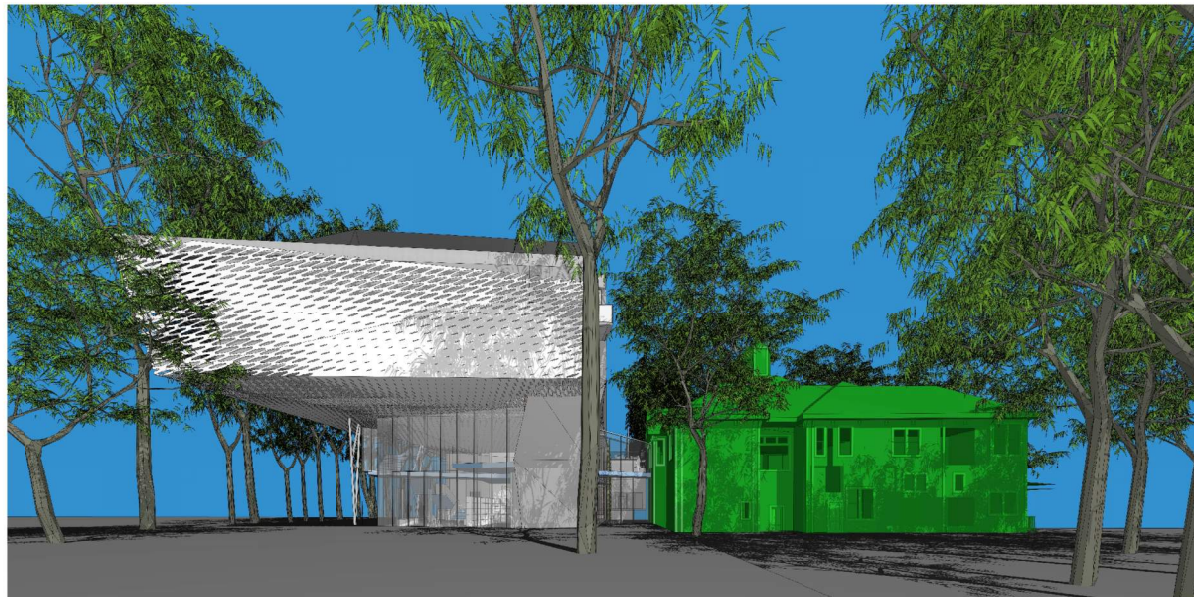




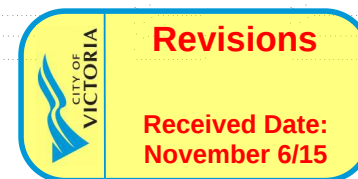
DRAWING LIST

ARCHITECT

A.1	COVER SHEET AND DRAWING LIST	A3.1	PROPOSED CROSS SECTIONS
A.0.4	PROPOSED SITE PLAN	A3.3	PROPOSED LONGITUDINAL SECTIONS
A.0.5	PROPOSED STREETScape ELEVATION #1		
A.0.5	PROPOSED STREETScape ELEVATION #2	A4.1	PROPOSED LINK TO MANSION
A.0.5	PROPOSED STREETScape ELEVATION #3	A4.2	PROPOSED AND EXISTING NORTH ELEVATION OF MANSION
		A4.3	PROPOSED FLOOR PLANS UP MANSION
A.1.1	PROPOSED ELEVATIONS		
A.1.2	PROPOSED ELEVATIONS	A5.1	CONTEXT AND FIT
A.1.4	PROPOSED VIEW FROM WILSPENCER PLACE		
A.1.5	VISUALIZATION OF PROPOSED CONNECTION TO SPENCER MANSION		LANDSCAPE
A.1.7	SHADOW STUDIES EXISTING	L0.1	LANDSCAPE PLAN
A.1.7	SHADOW STUDIES PROPOSED	L0.2	ENLARGED PLAN
		L0.3	SECTION & IMAGES
		L0.4	DETAILED DESIGN
A.2.1	PROPOSED BASEMENT FLOOR PLAN		
A.2.2	PROPOSED MAIN LEVEL FLOOR PLAN		
A.2.3	PROPOSED MEZZANINE PLAN		
A.2.4	PROPOSED UPPER LEVEL FLOOR PLAN		
A.2.5	PROPOSED ROOF PLAN		
A.2.6	PROPOSED BASEMENT FLOOR RETENTION PLAN		
A.2.7	PROPOSED MAIN FLOOR RETENTION PLAN		

LANDSCAPE

L0.1	LANDSCAPE PLAN
L0.2	ENLARGED PLAN
L0.3	SECTION & IMAGES
L0.4	DETAILED DESIGN



NOTE:
ALL SCALES FOR 42" x 30" SHEET



PROJECT INFORMATION TABLE			
Area	PROPOSED		R1-B ZONE
	F6 (Public Building)/ Land Use Contract E	Comprehensive Development Institutional Zone	
Site area (m ²)	3,701 m ²	3,701 m ²	
Total gross floor area	1	5,662 m ²	
Meaning			
Floor space ratio	0.67	0.99	
Site coverage %	36	48	48%
Open space %	42	44	
Height of building (m)	19.0 m (calculated from average grade)	20 m average grade	11 m (public building)
Number of storeys	2.5	4	2.5 storeys (Public building)
Existing stairs on site	76	36	
Existing stairs on site	7	12(EL 1)-3(EL 2) = 50"	12(EL 1)-3(EL 2) = 50"
Front yard setback	7.3 m (non-conforming)	7.0 m	7.3 m or 75% lot depth
Side yard setback	7.3 m (non-conforming)	5.7 m	7.3 m or 75% lot depth
Side yard setback	0.8 m (non-conforming)	0.6 m	3.5 m or 10% lot depth
Wisniewski setback	17.5 m	16.8 m	
Accessories Building (Bike enclosure)			
Location			
Floor area		30 m ²	37 m ²
Height		3.0 m	3.5 m
Side setback		2.8 m	0.6 m
Side setback		1.4 m	0.6 m
Separation between existing and new building			
Side yard setback		14.8 m	7.4 m
Floor yard setback		7.11%	25.00%

*As per Schedule C: Education 12, Public 12, Theatre 22, Retail 2, Office 12, Exhibition 11, Lot (Area 7.7" As per Schedule C: Commercial 4 (C1.1) and 4 (C1.2), Art Gallery 8 (C1.1) and 34 (C1.2).

