



Council Report

For the Meeting of January 14, 2015

To: Council **Date:** December 18, 2015
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: **Update on Development Permit with Variances Application No. 000426 for 951 Johnson Street**

RECOMMENDATION

That Council receive this report for information and that after giving notice and allowing an opportunity for public comment, that Council consider the following motion which has been updated to remove preconditions that have been satisfied and provide specific details on the costs associated with the Encroachment Agreement:

"That Council authorize the issuance of Development Permit with Variances Application No. 000426 for 951 Johnson Street, in accordance with:

1. Plans date stamped December 2, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 3.67.5(2) - increase the building height from 30m to 50m;
 - b. Section 3.67.5(2) - increase the number of storeys from 10 storeys to 17 storeys.
3. Council authorizing staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m² of exposed shored face during construction, in a form satisfactory to staff.
4. Final plans to be generally in accordance with the plans identified above to the satisfaction of staff.
5. The Development Permit lapsing two years from the date of this resolution."

EXECUTIVE SUMMARY

The purpose of this report is to inform Council that, in accordance with Council's motion of August 27, 2015 (minutes attached), the applicant has addressed the pre-conditions that Council set in relation to the Application, which included review by the Advisory Design Panel (ADP).

BACKGROUND

Advisory Design Panel Review

The Application was referred to the Advisory Design Panel on September 23, 2015, and the applicants' detailed response to the Panel's recommendations (dated December 1, 2015) are attached to this report. The applicant has responded to ADP's recommendations as follows:

- Revisions have been made to the central courtyard by replacing the central sculpture feature with a central sculptural bench. Additional bench seating around the perimeter of the planters has also been provided. A portion of the ground floor glazing for the commercial retail unit that faces the courtyard has also been replaced with bi-fold doors that open onto this space.
- CPTED concerns associated with the residential entrances have been addressed by including an illuminated sign and additional soffit lights at the entrance on Johnson Street. The metal security gates at the residential entrances have also been replaced with glass, which provides a more positive interface with the street.
- Additional perspective renderings have been provided in the submission package. Significant efforts have been made to provide additional detail at all entrances and to improve the frontage along Vancouver Street with the extension of the commercial frontage and reducing the width of the service and access area. Additional bike racks have also been included in this location.
- The revised proposal has not increased the height of the corner massing, as requested by staff and the ADP. Instead the proposal includes additional detailing at the corner retail unit with feature wood columns and a bi-fold glazed wall that opens onto the patio space, which helps to animate the corner of the building. In addition, the glass guardrail above the podium has been brought to the building face to improve the perceived height of this corner element.
- A wind study has not been included in the revised submission package. However, as this comment from the ADP related to the interior courtyard, not the impact on the public realm, it is not deemed an essential consideration.

Access

At the meeting of August 27, 2015, Council requested additional detail on the advisability of providing access and egress from Johnson Street rather than Vancouver Street.

Staff recommend the proposed driveway access to 951 Johnson Street be installed on the Vancouver Street frontage. Although Vancouver Street has been identified as a Shared Greenway, both pedestrian and cyclist volumes on Vancouver Street are less than those on Johnson Street. As a result, a driveway crossing on Vancouver Street rather than Johnson Street will result in fewer potential conflicts with vulnerable road users. Unlike Vancouver Street, the *Downtown Core Area Plan* also lists Johnson Street as a Key Pedestrian Street and pedestrians benefit from fewer driveway crossings on Key Pedestrian Streets.

In addition to higher traffic volumes on Johnson Street, Johnson Street is listed as a frequent transit route, is identified as an arterial roadway and is included on the truck network. Vancouver Street has approximately half the traffic volume than Johnson Street and is listed as a collector roadway. The addition of a proposed driveway crossing on Vancouver Street would have a minimal impact to traffic volumes on Vancouver Street. With the exception of the *Greenways Plan*, all the plans and bylaws reviewed indicate the driveway crossing for this property should be located on the Vancouver Street frontage.

In terms of construction, additional benefits related to a Vancouver Street access over a Johnson Street access include less internal ramping as the development can take advantage of the natural grades of the site and surrounding roadways which results in a more efficient building layout.

CONCLUSIONS

The applicant has addressed the majority of the recommendations made by the ADP and these are presented in the final plans attached to this report. The accompanying applicant letter dated December 2, 2015, details the changes that have been made along with a rationale for changes that have not been incorporated into the final plans.

The recommendation provided above contains the appropriate language to advance the Development Permit with Variances Application No. 000426 to allow an opportunity for public comment.

Respectfully submitted,



Charlotte Wain
Senior Planner – Urban Design
Development Services Division



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: December 29, 2015

List of Attachments

- PLUC Report dated August 13, 2015 (previous plans replaced with revised plans)
- PLUC Minutes dated August 27, 2015
- Council Minutes dated August 27, 2015
- Advisory Design Panel Minutes
- Letter from applicant dated August 13, 2015
- Revised plans dated December 2, 2015.



Planning and Land Use Committee Report

For the Meeting of August 27, 2015

To: Planning and Land Use Committee **Date:** August 13, 2015

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variances Application No. 000426 for 951 Johnson Street

RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council refer the Application to the Advisory Design Panel, with a request that the Panel pay particular attention to the following:

- The appropriateness of the height of the street walls, with particular emphasis on the transition to the adjacent building to the west of Johnson Street.
- The height of the podium corner at the intersection of Johnson Street and Vancouver Street, with opportunities to increase the building mass in this location.
- Potential CPTED concerns associated with the primary residential entrance on Johnson Street.
- The appropriateness of the building separation distances between the proposed building and the adjacent four-storey residential building to the west.

Following this referral, and after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 000426 with Variances for 951 Johnson Street, in accordance with:

1. Plans date stamped August 4, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 3.67.5(2) - increase the building height from 30m to 50m;
 - b. Section 3.67.5(2) - increase the number of storeys from 10 storeys to 17 storeys;
3. The submission of revised plans that address comments from the Advisory Design Panel to the satisfaction of City staff.

4. Council authorizing anchor-pinning into the City Right-of-Way, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City staff.
5. Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff.
6. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the bylaw.

Pursuant to Section 920(8) of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit Application for the property located at 951 Johnson Street. The proposal is to construct a mixed-use building comprising of two towers, one at 15 storeys and one at 17 storeys, with ground-floor retail fronting Vancouver Street and Johnson Street with residential above. The variances are related to an increase in the building height and number of storeys.

The following points were considered in assessing this Application:

- The proposed building is subject to regulation under Development Permit Area 3 (HC) and is generally consistent with the applicable Design Guidelines in the *Official Community Plan* (OCP) and the *Downtown Core Area Plan* (DCAP).
- Although the proposal is largely consistent with the relevant design guidelines, it would benefit from a review by the Advisory Design Panel with specific reference to the height of the street walls on Johnson Street and Vancouver Street, the height and massing of the podium corner, the primary residential entrance on Johnson Street, and the building separation distances on the west elevation as it relates to the adjacent building.
- The proposed increase in building height and number of storeys is considered to be appropriate as the theoretical density under the R-48 Zone (Harris Green District) is not being exceeded and the proposal is consistent with the height limits of the DCAP. In addition, the location of the proposed towers would be offset from other recently approved developments within the same neighbourhood block.

BACKGROUND

Description of Proposal

The proposal is to construct a mixed-use building comprised of two towers, one at 15 storeys and one at 17 storeys, with ground-floor retail fronting Vancouver Street and Johnson Street with residential above. The building has a floor space ratio (FSR) of 6.05:1, although the

current zone does not prescribe a maximum density. Specific details include:

- a total of 807m² for two commercial-retail units on the ground floor
- three residential units at grade, located behind the commercial retail unit on Johnson Street
- 209 residential units above the commercial retail units
- four levels of underground parking accessed off Vancouver Street
- a total of 214 bike storage lockers (210 residential and 4 commercial) comprised of:
 - 169 bicycle storage lockers located at Level 1 of the underground parkade
 - 7 bicycle storage lockers located at Level 2 of the underground parkade
 - 38 stalls for commuter bikes located on the ground floor, with provision of a work bench for bike maintenance
- a total of 12 publicly accessible bike racks located at the residential entrance on Johnson Street
- a total of 18 storage lockers located in the underground parkade
- streetscape improvements to the frontages adjacent to the property on Johnson Street and Vancouver Street consistent with the Harris Green standards and the proposed new separated cycling facilities
- replacement of the five street trees on Johnson Street and two street trees on Vancouver Street to meet City standards
- an interior courtyard consisting of hard and soft landscaping and raised yoga deck, as noted on the landscape plan
- exterior building materials consisting of:
 - a mixture of brick cladding, metal fascia and wood soffits for the podium level
 - aluminium windows with white and grey metal spandrel panels, accent colour panels in dark blue and fritted spandrel panels
 - glass guardrails
 - custom designed security gate for the main residential entrance on Johnson Street.

The proposed variances are related to:

- an increase in the building height from 30m to 50m
- an increase in the number of storeys from 10 to 17.

Sustainability Features

As indicated in the applicant's letter dated June 23, 2015, the following sustainability features are associated with this Application:

- building constructed using LEED standards as a guideline (certification will not be achieved)
- high-quality finishes for long-term durability and building lifecycle
- meeting or exceeding the EngerGuide80 rating or equivalent
- low flow plumbing fixtures

Active Transportation Impacts

The Application supports active transportation by the inclusion of bicycle storage facilities in the parkade and a bicycle commuter room with work bench at grade.

Public Realm Improvements

The Vancouver Street corridor has been identified as an All Ages and Ability (AAA) bike route which will require physically separated cycling facilities. Council has approved AAA projects on these corridors as a priority project to be completed within the next few years. Development of detailed concept plans is underway. Detailed drawings for Building Permit submission will need to reflect this future alignment and new facility. The applicant is financially responsible for frontage works adjacent the property and has indicated their commitment to working with the City to achieve these upgrades. The attached plans demonstrate sidewalk upgrades along Johnson and Vancouver Streets consistent with the Harris Green Standards.

Existing Site Development and Development Potential

The site is presently occupied by a surface parking lot currently used for the McCall Funeral Directors at 1400 Vancouver Street. There are no legal agreements requiring parking to be maintained on the subject property for the use of 1400 Vancouver Street, although it is subject to the parking regulations under Schedule C of the *Zoning Regulation Bylaw*. Any redevelopment of the subject property would result in 1400 Vancouver Street being non-compliant with parking provisions. The lease is due to expire in September 2016 and it is anticipated that the current tenant at 1400 Vancouver Street will vacate the building prior to the commencement of development on the subject property, should it be approved.

Under the current R-48 Zone (Harris Green District), the property could be developed at a height of 10 storeys to accommodate a range of uses, including but not limited to retail, office, restaurant, theatres or daycares. The current zone does not prescribe a maximum density.

Data Table

The following data table compares the proposal with the existing R-48 Zone. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria	Proposal	Zone Standard R-48
Site area (m ²) - minimum	2761.00	n/a
Total floor area (m ²) - maximum	16,700.00	n/a
Height (m) - maximum	50*	30
Storeys - maximum	17*	10
Setbacks (m) - minimum		
Front (Vancouver Street)	0.50	0.50
Rear (west)	3.00	n/a
Side (north – Johnson Street)	0.00	n/a
Side (south)	0.00	n/a
Parking - minimum	202	n/a
Bicycle storage (Class 1) - minimum	214	213
Bicycle rack (Class 2) - minimum	12	9

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on June 24, 2015, the Application was referred for a 30-day comment period to the Downtown Residents Association CALUC. A letter dated July 25, 2015, is attached to this report.

A Development Permit Application does not require a meeting with the CALUC. However, the applicant exceeded consultation requirements and volunteered to arrange a CALUC meeting, which was held on March 18, 2015. The comments from the meeting are attached to this report in a letter from the CALUC dated July 25, 2015.

This Application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan 2012* (OCP) Urban Place Designation for the subject property is Core Residential, which supports multi-unit residential, commercial and mixed-use buildings from three storeys up to approximately 20 storeys. The OCP also identifies this property in Development Permit Area 3 (HC) Core Mixed-Use Residential. The objectives of this DPA are to transform the form and character of the area through mid-to-high-rise residential mixed use and commercial buildings, with the greatest heights along Yates Street. Ensuring high quality architecture, landscape and urban design is also an important objective of this DPA. The proposed development at 951 Johnson Street is consistent with DPA 3 (HC) objectives for redevelopment and overall high-quality design.

Downtown Core Area Plan

With respect to local area plans, the *Downtown Core Area Plan, 2011* (DCAP) applies to the subject site. Within the DCAP, the Residential Mixed District (RMD) includes the 900-block of Johnson Street, noted as a transitional zone from high-to-medium density, in the "Cross Town Concept" and where height transitions from high-rise to mid-rise buildings in the "Urban Amphitheatre Concept" with the concentration of tall buildings along Yates Street, east of Douglas Street. Although Yates Street is identified as the preferred location for taller buildings, the maximum height identified for Johnson Street is 50m, which is consistent with the maximum height for Yates Street within this neighbourhood block.

Multi-unit residential development is encouraged in the RMD with higher density focussed along Yates Street. The RMD encourages multi-residential development appropriate to the context, respecting the allowable building heights in the neighbourhood. Active commercial street-level uses are encouraged to help increase pedestrian activity. The current proposal is generally consistent with these objectives as it contributes new street-level commercial space in the RMD, which is further supported by residential uses above. Although a height variance is proposed from the current zone, the proposed 50m maximum building height is consistent with the building height limits within the guidelines.

The DCAP provides both broad urban design objectives for the Downtown Core and more detailed design guidelines for specific districts. The DCAP also includes policies related to the

design of buildings. Overall, the proposal is consistent with these policies, however, some inconsistencies with the design policies are discussed below.

Building Setbacks and Street Walls

DCAP contains policies for street wall heights and setbacks that are appropriate for the context of each street. The intent of these guidelines is to:

- minimize the effects of shading and wind
- maintain views to the open sky
- avoid the visual presence of bulky upper building mass.

Vancouver Street fits the category "wide street" in the DCAP, where the front setback should be less than 3m in order to create a sense of animation. The proposed site plan for the residential mixed-use development is consistent with this guideline, although minor deviations exist for other aspects of the building design.

The primary street wall on Vancouver Street ranges from 7.35m to 10.5m in height, which is slightly shorter than the recommended 15m to 20m range. The applicant has indicated in the supporting letter that the intention of this design response is to respond to the geometries and heights of adjacent buildings. In addition, the secondary street wall for the building is 43.5m, which is 15m taller than recommended in the guidelines. The design response to mitigating the taller secondary street wall is providing articulation at the roof of the building with complementary white metal panels within a cantilevered roof at Level 15 and Level 17 of the towers.

Similar deviations from the guidelines exist for the frontage along Johnson Street. There are modulations in the height of the primary street wall but, at its shortest location on the corner of the building (at the Johnson Street and Vancouver Street intersection), the street wall is only 8.1m high which is approximately 2m shorter than the recommended range of 10 to 15m. Given the prominent location of the building on a corner site, staff have expressed concern with the height of the glass podium on the corner of the building and note that a taller podium would help to balance out the overall mass of the 17-storey tower. In addition, the street wall to the west of Johnson Street is proposed at five storeys (16.3m). The applicant responded to staff comments by reducing the street wall by one storey, which helps to provide a more sensitive transition from the adjacent building.

For the reasons noted above, staff suggest the Application would benefit from a review by the Advisory Design Panel (ADP) on street walls, building separation and articulation of the upper storeys through exterior finishes and materials.

Building Separation

DCAP prescribes building separation guidelines based on the principle of increasing building separation in relation to increased building height. The intent of this is to enhance privacy and open up views in between buildings. The proposal is consistent with the tall building guidelines by offsetting the proposed two towers from the recently approved 18-storey building at 960-962 Yates Street, directly to the rear of the subject property. In addition, the proposal is generally consistent with the residential building separation guidelines, which provide minimum distances from property lines and between tall buildings located on the same parcel. The only aspect where the Application does not comply with the guidelines is on the west elevation, where five balconies from Levels 11 to 15 have a setback of 4.75m, instead of the recommended 5.5m

from the side property line (a projection of 0.75m). As these balconies are on the upper floors, the direct privacy impact on the adjacent building is considered to be minimal. In addition, at the request of staff, the applicant has revised the design to enhance the landscaping along this property line with the provision of a yew hedge which will enhance privacy for the residents on the lower floors of the adjacent building. Staff recommend that the ADP review this aspect of the design for any further refinement opportunities.

Additional clearances for windows are encouraged where feasible to enhance liveability for residential uses. The proposal is consistent with the guidelines for minimum separation distances between the two towers on the subject property. This distance ranges from 10m (at Level 10) to 14m (Levels 11 to 15) between balconies, which is in excess of the minimum requirements in the guidelines.

Building Design

Overall, the proposed form and massing is organized to demarcate the building base, body and top. Commercial units provide multiple entrances off the street with canopies giving weather protection for pedestrians. Staff have raised concerns regarding the recessed residential entrance on Johnson Street which could become a Crime Prevention Through Environmental Design (CPTED) challenge. The applicant has responded to this by stating that the area will be well lit and finished with high-quality materials, although no lighting strategy has been provided at this date. Staff recommend that the Application be forwarded to the Advisory Design Panel for consideration of this issue.

Building and Street Interface

In the DCAP Appendix 5 "Building and Street Interface Guidelines", this block of Johnson Street is identified as an "Avenue". In these locations, public realm improvements should be designed to relate to adjacent residential uses and the street's transportation function through the provision of comfortable, safe and animated pedestrian environments. The proposal includes commercial uses at grade and this would contribute to street animation through multiple entrances, extensive glazing and awnings for weather protection for pedestrians. Also, seven replacement street trees are proposed along with sidewalk improvements consistent with the Harris Green standards for both the Johnson Street and Vancouver Street frontages.

