front of Tea House Addition of enclosure enclosure at end of north driveway and green space along upper level A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback calculations A3.01-A3.04 - Colours of proposed exterior elevations revised to match existing character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for repurposed garage/Renovated Tea House details and Conditions Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table provided for Tea House to include setbacks, separation and height Consultant	May 6, 2015

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Spatial Separation Calculations

Date	5/8/2015 10:11:13 AM
Drawn By	Author
Checked By	Checker

A3.05

Scale 1 : 50

WEST WALL OF MAIN ENTRANCE STAIR
SIGNIFICANT CRACKING IN STONE MASONRY
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH

PAINT TO BE REMOVED FROM MAIN PORCH & FRONT ENTRY CONCRETE CAPS OVER STONE CAPS TO REMAIN UNPAINTED

MAIN ENTRANCE STAIR
WOODEN STEPS TO BE RECONSTRUCTED
NEW STEPS TO BE CONSTRUCTED FROM PAIRED 38mm MATERIAL WITH SINGLE GAP, AND INTEGRAL BULLNOSE. FASTENING TO BE FROM BELOW BY BRACKETS
RESTORATION OF NEW FRONT STEPS TO BE MORE IN KEEPING WITH ORIGINAL DETAIL

EAST WALL OF MAIN ENTRANCE STAIR
CRACKING IN STONE MASONRY
STONE MASONRY TO BE RECONSTRUCTED & NEW SUPPORT CONSTRUCTED FROM BENEATH

MAIN ENTRANCE

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS FOR LONG TERM DURABILITY AND MAINTENANCE. TYPICAL ALL GABLE BEAMS

DOWNSPOUT ON FRONT TO BE RELOCATED WHEN ALL NEW PROVIDED
ALL NEW DOWNSPOUTS TO BE ROUND TYPICAL OF ORIGINAL CHARACTER

MAIN PORCH
OPEN FRONT PORCH TO BE RESTORED
GLAZING & DOOR TO BE REMOVED

SECOND FLOOR PORCH CEILING

ALL EXTERIOR MATERIALS TO BE PAINTED NEW
EXISTING TO BE STRIPPED. TYPICAL THROUGHOUT

CONFIRM ORIGINAL COLOUR BEHIND GABLE
BEFORE FINAL PAINTING

SECOND FLOOR PORCH CEILING

PORCH CEILING IN DECENT CONDITION
MOISTURE FROM ROOF HAS SEPARATED 'KENITEX' PAINT OFF THE CEILING
CEILING TO BE REPAIRED AND RESTORED AS REQUIRED

UPPER GABLE
MAINTENANCE TO BE PERFORMED AS REQUIRED

NORTH ELEVATION CONTEXT PHOTO

NORTH ELEVATION CONTEXT PHOTO

GENERAL NOTE:
'KENITEX' EXTERIOR PAINT FAILING SUBSTANTIALLY
IN SOME INSTANCES LARGE PANELS OF PAINT ARE PEELING OFF

PROPOSAL IS TO STRIP 'KENITEX' PAINT OFF AND
REPAINT ENTIRE HOUSE IN COLOUR SCHEME TO MATCH ORIGINAL CHARACTER
WORK MAY BE COMPLETED AS FUNDS BECOMES AVAILABLE

ROOFING IN POOR CONDITION. NEW ROOFING TO BE COMPLETED.
SEE CONDITION ASSESSMENT SHEETS AND ELEVATIONS FOR CLARIFICATION OF MATERIALS
ROOF CRESTING TO BE RESTORED ON UPPER MAIN ROOF ONLY WITH
FINIALS AT EACH END OF MAIN ROOF RIDGE AND THE TOP OF THE FRONT AND REAR GABLES

CHRISTINE LINTOTT
ARCHITECT

Issue	Date
Receiving & Heritage Alteration	December 12, 2014

Revision No	Description	Date
1	Retention of cypress tree at entrance to Proposed Visitor Centre. Only existing from Community Meeting	December 12, 2014
2	A0.00 Relocation of bicycle parking from driveway. Relation of interpretive driveway strips in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along lower fence. A1.01 Vehicle & Bicycle Parking Calculations revised. A1.04 - Proposed street elevations updated to reflect revisions. A1.05 - New sheet added for lot width & setback clarifications. A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character. A3.06 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment. A3.11 - Proposed Colour Selections added	March 31, 2015
3	A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table updated for Tea House to include setbacks, separation and height.	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

North Elevation - Conditions Assessment

Date	5/8/2015 10:11:33 AM
Drawn By	NF
Checked By	CL

A3.06

Scale

MAIN PORCH
OPEN FRONT PORCH TO BE RESTORED
GLAZING TO BE REMOVED

UPPER PORCH
CONCRETE PILLAR TO BE REMOVED
UPON RELOCATION OF SERVICES
PORCH WALL & COLUMNS TO BE MAINTAINED
WITH WORK TO INCLUDE STRIPPING AND NEW PAINT. TYPICAL THROUGHOUT

STONE CHIMNEY
SEISMIC RETROFIT TO BE PROVIDED
STONE CHIMNEY & FOUNDATION TO HAVE REPOINTING AS REQUIRED

LEADED GLASS WINDOW
WINDOW IN RELATIVELY GOOD CONDITION
REGLAZING TO BE PERFORMED AS REQUIRED

ARTS & CRAFT STYLE GABLE
WORK TO INCLUDE STRIPPING & NEW PAINT
NEW FINIALS TO BE INSTALLED OVER TOP OF BEAMS ENDS.
ALL TYPICAL THROUGHOUT

CONFIRM ORIGINAL COLOUR BEHIND GABLE BEFORE FINAL PAINTING

ARTS & CRAFT STYLE GABLE & LEADED GLASS WINDOW
WORK TO GABLE AT REMOVAL AS NOTED
REGLAZED TO BE PERFORMED AS REQUIRED
THIRD PANE IN POOR CONDITION AND TO BE RESTORED

BAY WINDOW
NEW WINDOWS (3) TO BE REMOVED AND REPLACED
WITH THOSE TYPICAL OF ORIGINAL CHARACTER

BAY ROOF OVER
ROOF OVER BAY TO BE RECONSTRUCTED FOR APPROPRIATE OVERHANG DIMENSION
AND TIE INTO GABLE ROOF TO MATCH TYPICAL DETAILING

BAY WINDOW SILL CONDITION
WINDOW SILL & CASINGS TO BE MAINTAINED. TYPICAL THROUGHOUT
WORK TO INCLUDE STRIPPING AND NEW PAINT

PARTIAL WEST ELEVATION CONTEXT PHOTO

PARTIAL WEST ELEVATION CONTEXT PHOTO

UPPER MAIN ROOF
GABLE AND PREVIOUS SUITE ENTRANCE PATIOS TO BE REMOVED
AND ROOF RESTORED WITH NEW SHINGLES

CONDITION OF DOUBLE HUNG WINDOW
WINDOW TO BE RECONSTRUCTED
GLASS TO BE REPLACED WITH PRESSED TO SUIT NEW WASHROOM
PANEL BESIDE TO BE REMOVED AND SASHES TO BE RESTORED

HISTORIC SUNROOM
HORIZONTAL SIDING TO BE REMOVED BESIDE WINDOW
ADDITIONAL NEW WINDOWS TO BE RESTORED
TYPICAL OF ORIGINAL CHARACTER OF SUNROOM

SOUTH WEST CORNER SECOND FLOOR
SOFFITS & OVERHANG EXTENSION TO BE REMOVED
ROOF OVERHANG AT SECOND FLOOR TO BE RESTORED
TO MATCH ORIGINAL DETAILING