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RENEWAL

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Notes

1. See 4.1011, 4.1012, 4.1013, 4.1014, 4.1015, 4.1016, 4.1017, 4.1018, 4.1019, 4.1020, 4.1021, 4.1022, 4.1023, 4.1024, 4.1025, 4.1026, 4.1027, 4.1028, 4.1029, 4.1030, 4.1031, 4.1032, 4.1033, 4.1034, 4.1035, 4.1036, 4.1037, 4.1038, 4.1039, 4.1040, 4.1041, 4.1042, 4.1043, 4.1044, 4.1045, 4.1046, 4.1047, 4.1048, 4.1049, 4.1050, 4.1051, 4.1052, 4.1053, 4.1054, 4.1055, 4.1056, 4.1057, 4.1058, 4.1059, 4.1060, 4.1061, 4.1062, 4.1063, 4.1064, 4.1065, 4.1066, 4.1067, 4.1068, 4.1069, 4.1070, 4.1071, 4.1072, 4.1073, 4.1074, 4.1075, 4.1076, 4.1077, 4.1078, 4.1079, 4.1080, 4.1081, 4.1082, 4.1083, 4.1084, 4.1085, 4.1086, 4.1087, 4.1088, 4.1089, 4.1090, 4.1091, 4.1092, 4.1093, 4.1094, 4.1095, 4.1096, 4.1097, 4.1098, 4.1099, 4.1100, 4.1101, 4.1102, 4.1103, 4.1104, 4.1105, 4.1106, 4.1107, 4.1108, 4.1109, 4.1110, 4.1111, 4.1112, 4.1113, 4.1114, 4.1115, 4.1116, 4.1117, 4.1118, 4.1119, 4.1120, 4.1121, 4.1122, 4.1123, 4.1124, 4.1125, 4.1126, 4.1127, 4.1128, 4.1129, 4.1130, 4.1131, 4.1132, 4.1133, 4.1134, 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4.1885, 4.1886, 4.1887, 4.1888, 4.1889, 4.1890, 4.1891, 4.1892, 4.1893, 4.1894, 4.1895, 4.1896, 4.1897, 4.1898, 4.1899, 4.1900, 4.1901, 4.1902, 4.1903, 4.1904, 4.1905, 4.1906, 4.1907, 4.1908, 4.1909, 4.1910, 4.1911, 4.1912, 4.1913, 4.1914, 4.1915, 4.1916, 4.1917, 4.1918, 4.1919, 4.1920, 4.1921, 4.1922, 4.1923, 4.1924, 4.1925, 4.1926, 4.1927, 4.1928, 4.1929, 4.1930, 4.1931, 4.1932, 4.1933, 4.1934, 4.1935, 4.1936, 4.1937, 4.1938, 4.1939, 4.1940, 4.1941, 4.1942, 4.1943, 4.1944, 4.1945, 4.1946, 4.1947, 4.1948, 4.1949, 4.1950, 4.1951, 4.1952, 4.1953, 4.1954, 4.1955, 4.1956, 4.1957, 4.1958, 4.1959, 4.1960, 4.1961, 4.1962, 4.1963, 4.1964, 4.1965, 4.1966, 4.1967, 4.1968, 4.1969, 4.1970, 4.1971, 4.1972, 4.1973, 4.1974, 4.1975, 4.1976, 4.1977, 4.1978, 4.1979, 4.1980, 4.1981, 4.1982, 4.1983, 4.1984, 4.1985, 4.1986, 4.1987, 4.1988, 4.1989, 4.1990, 4.1991, 4.1992, 4.1993, 4.1994, 4.1995, 4.1996, 4.1997, 4.1998, 4.1999, 4.2000, 4.2001, 4.2002, 4.2003, 4.2004, 4.2005, 4.2006, 4.2007, 4.2008, 4.2009, 4.2010, 4.2011, 4.2012, 4.2013, 4.2014, 4.2015, 4.2016, 4.2017, 4.2018, 4.2019, 4.2020, 4.2021, 4.2022, 4.2023, 4.2024, 4.2025, 4.2026, 4.2027, 4.2028, 4.2029, 4.2030, 4.2031, 4.2032, 4.2033, 4.2034, 4.2035, 4.2036, 4.2037, 4.2038, 4.2039, 4.2040, 4.2041, 4.2042, 4.2043, 4.2044, 4.2045, 4.2046, 4.2047, 4.2048, 4.2049, 4.2050, 4.2051, 4.2052, 4.2053, 4.2054, 4.2055, 4.2056, 4.2057, 4.2058, 4.2059, 4.2060, 4.2061, 4.2062, 4.2063, 4.2064, 4.2065, 4.2066, 4.2067, 4.2068, 4.2069, 4.2070, 4.2071, 4.2072, 4.2073, 4.2074, 4.2075, 4.2076, 4.2077, 4.2078, 4.2079, 4.2080, 4.2081, 4.2082, 4.2083, 4.2084, 4.2085, 4.2086, 4.2087, 4.2088, 4.2089, 4.2090, 4.2091, 4.2092, 4.2093, 4.2094, 4.2095, 4.2096, 4.2097, 4.2098, 4.2099, 4.2100, 4.2101, 4.2102, 4.2103, 4.2104, 4.2105, 4.2106, 4.2107, 4.2108, 4.2109, 4.2110, 4.2111, 4.2112, 4.2113, 4.2114, 4.2115, 4.2116, 4.2117, 4.2118, 4.2119, 4.2120, 4.2121, 4.2122, 4.2123, 4.2124, 4.2125, 4.2126, 4.2127, 4.2128, 4.2129, 4.2130, 4.2131, 4.2132, 4.2133, 4.2134, 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1079 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1075 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1055 - 1024 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1035 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1029 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1 PENTRELEW PL STREETSCAPE ELEVATION W/O TREES
scale 1:250