Advisory Design Guidelines for Buildings Signs and Awnings (1981)

These Guidelines state that an acceptable application will include consideration of an attractive streetscape and that the architecture and landscaping of the immediate area be identified and acknowledged. In evaluating a design, particular emphasis will be placed on the solution to these general aspects: comprehensive design approach, relevancy of expression, context, pedestrian access, massing, scale, roofline, detailing, street relationship, vistas, landscaping plan, colours and textures. The Application is consistent with these Guidelines.

Guidelines for Fences, Gates and Shutters (2010)

The objective of these Guidelines is to ensure that where fences, gates and shutters are required, they are designed well and complement their surroundings. The Application is consistent with these Guidelines and proposes to introduce high-quality custom security fencing, details of which are included in the Application package.

Proposed Variances

Three variances to the *Zoning Regulation Bylaw* are being proposed as part of this Application.

Height and Number of Storeys

An increase in the height from 30m to 50m and an increase in the number of storeys from 10 to 17 is being requested. The R-48 Zone does not prescribe a maximum density through a FSR calculation. In the case of a height variance in this Zone, standard practice is to determine the "theoretical" FSR based on the height and setback regulations as they relate to the subject property. This determines the building envelope that can be achieved. The theoretical density for the subject property is 7.4:1 FSR and the proposal is for a building within this limit at 6.05:1 FSR.

As the building complies with the recommended height guidelines in the DCAP and appropriate measures have been taken to offset the towers from adjacent buildings, staff recommend for Council's consideration that the height variance is supported.

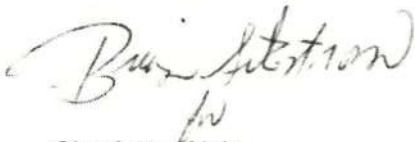
CONCLUSIONS

The proposed high-rise mixed-use development at 951 Johnson Street would support the planning objectives for the Downtown found in the OCP and the DCAP. The proposal is generally consistent with the design guidelines contained within the DCAP and includes high-quality building materials and landscape finishes. The proposed height and number of storeys variance is recommended for consideration given the consistency with guidelines and the design measures taken to integrate the buildings into the surrounding context. The front yard setback variance is recommended for consideration due to the relatively minor nature of the variance and the provision for additional measures to help animate the street frontage (outdoor patio). However, the Application would benefit from a review by the ADP in relation to the street walls and podium height at the corner of the building, potential CPTED concerns for the residential entrance and opportunities to refine the design on the west elevation as they relate to the building separation guidelines.

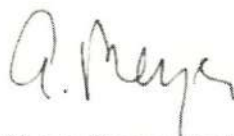
ALTERNATE MOTION

That Council decline DP Application No. 000426 for the property located at 951 Johnson Street.

Respectfully submitted,



Charlotte Wain
Senior Planner – Urban Design
Development Services Division

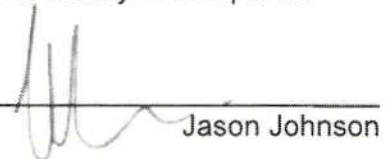


Alison Meyer, Assistant
Director, Development
Services Division



Jonathan Tinney, Director
Sustainable Planning and
Community Development

Report accepted and recommended by the City Manager:


Jason Johnson

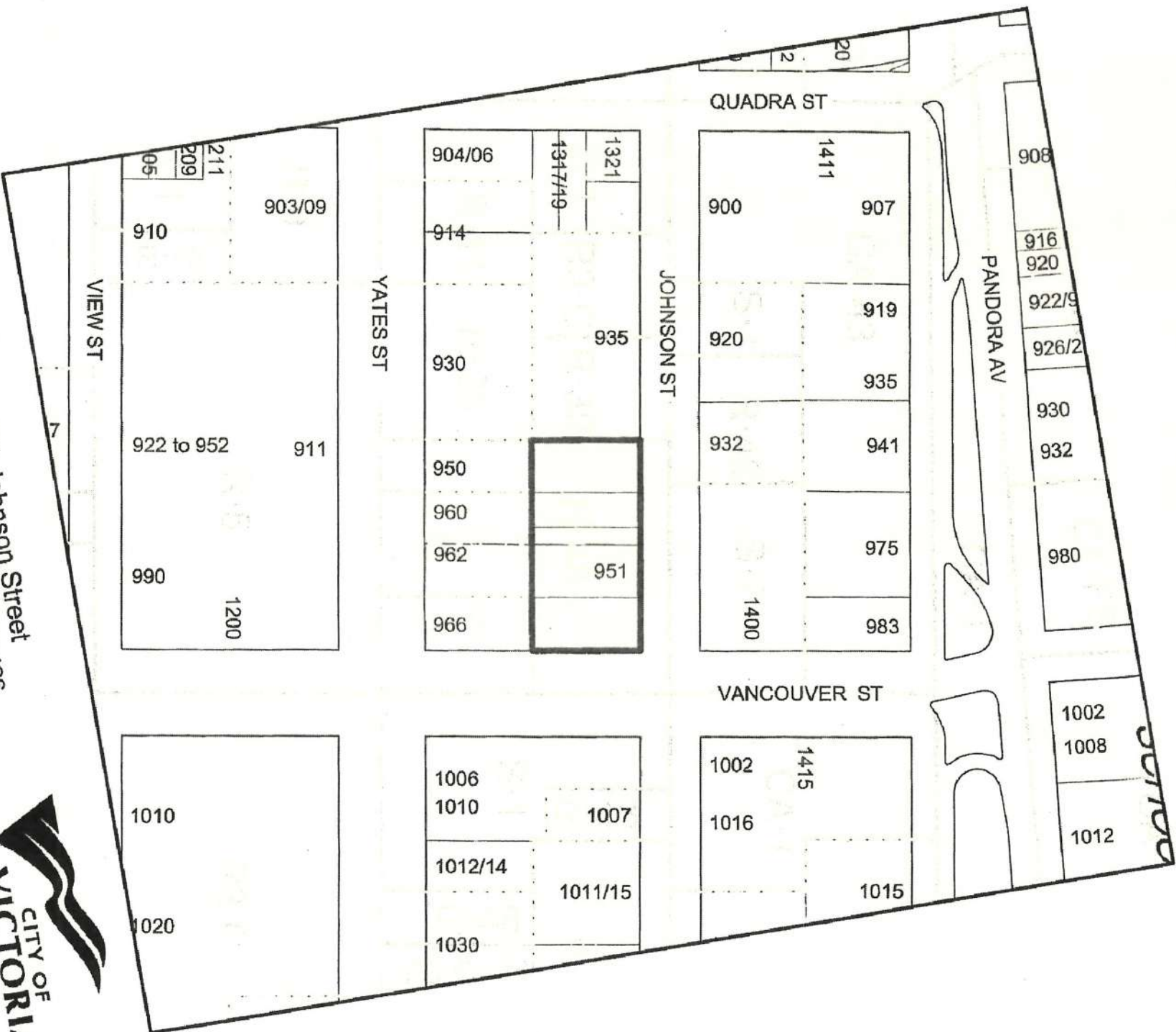
Date: August 21, 2015

List of Attachments

- Zoning map
- Aerial photo
- Letter from applicant, dated July 30, 2015
- Letter from Downtown Residents Association, dated July 25, 2015
- Plans for Development Permit Application with Variances No. 000426 dated 4 August 2015.



951 Johnson Street
Development Permit #000426





951 Johnson Street
Development Permit #000426



City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6



July 30th, 2015

Attention: **Mayor Helps and Councillors**

Re: **951 Johnson Street**

Dear Mr. Mayor and Councillors,

We are excited about the opportunity to continue to contribute to the growth of Victoria's Downtown Core, and are pleased to present this development at the corner of Johnson Street and Vancouver Street. As with every development site, we see both opportunities and challenges on this site, and are proudly offering a unique development, which will enhance Victoria's Downtown Core.

The redevelopment of the McCall's Funeral Home parking lot is a significant opportunity to help establish a vibrant community in Harris Green neighbourhood. Although the property has provided an important service for the past forty years as a parking lot for the funeral home service, the site has remained undeveloped for many decades. The neighbourhood has seen significant change over the past few years, and we've looked closely at how to contribute in a positive way to this growth.

The property is approximately 28,800 square feet, and zoned R-48, which has simple setback and height guidelines without limiting floor space ratio. Also, R-48 is the only zone that is specifically mentioned in the Downtown Core Area Plan where the allowable density will be unaffected. Since this zone is not based on floor space ratio, the only way to calculate the allowable density under this zoning is to determine and understand the maximum building envelope based on the setbacks and height. We established the allowable density with a massing model. This totaled over 212,000 square feet of buildable with a 7.4 FSR. (See attached.) However, after looking closely at both existing buildings and proposed developments in the area, it was more fitting that we applied the Downtown Core Area Plan design and height guidelines. We started manipulating the density and form of the building and established a new square footage number that was less than the ten-story scheme. This totaled over 195,000 square of building with an FSR of 6.78. (See attached.) Under this scheme, however, we seek a height variance that is within the allowable height guidelines of the Downtown Core Area Plan. This is also beneficial, as it helps maximizes separation distances, and is much more complimentary to the neighbourhood than what is permitted under the R-48 zone. This massing model became our new base which we then continued to sculpt and design the building to its current proposed gross floor area of 179,437 square feet, which reflects 85% of the density attainable under the current zoning and an FSR of just over 6.

Massing & Composition

The adjacent properties are a mixture of low-rise commercial as well as mid to high-rise residential. Particular care was taken to fit this development into the neighbouring context. In particular, it was important to maintain views from the recently approved 18-storey tower on the adjacent site fronting Yates street. The mass is primarily arranged in two towers, 15 and 17-storeys, located to permit views through the site from the adjacent tower. The towers have been sculpted and angled to maximize views through the site and from within the suites.

A key element of the DCAP design guidelines is the incorporation of a continuous street wall. This is a departure from how Harris Green traditionally developed with towers surrounded by green space. The lower floors have been carefully articulated and composed to respond to geometries and heights of adjacent buildings, which sets-up the two required street walls. The overall composition steps up from the corner, which will be a clean and bold glass volume for high retail exposure and a feature metal canopy. Along Johnson, the mass steps to 4 and 6 stories, and down to 5 stories adjacent to the neighbouring residential.

Considerable articulation is proposed within the building façade. The palette of building materials includes masonry at the base with both white, gray and midnight blue metal panels incorporated into the glazing system. A feature element is the incorporation of glass frit within the towers and some balcony dividers. Balconies have been playfully arranged along some of the facades. A playful approach to the overall composition gives a sense of vibrancy and vitality to the development and neighbourhood.

Building Details

The proposed development is approximately 180,000 square feet, which is 85% of the maximum allowable density and will consist of 209 strata titled units including 3 home occupation units on the ground floor and approximately 8700 square feet of commercial space. The building will have 219 parking stalls. Storage lockers will be provided for every unit and bike parking for every unit will also be provided.

The entry lobbies of the two residential towers are located off a shared south-facing courtyard. This entry is marked with feature entry gate, warmly lit wood soffit, and illuminated signage on a prominent brick pier. The gated entrance will be well lit in the evening and glazing will help activate the commercial units during the day. The shared courtyard is a major amenity to the residents and an opportunity for community building. Locating the elevator lobbies off this shared courtyard provides immediate access to all residents and promotes social interaction, a key element to developing 'happy' and livable cities. The two angled street wall components on Johnson gesture towards the main entrance, which is reinforced by paving patterns in the sidewalk along Johnson Street.

The commercial space will have 15-foot ceilings with storefronts activating both Johnson and Vancouver. The main commercial space will be prominent on the corner of Johnson and Vancouver and will feature double height glass and give any tenant an opportunity to have major exposure on a major corner. The second space will be featured under the West tower and will have a large outdoor amenity space. The exterior façade of the ground floor will have a robust masonry and glass finish.

Green Features

The Canada Green Building Council LEED rating system will guide the development of sustainable features within the building. To date, the design team has focused on incorporating features which provide long life cycle benefits for durability and efficiency, including a high performance envelope, finishes with 50+ year durability. We will be meeting or exceeding the EnerGuide 80 rating, or equivalent. In addition to all washers, dryers and dishwashers being EnerGuide rated, we will also incorporate low flow toilets and showerheads. We believe most residents will be able to walk to work or amenities due to the central downtown location. The building site is close to several bus routes and has been designed to encourage the use of bicycles. To promote cycling we have made it easy for bikers with the provision of a separate bike ramp directly off the street into the secure underground bike garage. A number of bike stalls will be provided in a secure enclosure at grade along with a bike repair workshop.

CEPTED

There are several locations where the development is accessible to the community during the day. The commercial base will enliven the sidewalk and encourage interaction within the community. Placement of the residential lobbies off the courtyard will provide 'eyes on the street' and a sense of ownership of this area, which reduces risk of crime. Elimination of blind spots and careful placement of lighting also helps in reducing unwanted activity.

Community Dialogue & Livability Design

A neighbourhood meeting was held in March of 2015. The overall reception of the development was positive and the residents, including the downtown residents association were in general support. Most residents felt the tall, narrow and well-articulated towers were a favourable solution, which kept buildings, separated and retained existing views.

The 'building separation' guidelines in the Downtown Core Area Plan was a starting point to establish separation distances between the two new towers as well as between existing buildings. The design goes above and beyond the minimum separation requirements in an effort to retain existing views as well as maximize views of the new units in this project. The distance between the two towers is 150% wider than the separation guidelines. In addition, the living areas are oriented away from the adjacent tower, with only bedrooms located facing each other. The two towers are positioned to permit views between from the proposed adjacent development at 960 Yates. This separation is further enhanced by flaring the walls toward the south for an even greater opening.

The building is setback 6.75m and 8.3m at the south property, which is greater than the 3m and 6m minimum, and steps back to 21m where the buildings are directly opposite each other.

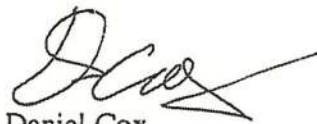
Similarly, along the West property line we are setback 4.6m from the adjacent four-storey building [160% improvement over the 3.0m min]. Also, along this side of the building for the first 4 floors, most suites are oriented North or South, away from the adjacent building to the west. Bedroom windows from buildings may face each other but living areas do not. Additional landscape has also been introduced on the West property line to improve privacy.

The existing 'Manhattan' building at 930 Yates was also considered in the development of the form and massing. At our two closest points of buildings, we are separated by more than 21 meters.

Summary

Much dialogue with the neighbours and city staff is reflected in the design of this proposed development. Our design response ensures that views of neighbouring buildings are affected as little as possible, which is achieved by reducing overall mass and density but increasing height and setbacks. We believe the design closely reflects the Downtown Core Area Plan and is a positive step for the future development of the Harris Green neighbourhood.

Sincerely,

A handwritten signature in black ink, appearing to read 'Daniel Cox', with a stylized flourish extending from the end.

Daniel Cox



Received
City of Victoria

JUL 27 2015

Planning & Development Department
Development Services Division

1715 Government Street
Victoria, BC
V8W 1Z4
250.386.5503

Mayor and Council
City of Victoria
No.1 Centennial Square
Victoria, BC
V8W 1P6

July 25, 2015

Re: CALUC Meeting-951 Johnson Street

Dear Mayor Helps and Council,

The DRA LUC has reviewed the drawings and hosted a CALUC meeting on March 18th, 2015 for the above-mentioned application. The applicant proposed the meeting, as it was not a requirement of the CALUC process. The applicant should be commended for undertaking this higher level of public consultation. Twenty-nine people registered their attendance at the door.

Based on the information presented by the applicant, the purpose of the rezoning is to create two residential towers over a single four-storey podium, with ground floor commercial space fronting Johnson and Vancouver Streets. There will be 205 condominiums with the parking entry off Vancouver Street. The two buildings would share an underground parking structure. Units would range in size from <500 sq ft up to 1800 sq ft with the standard sizes of 600-800 sq ft.

The applicant outlined how they had responded to early DRA LUC concerns regarding the viability of marginal, interior ground floor commercial spaces and had adapted the design to convert those spaces to work/live units.

Comments and concerns raised at the CALUC meeting by the public are as follows;


- A range of comments were heard regarding the street wall configuration for the podium levels and the setbacks for the building at the sidewalk. There were both concerns and complements from various attendees as to the City policy of no setback from the street.
- Concerns were voiced regarding shadowing. The applicant provided shadow studies indicating the impacted areas to the north. It was pointed out that the applicant also owned much of the impacted property to the north.
- Attendees suggested that visitor parking would be beneficial but would need to be controlled and monitored.

- Attendees also expressed concerns that not enough parking was proposed. Other attendees pointed out that many downtown residents don't have cars.
- Concerns were voiced regarding that the eventual use proposed for the ground floor commercial space be compatible with the residential use above. For example, no late night pubs or restaurants.
- Several attendees commented that the proposed cladding materials were of a high quality and the articulation of the buildings provided visual interest

No attendees of the CALUC meeting voiced opposition to the proposal.

The DRA generally supports this proposal as it appears to be of very high quality, conforms to the OCP and will bring vitality to the Harris Green precinct.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ian Sutherland', with a stylized flourish at the end.

Ian Sutherland
Chair Land Use Committee
Downtown Residents Association

cc Planning and Development Department

6. DEVELOPMENT APPLICATION REPORTS

6.6 Development Permit with Variances Application No. 000426 for 951 Johnson Street

Committee received a report dated August 13, 2015 from Sustainable Planning & Community Development regarding a development application for 951 Johnson Street to authorize a design of a mixed-use building comprising two towers and a total of 209 residential units.

- Action:** It was moved by Councillor Lucas, seconded by Councillor Thornton-Joe, that Committee recommends that Council refer the Application to the Advisory Design Panel, with a request that the Panel pay particular attention to the following:
- The appropriateness of the height of the street walls, with particular emphasis on the transition to the adjacent building to the west of Johnson Street.
 - The height of the podium corner at the intersection of Johnson Street and Vancouver Street, with opportunities to increase the building mass in this location.
 - Potential CPTED concerns associated with the primary residential entrance on Johnson Street.
 - The appropriateness of the building separation distances between the proposed building and the adjacent four-storey residential building to the west.

