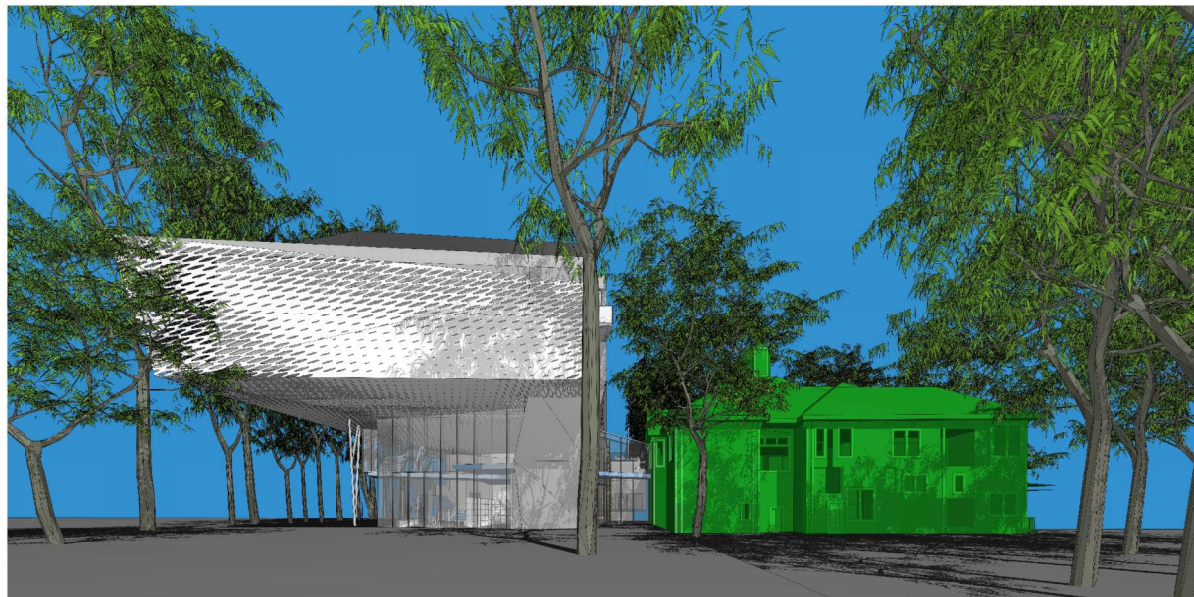




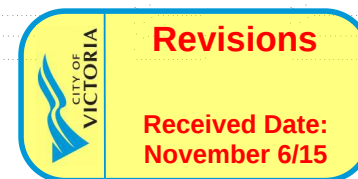
DRAWING LIST

ARCHITECT

A.1	COVER SHEET AND DRAWING LIST	A3.1	PROPOSED CROSS SECTIONS
A.0.4	PROPOSED SITE PLAN	A3.3	PROPOSED LONGITUDINAL SECTIONS
A.0.5	PROPOSED STREETScape ELEVATION #1		
A.0.5	PROPOSED STREETScape ELEVATION #2	A4.1	PROPOSED LINK TO MANSION
A.0.5	PROPOSED STREETScape ELEVATION #3	A4.2	PROPOSED AND EXISTING NORTH ELEVATION OF MANSION
		A4.3	PROPOSED FLOOR PLANS UP MANSION
A.1.1	PROPOSED ELEVATIONS		
A.1.2	PROPOSED ELEVATIONS	A5.1	CONTEXT AND FIT
A.1.4	PROPOSED VIEW FROM WILSPENCER PLACE		
A.1.5	VISUALIZATION OF PROPOSED CONNECTION TO SPENCER MANSION		LANDSCAPE
A.1.7	SHADOW STUDIES EXISTING	L0.1	LANDSCAPE PLAN
A.1.7	SHADOW STUDIES PROPOSED	L0.2	ENLARGED PLAN
		L0.3	SECTION & IMAGES
		L0.4	DETAILED DESIGN
A.2.1	PROPOSED BASEMENT FLOOR PLAN		
A.2.2	PROPOSED MAIN LEVEL FLOOR PLAN		
A.2.3	PROPOSED MEZZANINE PLAN		
A.2.4	PROPOSED UPPER LEVEL FLOOR PLAN		
A.2.5	PROPOSED ROOF PLAN		
A.2.6	PROPOSED BASEMENT FLOOR RETENTION PLAN		
A.2.7	PROPOSED MAIN FLOOR RETENTION PLAN		

LANDSCAPE

L0.1	LANDSCAPE PLAN
L0.2	ENLARGED PLAN
L0.3	SECTION & IMAGES
L0.4	DETAILED DESIGN



NOTE:
ALL SCALES FOR 42" x 30" SHEET



PROJECT INFORMATION TABLE			
Area	FIS (Public Building)/ Land Use Contract E	PROPOSED	
		Development	R1-B ZONE
Site area (m ²)	38,771	Institutional Zone	
Total gross floor area	5,301 m ²		
Number of floors	1	5,662 m ²	
Floor space ratio	0.67	0.99	
Site coverage %	36%	48%	48%
Open space %	42%	44%	
Height of building (m)	19.0 m (calculated from average grade)	20 m average grade	11 m (public building)
Number of stories	2.5	4	2.5 stories (public building)
Building scale on site	76	36	76
Front yard setback	7.3 m (non-conforming)	7.0 m	12(EL 1)-3(EL 2) = 50"
Side yard setback	7.3 m (non-conforming)	5.7 m	7.5 m or 25% lot depth
Side yard setback	0.6 m (non-conforming)	0.6 m	3.5 m or 10% lot depth
Wisperence setback	17.5 m	16.8 m	
Accessories Building (Bike enclosure)			
Location		Now Yard	Now Yard
Area		30 m ²	37 m ²
Height		3.0 m	3.5 m
Side setback		2.8 m	0.6 m
Side setback		1.4 m	0.6 m
Separation between building and main building			
Area		14.8 m	7.4 m
Side yard setback		7.11%	25.00%