1079 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1075 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1055 - 1024 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1035 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1029 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

2 PENTRELEW PL STREETSCAPE ELEVATION W/ TREES
scale 1:250



3 PENTRELEW PL STREETSCAPE PHOTOGRAPHS

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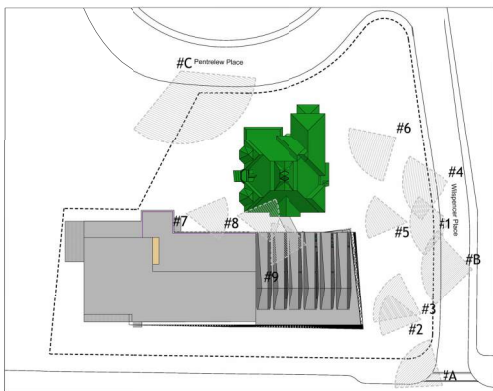
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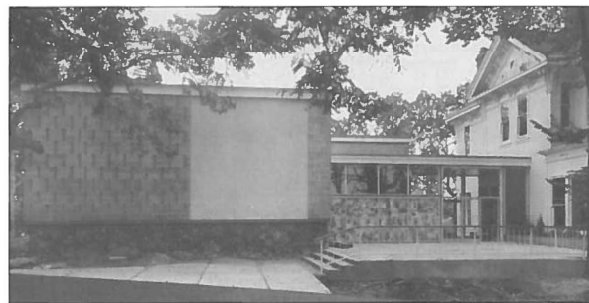
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1 SITE PLAN - VIEWPOINTS



2 MANSION - PHOTOGRAPH #1 FROM 1958



3 MANSION - PHOTOGRAPH #2 FROM 1958



4 EXISTING VIEW FROM WILSPER PLACE (REFER TO SITE PLAN 1/A1.4 - VIEW B)



5 PROPOSED VIEW FROM WILSPER PLACE & VISUALIZATION OF CONNECTION TO SPENCER MANSION (REFER TO SITE PLAN 1/A1.4 - VIEW B)

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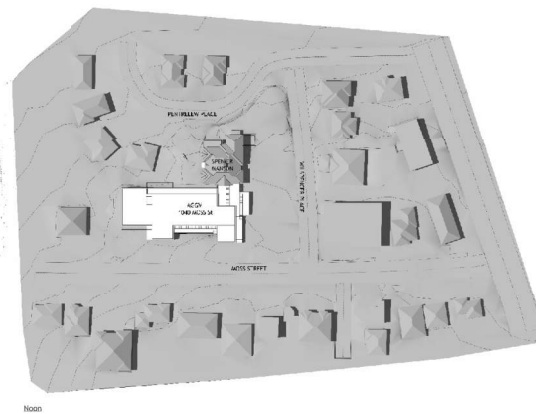
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View: PROPOSED VIEW FROM WILSPER PLACE
 Scale: N/A
 Date: March 17, 2023
 Drawn: T/L/MC
 Revised: 01
 Project: ART GALLERY RENEWAL
 Client: Joe & Jennifer
 Architect: LWPAC + MW
 Structural: LWPAC + MW
 Mechanical: LWPAC + MW
 Electrical: LWPAC + MW
 Code: LWPAC + MW
 Traffic: LWPAC + MW
 Geotechnical: LWPAC + MW
 Arboret: LWPAC + MW
 Professional Engineer: LWPAC + MW