Following this referral and after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 000426 with Variances for 951 Johnson Street, in accordance with:

1. Plans date stamped August 4, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 3.67.5(2) - increase the building height from 30m to 50m;
 - b. Section 3.67.5(2) - increase the number of storeys from 10 storeys to 17 storeys;
3. The submission of revised plans that address comments from the Advisory Design Panel to the satisfaction of City staff.
4. Council authorizing anchor-pinning into the City Right-of-Way, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City staff.
5. Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff.
6. The Development Permit lapsing two years from the date of this resolution."

Committee discussed the motion:

- Concentration of similar buildings being developed downtown.
- Having stronger variations in height between buildings downtown.
- The Downtown Residents Association expressed that the proposal would be a positive attribute and addition to the downtown and had few concerns.

CARRIED UNANIMOUSLY 15/PLUC/196

PLUC meeting
August 27, 2015

REPORTS OF THE COMMITTEES

2. Planning and Land Use Committee – August 27, 2015

10. Development Permit with Variances Application No. 000426 for 951 Johnson Street

It was moved by Councillor Lucas, seconded by Councillor Alto,

1. That Council refer the Application to the Advisory Design Panel, with a request that the Panel pay particular attention to the following:
 - The appropriateness of the height of the street walls, with particular emphasis on the transition to the adjacent building to the west of Johnson Street.
 - The height of the podium corner at the intersection of Johnson Street and Vancouver Street, with opportunities to increase the building mass in this location.
 - Potential CPTED concerns associated with the primary residential entrance on Johnson Street.
 - The appropriateness of the building separation distances between the proposed building and the adjacent four-storey residential building to the west.
2. Following this referral and after giving notice and allowing an opportunity for public comment, that Council consider the following motion:
"That Council authorize the issuance of Development Permit Application No. 000426 with Variances for 951 Johnson Street, in accordance with:
 1. *Plans date stamped August 4, 2015.*
 2. *Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:*
 - a. *Section 3.67.5(2) - increase the building height from 30m to 50m;*
 - b. *Section 3.67.5(2) - increase the number of storeys from 10 storeys to 17 storeys;*
 3. *The submission of revised plans that address comments from the Advisory Design Panel to the satisfaction of City staff.*
 4. *Council authorizing anchor-pinning into the City Right-of-Way, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City staff.*
 5. *Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff.*
 6. *The Development Permit lapsing two years from the date of this resolution."*

Councillor Isitt asked why the access and egress is designated for Vancouver Street rather than Johnson Street.

Brad Dellebuur (Acting Assistant Director, Transportation & Parking Services): He believes it is because it is a lower classified street but he will review the file.

Amendment:

It was moved by Councillor Isitt, seconded by Councillor Loveday, that the Part 2 of motion be amended as follows:

That Council consider the following motion:

2. Following this referral and after giving notice and allowing an opportunity for public comment, that Council consider the following motion:
"That Council authorize the issuance of Development Permit Application No. 000426 with Variances for 951 Johnson Street, in accordance with:
 1. *Plans date stamped August 4, 2015.*
 2. ***That staff report back on the advisability of providing access and egress from Johnson Street, rather than Vancouver Street, to avoid contributing to increased motor-vehicle traffic volumes on the Vancouver Street greenway.***
 3. *Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:*
 - a. *Section 3.67.5(2) - increase the building height from 30m to 50m;*

- b. *Section 3.67.5(2) - increase the number of storeys from 10 storeys to 17 storeys;*
4. *The submission of revised plans that address comments from the Advisory Design Panel to the satisfaction of City staff.*
5. *Council authorizing anchor-pinning into the City Right-of-Way, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City staff.*
6. *Final plans to be generally in accordance with the plans identified above to the satisfaction of City staff.*
7. *The Development Permit lapsing two years from the date of this resolution."*

On the amendment:

Carried Unanimously

On the main motion as amended:

Carried Unanimously

Council minute
August 27, 2015

3.1 Development Permit No. 000426 for 951 Johnson Street

The proposal is to construct a mixed-use building with 210 residential units.

Applicant Meeting attendees: Mr. Jim Aalders, HDR/CEI Architecture
Mr. Curtis Knichel, HDR/CEI Architecture
Ms. Bev Windjack, LADR Landscape Architects Inc.
Mr. Dan Cox, 989 Johnson Properties Ltd.
Mr. Steve Cox, 989 Johnson Properties Ltd.

Mr. Windjack recused himself from the meeting at 12:08 p.m. due to a pecuniary conflict of interest as his wife is the landscape architect for the proposal.

Ms. Wain provided the Panel with a brief introduction of the Application and the areas that Council is seeking advice on, including the following:

- The appropriateness of the height of the street walls, with particular emphasis on the transition to the adjacent building to the west of Johnson Street.
- The height of the podium corner at the intersection of Johnson Street and Vancouver Street, with opportunities to increase the building mass in this location.
- Potential CPTED concerns associated with the primary residential entrance on Johnson Street.
- The appropriateness of the building separation distances between the proposed building and the adjacent four-storey residential building to the west.

Mr. Aalders then provided the Panel with a brief presentation on the site and context of the proposal.

Mr. Knichel provided the Panel with detailed presentation of the proposal.

Ms. Windjack then provided the Panel with a detailed presentation of the landscape proposal.

Panel Members discussed:

- The proposal seems like an asset to this part of the City.
- No objections in regards to the building separation.
- The proposal is well composed and well thought out; although further refinements could improve some aspects of the proposal.
 - Further consideration of the design of the residential entryway.
 - Support for the glazing proposed along the street frontage; however adding materials such as the fritted panels or varying the alignment of the glazing may add some visual excitement.
 - The break in massing is desirable; however, the siting of these massing changes could be reconsidered.
 - Desire for the podium corners of the building to be heightened while decreasing the height of the middle portion above the residential entrance, to further break up the massing and provide natural light above the entrance.
 - Preference for the street wall to be of human scale.
- Consideration of the feel of the building from inside the parking area for the residents arriving home by car.

- Preference for the replacement of the street trees to be greater than a ratio of one to one.
- Further incorporation of Green Strategies would have been desirable.
- Encouragement of a wind study to determine the potential effect on the plaza.
- Support for the variety of materials proposed on the street wall.
- Lack of natural light entering the courtyard and the atrium as the large buildings will block this. Although the courtyard will make for a great evening space.
- Preference for the courtyard to be accessible at certain hours, to the commercial retailers and the public to help liven up the space.
- Building security could be managed by the gate to limit public access to the courtyard between certain hours.
- CPTED concerns for the front entryway and sheltered vehicular access with the recessed gate. More attention should be given to this.
- Incorporating a metal arm rest in the middle of the bench, located in front of the building, to discourage people from sleeping there.
- Some members had concerns of dividing the large retail space to accommodate additional retailers and what the visual impacts would be from the street.
- Some members felt the large corner retail unit was a great opportunity for a business.

Action:

MOVED / SECONDED

It was moved by Mr. Lam, seconded by Mr. Forth, that the Advisory Design Panel recommend to Council that Development Permit Application No. 000426 for 951 Johnson Street be approved with changes recommended as follows:

- Reconsideration of the podium massing at the corner.
- Consideration of ways to enhance the activity in the courtyard.
- Consideration of CPTED issues with the front entrance and the parking entrance
- Provision of more detail on all of the entrances.

Panel Members discussed the motion:

- The building's asset to the street.
- Minor tweaks would improve the project.
- Strong reconsideration of the courtyard space as it is an important public face of the building.
- Commendable design especially considering the geographic and site challenges.
- Prompts an important discussion, on a larger scale, of the design consideration of how to move pedestrians from the public realm to a private realm. Also prompts discussion on consideration of design details for entering residences from below grade and how these spaces can be designed more welcoming and complimentary to the building.
- Support for the aesthetic, the detail, and the overall conception and form of the project; however, the ground floor, corner massing, retail and residential entry are not as optimum as they could be.
- Consideration of a wind study as it is important that a public space is liveable.
- Recognition that the application would not return to ADP for further review and the importance of addressing the Panel's comments to ensure full support of the proposal.

Amendment:

MOVED / SECONDED

It was moved by Mr. Cosgrave, seconded by Mr. Forth, that the motion be amended as follows:

That the Advisory Design Panel recommend to Council that Development Permit Application No. 000426 for 951 Johnson Street be approved with changes recommended as follows:

- Reconsideration of the podium massing at the corner.
- Consideration of ways to enhance the activity in the courtyard.
- Consideration of CPTED issues with the front entrance and the parking entrance.
- Provision of more detail on all of the entrances.
- **Consideration of a wind study for the liveability of the plaza.**

On the main motion:
CARRIED UNANIMOUSLY

On the main motion as amended:
CARRIED UNANIMOUSLY

1 December 2015

Charlotte Wain, MCIP, RPP, MRTPI
Senior Planner - Urban Design Development Services Division
City of Victoria
1 Centennial Square
Victoria BC V8W 1P6



Re: 989 Johnson Street • Development Permit Application Resubmittal

This correspondence is in support of the resubmission of the Development Permit Application for the Residential Mixed-use development at 989 Johnson Street. We are in receipt of the Design Panel Summary Comments received Oct. 30th from the City of Victoria. We have incorporated revisions to the design based on comments received, and have the following rationale to support the revisions;

PARTNERS

Jim Aalders
Arch. AIBC, MRAIC, LEED AP,
NCARB

Nick Bevanda
Arch. AIBC, MRAIC, NCARB, AIA

Mark Hentze
Arch. AIBC, NLAA, MRAIC, NCARB,
IAKS

William Locking
Arch. AIBC, AAA, FRAIC

Troy Ramsdell
Arch. AIBC, MBA

John Scott
Arch. AIBC, AAA, MRAIC, NCARB,
AIA

Rod Windjack
Arch. AIBC, MRAIC, LEED AP

PARTNER EMERITUS

Richard Bolus
Arch. AIBC, MRAIC, Assoc. AIA,
LEED AP

• *Reconsideration of Podium massing at the corner*

The 3-storey massing along Vancouver Street has been reinstated in the current scheme. As well, we have completed further development of the corner, including feature wood columns, an operable glazed wall to open the corner restaurant to the street. These elements help break down the visual dominance of the tower beyond. The guardrail on the roof of the entry podium has been brought flush with the exterior to further improve the perceived massing. The feature wood columns visually connect with the wood walls and soffits of the projecting street walls along Vancouver and Johnson. Similarly, double-height wood columns have been introduced at the penthouse level.

• *Consideration of ways to enhance the activity of the courtyard.*

Several elements have been added to the Courtyard to enhance activity and vibrancy. An outdoor seating opens directly off the main floor commercial, which is anticipated to be a restaurant. A series of low planters separate the seating area from the courtyard. A feature wood bench which reflects the geometry of the building will provide a place for residents to gather and socialize in the sunny courtyard.

• *Consideration of CPTED issues with the front entrance and parking entrance.*

The entry gates have been redesigned to appear more open and welcoming. The steel pickets have been replaced with glazing. Some light coloured metal framing will remain as glazing support, as well as within the vehicle gate. Additional lighting has been incorporated into the entrances. The pedestrian entry off Vancouver is has been widened considerably.

- *Provision of more detail on all of the entrances.*

Much consideration has been given to the Johnson Street entry. Previously designed as a service entrance, it is now a more gracious entry into the development which contributes to the public realm. Care has been taken to improve the paving pattern as well as soffit treatment, which will be wood. The commercial retail use has been extended adjacent to the entry to help enliven this entry and provide visual overlook. As well, adjacent walls which were previously concrete will be clad with masonry.

- *Provision of a wind study.*

In discussion with a consultant who prepared wind studies, we were advised that this scale of project and particular orientation is not typically subject to a wind study. In addition, the courtyard does not effect the public realm.

We trust these revisions and the accompanying response meets the design intent the city is looking for on the related building and landscape design elements. We look forward to continuing to work with staff on the success completion of this Development Permit.

Yours very truly,
cei Architecture Planning Interiors



Jim Aalders Architect AIBC MRAIC LEED AP

PROJECT LOCATION



PROJECT DATA

COUNCILMAN ADDRESS		SAY PIT JUNCTION STREET	
MAIL ADDRESS			
LEGAL DESCRIPTION		<p>LOT 100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078</p>	

HOUSE TYPE	MIN. SIZE	QUANTITY
HOME OCCUPATION	35m ²	2-4 (MAX 4) 100%
LOFT	45m ²	8
STUDIO	45m ²	2
1 BEDROOM	40m ²	99
2 BEDROOM + DEN	55m ²	50
3 BEDROOM	65m ²	99
4 BEDROOM FURNITURE	137m ²	2
TOTAL		208

DRAWING LIST

ARCHITECTURAL DRAWINGS
 A100 COVER SHEET
 A101 SITE LOCATION MAP/PHOTO
 A120 CONTEXT PLAN
 A121 FLOOR PLAN LEVEL 1
 A122 FLOOR PLAN LEVEL 2
 A123 FLOOR PLAN LEVEL 3
 A124 SECTION AND FLOOR PLAN LEVEL 1
 A125 FLOOR PLAN LEVEL 2
 A126 FLOOR PLAN LEVEL 3
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 A380 FLOOR PLAN LEVEL 257

LANDSCAPE ARCHITECTURAL DRAWINGS

PROJECT TEAM

989 Johnson Properties Ltd

DANGER
DO NOT TOUCH
DO NOT TOUCH
DO NOT TOUCH

ARCHITECT
CEI Architecture

SEE ARCHITECTURE
CONTACT: info@see-architecture.com
EMAIL: info@see-architecture.com
T: 252.288.0088

LANDSCAPE ARCHITECT

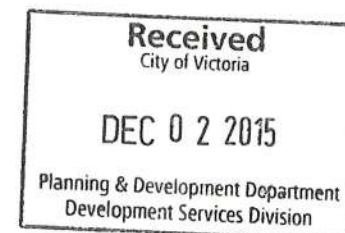
LARSEN LANDSCAPE ARCHITECTS
Larsen + DeVries
10000 1st Avenue, Suite 200
Tampa, FL 33613
Tel: 813.289.1100
Fax: 813.289.1101
www.larsenlandscapes.com

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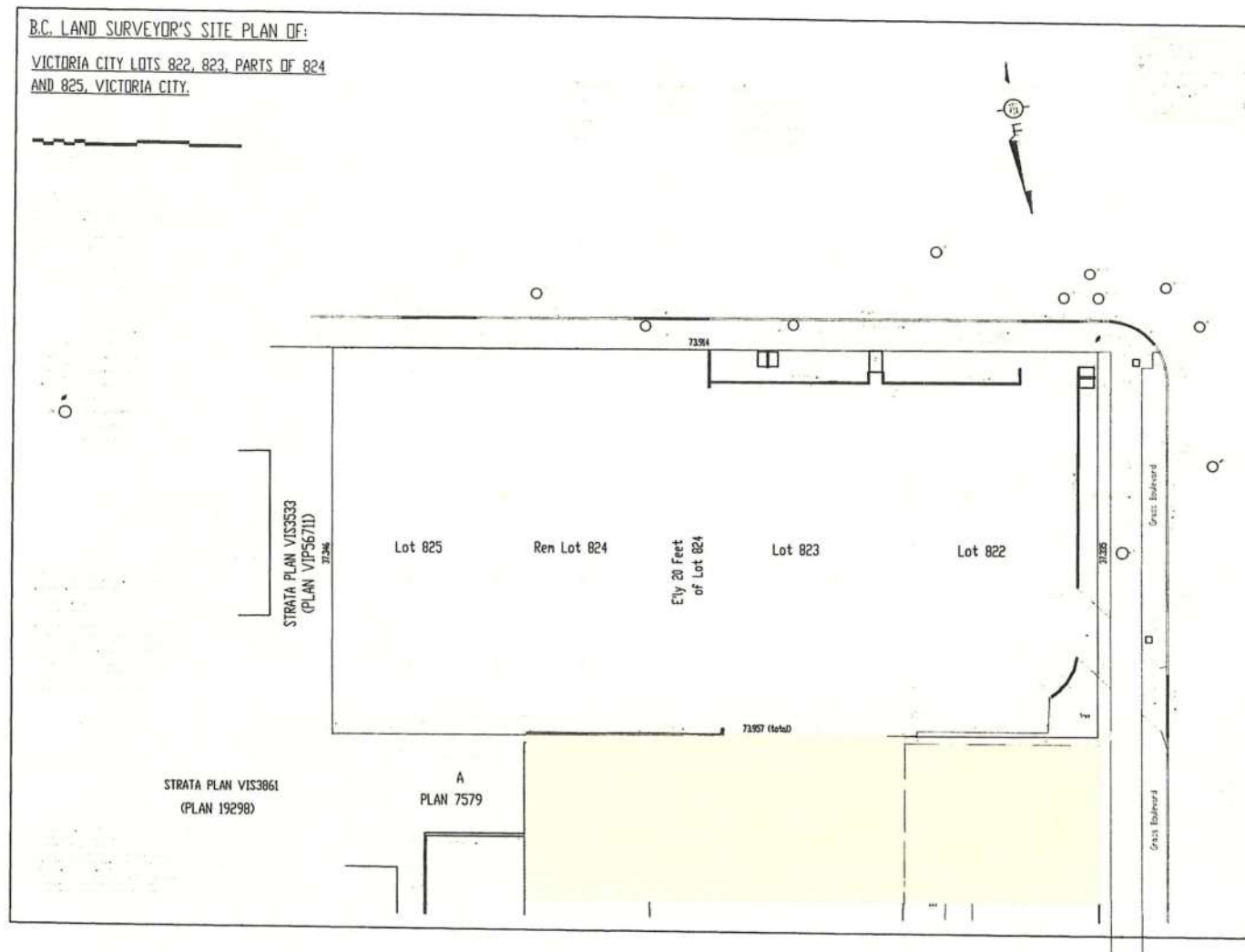
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B.C. LAND SURVEYOR'S SITE PLAN OF:
VICTORIA CITY LOTS 822, 823, PARTS OF 824
AND 825, VICTORIA CITY.