*As per Schedule C: Education 12, Public 92, Theatre 22, Retail 2, Office 12, Exhibitions 11, Ed (Class 7.7) As per Schedule C: Commercial 4 (C1.1) and 4 (C2.2), Art Gallery 8 (C1.1) and 34 (C2.2).

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1 PROPOSED SITE PLAN
Scale: 1:200

2 DATA TABLE

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File: PROPOSED SITE PLAN

Scale: 1:200

Date: March 17, 2023

Drawn: T.E./M.C.

Reviewed: O.L.

File: ADDITIONAL PLAN

Scale: 1:200

Date: March 17, 2023

Drawn: T.E./M.C.

Reviewed: O.L.

A2.4

Revision:





1079 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1075 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1055 - 1024 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1035 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1029 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1 PENTRELEW PL. STREETSCAPE ELEVATION W/O TREES
scale 1:250



1079 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1075 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1055 - 1024 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1035 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

1029 Pentrelew Pl.

Single Family
Residential
1.5 Storeys

2 PENTRELEW PL. STREETSCAPE ELEVATION W/ TREES
scale 1:250



3 PENTRELEW PL. STREETSCAPE PHOTOGRAPHS

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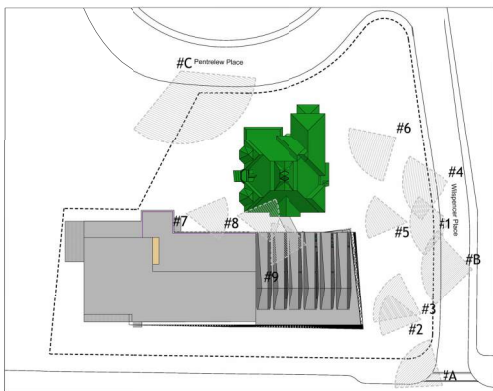
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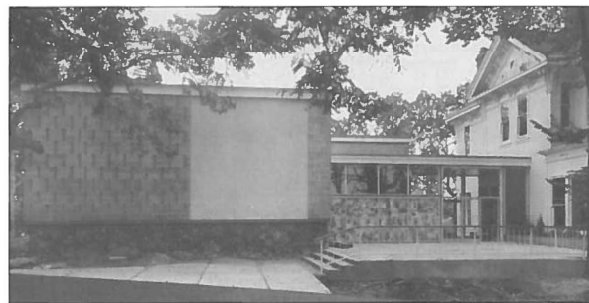
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1 SITE PLAN - VIEWPOINTS



2 MANSION - PHOTOGRAPH #1 FROM 1958



3 MANSION - PHOTOGRAPH #2 FROM 1958



4 EXISTING VIEW FROM WILSPENCER PLACE (REFER TO SITE PLAN 1/A1.4 - VIEW B)



5 PROPOSED VIEW FROM WILSPENCER PLACE & VISUALIZATION OF CONNECTION TO SPENCER MANSION (REFER TO SITE PLAN 1/A1.4 - VIEW B)

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10 am



10 am



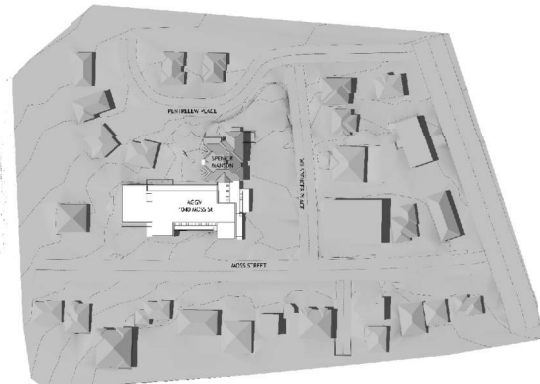
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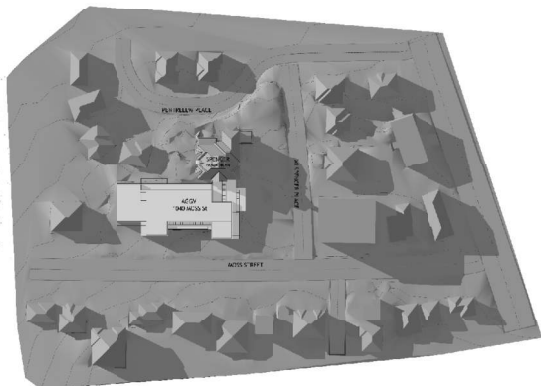
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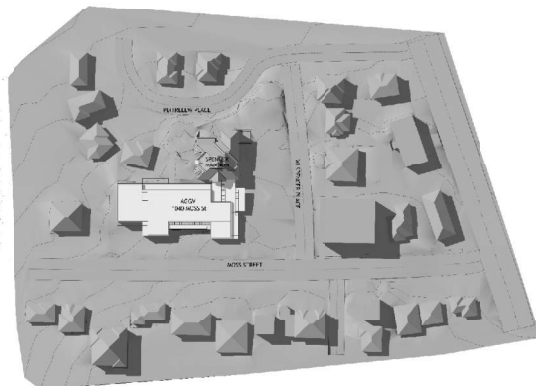
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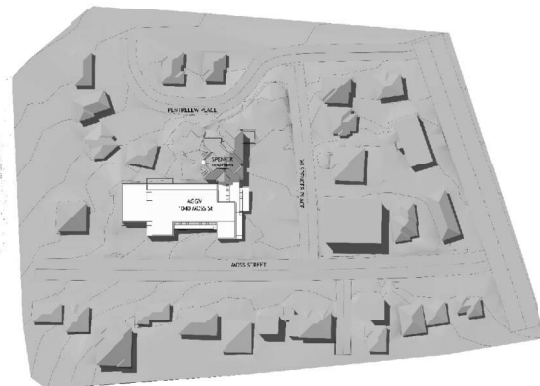
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2 pm