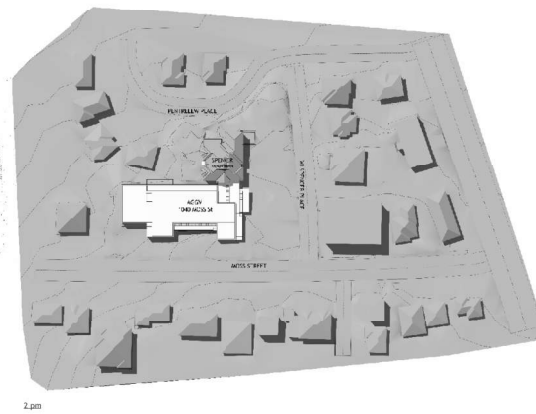
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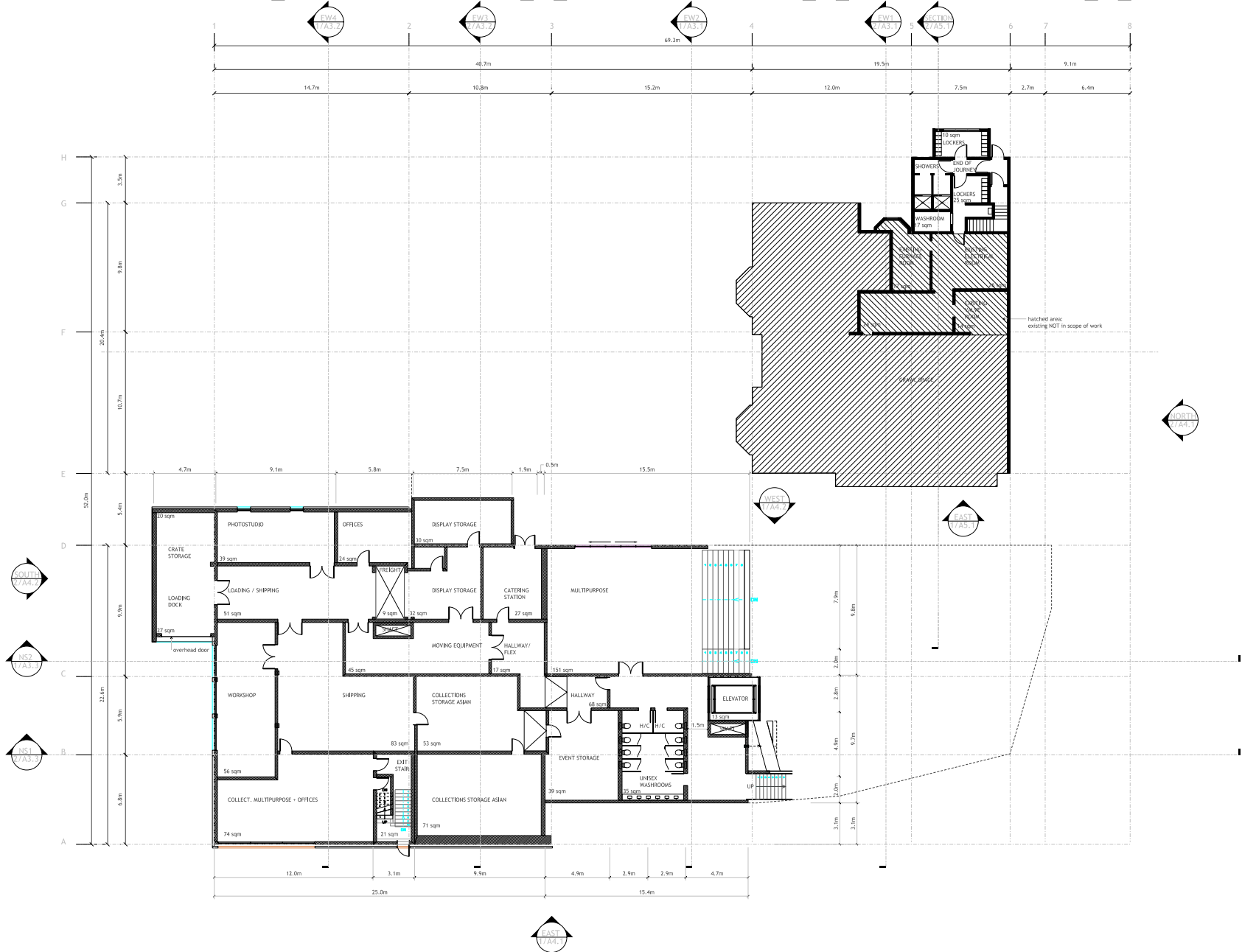
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Date : March 17, 2015	OWG # : A1
Drawn : TB / MC	
Reviewed : OL	Revision :



1 PROPOSED BASEMENT FLOOR PLAN
Scale: 1/100

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RENEWAL

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2015 BC Building Code
2015 BC Fire Code
2015 BC Electrical Code
2015 BC Gas Code
2015 BC Mechanical Code
2015 BC Plumbing Code
2015 BC Safety Code
2015 BC Structural Code
2015 BC Trenching and Shoring Code
2015 BC Wind Load Code
2015 BC Wood Decking Code
2015 BC Wood Framing Code
2015 BC Wood Joist Code
2015 BC Wood Truss Code
2015 BC Wood Wall Code
2015 BC Wood Floor Code
2015 BC Wood Ceiling Code
2015 BC Wood Roof Code
2015 BC Wood Siding Code
2015 BC Wood Cladding Code
2015 BC Wood Decking Code
2015 BC Wood Framing Code
2015 BC Wood Joist Code
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Title: PROPOSED BASEMENT FLOOR PLAN