ROOF CONDITION
LOWER ROOF TO BE RECONSTRUCTED
TO CORRECT SAGGING OF HISTORIC PORCH AREA

SOUTH WEST CORNER (HISTORIC PORCH)
ENTIRE PORCH SAGGING TO THE SOUTH.
STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED
VERTICAL SIDING TO BE REMOVED AND
SHINGLE CLADDING TO BE RESTORED

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of carriage house at north end; Proposed Visitor Centre; Deferral decision from Community Meeting	December 12, 2014
2	A0.00 Relocation of vehicle parking from driveway; Relocation of interpretive driveway signs in front of Tea House; Addition of garbage enclosure at end of north driveway and green space along upper fence. A1.01 Vehicle & Bicycle Parking Calculations revised. A1.04 - Proposed object alterations updated to reflect revisions. A1.05 - New sheet added for lot width & setback classifications. A3.01-A3.04 - Colours of proposed exterior alterations revised to match original character. A3.06 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for proposed porte-cochere, Tea House details and Conditions Assessment. A3.11 - Proposed Colour Selections added.	March 31, 2015
3	A0.00 Landscape area removed from vehicle driveway to ensure parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table provided for Tea House to include setbacks, separation and height.	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

West Elevation - Conditions Assessment

Date	5/8/2015 10:11:34 AM
Drawn by	NR
Checked by	CL

A3.07

Scale

UPPER GABLE AND DECK WALL TO BE MAINTAINED.
WORK TO INCLUDE [illegible] AND NEW PAINT

SUITE DOOR TO BE REMOVED AND RESTORED
WITH WINDOW AND WALL CLADDING
TYPICAL OF ORIGINAL CHARACTER

PORTION OF LOWER ROOF TO BE REMOVED
FOR CONNECTION OF PROPOSED ADDITION

SOUTH ELEVATION CONTEXT PHOTO

PORTION OF LOWER ROOF TO BE RETAINED
STRUCTURAL REVIEW AND STRENGTHENING TO BE PROVIDED TO CORRECT SAGGING
ROOFING MATERIAL TO BE RESTORED TO ROLLED METAL TO MATCH ORIGINAL CHARCTER

SOUTH ELEVATION
ENTRANCE AND WALL/ROOF TO WEST TO BE REMOVED
FOR CONNECTION OF PROPOSED ADDITION

UPPER SUNROOM
HISTORIC SUNROOM WINDOWS TO BE MAINTAINED

HISTORIC SITTING ROOM
EXISTING DOUBLE HUNG WINDOW TO BE REMOVED AND RESTORED
WITH WINDOW TYPICAL OF ORIGINAL CHARACTER
WINDOW TO MATCH OPPOSITE SIDE

SOUTH EAST CORNER CONDITION
EXTERIOR IN GOOD CONDITION, WALL CLADDING & ROOF TO BE MAINTAINED

BRICK CHIMNEY (NOT ORIGINAL)
CHIMNEY LEANING
BRICK CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE
TYPICAL OF ORIGINAL CHARACTER

DEN TRANSOM WINDOW
WINDOW TO BE RESTORED TO INCLUDE LEADED GLASS
TYPICAL OF ORIGINAL CHARACTER

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Revision 6 Heritage Alteration	December 17, 2014

Revision No. Description	Date
1 Retention of Furness tree at entrance to Proposed Visitor Centre Outcomes from Community Meeting	December 12, 2014
2 A0.00 Relocation of bicycle parking from driveway Deletion of interpretive displays/ trips in front of Tea House Addition of garbage enclosure at end of north driveway and green space, grass paver fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed street elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback clarifications A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for renovated and proposed Tea House details and Conditions Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3 A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table amended for Tea House to include setbacks, separation and height	May 8, 2015

Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent
Victoria, BC

South Elevation - Conditions Assessment

Date	5/8/2015 10:11:34 AM
Drawn By	NF
Checked By	CL

A3.08

Scale

HISTORIC SUNROOM
HORIZONTAL SIDING TO BE REMOVED
ADDITIONAL NEW WINDOWS TO BE RESTORED
TYPICAL OF ORIGINAL CHARACTER OF WINDOWS

PARTIAL EAST ELEVATION

RESTORE WINDOW SASH
TO MATCH ORIGINAL CHARCTER.
NEW CRITICAL GLAZING IN BOTH LOWER PANES

HISTORIC KITCHEN WINDOW
LEADED GLASS IN GOOD CONDITION
WINDOW SAGGING SIGNIFICANTLY TO THE NORTH.
STRUCTURAL REVIEW AND STRENGTHENING TO BE REQUIRED

HISTORIC DEN WINDOW
WINDOWS IN GOOD CONDITION
WORK TO INCLUDE CAULKING AND NEW PAINT

PARTIAL EAST ELEVATION CONTEXT PHOTO
COURTESY OF STUART STARK

SECOND FLOOR HISTORIC SITTING ROOM
DOOR TO BE REMOVED
WALL CLADDING AND HORIZONTAL TRIM TO BE RESTORED

BRICK CHIMNEY (NOT ORIGINAL)
CHIMNEY FLASHING
BRICK CHIMNEY TO BE REMOVED AND RECONSTRUCTED IN STONE
TYPICAL OF ORIGINAL CHARACTER

SKYLIGHT TO BE REMOVED

UPPER ROOF TO BE REPLACED
WITH NEW SHINGLES

PARTIAL EAST UPPER FLOOR

LOWER ROOF OVER DEN PORTION ONLY
TO BE REPLACED WITH NEW SHINGLES

WINDOW DEFLECTION
CONDITION TO BE REVIEWED
IN FURTHER DETAIL

NEW FLASHING TO BE INSTALLED OVER TOP OF BEAM ENDS
FOR LONG TERM DURABILITY AND MAINTENANCE

EAST STAIRWELL GABLE

NORTH EAST CORNER
STAIRS & DECK TO BE REMOVED
WALL CLADDING TO BE RESTORED

DOOR TO BE REMOVED AND RESTORED WITH
WINDOW. BOTH WINDOWS AT THIS LEVEL
TO BE RESTORED WITH LEADED GLASS TO BE
IN KEEPING WITH ORIGINAL WINDOW ABOVE.
WALL CLADDING RESTORED AS REQUIRED

LATER ADDITION OF WASHROOM (NOT ORIGINAL)
FOUNDATION FACING
ADDITION TO BE REMOVED IN ENTIRETY.
WALL CLADDING TO BE RESTORED
AT ORIGINAL PLANE OF EXTERIOR.
POTENTIAL FOR ADDITIONAL WINDOW
TO MATCH ONE ABOVE OR SIMILAR.