2 pm



2 pm

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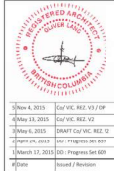
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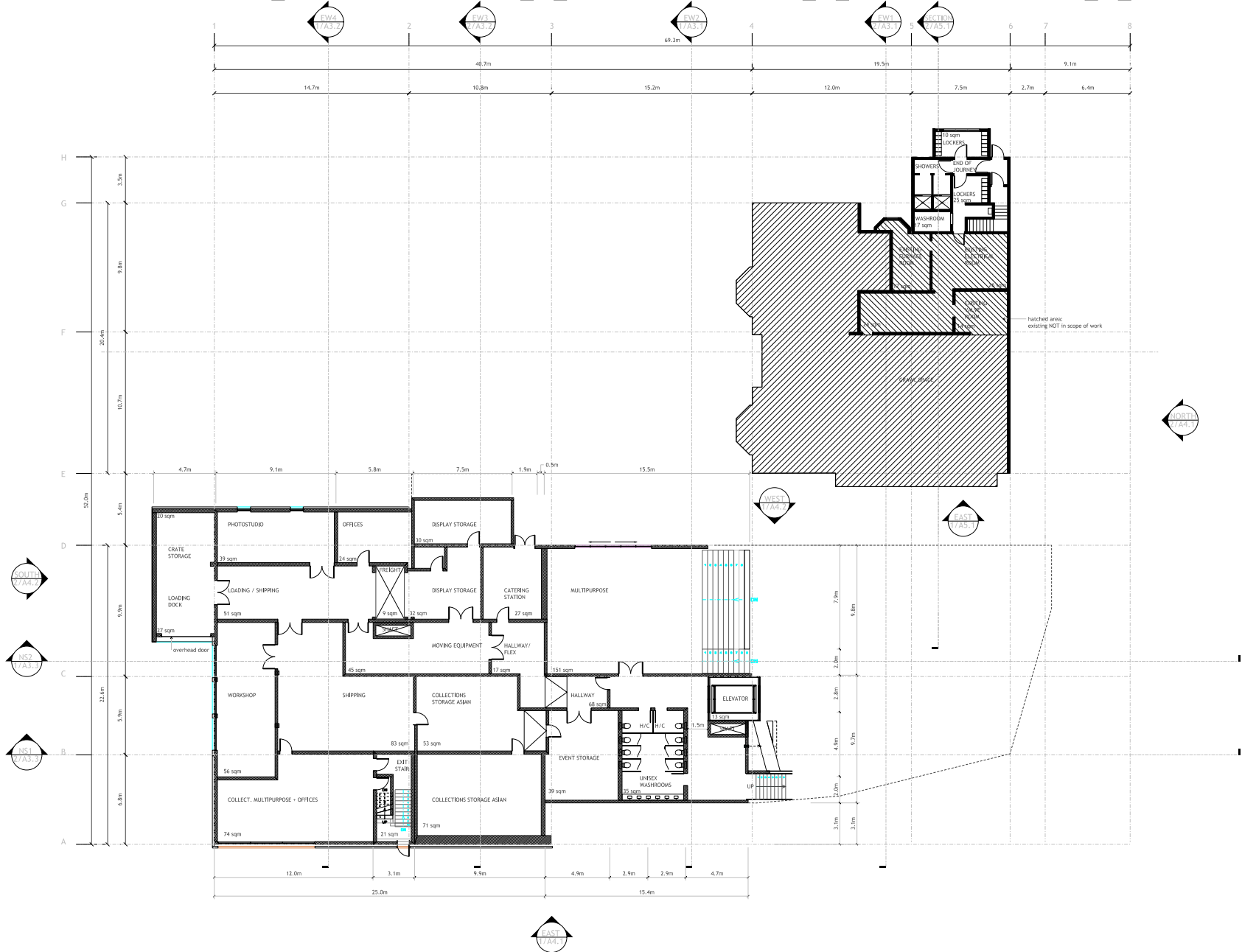


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shall verify all quantities, dimensions, details and levels to identify any
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between the drawings and the field conditions, and immediately
bring them to the attention of the architect for clarification.