Scale: 1/100

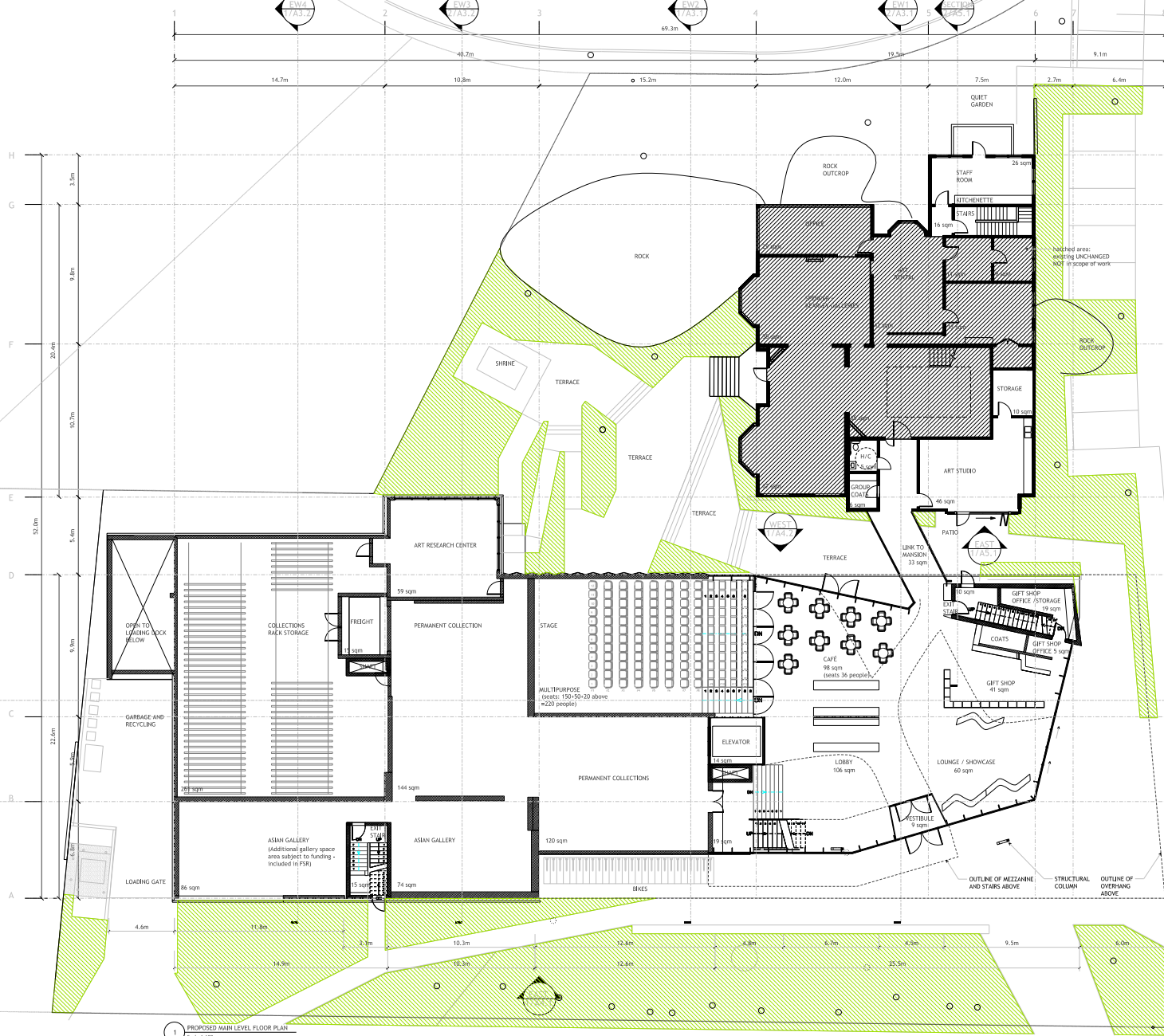
Date: March 17, 2022

Drawn: JH/LAC

Revised: 01

Revision: 01

Sheet: A2.1



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ART
GALLERY
RENEWAL

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Rev 1.000	2023-01-01	Rev 1.000	2023-01-01
Rev 2.000	2023-01-01	Rev 2.000	2023-01-01
Rev 3.000	2023-01-01	Rev 3.000	2023-01-01
Rev 4.000	2023-01-01	Rev 4.000	2023-01-01
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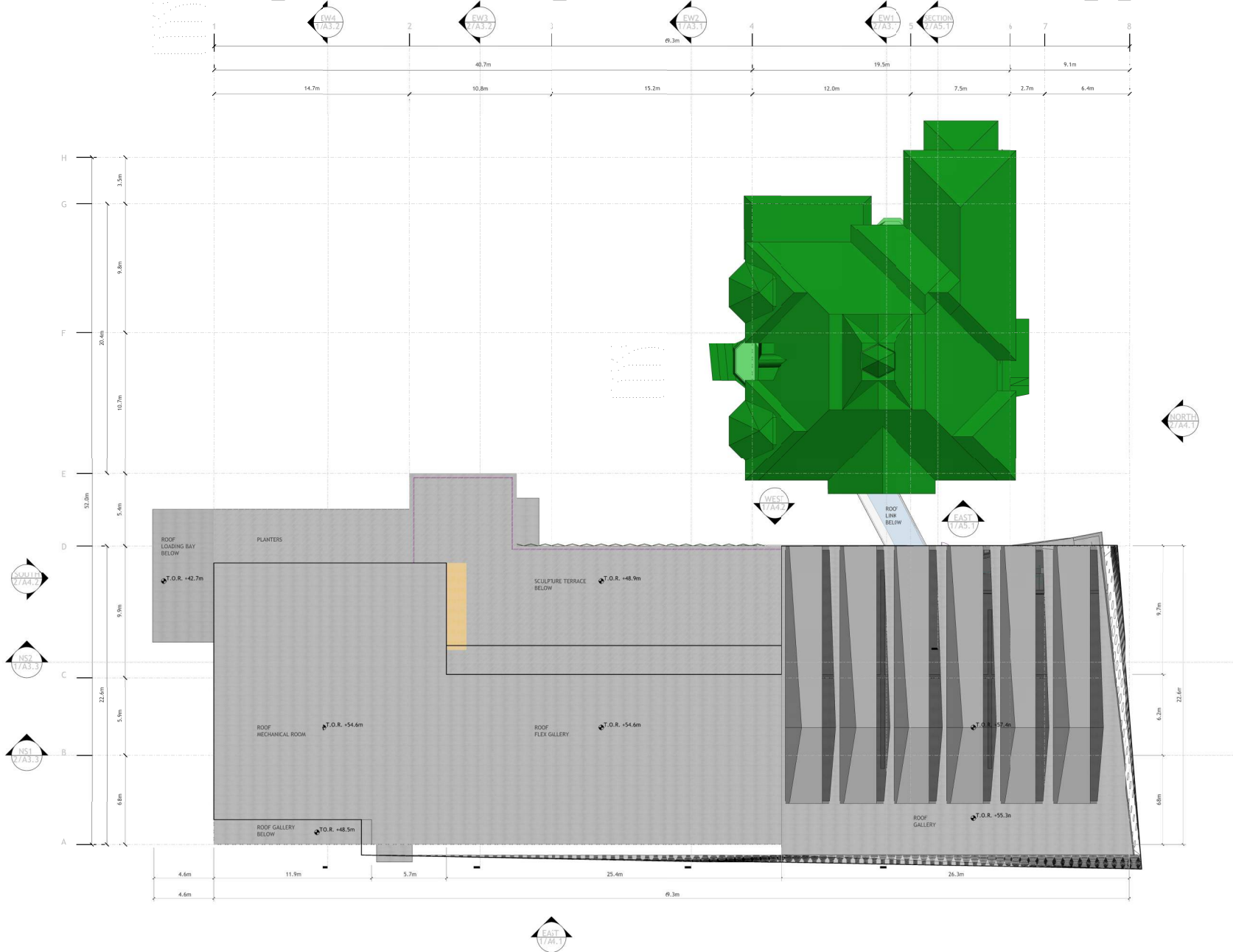
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100 - PROPOSED MAIN LEVEL
FLOOR PLAN
Scale: 1/8" = 1'-0"
Date: March 17, 2023
Drawn: JG / JAC
Reviewed: DL