**REMOVAL OF ADDITION TO PROCEED ONLY
UPON CONFIRMATION OF EXISTING STONE
FOUNDATION WALL BEHIND IS IN PLACE
AND IN GOOD CONDITION.
IF STONE WALL IS NOT IN PLACE OR
NOT IN GOOD CONDITION,
ADDITION IS NOT TO BE REMOVED.**

ALL BASEMENT WINDOWS IN GOOD CONDITION
WORK TO INCLUDE CAULKING & NEW PAINT

WINDOWS TO HAVE DIRECT EXPOSURE UPON
REMOVAL OF EXTERIOR STAIR & DECK

LOWER FLOOR STAIR ADDITION

UPPER FLOOR STAIR/GABLE

CONCRETE PAD, STAIRS & PATH
TO BE REMOVED
LANDSCAPE TO BE RESTORED IN PLACE

ONE UPPER WINDOW & TWO NEW LOWER
WINDOWS ON STAIRWELL TO BE RESTORED
WITH LEADED GLASS TO BE IN KEEPING
WITH ORIGINAL LEADED GLASS WINDOW
STILL IN TACT. GROUPING OF WINDOWS
HAD WINDOW LINE PATTERN THROUGH
EACH

JOHN MARIN'S ROOM - WINDOWS

BASEMENT WINDOWS IN NEW ACCESS TO INTERPRETIVE SPACE

STONE FOUNDATION IN GOOD CONDITION
REPOINTING AS REQUIRED

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Revision 8 Heritage Alteration	December 12, 2014

Revision No Description	Date
1 Retention of cypress tree at setbacks to Proposed Visitor Centre *Only revision from Community Meeting*	December 12, 2014
2 A0.00 Relocation of bicycle parking from driveway Deletion of interpretive driveway stops in front of Tea House Addition of garbage enclosure at end of north driveway and grass space along upper fence A1.01 Vehicle & Bicycle Parking Calculations revised A1.04 - Proposed sheet elevations updated to reflect revisions A1.05 - New sheet added for lot width & setback calculations A3.01-A3.04 - Colours of proposed exterior elevations revised to match revised character A3.06 - A3.09 New sheets added for Conditions Assessment A3.10 & A3.11 - New sheets added for proposed exterior of Tea House details and Conditions Assessment A3.11 - Proposed Colour Selections added	March 31, 2015
3 A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained Calculations revised in Project Table A3.10 Project Information Table revised for Tea House to include setbacks, separation and height Consultant	May 8, 2015

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

East Elevation - Conditions Assessment

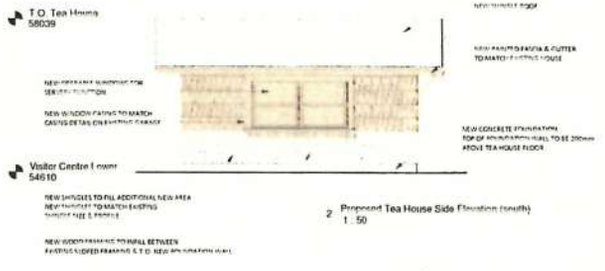
Date	5/8/2015 10:11:35 AM
Drawn By	NF
Checked by	CL

A3.09

Scale

CHRISTINE
LINTOTT
ARCHITECT

1 Proposed Tea House Front Elevation
1 : 50



2 Proposed Tea House Side Elevation (south)
1 : 50

NO PARKING SIGN
TO BE REMOVED AND
DOOR TO BE MAINTAINED

DAMAGED BOTTOM RAIL OF DOOR
TO BE REPLACED TO MATCH
ORIGINAL CHARACTER

EXISTING LIGHT FIXTURE TO BE REMOVED
& REPLACED WITH NEW

SHINGLE CLADDING TO BE MAINTAINED

ARTS & CRAFT STYLE GABLE TO BE MAINTAINED
WITH STRIPPING AND NEW PAINT

EXISTING GARAGE FRONT ELEVATION

EXISTING LOCKING HARDWARE
TO BE REMOVED & REPLACED WITH NEW

BOTTOM RAIL CONDITION

PARTIAL FRONT ELEVATION

DOOR JAMB (CURRENTLY WEST SIDE)
DAMAGE BETWEEN CASING AND [illegible] TO BE REPAIRED

EXISTING ASPHALT SHINGLE ROOF
TO BE REMOVED & REPLACED

GARAGE SIDE ELEVATION (CURRENTLY EAST)
SLOPED FOUNDATION NOT REUSEABLE

GARAGE SIDE ELEVATION
EAVE EXPOSED
MISSING FASCIA & GUTTER

STRUCTURAL REVIEW AND STRENGTHENING
TO BE REQUIRED TO CORRECT
SUBSTANTIAL SAGGING

EXISTING WINDOW
TO BE REMOVED

EXISTING GARAGE WINDOW

REZONING PROJECT INFORMATION TABLE FOR THE TEA HOUSE

	PROPOSED
HEIGHT OF BUILDING	2.936m
NUMBER OF STOREYS	1
AVERAGE GRADE OF TEA HOUSE IN NEW LOCATION	54.50m
LENGTH	5.26m *(TAKEN FROM EXISTING SURVEY)*
WIDTH	3.07m *(TAKEN FROM EXISTING SURVEY)*
FLOOR AREA	13.67 SQ.M. (TAKEN TO INSIDE FACE OF VARIABLE FRAMING DIMENSION)
SEPARATION BETWEEN TEA HOUSE & PRINCIPLE BUILDING	
REAR (WEST)	2.15m
SIDE (NORTH)	2.87m
BUILDING SETBACKS	
FRONT YARD (NORTH & EAST)	9.7m
SIDE YARD (SOUTH)	7.8m
REAR YARD (WEST)	15.9m *(SHOWN ON A1.05)*

SLOPED FOUNDATION & FRAMING
EXISTING WOOD FRAMING TO BE RETAINED THROUGHOUT
INCLUDING ANGLE PROFILE EACH SIDE

EXISTING ORIGINAL TRUSS BEFORE ADDITION
ROOF FRAMING & TRUSS TO BE RETAINED

EXISTING GARAGE SOFFIT DETAIL
DAMAGE AT CORNER TO BE REPAIRED
SHINGLES TO BE MAINTAINED WITH STRIPPING AND NEW PAINT

EXISTING GARAGE SOFFIT DETAIL
SOFFIT TO BE MAINTAINED
WORK TO CONSIST OF STRIPPING & NEW PAINT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.

Description	Date
1	December 12, 2014
Retention of cypress tree at [illegible] Proposed Visitor Centre [illegible]	
2	March 31, 2015
A0.00 Relocation of bicycle parking from driveway. Deletion of interpretive driveway strips in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along upper fence.	
A1.01 Vehicle & Bicycle Parking Calculations revised	
A1.04 - Proposed street elevations updated to reflect revisions	
A1.05 - New sheet added for lot width & setback clarifications	
A3.01-A3.04 - Colours of proposed exterior elevations revised to match original character	
A3.06 - A3.09 New sheets added for Conditions Assessment	
A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment	
A3.11 - Proposed Colour Selections added	
3	May 8, 2015
A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained. Calculations revised in Project Table.	
A3.10 Project Information Table provided for Tea House to include setbacks, separation and height	

Consultant

Craigdarroch Castle
Proposed Visitor Centre

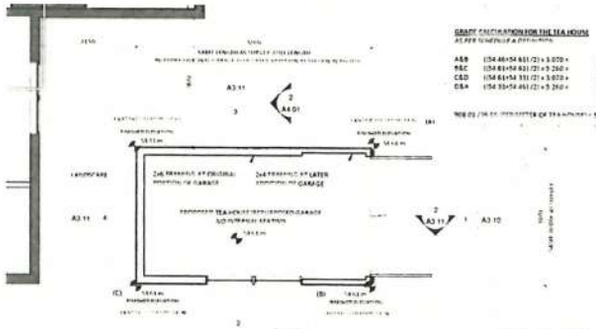
At 1070 Joan Crescent
Victoria, BC

Garage/Proposed Tea House - Conditions Assessment & Details

Date	5/8/2015 10:11:37 AM
Drawn by	NF
Checked by	CL

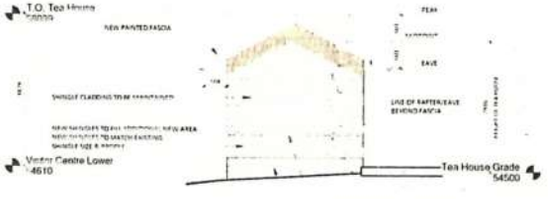
A3.10

Scale 1 : 50



1 Proposed Tea House Plan
1 : 50

3 Proposed Tea House Side Elevation (north)
1 : 50



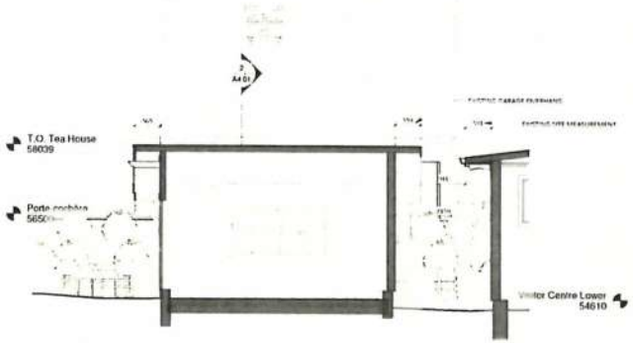
4 Proposed Tea House Rear Elevation
1 : 50