Architecture

2011-2012 FEE SCHEDULE
 VICTORIA: 800-455-4555
 1-800-455-4555 F. 250.251.8418



2011-2012 FEE SCHEDULE
 VICTORIA: 800-455-4555
 1-800-455-4555 F. 250.251.8418

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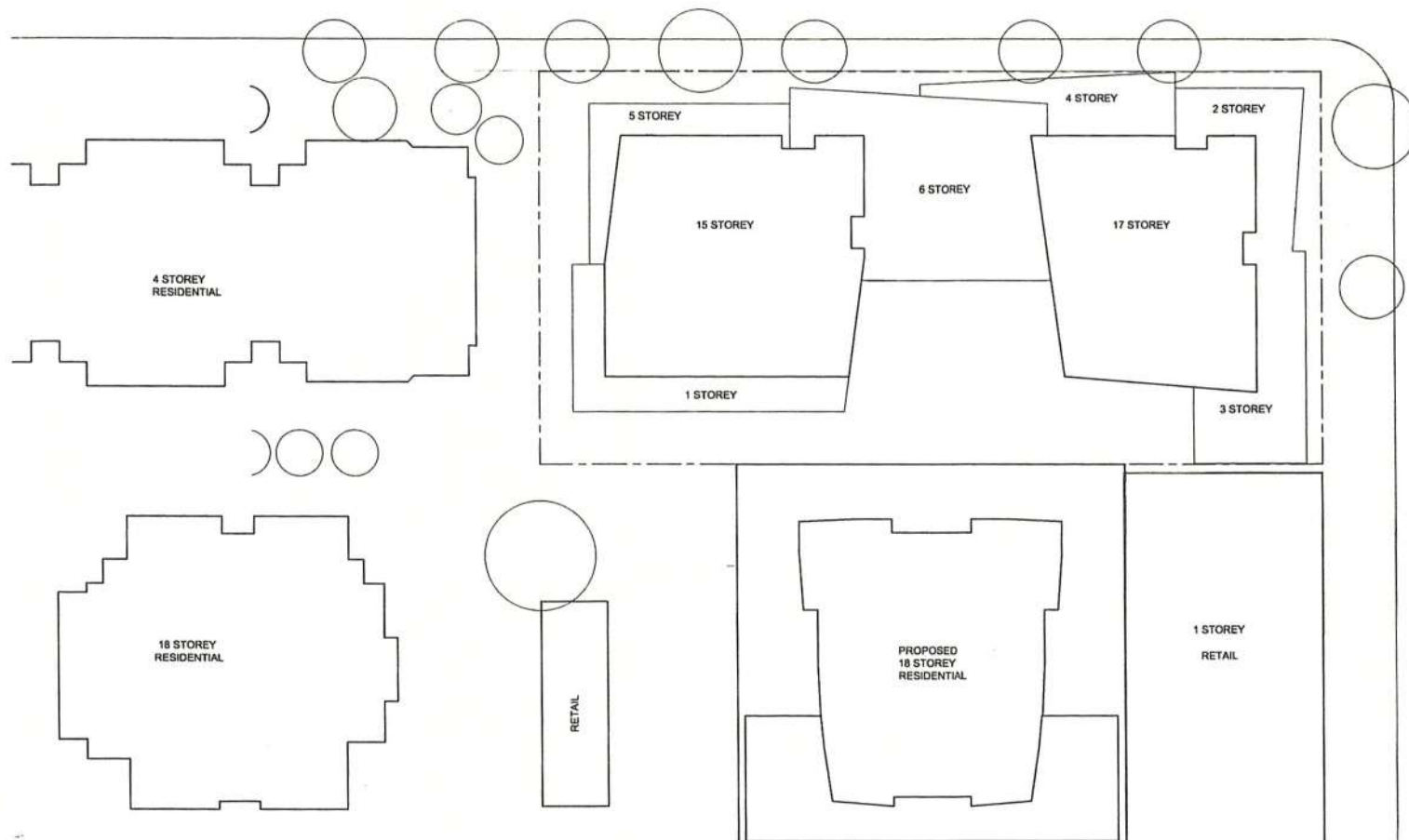
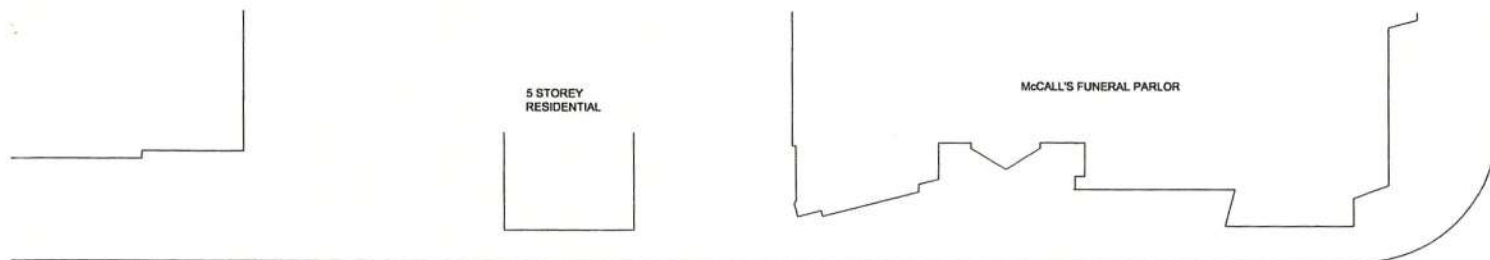
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SURVEY
 (EXISTING)

2015-11-30

A1.00



VANCOUVER STREET

REVENUE
CANADA
3/4 STOREY



Architecture

2175 14TH FLOOR SUITE 100
VICTORIA, BC V8W 2G2
T 250 383-0100 F 250 381-8418



18 4000 10TH FLOOR SUITE 100
VICTORIA, BC V8W 2G2
T 250 383-0100 F 250 381-8418

PARKING

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CONTEXT
PLAN

1:200

2015-11-30

A1.01

REFER TO A2.04
FOR SITE PLAN

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Architecture

2515 AIR FIVE ROAD
VICTORIA, BC V8A 0Y5
T 250 296 0288 F 250 261 0418



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LEVEL P4

1100

2004 04 04

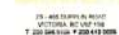
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VANCOUVER (1997)

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303-695 TWEE ROAD
VICTORIA, BC V8A 6A5
T 250 366 6666 F 250 361 6416



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Properties Ltd

LEVEL P3

1998

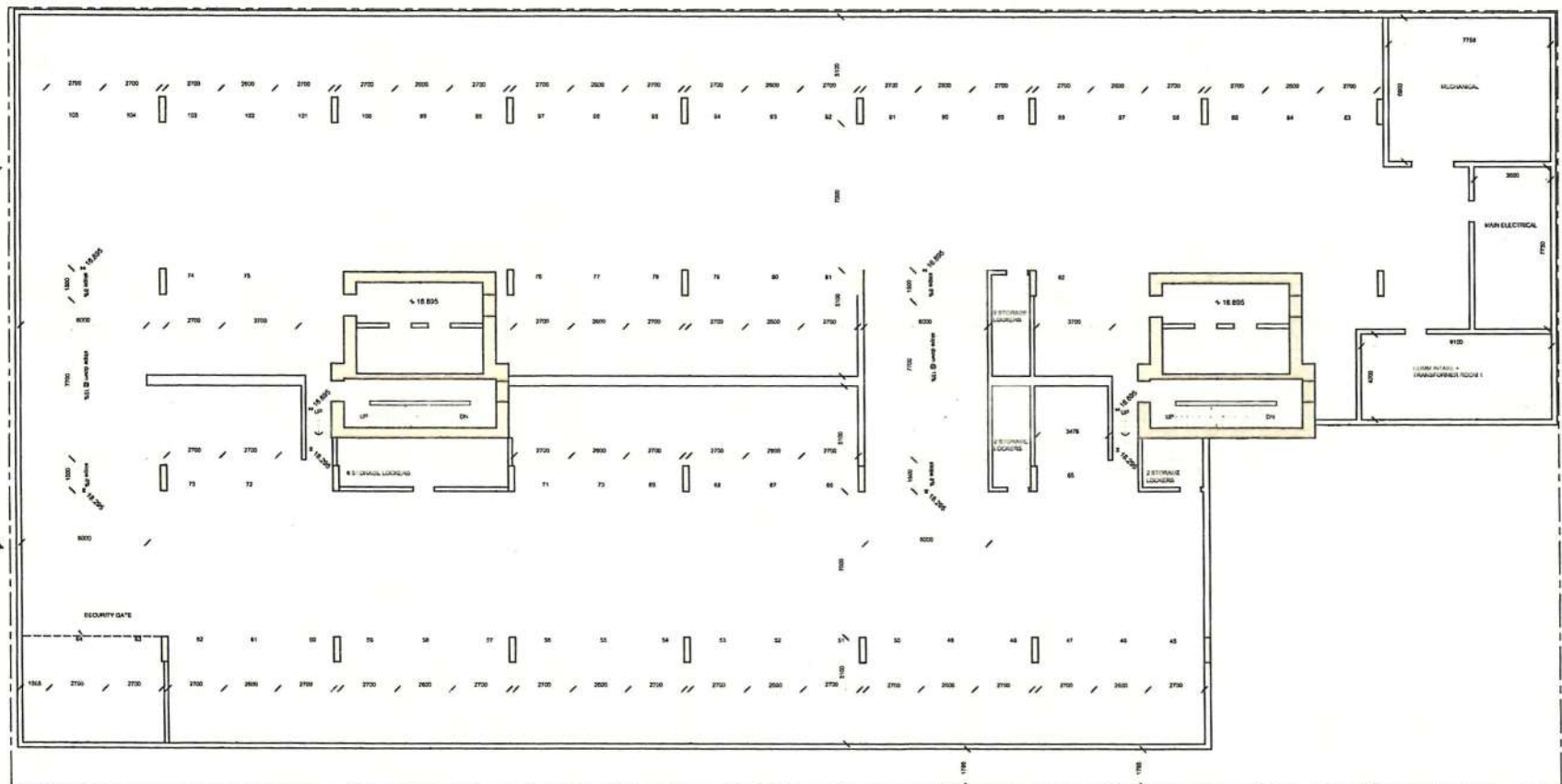
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A2.01

JOHNSON (65)

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3111 4105 THREE ROAD
VANCOUVER, BC V6N 1A6
T: 604.266.5555 F: 604.261.8418



75-405 DUNDAS ROAD
VANCOUVER, BC V6N 1A6
T: 604.266.5555 F: 604.261.8418

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VICTORIA, BC
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30 November, 2015

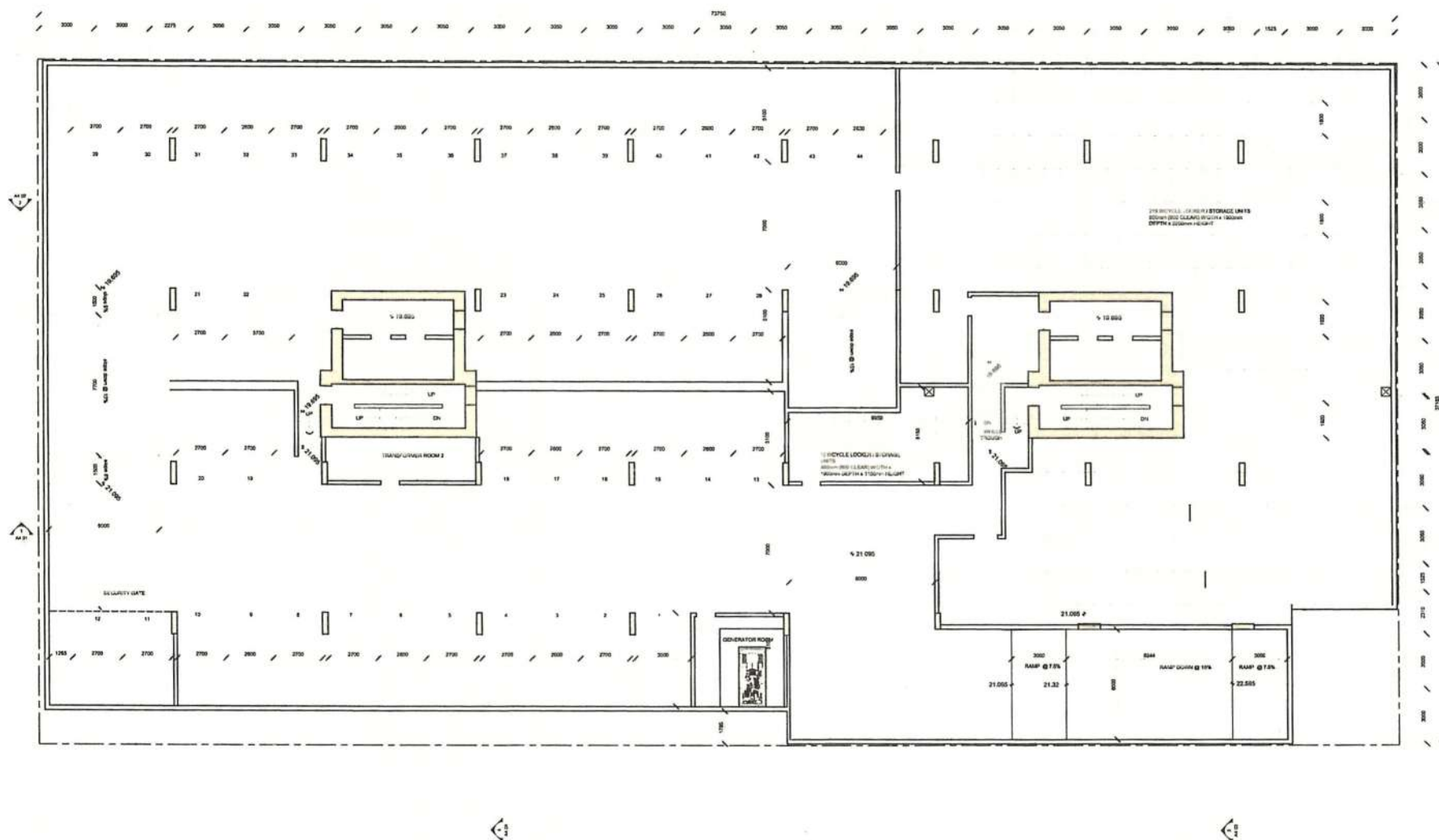
989 Johnson
Properties Ltd.