100 - PROPOSED MAIN LEVEL
FLOOR PLAN
Scale: 1/8" = 1'-0"
Date: March 17, 2023
Drawn: JG / JAC
Reviewed: DL

100 - PROPOSED MAIN LEVEL
FLOOR PLAN
Scale: 1/8" = 1'-0"
Date: March 17, 2023
Drawn: JG / JAC
Reviewed: DL





1 PROPOSED ROOF PLAN
Scale: 1/100

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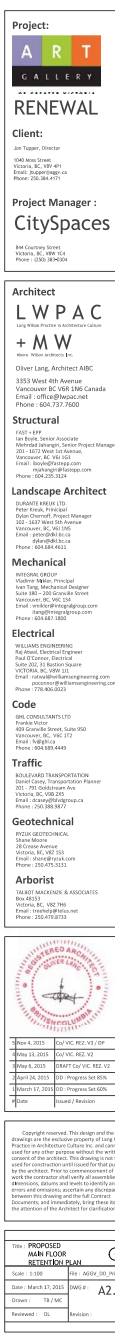
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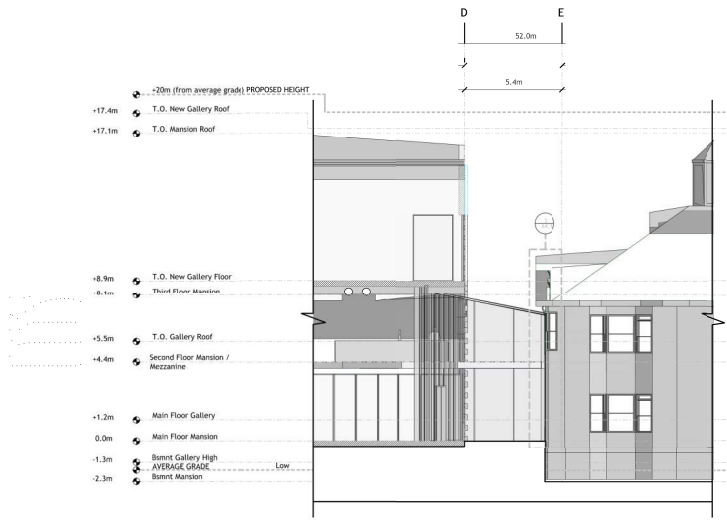
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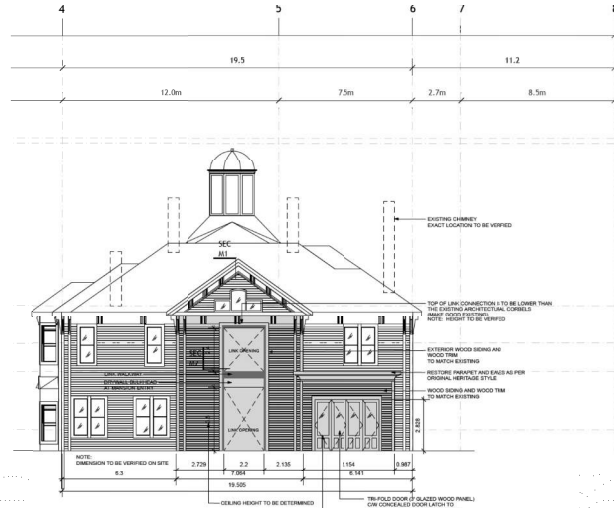


1 PROPOSED MAIN FLOOR RETENTION PLAN
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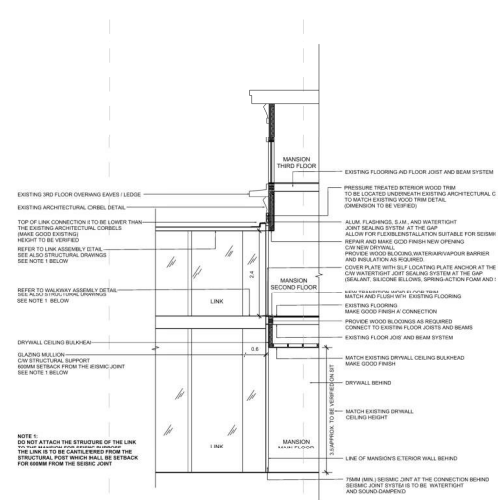




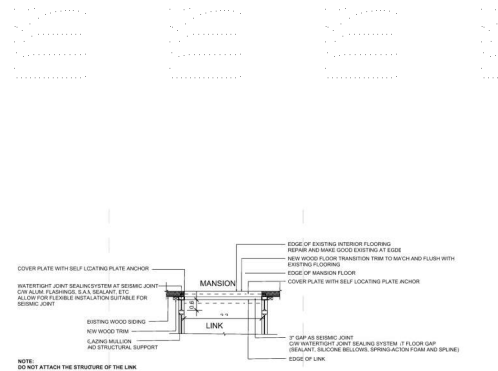
2 LONG SECTION THROUGH PROPOSED CONNECTION
Scale 1:100