GARAGE SIDE ELEVATION (CURRENTLY WEST)
EXPOSED EAVE TO BE MAINTAINED WITH NEW PAINT
EXPOSED EAVE

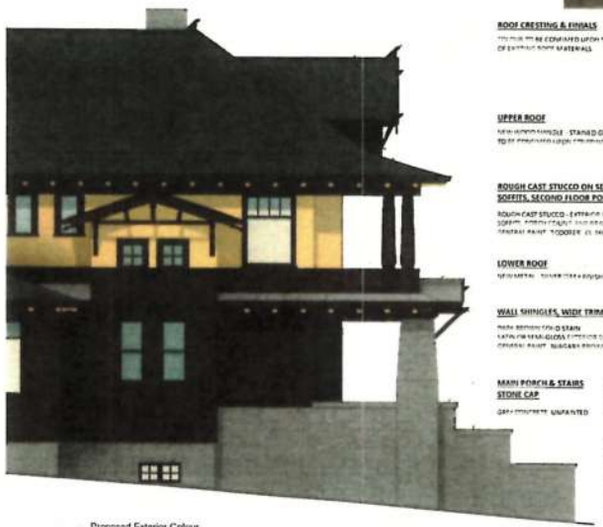
FRIARY GARAGE

GARAGE SIDE ELEVATION (CURRENTLY WEST)
SLOPED FOUNDATION NOT REUSABLE
DAMAGE AT CORNER BETWEEN DOOR CASING & SHINGLES TO BE REPAIRED

GARAGE REAR ELEVATION
EXPOSED EAVE TO BE MAINTAINED WITH STAINING AND NEW PAINT
MISSING REAR GABLE ARCHERS BOARD
SHINGLES TO BE MAINTAINED WITH STAINING AND NEW PAINT



2 Proposed Tea House Section
1 : 50



5 Proposed Exterior Colour
1 : 50

ROOF CRESTING & FINIALS

UPPER ROOF

ROUGH CAST STUCCO ON SECOND FLOOR, SOFFITS, SECOND FLOOR PORCH CEILING AND MODILLION BRACKETS

LOWER ROOF

WALL SHINGLES, WIDE TRIM AND SECOND FLOOR PORCH COLUMNS

MAIN PORCH & STAIRS
STONE CAP

FRONT DOOR
UPPER PORCH DOOR (die)

WINDOW SASHES, SECOND FLOOR PORCH FLOOR AND NEW FRONT STAIRS

PROPOSED COLOURS TO MATCH ORIGINAL
SAMPLES OF ALL COLOURS TO BE PREPARED AND REVIEWED BEFORE FINAL CONFIRMATION AND APPLICATION.

PROPOSED TEA HOUSE PROJECT DATA

FLOOR AREA	13.5 SQ M (MEASURED TO INSIDE OF FRAMING IS APPROXIMATE DUE TO CHANGE IN FRAMING DIMENSION)
HEIGHT OF BUILDING	3.427m FROM FLOOR LEVEL (TO MATCH HEIGHT OF EXISTING GARAGE NO CHANGE) 4.229m FROM REZONING GRADE CALCULATED (58039 - 53810)
NUMBER OF STOREYS	1
DISTANCE BETWEEN BUILDINGS REAR (WEST) SIDE (NORTH)	2.15m 2.87m
BUILDING SETBACKS	SEE SHEET A1.05

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No	
Description	Date
1. Retention of cypress tree at [illegible] to Proposed Visitor Centre. Only revision from Community Meeting	December 12, 2014
2. A0.00 Relocation of bicycle parking from driveway. Relation of interpretive driveway steps in front of Tea House. Addition of garbage enclosure at end of north driveway and green space along upper fence. A1.01 Vehicle & Bicycle Parking Calculations revised. A1.04 - Proposed street elevations updated to reflect revisions. A1.05 - New sheet added for lot width & setback clarifications. A3.01-A3.04 - Colours of proposed water re-elevations revised to match original character. A3.06 - A3.09 New sheets added for Conditions Assessment. A3.10 & A3.11 - New sheets added for repurposed garage/proposed Tea House details and Conditions Assessment. A3.11 - Proposed Colour Selections added	March 31, 2015
3. A0.00 Landscape area removed from existing driveway to ensure parking stall is maintained. Calculations revised in Project Table. A3.10 Project Information Table provided for Tea House to include setback, separation and height. Consultant	May 8, 2015