LEVEL P2

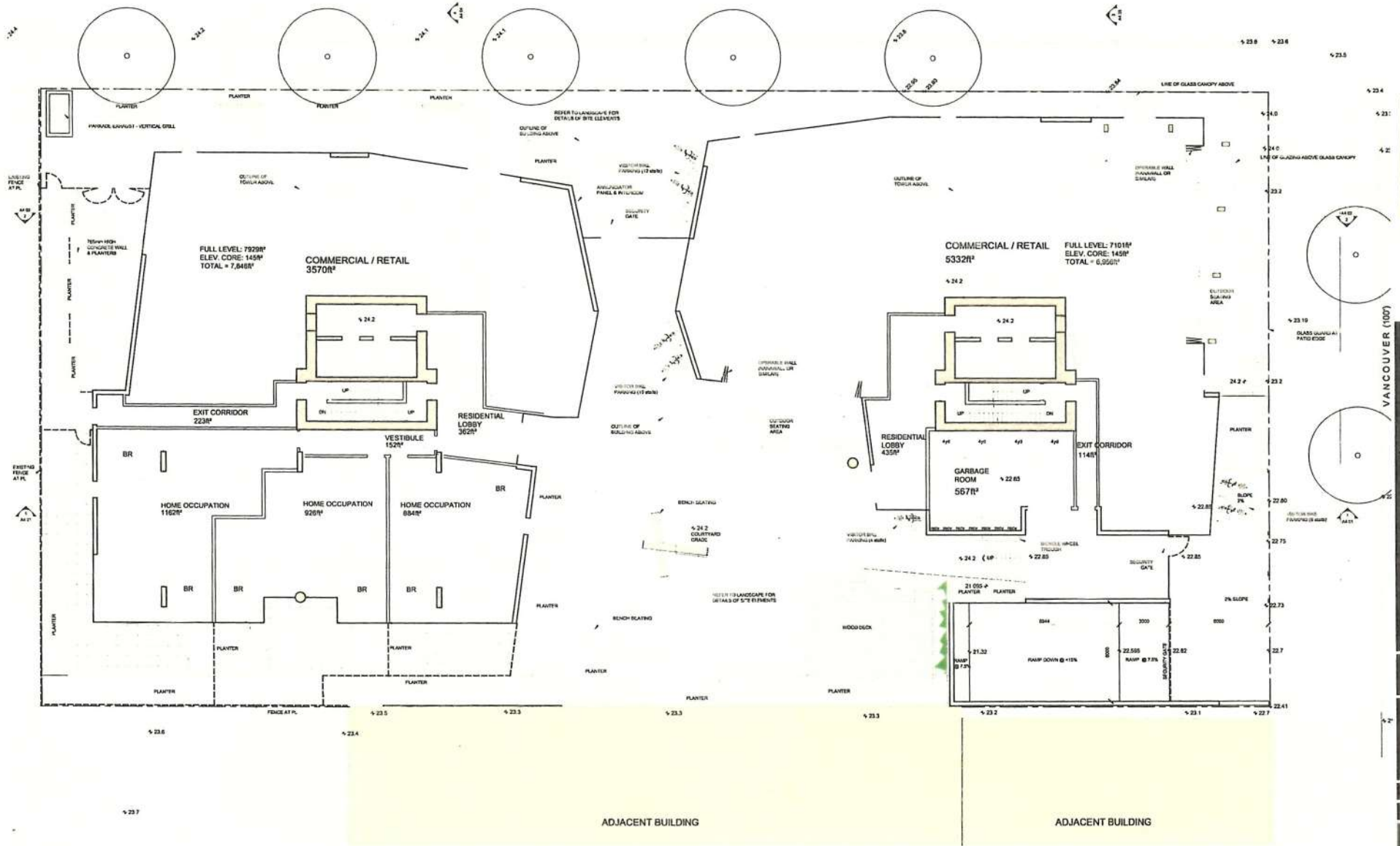
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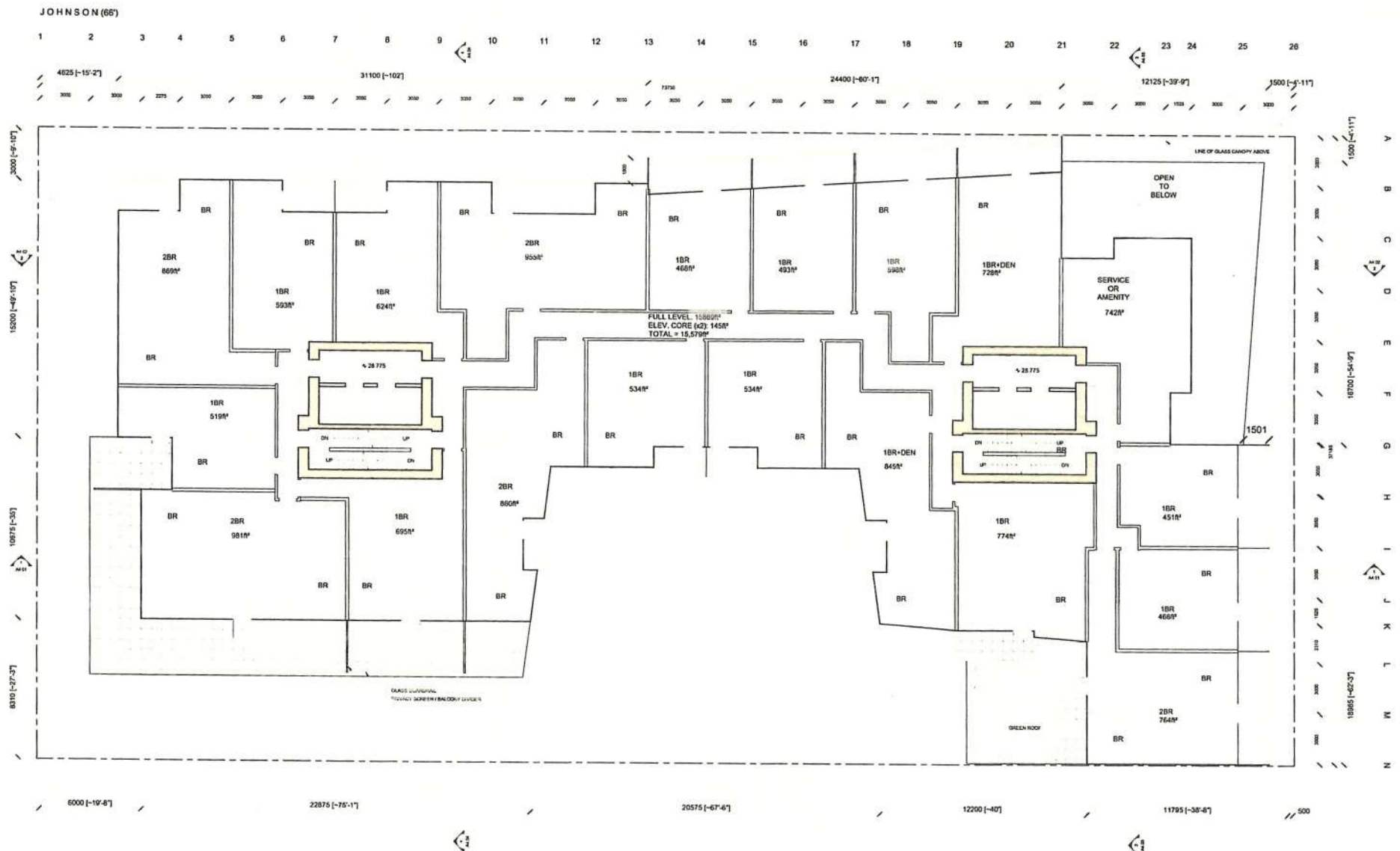
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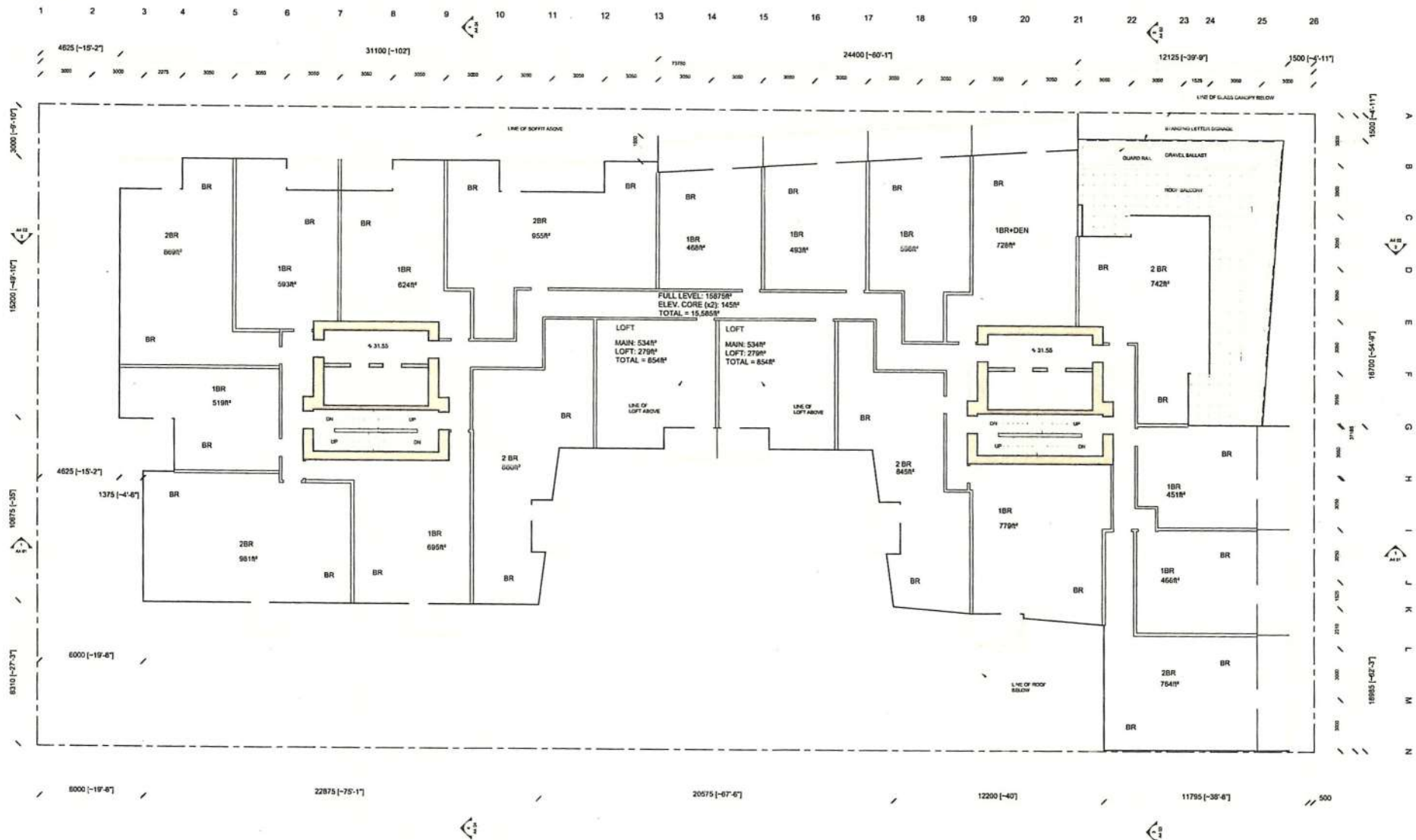


JOHNSON (66')





JOHNSON (66)



Architecture

233-488 THIRDS ROAD
VICTORIA, BC V8A 6V5
T: 250-366-5000 F: 250-366-5010



233-488 THIRDS ROAD
VICTORIA, BC V8A 6V5
T: 250-366-5000 F: 250-366-5010

989
JOHNSON

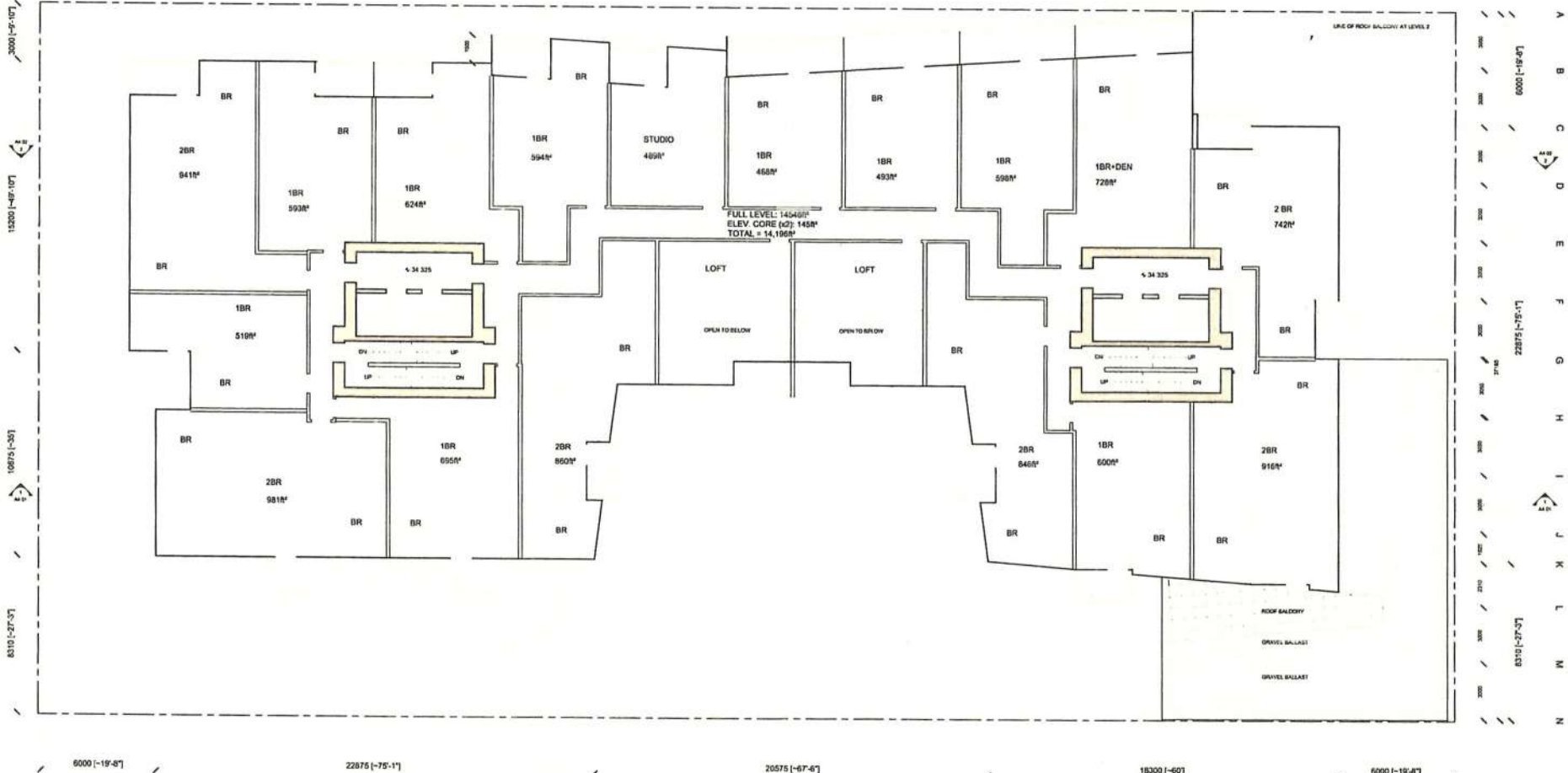
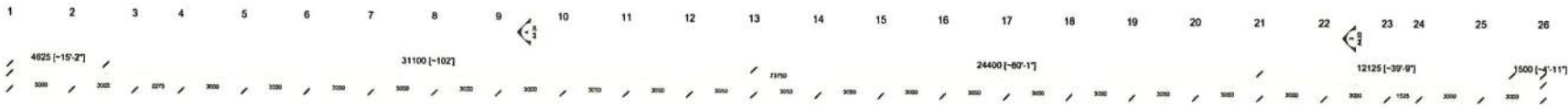
VICTORIA, BC
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Properties Ltd

LEVEL 3

A2.06

JOHNSON (66')



Architecture

100-1000 ROAD
VICTORIA, BC V8A 6S5
T: 250.388.6586 F: 250.388.6515



25-10000 ROAD
VICTORIA, BC V8A 6S5
T: 250.388.6586 F: 250.388.6515

989
JOHNSON

VICTORIA, BC

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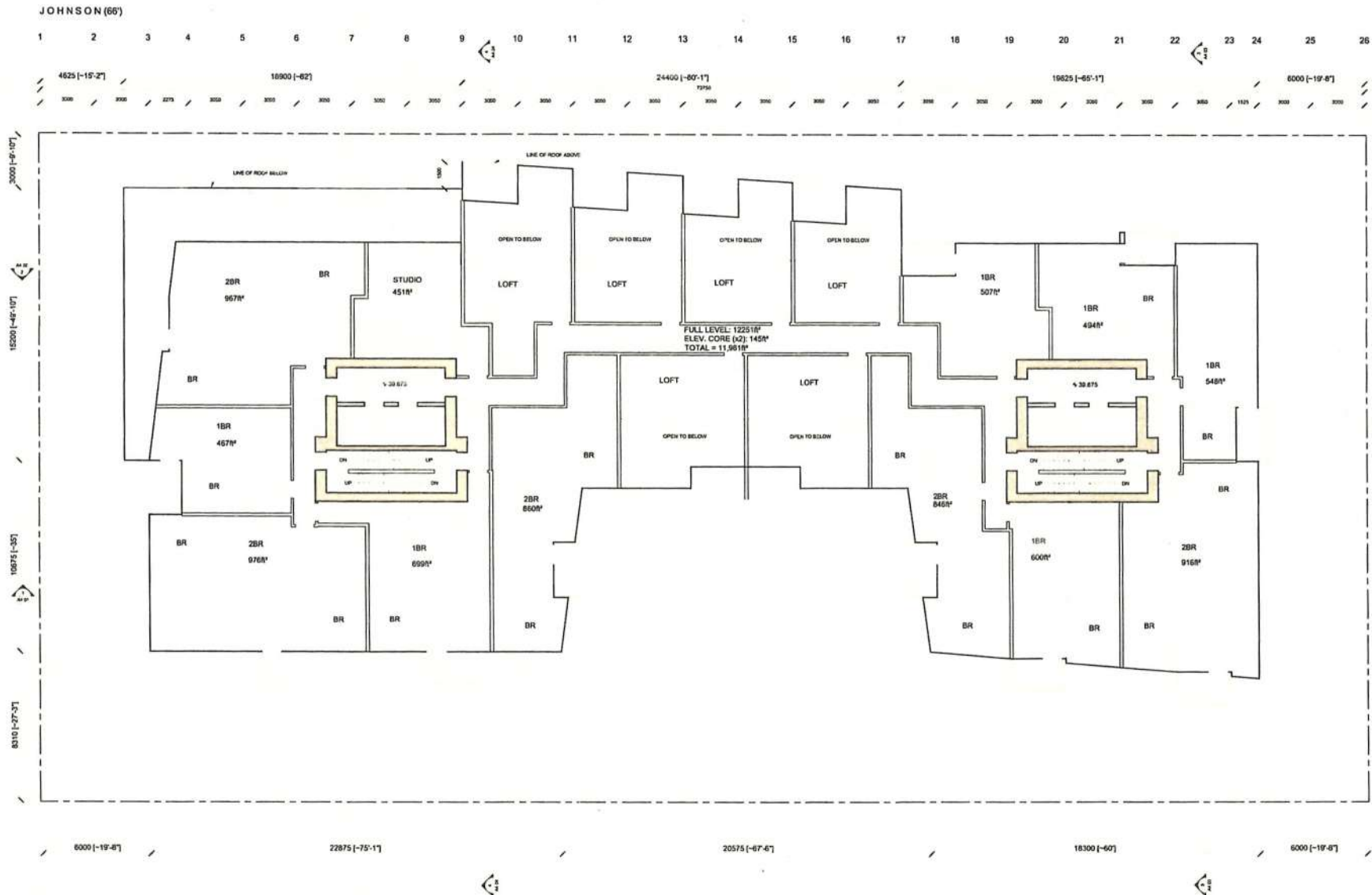
LEVEL 4