1 SECTION AT PROPOSED CONNECTION
Scale 1:100



3 SECTION OF SEISMIC CONNECTION DETAIL
Scale 1:50



4 SEISMIC CONNECTION DETAIL IN PLAN
Scale 1:50

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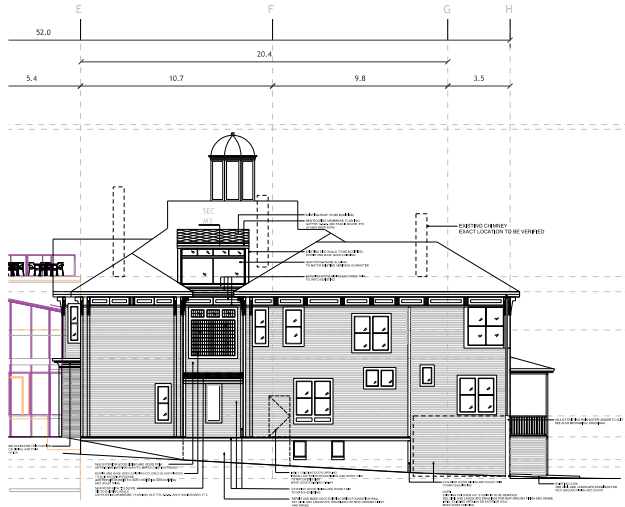
1000 Main Street
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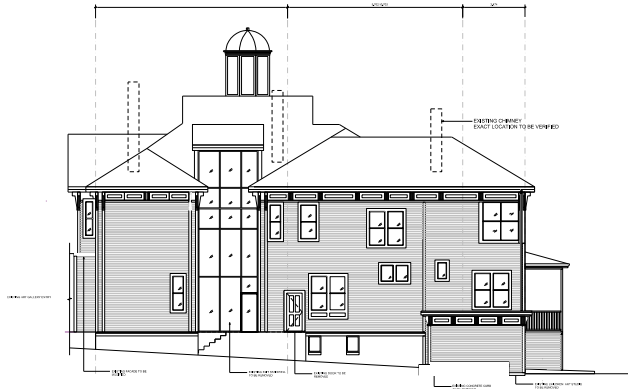
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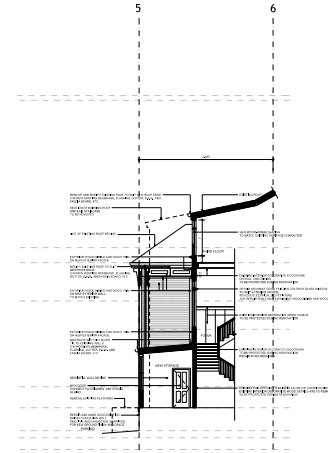
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2 MANSION - PROPOSED NORTH ELEVATION*
Scale 1:100
* Subject to alternative solutions /
building code compliance and funding



1 MANSION - EXISTING NORTH ELEVATION
Scale 1:100



A3 SECTION OF EXISTING NORTH ELEVATION - SEC M3
Scale 1:100

Project:



RENEWAL

Client:

Art Gallery
1000 West 4th Avenue
Vancouver, BC V6E 4R1
Phone: (604) 681-1111

Project Manager : CitySpaces

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Vancouver, BC V6E 4R1
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LWPAC

Long White Pencil Architecture Canada

+ M W

Oliver Long, Architect ABC

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Arboret

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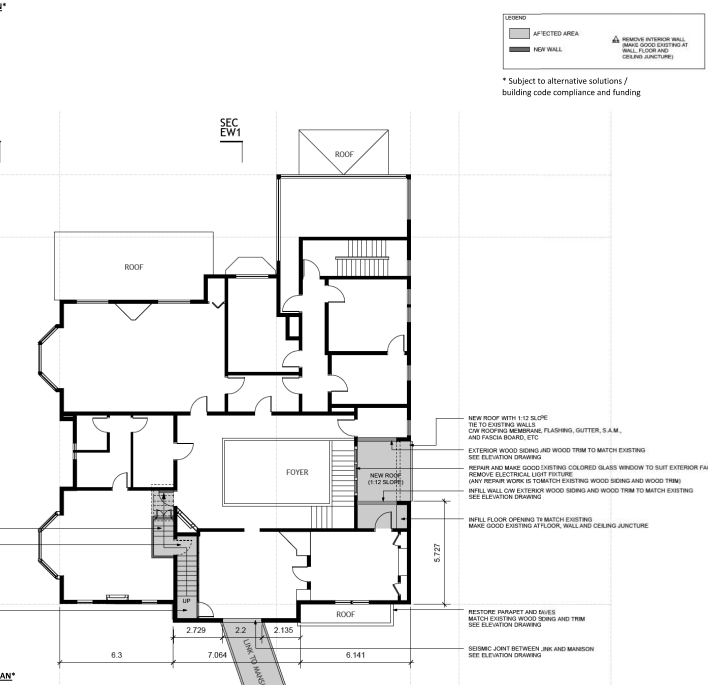
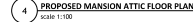
Rev 4.1000	2014 VAC REC V2 10P
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1 MANSION - PROPOSED AND EXISTING NORTH ELEVATION OF MANSION

Scale: 1:100 Date: March 17, 2015 Drawn: JG/MC

Revised: DL Revision: A4.2



CIVICADDRESS - 1040 Moss St, Victoria, BC
CLIENT - Art Gallery of Greater Victoria
LANDSCAPE CONSULTANT - Durante Kreuk Ltd. Contact: Dylan Chernoff

PARKING COUNTS

- | | |
|----|-----------------------------|
| 26 | TOTAL CAR STALLS |
| 1 | H/C PARKING STALL |
| 25 | STANDARD CAR STALLS |
| 3 | MOTORCYCLE / SCOOTER STALLS |

BIKE PARKING COUNTS

- 12 CLASS A BIKE STALLS
38 CLASS B BIKE STALLS

TREE PROTECTION NOTES

- Existing trees to remain, where possible and is protected during construction.
- Any tree removals are to be compensated with the planting of garry oak trees or equivalent.
- Refer to Arborist report for detailed tree information and tree protection details notes.