Craigdarroch Castle Proposed Visitor Centre

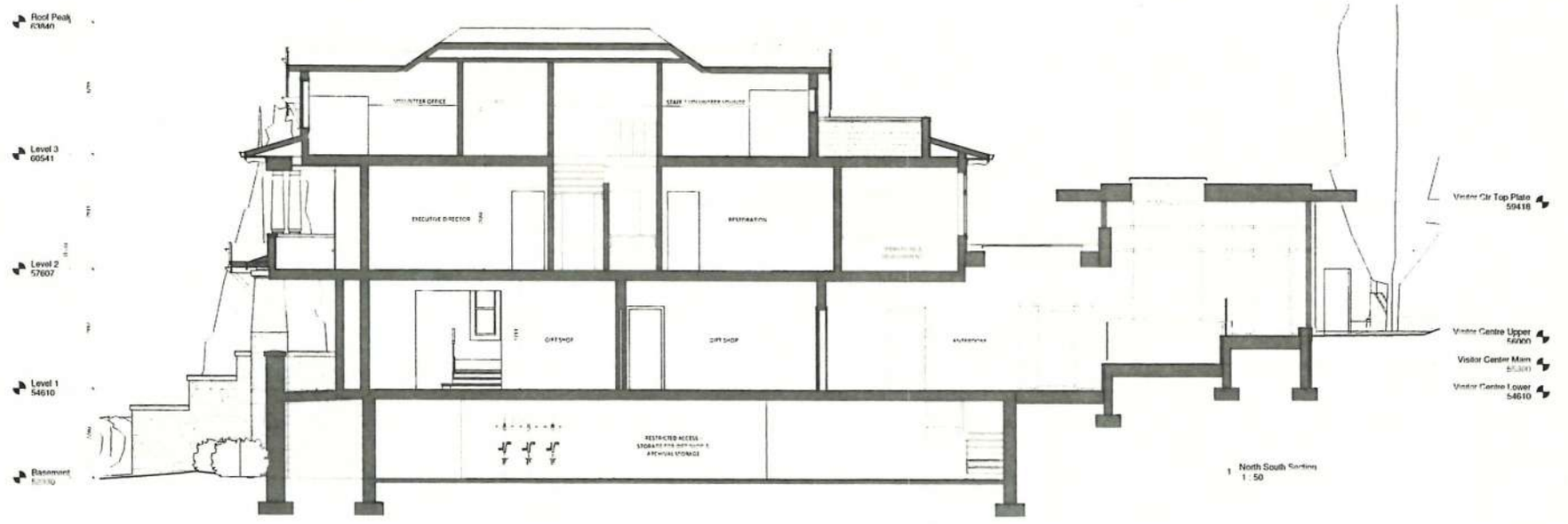
At 1070 Joan Crescent
Victoria, BC

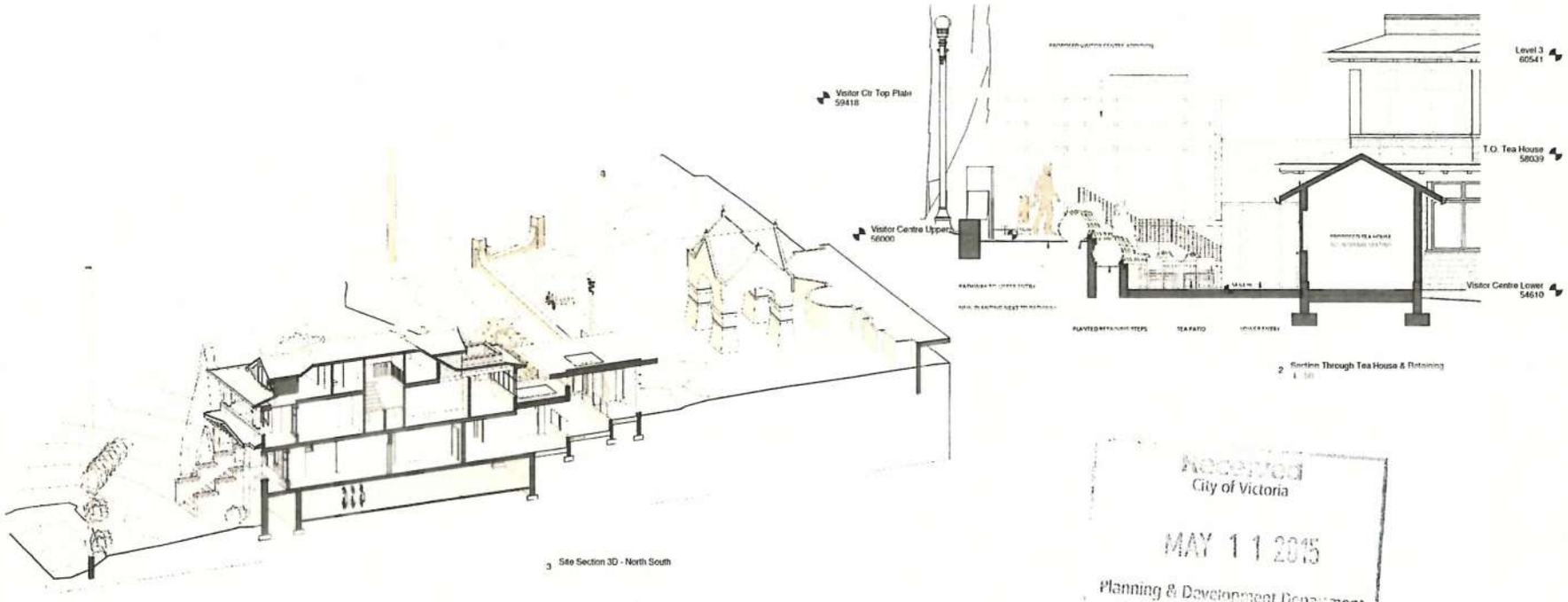
Garage/Proposed Tea House - Conditions Assessment & Details

Date	5/8/2015 10:11:44 AM
Drawn by	NF
Checked by	CL

A3.11

Scale 1 : 50





CHRISTINE LINTOTT ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No.	Description	Date
1	Retention of cypress tree at walkway to Proposed Visitor Centre Only revisions from Community Meeting	December 12, 2014
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Craigdarroch Castle
Proposed Visitor Centre

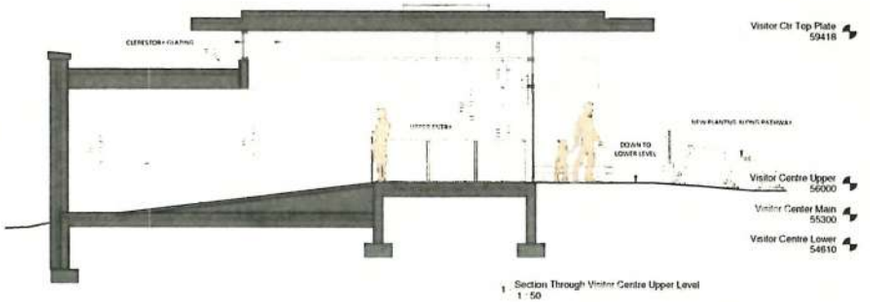
At 1070 Joan Crescent
Victoria, BC

Building Sections

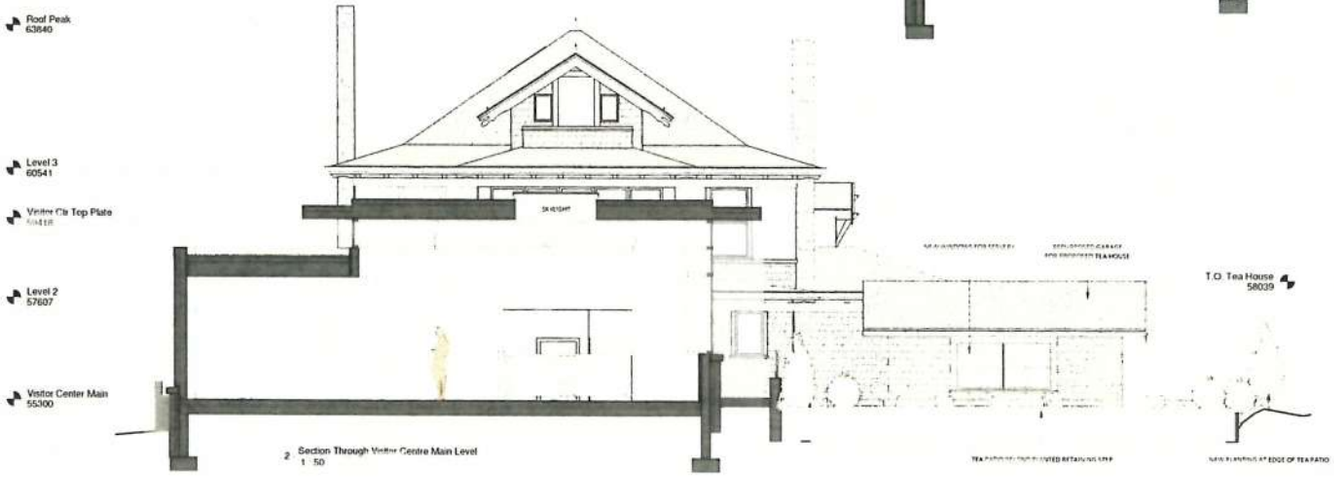
Date	5/8/2015 10:11:54 AM
Drawn by	RSP, NF
Checked by	CL