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2015.10.16

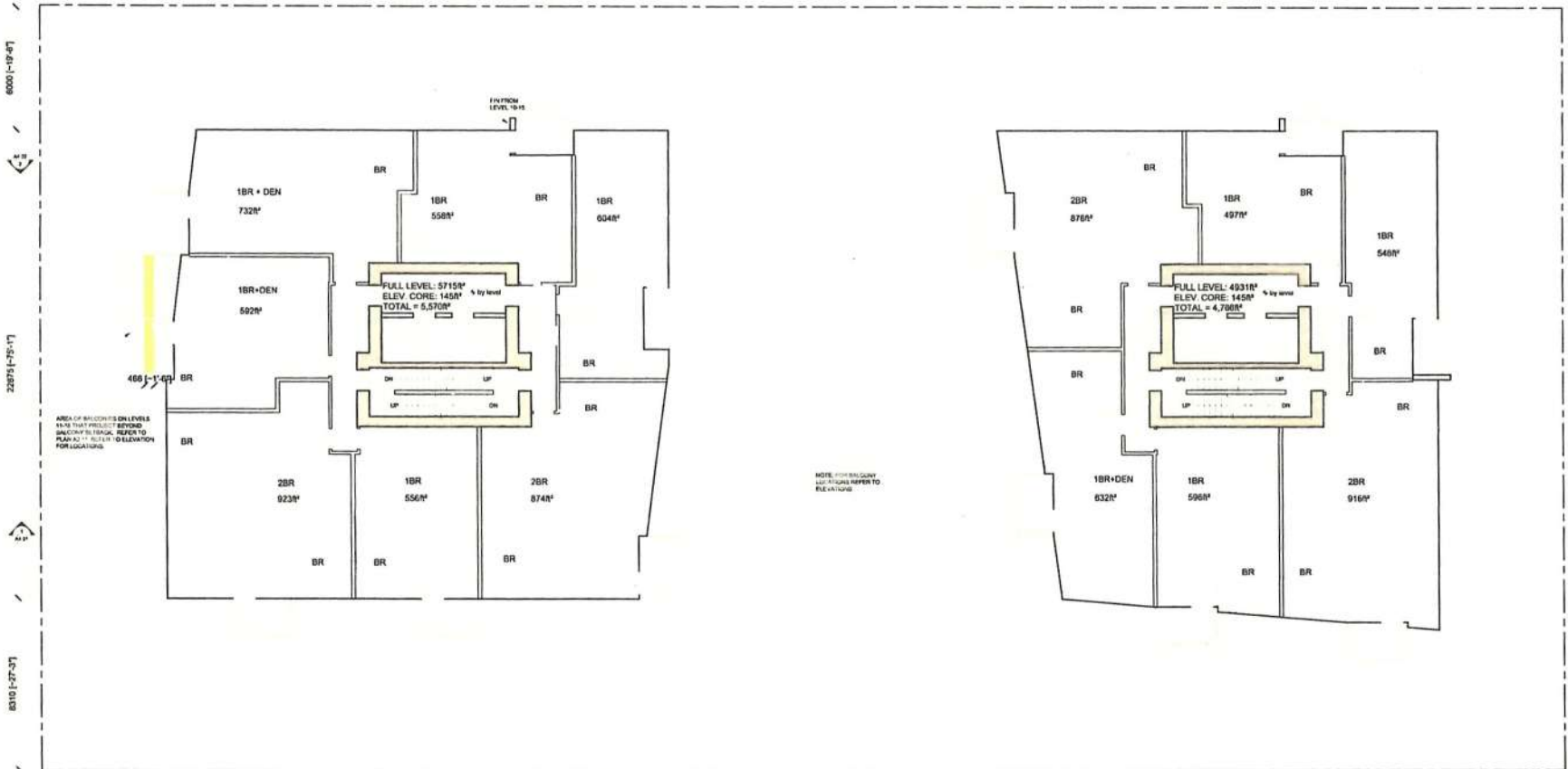
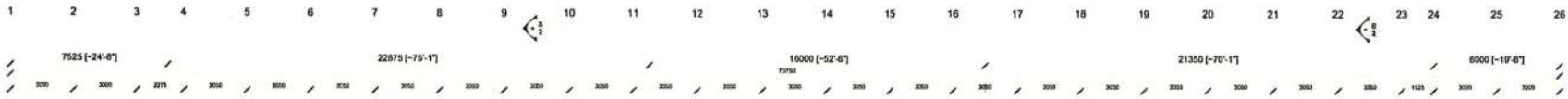
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JOHNSON (66)



6000 [-19'-8"]
22875 [-75'-1"]
8310 [-27'-3"]

6000 [-19'-8"]
22875 [-75'-1"]
8310 [-27'-3"]



Architecture

CEI ARCHITECTURE
VICTORIA, BC V8V 2H6
T 250.688.0008 F 250.301.9478



201-888-8888
VICTORIA, BC V8V 2H6
T 250.688.0008 F 250.413.0008

989
JOHNSON

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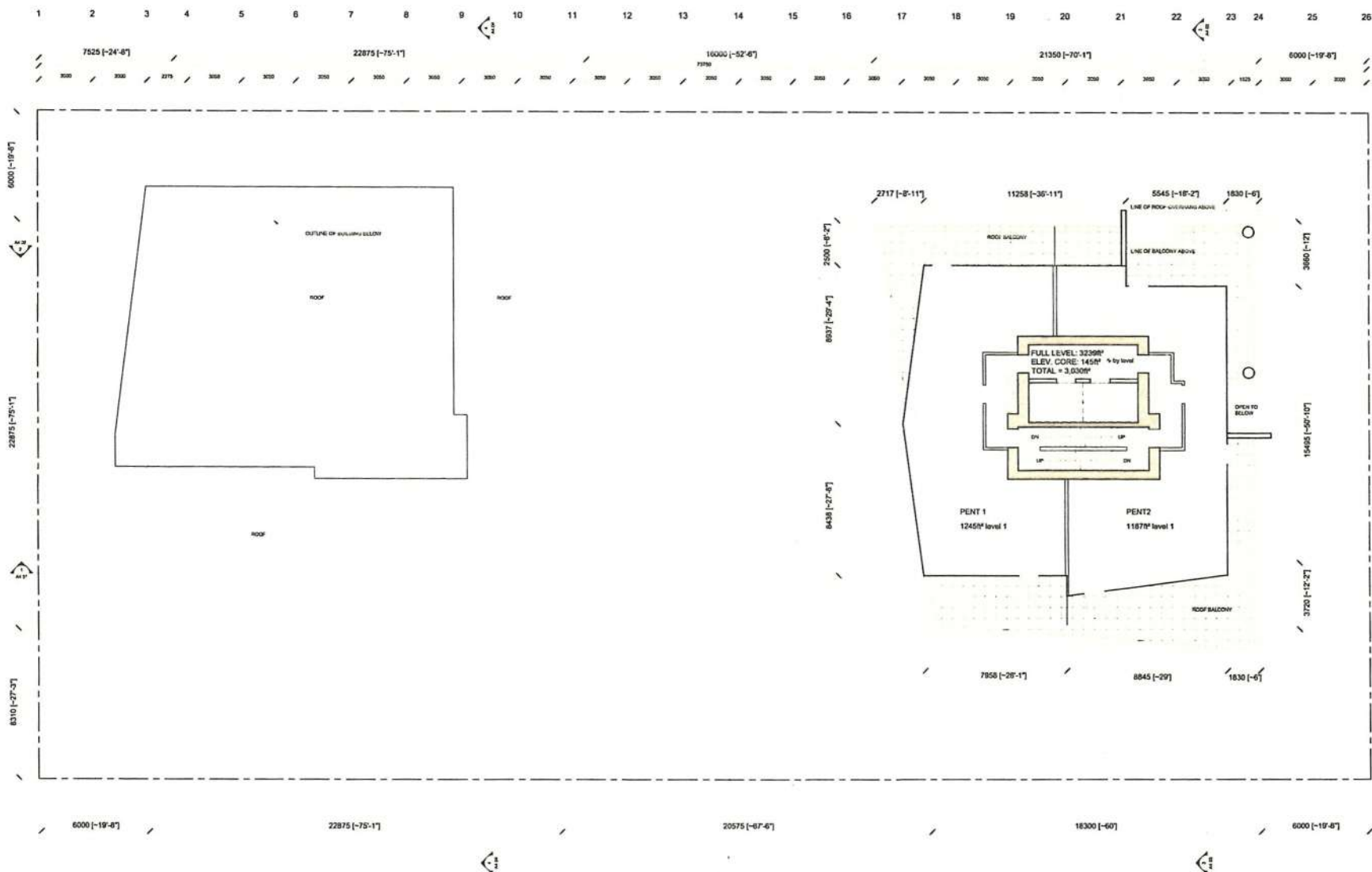
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LEVEL 8-15

1:100
2015-11-16

A2.11

JOHNSON (66)



201 400 THREE ROAD
VICTORIA, BC V8A 6H6
T 250 388 8888 F 250 381 9418



279 400 THREE ROAD
VICTORIA, BC V8A 6H6
T 250 388 8888 F 250 381 9418

989
JOHNSON

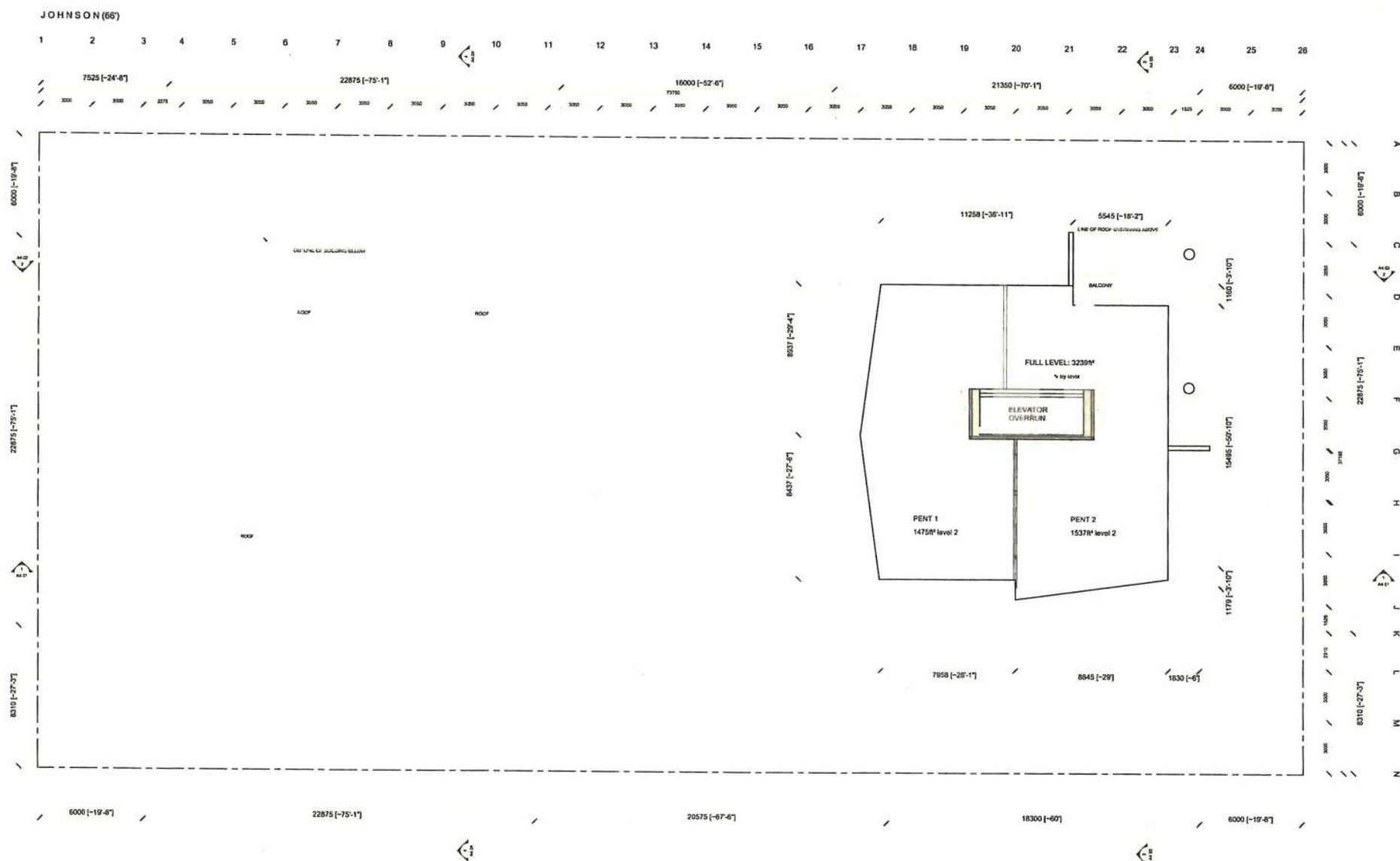
VICTORIA, BC
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30 November, 2016

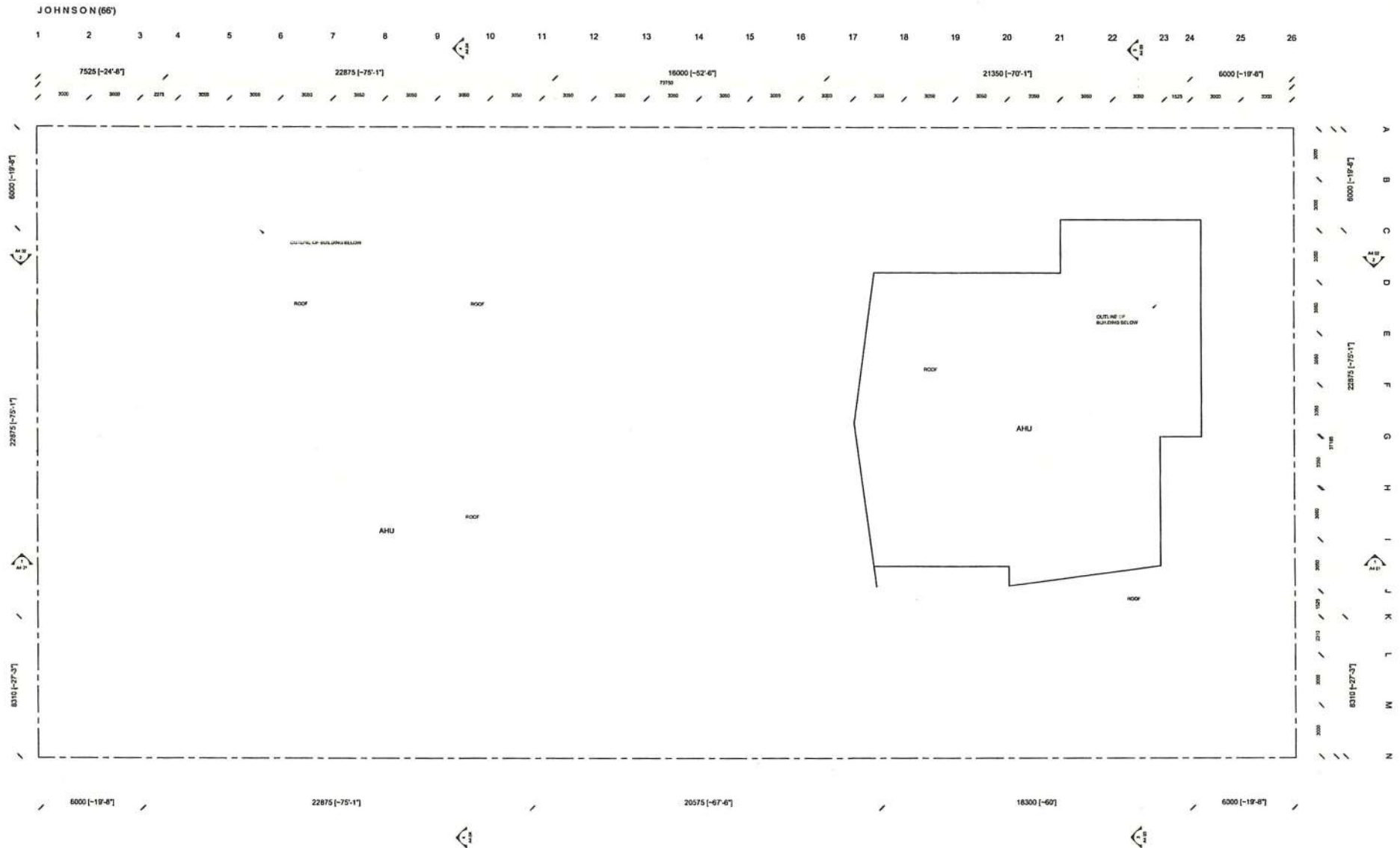
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Properties Ltd.