SHADOW STUDIES EXISTING			
Title:	File:	Drawn by:	Checked by:
Scale: NTS	Date: March 17, 2023	Drawn by:	Checked by:
Drawn by:	Checked by:	Drawn by:	Checked by:
Drawn by:	Checked by:	Drawn by:	Checked by:
Drawn by:	Checked by:	Drawn by:	Checked by:

An aerial photograph of the proposed development site, which is highlighted in a darker shade of gray. The site is located at the intersection of 1st Avenue and 1st Street. The proposed building is shown as a large, rectangular structure with a flat roof. The surrounding area includes existing buildings, streets, and a parking lot. The map also shows the location of the proposed building relative to the existing building and the surrounding streets.

Title :		SHADOW STUDIES PROPOSAL	
Scale : N/A		File : AGGV_OC_Pri	
Date : March 17, 2015		OWG # : A1.	
Drawn : TB / MC			
Reviewed : OL		Revision :	



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11

PROPOSED BASEMENT FLOOR PLAN

Scale: 1/100

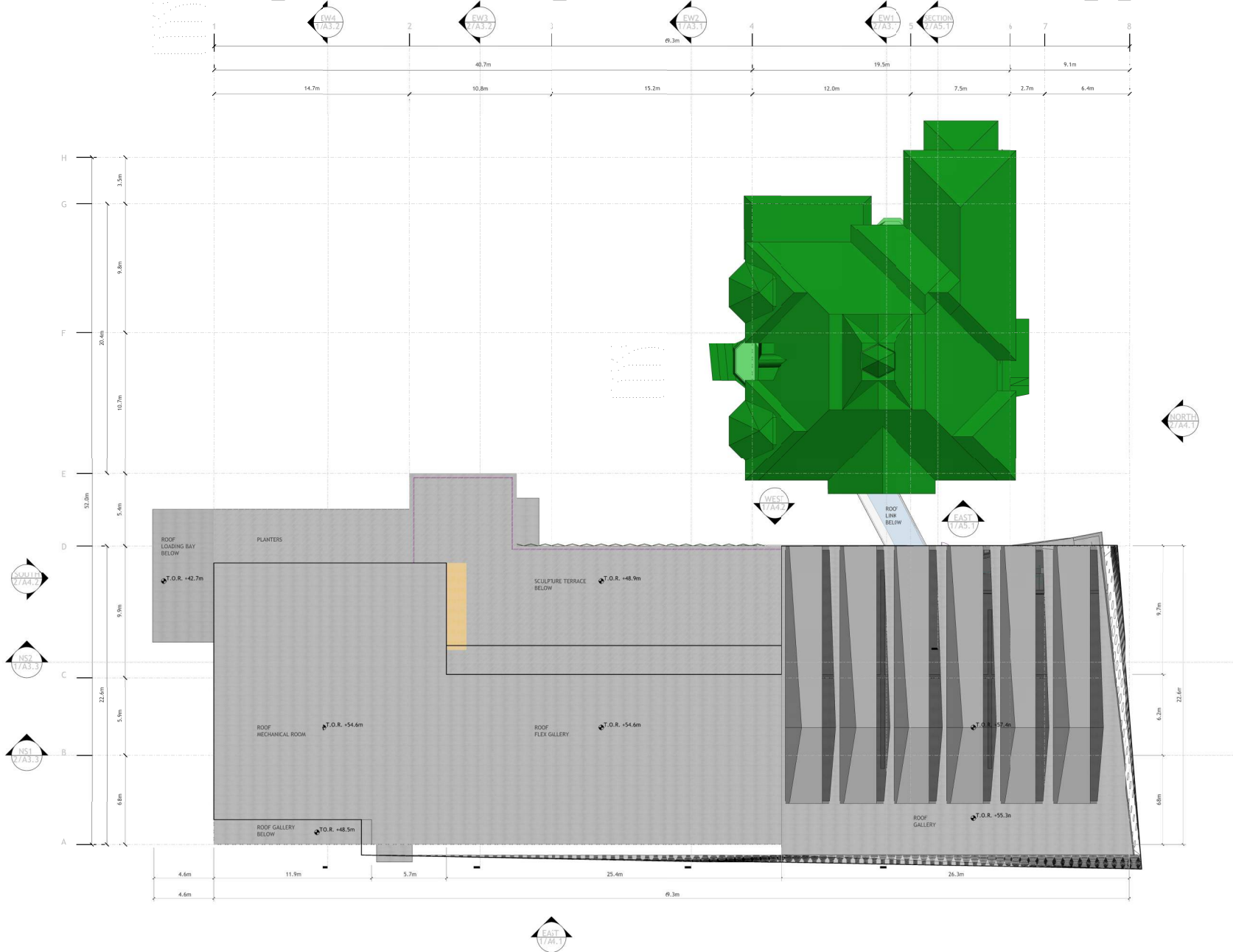
Date: March 17, 2022

Drawn: JH / JAC

Reviewed: CL

Revision: 1





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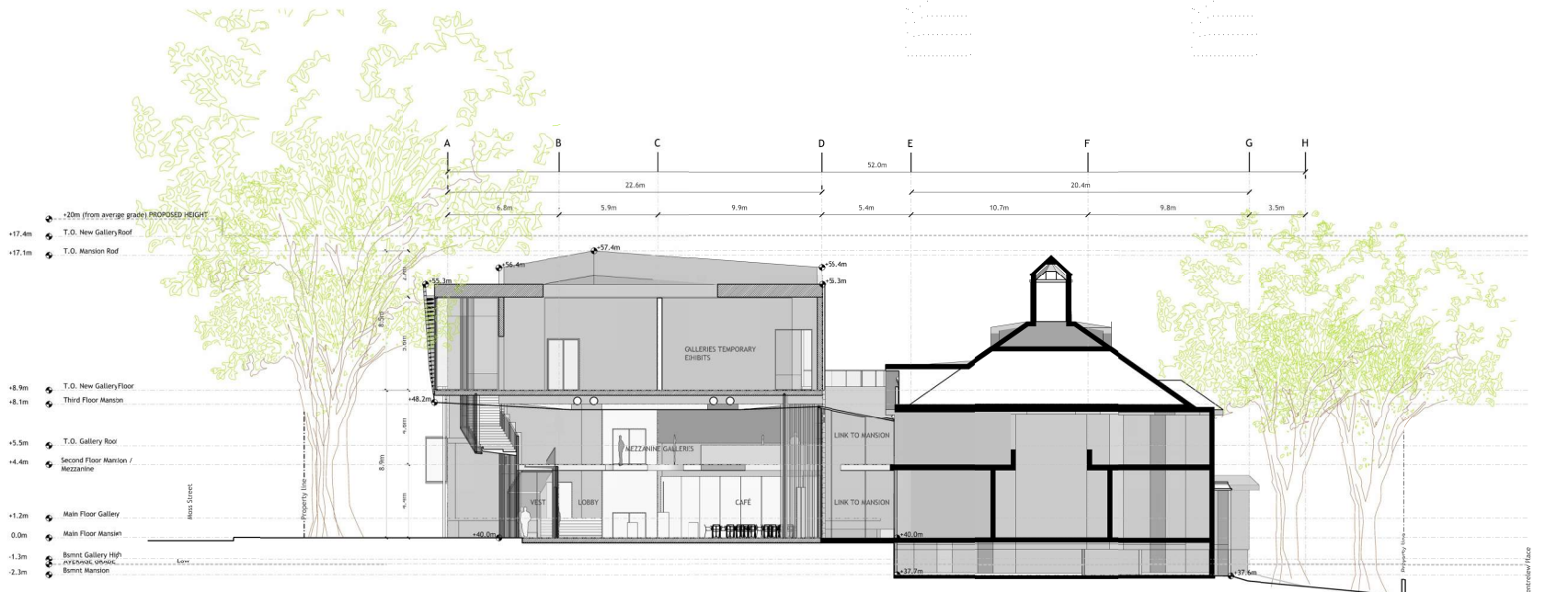
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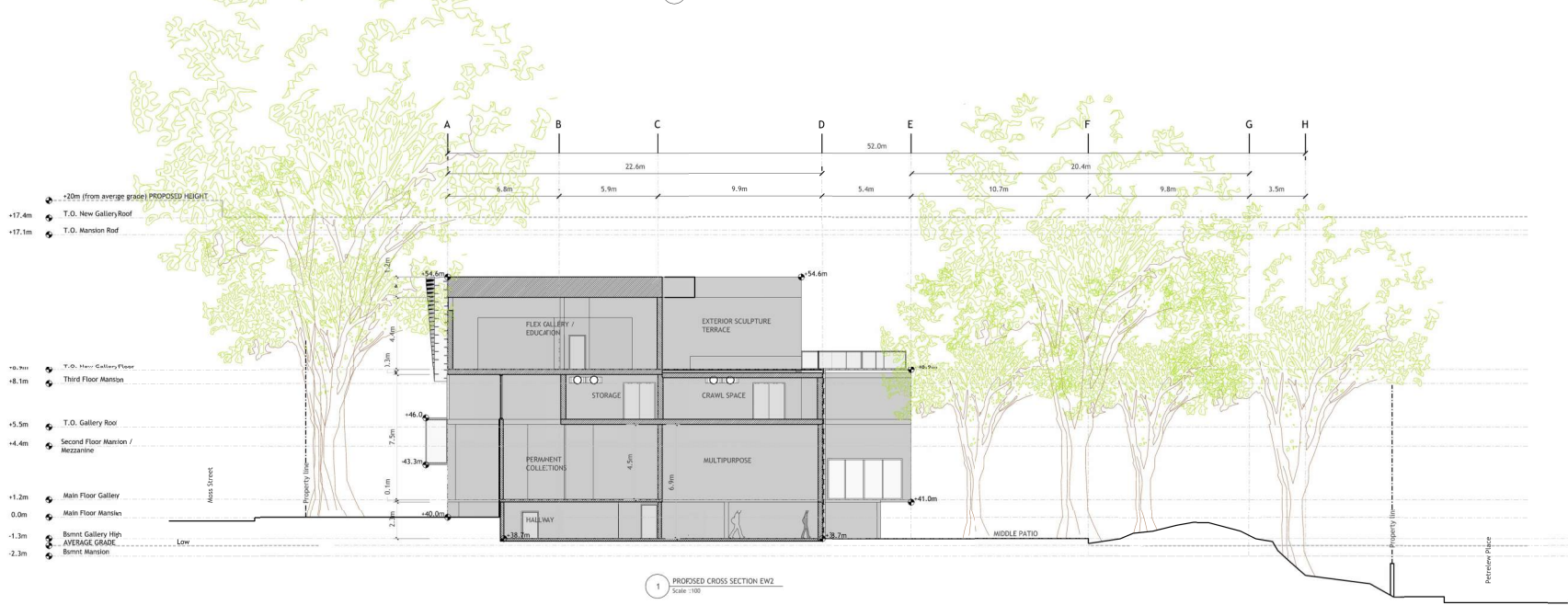
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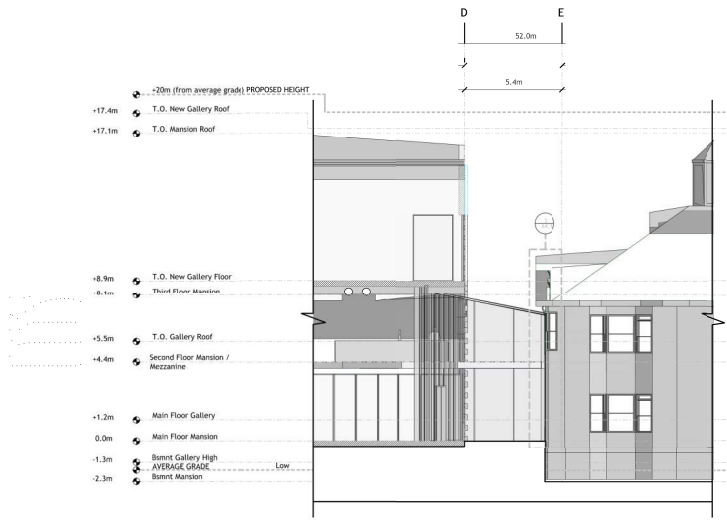
1 PROPOSED MAIN FLOOR RETENTION PLAN
Scale 1:100