A4.01

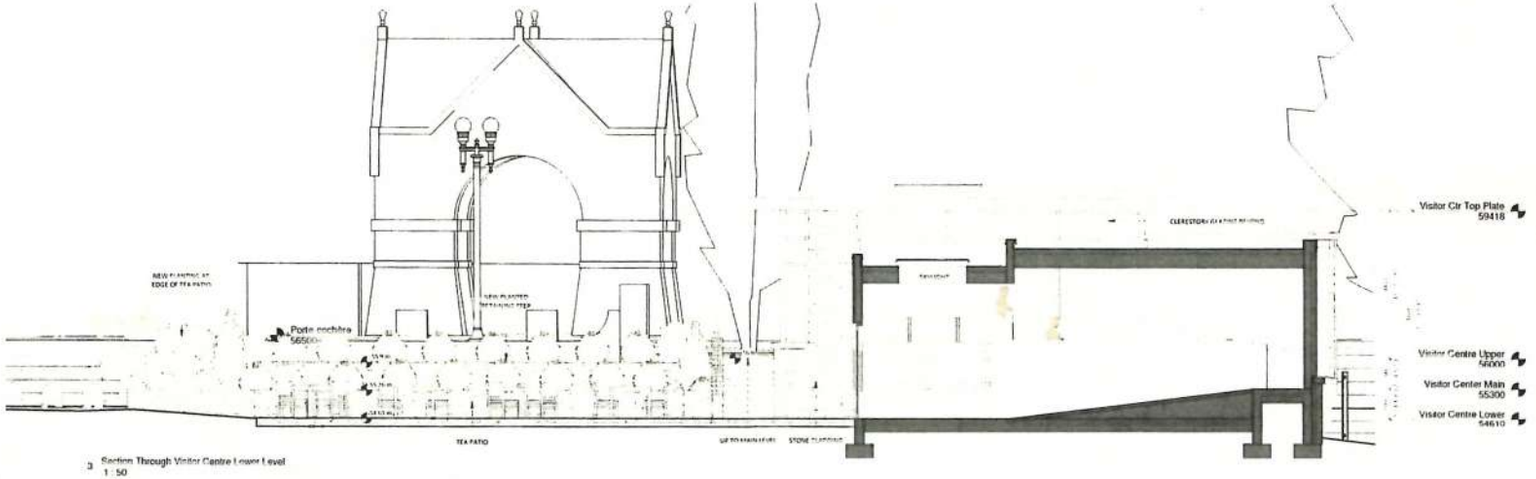
Scale 1 : 50



1 Section Through Visitor Centre Upper Level
1 : 50



2 Section Through Visitor Centre Main Level
1 : 50



3 Section Through Visitor Centre Lower Level
1 : 50

CHRISTINE
LINTOTT
ARCHITECT

Issue	Date
Rezoning & Heritage Alteration	December 12, 2014

Revision No

Description	Date
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Consultant

Craigdarroch Castle
Proposed Visitor Centre

At 1070 Joan Crescent,
Victoria, BC

Building Sections

Date	5/8/2015 10:11:58 AM
Drawn by	RSP, TJF
Checked by	CL

A4.02

Scale 1 : 50

Exterior Statement of Significance
1070 Joan Crescent
(See accompanying **Interior** Statement of Significance for this building)

The home of Thomas P. McConnell and Emily McConnell
Victoria, B.C. Canada. Built 1913.

Legal Description:
Lots 127 and 128
Section 74
Victoria Plan 985

PID – 006-903-291 (006-903-312)

City of Victoria Heritage Registry

Description of the Historic Place:
For EXTERIOR of 1070 Joan Crescent

1070 Joan Crescent is a two-and-one-half storey, Arts & Crafts / Edwardian Classical style house in the historic Rockland neighbourhood of Victoria, B.C. The house is set back from the street, in a sloping garden with lawn, plantings, and a few mature trees. A paved driveway next to the west side of the house leads to a freestanding garage with an Arts & Crafts front gable at the rear of the property.

Heritage Values

For EXTERIOR of 1070 Joan Crescent

1070 Joan Crescent is valued as an excellent example of a home built by a successful businessman in the pre-WWI period.

McConnell was a successful real estate agent who worked all over town and particularly in the Fernwood subdivision, making money in the land boom of the early 1900's. McConnell was formerly a salesman before entering real estate, living at 646 Niagara Streets in James Bay. McConnell also was a part owner of the *"Bees"* – Victoria's baseball team – and he raised prize-winning English setters.

This house is valued as representing the shift of what was desirable both in housing type, and in location, in Victoria as the city grew. 1070 Joan Crescent provided more luxurious accommodation than the McConnell's previous home in James Bay, as the grand estates of the Rockland area were being subdivided, providing building lots accessible and affordable to the upper middle class.

The house is also valued as a major historic element of the Craigdarroch neighbourhood. It was built on two lots in the former grounds of *Craigdarroch Castle* (1889). After Mrs. Dunsmuir's death in 1908, the 28-acre grounds were subdivided into 144 lots. Some were sold, others auctioned off with a chance to win the Castle. Two empty lots went through a couple of owners until purchased by Mr. McConnell early in 1913.

Thomas P. McConnell and his wife Emily built 1070 Joan Crescent in 1913. An $8,000 building permit was dated February 1913. A $100 permit for the garage was dated July 1913. Assessments in 1913/14 were $9,000. The McConnell family lived in the house until 1917, when they moved to 403 Linden Avenue. Dr. Boak, a physician, lived here from 1917 to 1947. The house was divided into suites around 1959. Later uses include a guesthouse, rest home, light housekeeping suites and apartments.

1070 Joan Crescent is important for its architectural design. It was built using features from both Edwardian Classical and Arts & Crafts architectural styles. Prominent gables in Arts & Crafts style are found on all four façades. Classical columns support an upper front porch and modillion brackets support wide encircling eaves at the top of the second story. The bell-cast, hipped roof has attic gable dormers to the south, west and north. The front porch, now glassed-in, was originally open.

The stone garden wall is valued as an original landscape feature that relates to other garden walls in the Rockland neighbourhood, reinforcing a local landscape design element. The detached garage, with its Arts & Crafts main gable, is a rare survivor, and valued as representing the increasing importance of the automobile in early Victoria.

Character Defining Elements
For EXTERIOR of 1070 Joan Crescent

• The prominent location of the house at the entrance to the Craigdarroch subdivision, and the visibility of two sides of the house and mature garden from the curved street; and the rear of the house from the publicly accessible grounds of Craigdarroch Castle
• The placement of the house in its steeply sloped garden with its existing relationship of heights of interior floor levels to the sloping exterior ground levels.
• The original detailed massing of all building facades dating to the time of construction, including porches, exterior staircase, gables; windows, and roof planes.
• All the historic exterior building materials dating to the time of construction, including the granite foundations, front stairway; porch pillars and chimney, extensive wood detailing, and wood shingle and rough-cast stucco wall coverings.
• The original and rare detached garage with Arts & crafts gable and shingle exterior.
• The original front retaining stone wall at the sidewalk, and garden stairs.