LANDSCAPE NOTES

1. Refer to Architectural and Survey plans of site dimensions.
2. Refer to Survey for any utility information.
3. All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
4. Plant sizes and related container classes are specified according to the current edition of the B.C. Landscape Standard. For container classes #3 and smaller, plant sizes shall be as shown in the plant list. For all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
5. All 'Soil Landscape Areas' are to be irrigated with a high efficiency design build irrigation system to IAABC Standards, or rain sensor.
6. All trees to be staked in accordance with BCOTA Standards.

LEGEND

-
- GARRY OAK MEADOW
 PLANTING - West coast vegetation
 PERMEABLE PAVING
 PAVING TYPE 1
 ASPHALT
 GRAVEL
 ILLUMINATED GALVANIZED STEEL ANGLE



-
- EXISTING TREES
(To be Retained)
- EXISTING TREES
(To be Removed)
- NEW TREES
11 Garry Oak Trees or equivalent (Size determined by nursery stock)
Exact number of replacements to be reviewed on site to maximize number of replacement trees.

PROPOSED PLANT LIST

GABBY OAK MEADOW

We will be working together with a local expert to develop a seed mix and bulbs suitable for the art gallery site that can be used to succeed the existing lawn.

PLANTING		
Arctostaphylos uva-ursi	Kinnickinnick	#1 Pot 450mm O.D.
Gaultheria shallon	Sisal	#1 Pot 450mm O.D.
Phyllostachys nigra	Black Bamboo	2.5m Tall 600mm O.D.
Polysichum munitum	Western Sword Fern	#2 Pot 600mm O.D.
Rhododendron spp.	Rhododendrons	#2 Pot 900mm O.D.





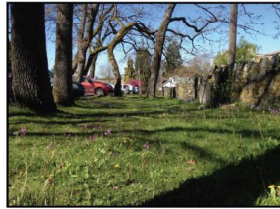
West Coast Vegetation



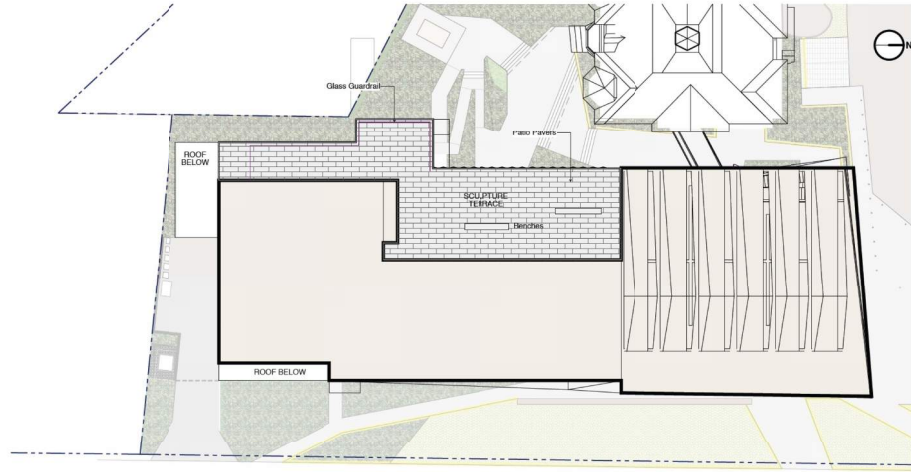
Existing Courtyard



Garry Oak Meadow



Existing Site Perimeter



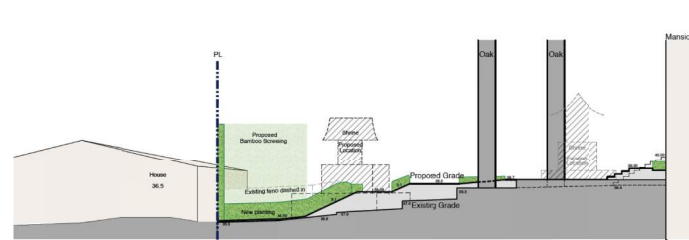
SCULPTURE TERRACE - LANDSCAPE PLAN



Simple paving / Flexible space



Stepping Garden Terraces



Schematic Section of Back Courtyard

Project:



RENEWAL

Client:

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Phone: (250) 385-0011

Project Manager:

CitySpaces

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LWPAC

Lang Wren Practice in Architectural Culture

+ MW

Office: Lang, Architect AIBC

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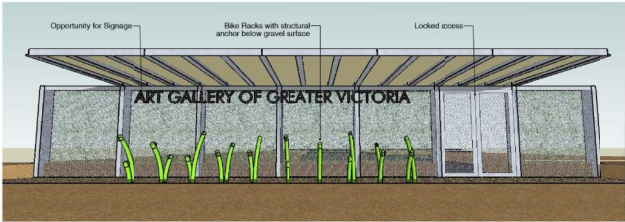
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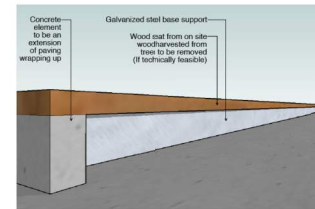
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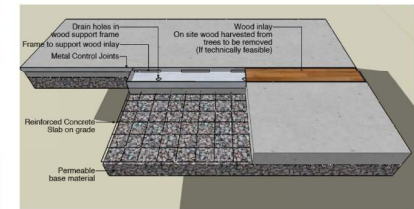
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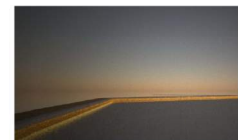
VIEW ANGLE FROM FOAD WILL HIDE BIKES AND PROVIDE A WELCOMING CORNER ELEMENT



WOOD TOP W/ GALVANIZED METAL & CONCRETE
CUSTOM BENCH DESIGN



CUTAWAY OF PAVING DETAILS



EDGE LIGHTING WASHING PLAZA



LIGHTING UNDER BENCH WASHING PLAZA