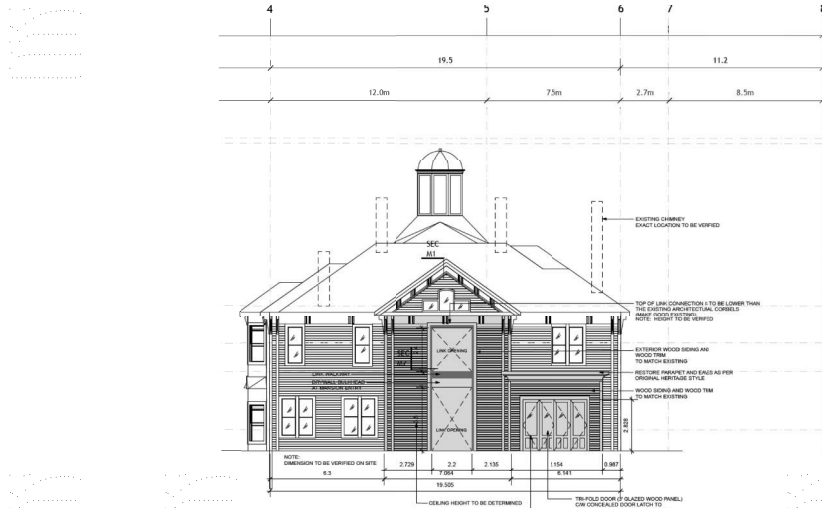
2 PROPOSED CROSS SECTION EW1
Scale 1/8" = 1'-0"



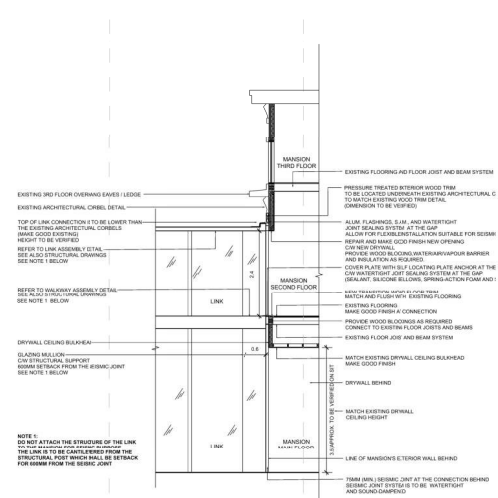
1 PROPOSED CROSS SECTION EW2
Scale 1/8" = 1'-0"



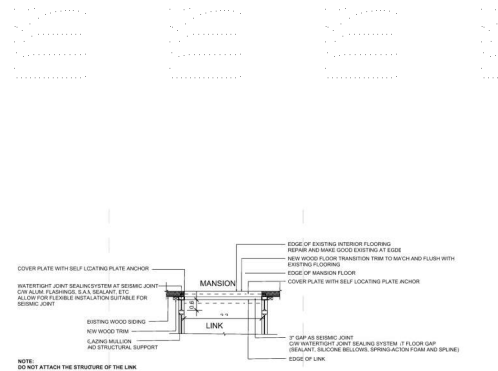
2 LONG SECTION THROUGH PROPOSED CONNECTION
Scale 1:100