LEVEL 16

1:100
2016 11 30

A2.12







KEYNOTE LEGEND

1 CLEAR GLASS IN ALUMINUM FRAME	7 BRICK	13 METAL SECURITY GATE
2 SPANDREL PANEL ACCENT COLOUR	8 CONCRETE IN PATTERN 3	14 BUILDING SIGNAGE
3 SPANDREL PANEL GREY TONE 1	9 METAL FASCIA	15 METAL CANOPY
4 SPANDREL PANEL GREY TONE 2	10 WOOD SOFFIT / WALL FINISH	16 METAL PANEL / METAL FASCIA - WHITE
5 SPANDREL PANEL WHITE	11 BALCONY PRIVACY SCREENS	17 ROOF TOP AMU SCREEN - HORIZONTAL METAL LOUVERES, WHITE
6 SPANDREL PANEL FRT PATTERN	12 GLASS GUARDRAILS	18 CONCRETE CURB
		19 GLASS SECURITY GATE



ELEVATION EAST 2 - EAST TOWER



ELEVATION EAST 1 - WEST TOWER

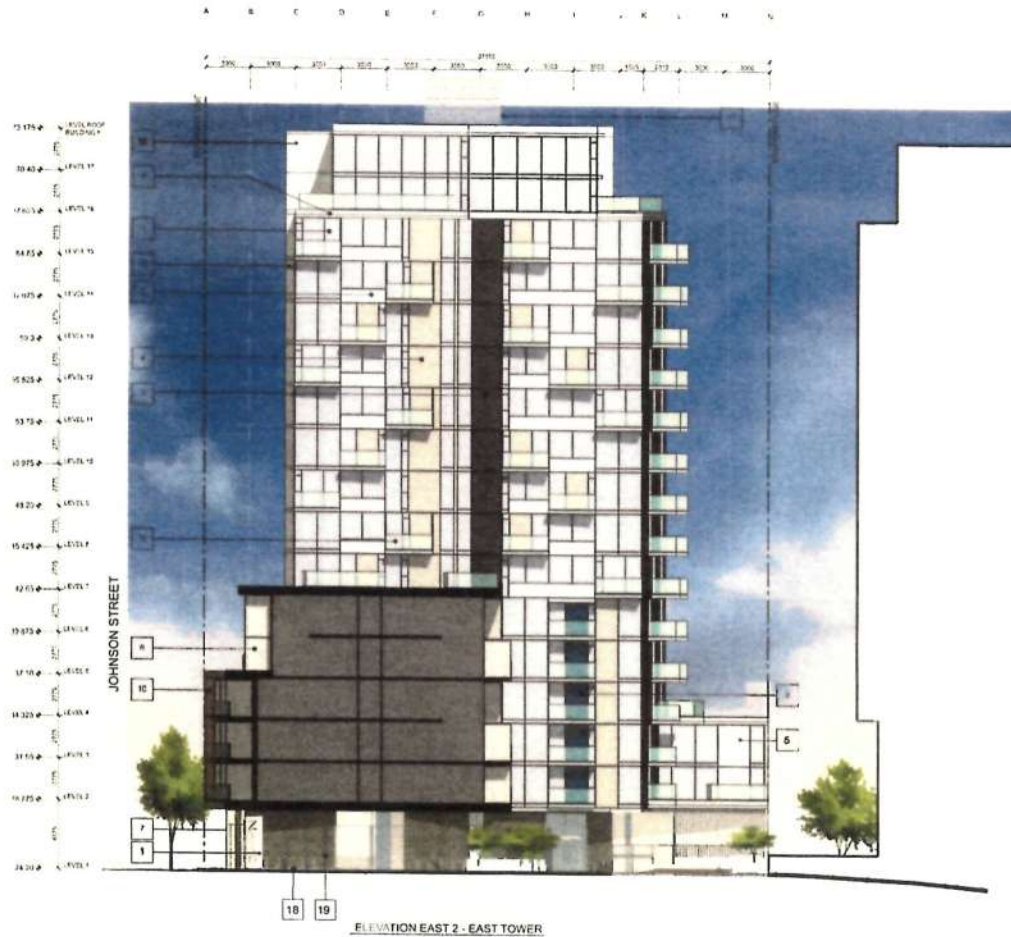
KEYNOTE LEGEND

1 CLEAR GLASS IN ALUMINUM FRAME	7 BRICK	13 METAL SECURITY GATE
2 SPANDREL PANEL ACCENT COLOUR	8 CONCRETE PAINTED	14 BUILDING SIGNAGE
3 SPANDREL PANEL GREY TONE 1	9 METAL FASCIA	15 METAL CANOPY
4 SPANDREL PANEL GREY TONE 2	10 VITROD SCFFIT WALL FINISH	16 METAL PANEL / METAL FASCIA - WHITE
5 SPANDREL PANEL WHITE	11 BALCONY PRIVACY SCREENS	17 ROOF TOP AND SCREEN - HORIZONTAL METAL LOUVERES WHITE
6 SPANDREL PANEL FRIT PATTERN	12 GLASS GUARDRAILS	18 CONCRETE CURB
		19 GLASS SECURITY GATE



KEYNOTE LEGEND

1 CLIFAR GLASS IN ALUMINIUM FRAME	7 BRICK	15 METAL SECURITY GATE
2 SPANDREL PANEL ACCENT COLOUR	8 CONCRETE PAINTED	16 BUILDING SHIMMER
3 SPANDREL PANEL GREY TONE 1	9 10-TAL FASCIA	17 METAL CANOPY
4 SPANDREL PANEL GREY TONE 2	10 WOOD SOFFIT / WALL FINISH	18 METAL PANEL / METAL FASCIA - WHITE
5 SPANDREL PANEL WHITE	11 BALCONY PRIVACY SCREENING	19 ROOF TOP AND SCREEN - HORIZONTAL, METAL LOCATED WHITE
6 SPANDREL PANEL FRIT PATTERN	12 GLASS GUARDRAILS	20 CONCRETE CURB
		21 GLASS SECURITY GATE



ELEVATION EAST 2 - EAST TOWER



ELEVATION EAST 1 - WEST TOWER

KEYNOTE LEGEND

1 CLEAR GLASS W/ TINTED GLASS / FRAME	7 BRUSH	13 METAL SECURITY GATE
2 SPANDREL PANEL ACCENT COLOUR	8 CONCRETE PAINTED	14 BUILDING ORNAMENT
3 SPANDREL PANEL GREY TONE 1	9 METAL FASCIA	15 METAL CANOPY
4 SPANDREL PANEL GREY TONE 2	10 WOOD SOFFIT / WALL FINISH	16 METAL PANEL / METAL FASCIA - WHITE
5 SPANDREL PANEL WHITE	11 BALCONY PRIVACY SCREENS	17 ROOF TOP AND SCREEN - HORIZONTAL METAL LOUVER, WHITE
6 SPANDREL PANEL FRIT PATTERN	12 GLASS GUARDRAILS	18 CONCRETE CURB
		19 GLASS SECURITY GATE



Architecture

215-455-7800
215-455-7801
215-455-7802



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VICTORIA, BC

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30 November, 2016

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ELEVATION 4
WEST

1:100
2016.11.16

A3.04



NORTH CONTEXT ELEVATION



EAST CONTEXT ELEVATION



Architecture

100-1011111111111111
100-1011111111111111
100-1011111111111111



100-1011111111111111
100-1011111111111111
100-1011111111111111

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30 November 2016

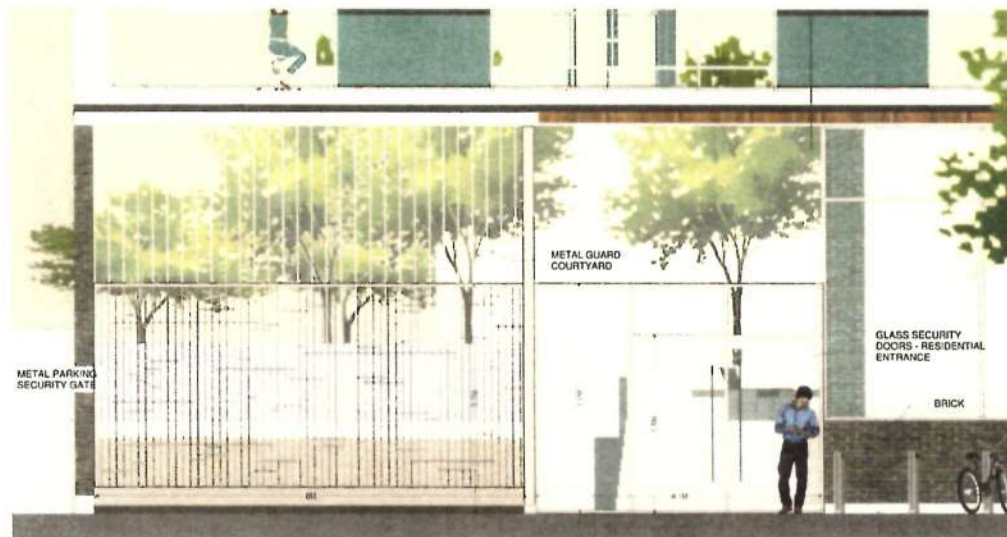
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CONTEXT
ELEVATIONS

100-1011111111111111

100-1011111111111111

A3.05A



ELEVATION - VANCOUVER STREET ENTRANCE PARKING AND SECURITY GATE



Architectural

275 WEST 40TH
VICTORIA, BC V8M 1K7
P. 250.289.1508 F. 250.289.1578



28 KALAMITAS ROAD
VICTORIA, BC V8N 1K7
P. 250.289.1508 F. 250.289.1578

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JOHNSON

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30 November, 2015

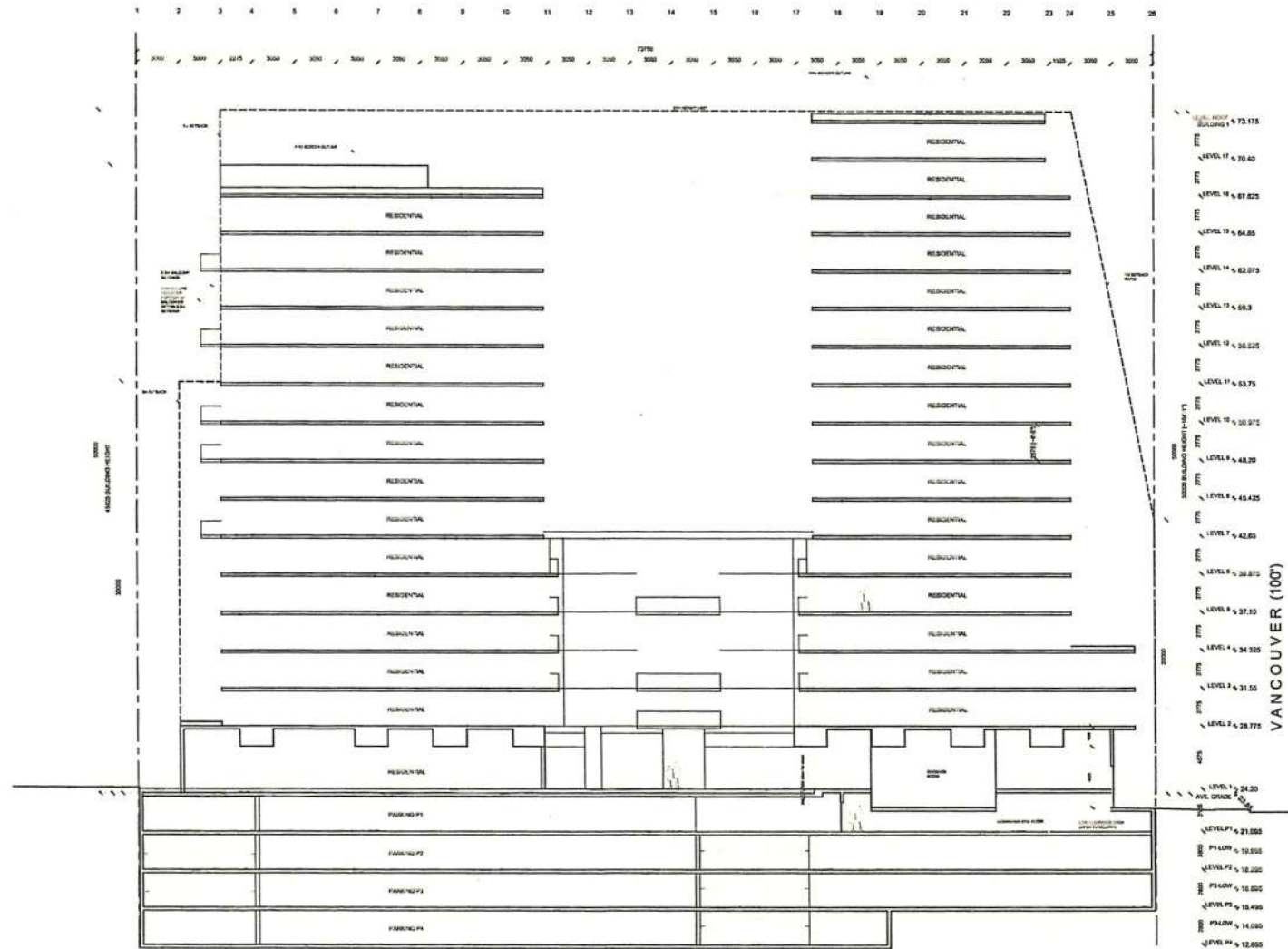
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Properties Ltd

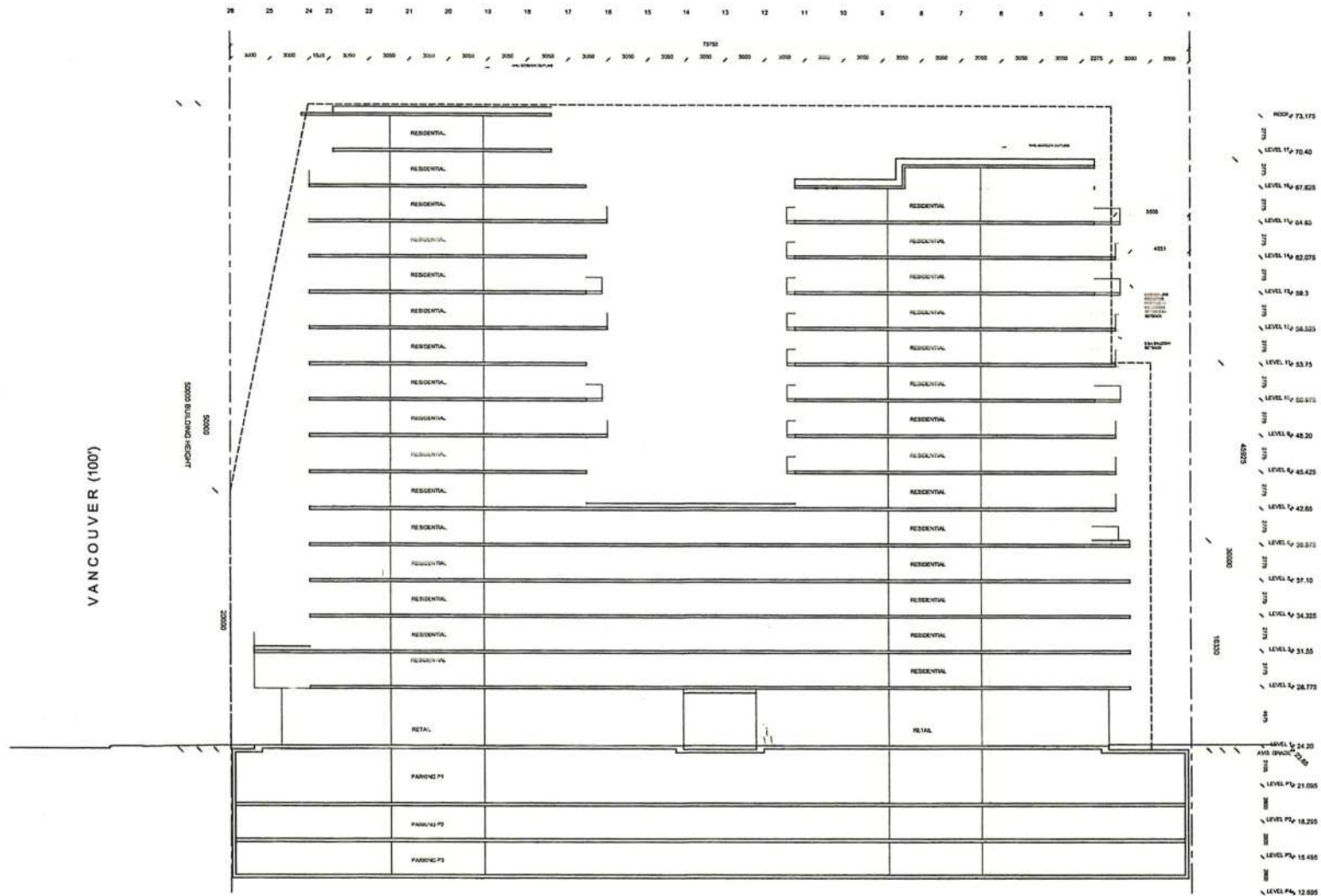
ELEVATION
DETAIL

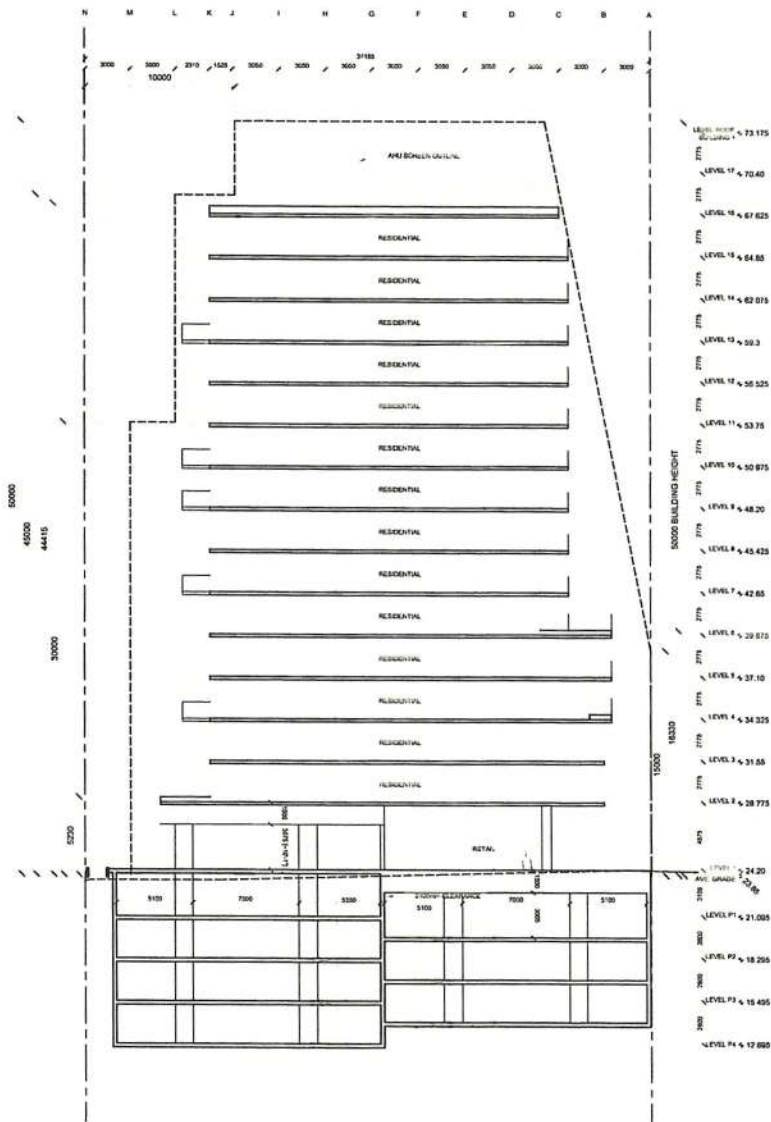
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2015-05-05