City-Wide Heritage Thematic Framework
for 1070 Joan Crescent:

Theme 1: Coastal Settlement
- 1.2 Multi-Cultural Origins
  - Chinese work/settlement
- 1.3 Pioneer Farms to First Suburbs
  - Subdivision of Great Estate
- 1.4 City of Gardens & Landscapes
  - Contribution to Gardens and Boulevards

Theme 2: Gateway Economy
- 2.2 Resource base
  - Local real estate industry
- 2.5 Historic Infrastructure
  - Transportation (original automobile garage)

Theme 5: Cultural Fabric
- 5.1 Architectural Expression
  - Edwardian Era Architectural Design

Stuart Stark
Stuart Stark & Associates
Heritage Consultant
February 2015
Website: www.HeritageConsultants.ca
Email: stuartstark@heritageconsultants.ca

CRAIGDARROCH CASTLE®

CANADA'S CASTLE

December 16, 2014

The City of Victoria
Attention: Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6

RE: 1070 Joan Crescent, Rezoning and Heritage Alteration Permit Application

In December 2012, Directors and Staff undertook a review of the Craigdarroch Castle Historical Museum Society's presentation plan that was originally developed in 2003. A room-by-room examination of the interpretative space inside Craigdarroch Castle was conducted in order to better understand its current use and how the remaining spaces should be incorporated into the visitor experience. The Society's mission is to preserve Craigdarroch Castle and bring its stories to life so the questions asked during this review were whether we could tell additional stories exclusively in the digital realm or could we continue to develop new content in the Castle while working around the existing offices and workshop? If not, then should we remove these operational activities to a Visitor Center and dedicate the Castle spaces to our mission?

As a museum with a National Historic Site designation we are constantly challenged to remain relevant to our visitors while preserving the Castle. In January 2013, with this in mind, the Board of Directors came to the conclusion that the best place for our stories to reside is inside the Castle and approved an updated presentation plan recommending removal of operational activities from the Castle. One of the driving factors behind this decision was the number one request of visitors that they be able to see what a period kitchen looked like. At this time the gift shop inhabits the rooms that were the kitchen and scullery and our lunchroom is in what was the Dunsmuir's pantry. These are important rooms that visitors have told us would add value to their experience and the Society plans to focus restoration and interpretation efforts on these as soon as we've relocated our operational activities. There are also new galleries to be developed in the rooms occupied by our Registrar, Curator and Visitor Service personnel.

In November 2013 Christine Lintott Architect was engaged to determine how the Society might develop a visitor centre on the property located at 1070 Joan Crescent. Over the last 12 months Christine and I, in consultation with staff and the Board of Directors have developed a comprehensive plan for developing this property. As we progressed with our planning we took time to have informal conversations with City of Victoria staff and the Rockland Neighbourhood Association Land Use Committee, culminating recently in hosting a formal CALUC meeting on November 5, 2014.

1050 Joan Crescent, Victoria, BC V8S 3L5 | T 250.592.5323 | F 250.592.1099 | Info@thecastle.ca | thecastle.ca

Description of Proposal

The proposal seeks to retain the existing residence and convert the use to that of a Visitor Centre for the Craigdarroch Castle Society. The residence is listed on the City of Victoria's Heritage Registry and as such the proposed conversion will be in keeping with those character defining elements defined by Heritage Consultant, Stuart Stark, in the attached Statement of Significance. A modest addition is proposed to the south and southwest corner of the residence, which will replace the various porches and external stairs that served the previous conversion of the residence to multiple suites. The proposed addition will comply with the Standards and Guidelines for the Conservation of Historic Places in Canada. The proposal will rezone the existing R1-A zoned site to a site specific zone to support the proposed uses. A concurrent Heritage Alteration Permit will also be required.

Government Policies

The proposed conversion of the 1070 Joan Crescent residence is consistent with the goals of Placemaking – Urban Design and Heritage in the City of Victoria's Official Community Plan. Specifically,

- "cultural and natural heritage resources are protected and celebrated";
- "that heritage property is conserved as resources with value for present and future generations";
- "maintain views of identified heritage landmark building from the public realm through careful consideration of new development within a 90m or 180m radius";
- "conserve and enhance the heritage value, character and special features of...individual properties";
- "continue to support new additions that conserve and enhance heritage property, as consistent with the National Standards and Guidelines for the Conservation of Historic Places in Canada".

With respect to the Neighbourhood Directions for Rockland, Section 21 of the OCP, the proposal is consistent with the strategic directions which seek to "continue to conserve the historic architectural and landscape character of the neighbourhood", and "support the maintenance of existing dwellings and large lot character through sensitive infill that preserves green space and estate features."

Project Benefits and Amenities

The proposal, as noted above, facilitates the further development of interpretive spaces within the Castle proper by hosting administrative and ancillary uses and activities that are currently housed within. The heritage restoration of key spaces within the Castle has a broader benefit to the community in celebrating this heritage landmark.

The sensitive conversion of the heritage residence at 1070 Joan Crescent to host new uses, which are publicly accessible, furthers the inventory of heritage value in the Rockland neighbourhood. The proposed uses reside within the Castle already, with the exception of the addition of a seasonal tea hut, which is intended to supplement the offerings for visitors to the site, as well as serving the immediate neighbourhood.

Need and Demand

The proposal alleviates the challenges of hosting ancillary uses and administrative space within the Castle proper. The addition ensures accessibility to interpretive installations and provides for visitor

support including storage of [illegible]s and access to washrooms. An enhanced [illegible]or experience allows for better management of visitor flow through the Castle.

In addition, the proposal provides an opportunity to offer accessible interpretive experiences within 1070 Joan Crescent, for visitors who are challenged to navigate the Castle proper. The residence will also supply much needed archival storage of historic fixtures and fittings, which are seasonally installed in the Castle.

Neighbourhood

The proposed conversion and addition is consistent with Part 2 of the Rockland Neighbourhood Plan. Specifically,

- "properties of heritage character and merit should be conserved, maintained and enhanced";
- "...man-made...landscape features such as rock outcrops, stone walls...should be retained";
- "neighbourhood views should be maintained, particularly public views towards buildings of architectural and heritage merit."
- "the architectural character of new development should complement nearby heritage sites";
- "the institutional, and semi-institutional land uses in Rockland contribute greatly to the neighbourhood's character and should be supported".

Impacts

The proposed conversion and addition complements the activities of Craigdarroch Castle and enhances the visitor experience. The intended consequence is that the flow through activities of Castle visitation will be more streamlined which should further reduce visitation impact to the surrounding neighbourhood. The conversion of this registered property solidifies its continued role in the neighbourhood as a character property, securing it from less compatible development proposals in the future.

Design and Development Permit Guidelines

The proposal will conform to the intent of the referenced applicable guidelines for DPA 15C: Intensive Residential – Rockland, generally, with respect to retention of the existing character building. It is notable that in this instance, a Heritage Alteration Permit is required and that the Statement of Significance is the foundation for considering specific form and character. The Standards and Guidelines for the Conservation of Historic Places in Canada is referenced with respect to the proposed addition.

Safety and Security

The proposal acknowledges key CPTED principles. The existing building on its site promotes natural surveillance. Walkways, fencing, lighting and signage promote movement to and from the building's entrances, creating strong connections to the street, overlook and visibility. The public realm is clearly delineated through paving treatments, connectivity, and building placement, reinforcing ownership/control thereby discouraging nuisance behavior. As a complementary use to Craigdarroch Castle, and its continued use as an attraction, the proposal will be assured of quality maintenance and upkeep, thereby discouraging negative activity.

Transportation

The proposed conversion and addition of 1070 Joan Crescent, in conjunction with Craigdarroch Castle proper, exceeds the minimum vehicle parking standards of Schedule C with the existing parking provided on the Castle grounds, a total of 24 spaces. An inventory of the uses and the attributable demand is provided below:

Parking Calculations per Schedule C

Craigdarroch Castle (Lot A) – Commercial Exhibit
4 spaces *or*
1 space/232m2 of lot area = 13 spaces

1070 Joan Crescent

Retail	1 space/37.5m2 = 2 spaces
Office	1 space/65m2 = 3 spaces
Commercial Exhibit	4 spaces *or*
	1 Space/232m2 of lot area = 5 spaces
Patio	1 space/5 seats = 6 spaces
(Assumed30 seats)	

Gross Total – minimum required 19 spaces to maximum required 29 spaces

In addition, the proposal meets the bicycle parking standards of Schedule C with provisions for both staff and visitors.