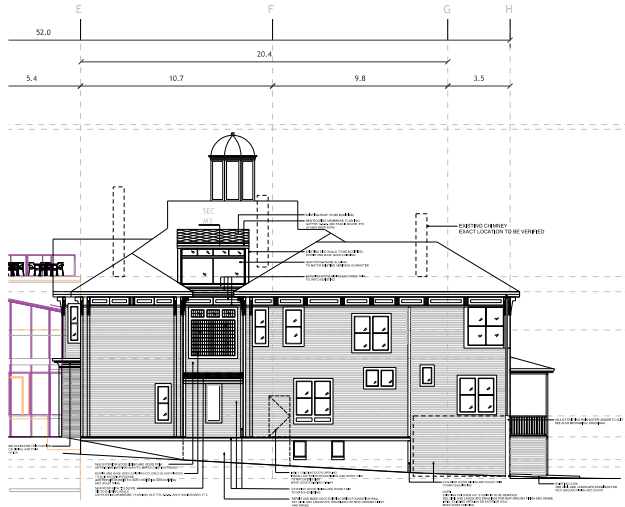
1 SECTION AT PROPOSED CONNECTION
Scale 1:100



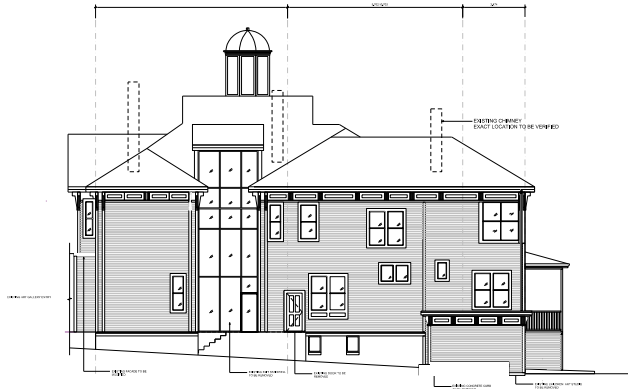
3 SECTION OF SEISMIC CONNECTION DETAIL
Scale 1:50



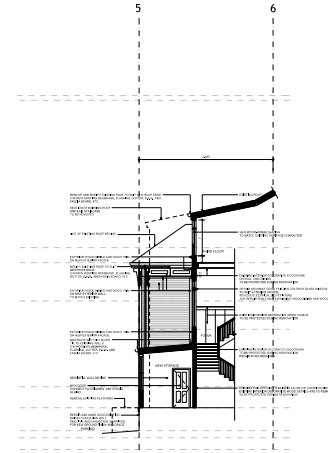
4 SEISMIC CONNECTION DETAIL IN PLAN
Scale 1:50



2 MANSION - PROPOSED NORTH ELEVATION*
Scale 1:100
* Subject to alternative solutions /
building code compliance and funding



1 MANSION - EXISTING NORTH ELEVATION
Scale 1:100



A3 SECTION OF EXISTING NORTH ELEVATION - SEC M3
Scale 1:100

Project:



RENEWAL

Client:

Art Gallery
1000 West 4th Avenue
Vancouver, BC V6E 4R1
Phone: (604) 681-1111

Project Manager:
CitySpaces

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Vancouver, BC V6E 4R1
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LWPAC