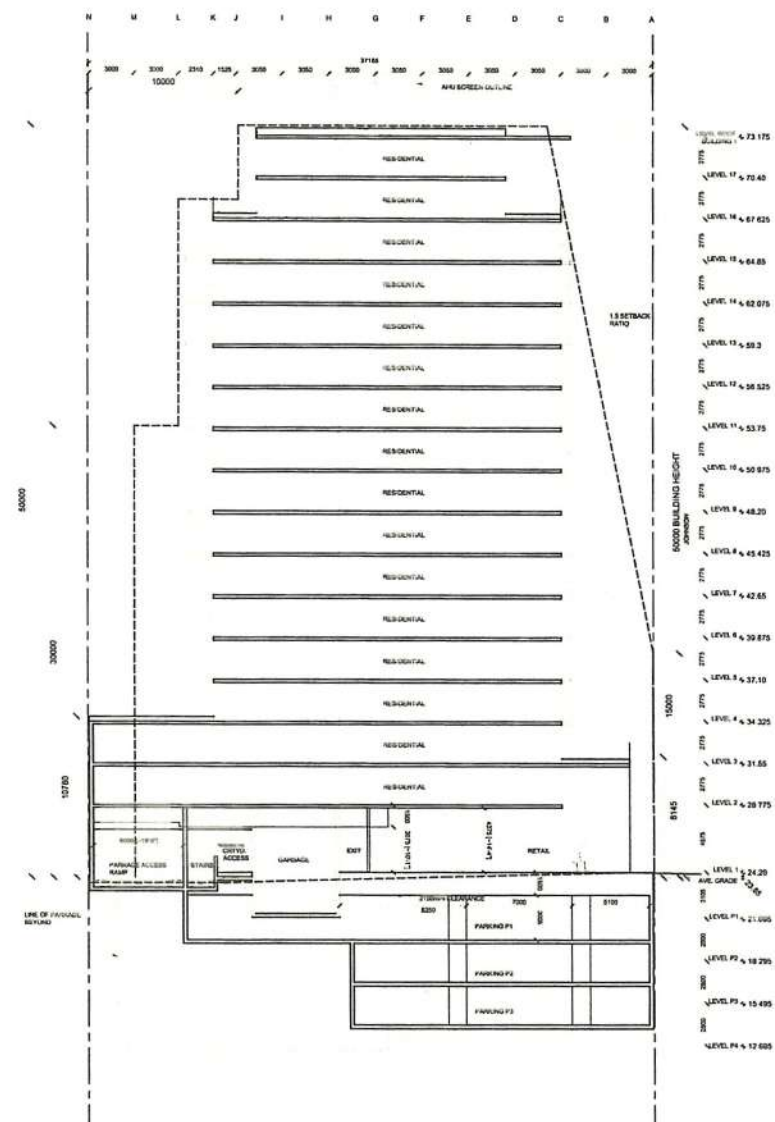
A3.05B







SECTION - WEST TOWER



SECTION - EAST TOWER



VIEW 1



VIEW 2



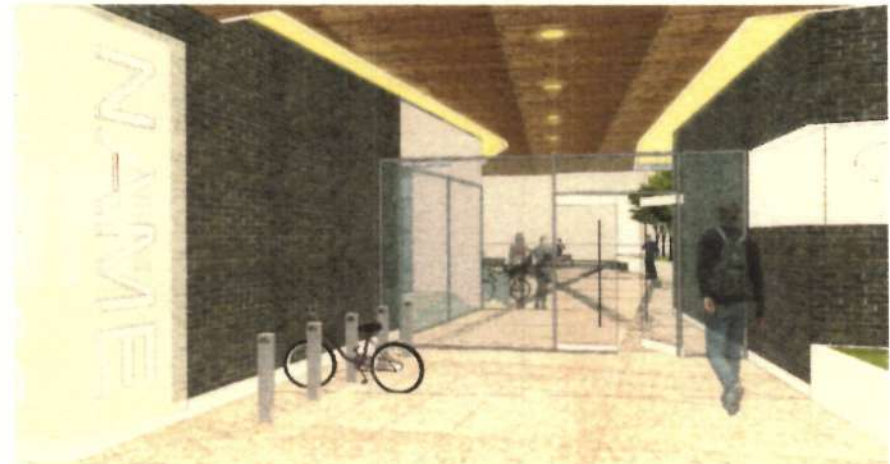
VIEW LOOKING WEST TOWARD COURTYARD ENTRY AND PARKADE



VIEW OF BREEZEWAY AT MAIN ENTRANCE



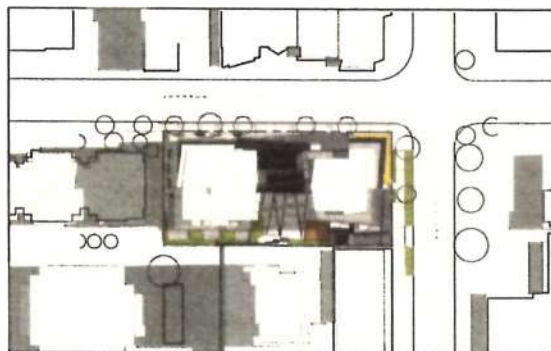
COURTYARD VIEW - LOOKING TOWARDS ENTRANCES



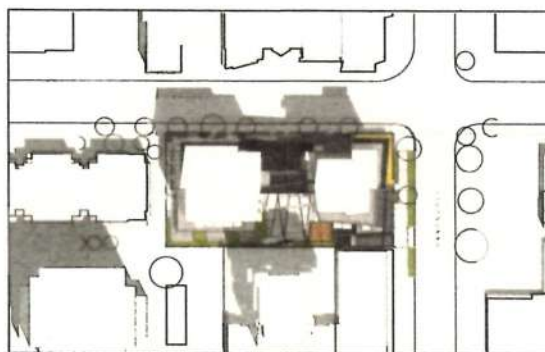
VIEW OF MAIN GATE AT MAIN ENTRANCE

SUMMER SOLSTICE

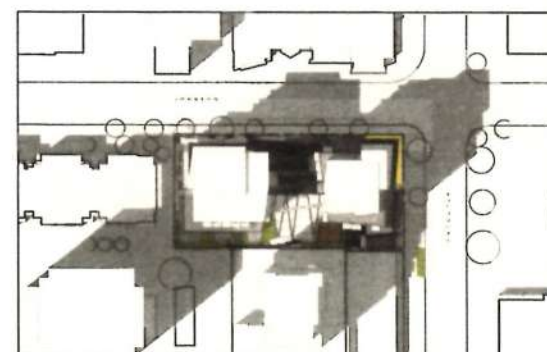
9:00



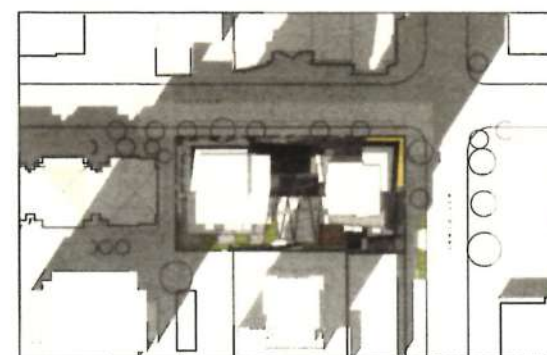
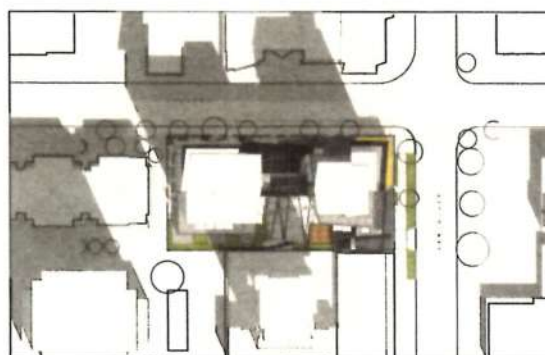
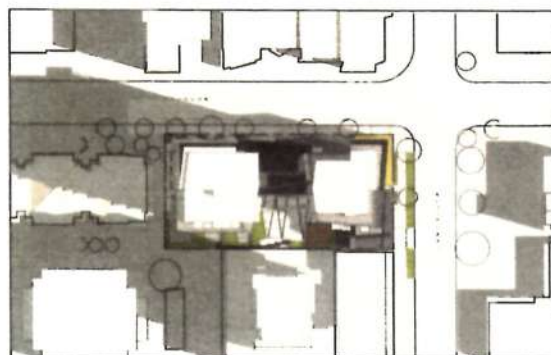
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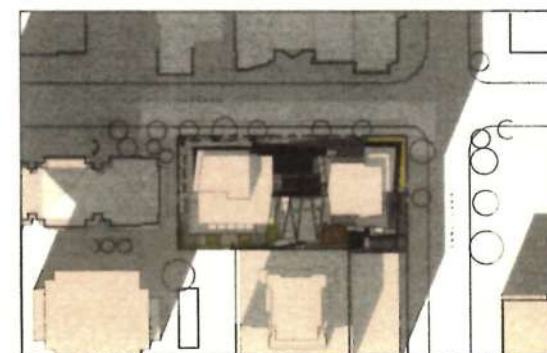
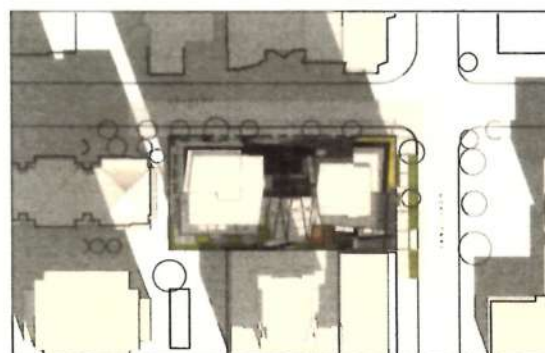
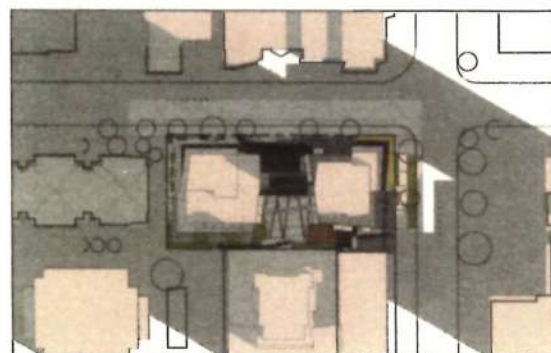
15:00



SPRING EQUINOX



WINTER SOLSTICE



Architects

200, 200, 200, 200, 200
VICTORIA, BC V8V 2G1
T 250 388 0000 F 250 388 0001



200, 200, 200, 200, 200
VICTORIA, BC V8V 2G1
T 250 388 0000 F 250 388 0001

989
JOHNSON

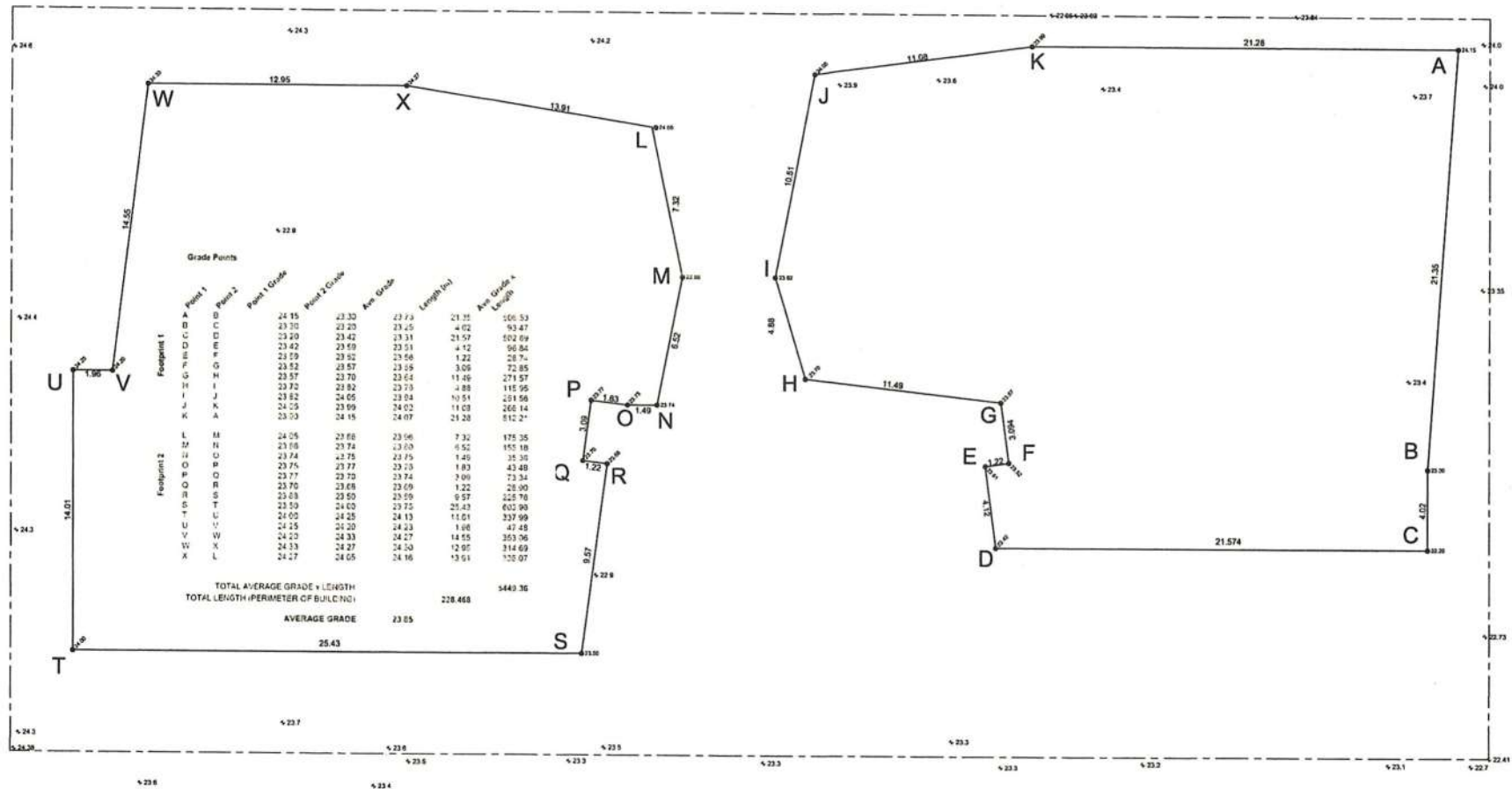
VICTORIA, BC
DP Re-Submit
30 November, 2011

989 Johnson
Properties Ltd.

SHADOW
STUDIES

2011 08 16

A6.00



L1

Recommended Nursery Stock

Trees

ID	Quantity	Botanical Name	Common Name	Size
ALC	4	<i>Acer glabrum</i>	Green Maple	#10 pot
ACAB	7	<i>Acer incanum</i>	Incense Cedar	6cm cal
TallP	10	<i>Taxus canadensis</i>	White Pine	#10 pot

Large Shrubs

ID	Quantity	Botanical Name	Common Name	Size
CoR	5	<i>Cornus rugosa</i>	Spicebush	#10 pot
CoR	4	<i>Cornus alternifolia</i>	Spicebush	#10 pot
Fall	5	<i>Forsythia intermedia</i>	Flowering Forsythia	#10 pot
FW	2	<i>Forsythia viridissima</i>	Flowering Forsythia	#10 pot
ThS	35	<i>Thalictrum aquilegifolium</i>	Black Cohosh	#10 pot

Medium Shrubs

ID	Quantity	Botanical Name	Common Name	Size
HyBES	25	<i>Hydrangea serrata</i>	Hydrangea	#10 pot
HyBES	5	<i>Hydrangea serrata</i>	Hydrangea	#10 pot
HyBES	5	<i>Hydrangea serrata</i>	Hydrangea	#10 pot
HyBES	5	<i>Hydrangea serrata</i>	Hydrangea	#10 pot
HyBES	5	<i>Hydrangea serrata</i>	Hydrangea	#10 pot

Small Shrubs

ID	Quantity	Botanical Name	Common Name	Size
ADGW	1	<i>Adiantum species</i>	Adiantum	#10 pot
ADGW	1	<i>Adiantum species</i>	Adiantum	#10 pot
ADGW	1	<i>Adiantum species</i>	Adiantum	#10 pot
ADGW	1	<i>Adiantum species</i>	Adiantum	#10 pot
ADGW	1	<i>Adiantum species</i>	Adiantum	#10 pot

Perennials, Annuals and Ferns

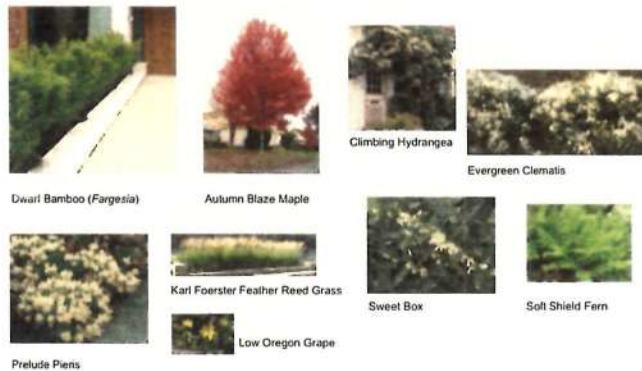
ID	Quantity	Botanical Name	Common Name	Size
BS	8	<i>Beta vulgaris</i>	Chard	#10 pot
BS	8	<i>Beta vulgaris</i>	Chard	#10 pot
BS	8	<i>Beta vulgaris</i>	Chard	#10 pot
BS	8	<i>Beta vulgaris</i>	Chard	#10 pot
BS	8	<i>Beta vulgaris</i>	Chard	#10 pot

Vines

ID	Quantity	Botanical Name	Common Name	Size
AK	1	<i>Akebia quinata</i>	Amur Clematis	#10 pot
AK	1	<i>Akebia quinata</i>	Amur Clematis	#10 pot
AK	1	<i>Akebia quinata</i>	Amur Clematis	#10 pot
AK	1	<i>Akebia quinata</i>	Amur Clematis	#10 pot
AK	1	<i>Akebia quinata</i>	Amur Clematis	#10 pot

Notes

- All work to be completed to current BCSLA Landscape Standards
- All soft landscape to be irrigated with an automatic irrigation system



Reference Images



Decorative Metal Screens



Colour Banded & Sawcut Concrete



Sawcut Concrete



Colour Banded & Grooved Concrete



Concrete Stepping Slabs in Stone & Planting



Inset Linear Lighting



Glass Panels (potential art/focal point)



Vine Maple