The proposal seeks to enhance the current pedestrian experience by more overtly denoting entrance for visitors to the historic precinct, providing greater accessibility and visibility.

Heritage

The existing residence, as noted above, is a registered property on the City of Victoria's Heritage Registry. The Craigdarroch Castle society is considering seeking designation of the property as part of the overall proposal for Rezoning and support of the Heritage Alteration Permit.

Summary

The proposed conversion and addition to the 1070 Joan Crescent residence represents a sensitive, complementary project within the Rockland Neighbourhood. Support of the proposal will aid in furthering the core activities of the Craigdarroch Castle society in expanding the interpretive installations within the Castle proper. The conversion itself represents an excellent opportunity to further the Society's preservation activities and to celebrate another one of the neighbourhood's assets.

Sincerely,

John Hughes, Executive Director
Craigdarroch Castle Historical Museum Society

CRAIGDARROCH CASTLE®

CANADA'S CASTLE

April 7, 2015

The City of Victoria
Attention: Mayor and Council
1 Centennial Square
Victoria, BC V8W 1P6

RE: 1070 Joan Crescent revised proposal for Rezoning and Heritage Alteration Application.

In response to the Application Review Summary dated Wednesday, January 14, 2015, we are pleased to submit our revised proposal for the above noted development. The subject of this letter is to provide an itemized update and clarification of new information on the proposal and should be reviewed in conjunction with the revised, bubbled drawings.

Specifically, the conditions to be met prior to the Planning and Land Use Committee are:

1. ***Further consideration of the voluntary designation of the heritage property.***

   Heritage designation will not be pursued at this time.

2. ***Please identify the vehicle and bicycle requirements for all proposed uses.***

   Vehicle calculations have been revised on A1.01, per Schedule C and in conjunction with comments from staff review on the Zoning Plan Check sheet.
   Bicycle requirements have been clarified on A1.01.

3. ***Please confirm whether the proposed finished floor level of the proposed Visitor's Centre Addition could be lowered sufficiently to impact the extent of ramps inside the addition – as this could enhance the relationship between the proposed addition and the hipped roof of the existing residence to the north.***

   The upper floor level of the addition has been located to provide an accessible entry and transition from the Castle porte-cochere level to the main level of the Visitor Centre. The interior ramping will serve to organize queuing large groups of guests before ticketing and Visitor Centre services.

4. ***Please provide a detailed relocation plan for the existing garage/proposed Tea House.***

   The intent is to relocate the superstructure of the existing garage in its entirety. The existing foundation is not reusable and the garage will be placed on a new concrete foundation. The slope of the wood framing is to be retained and new framing will be filled in for connection to the new foundation. Special consideration will be taken to ensure the slope is represented for interpretive purposes. Additional detail of the garage is provided on sheets A3.10 & A3.11.

5. ***Please reconsider the appearance and detail of the north face of the proposed Visitor's Centre addition, having regard to the character and appearance of the existing garage at this location.***

   Appearance of the north elevation has been considered and revised to accommodate a proposed garbage enclosure at the end of the driveway. The enclosure is to be in keeping with the proposed addition, with shingle and stone cladding and discrete wood doors. In addition, a proposed green space has been shown in the upper driveway with a path for the roll out bins to be brought to the street while loading is retained at the northern portion of the driveway. A suitable tree is to be planted and will be visible from the large openings in the west wall of the residence.

6. ***Please complete the elevation drawings, depicting the existing garage.***

   Additional details are provided on sheets A3.10 & A3.11.

7. ***Please reconsider the treatment of the lower portion of the exterior wall for the proposed relocated garage so as to be more in-keeping with its existing/historic character.***

   The stone foundation originally proposed has been deleted and shingle cladding is to extend to top of the new concrete foundation, which will have limited visibility.

8. ***Please provide the findings of the Envelope Review.***

   This work has not been engaged to date. The existing house is occupied by tenants. The intent is to retain and restore existing materials wherever possible. Replacement will only occur as a result of finding deterioration beyond repair.

9. ***Please provide a condition assessment for historic materials that are proposed to be replaced.***

   A condition assessment has been performed with participation from Heritage Consultant, Stuart Stark. Additional sheets A3.06 – A3.11 for condition assessment details are provided.

10. ***Please consider the seismic strengthening of the existing stone chimneys.***

    The chimneys with be seismically strengthened/restrained as required, the scope of which will be delineated as part of the Building Permit application process.

11. ***Please revise the Statement of Significance so that it is consistent with the Canadian Register of Historic Places Writing Statements of Significance and reflects the relevant themes set out in the Victoria Heritage Thematic Framework.***

    Revised Statement of Significance provided. Interior and exterior provided as two (2) separate documents.

12. ***The proposed class 2 bicycle parking obstructing the driveway must be relocated on the site and must include a minimum of 6 stalls. At least 50% of these stalls should be horizontal. A 2.0m driveway width is not appropriate.***

    The bicycle parking has been deleted from the driveway location and relocated next to the existing bicycle location at the porte cochere level. A new 6 stall (horizontal) rack is to be provided similar to the existing rack. Preference is to group bicycle parking to allow clear visibility of location and not restrict access to new work or impede landscaped grounds. The existing driveway is existing/non-conforming; specifically, its' functionality relies on the informal access "shared" between the site and the adjacent property to the west.

13. ***The proposed rezoning and potential increase in density for this property may contribute to an overtaxing of the sanitary sewer system.***

    An inventory of existing plumbing fixtures and proposed fixtures has been provided on A1.01, clarifying a reduction of fixtures associated with the proposal.

14. ***An arborist report will be required detailing the impacts of the proposal on the existing trees on the subject property, as well as neighbouring property (1050 Joan Crescent). The arborist report is to detail construction impacts and the proposal and the mitigation measures required to successfully retain the trees as indicated.***

    Arborist report attached for reference.

15. ***Given the unique nature of applying current codes to existing buildings of historical importance it is preferred that code compliance is achieved by involving inspections staff early in the process. It has been noted that sprinklers will be installed throughout but the exiting looks like it will be something that requires consideration. A code approach should be submitted to initiate discussion regarding code conformance.***

    The alterations and restoration to the existing building will be governed by Division A – Appendix A, Section A-1.1.1.1.(1) Application to Existing Buildings. Due consideration will be taken to ensure fire, life, and safety systems meet the intent of current Code compliance where practical, while placing sensitivity in preserving historical elements and character. Both the existing building and the proposed addition will be sprinklered, and the addition will be constructed to meet all current Code requirements.

Additional comments have been made in the Application Review, Zoning Plan Check and are noted as follows:

a) Lot Width & Setbacks: New sheet A1.05 provided and setbacks revised in the Project Information Table on A0.00.
b) Vehicle & Bicycle Parking: Revised and clarified in item 2 listed above.
c) Garage Detail: New sheet A3.10 & A3.11 provided.

Additional refinements have been made to the drawing set and are noted in the attached "Revisions to Rezoning Submission" list. This involves restoring the building to the original 1913 form and character which includes the removal of a later washroom addition on the east façade, return to original paint colours, and restoring materials such as metal roofing and leaded glass windows in locations noted.

We trust that the above responses to the Application Review Summary further support the proposal for this sensitive, neighbourhood-scaled building. We welcome the opportunity to appear before the Planning and Land Use Committee and to continue our work with staff to realize this important project.

Sincerely,

John Hughes, Executive Director
Craigdarroch Castle Historical Museum Society