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+ M W

Oliver Long, Architect AIBC

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Rev 4.1000	2014 VAC REC V2 10P
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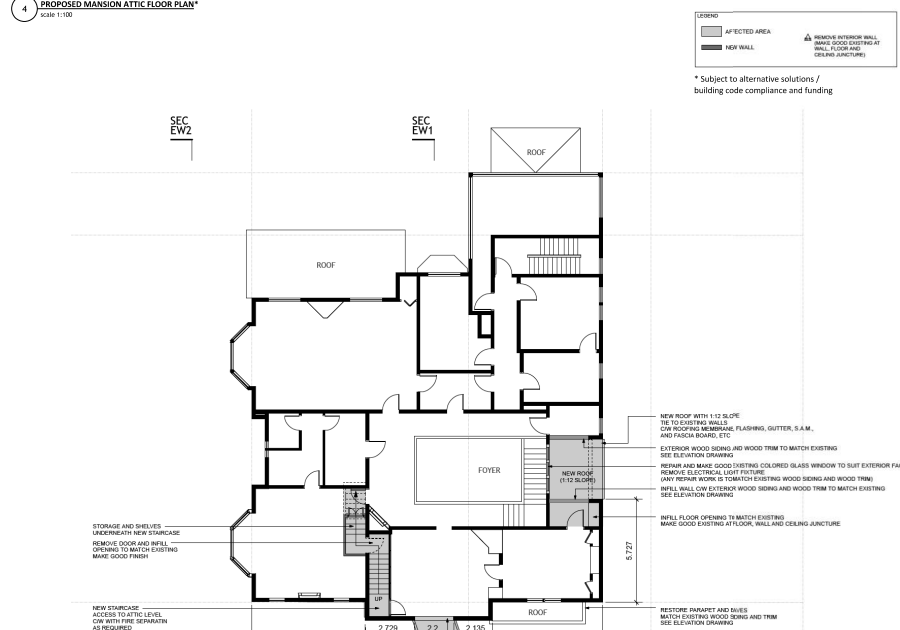
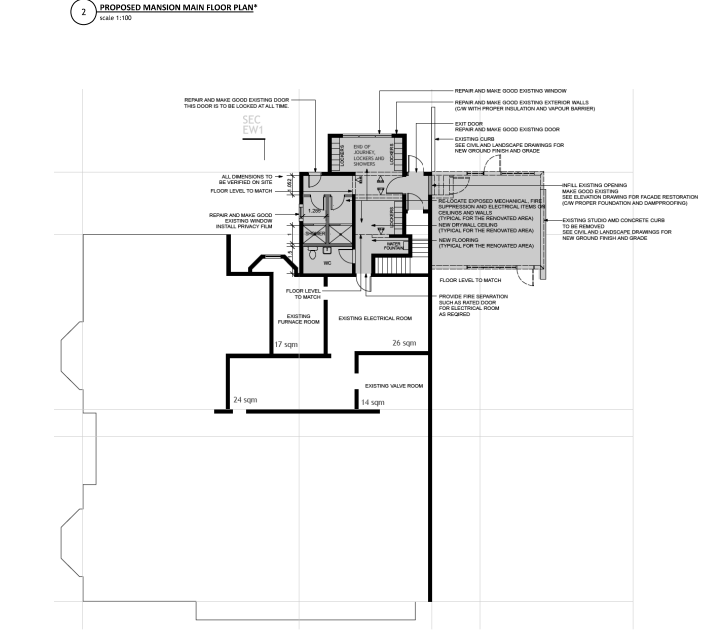
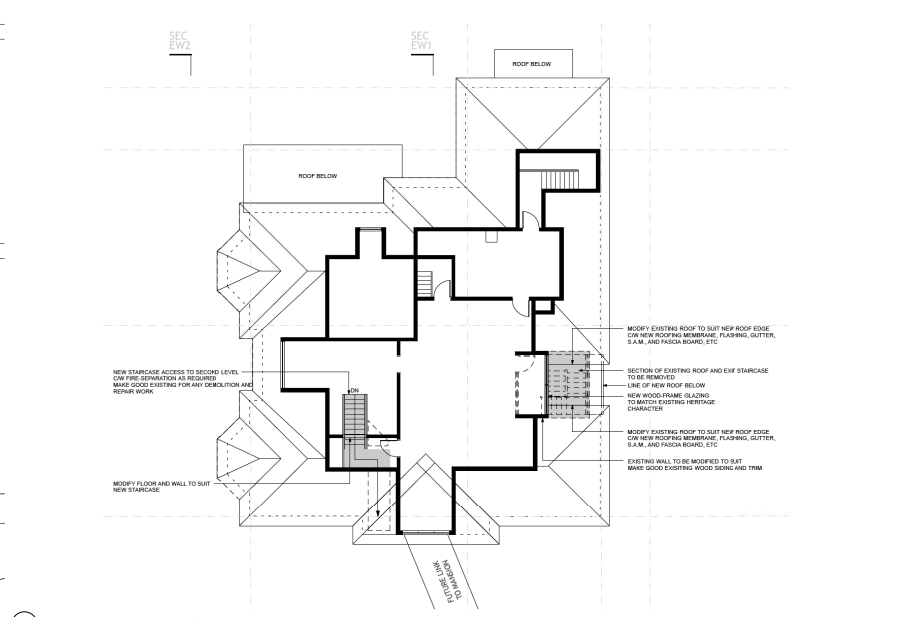
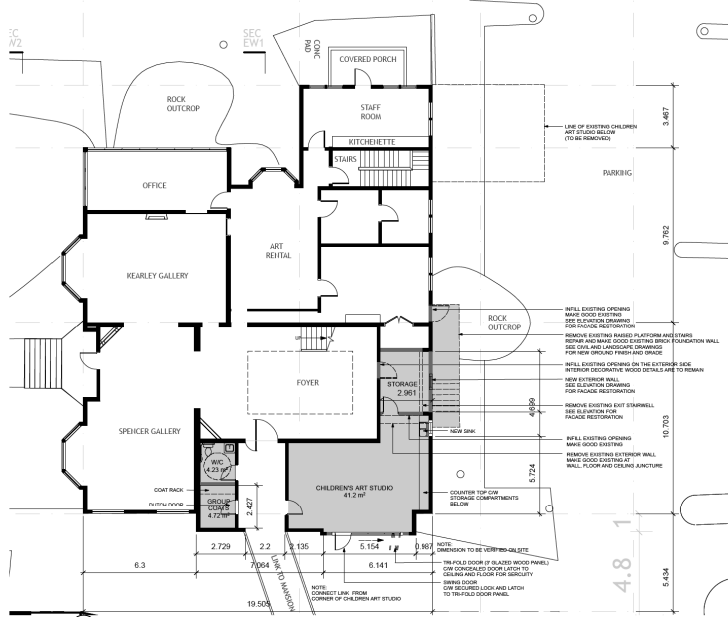
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1 MANSION - PROPOSED AND EXISTING NORTH ELEVATION OF MANSION

Scale: 1:100
Date: March 17, 2011
Drawn: JG/MC
Reviewed: CL
Revision:

A4.2





Project:
ART GALLERY RENEWAL

Client:
CitySpaces

Project Manager:
CitySpaces

Architect:
LWPAC
Long White Pencil Architecture Ltd.

+ M W
Other Long, Architect ABC

Structural:
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Landscape Architect:
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Mechanical:
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Electrical:
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Geotechnical:
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Arboretum:
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Legend:
AFFECTED AREA
NEW WALL
REMOVE EXISTING WALL
REMOVE EXISTING WALL
REMOVE EXISTING WALL

*** Subject to alternative solutions / building code compliance and funding**

PROJECT INFORMATION

CLIENT ADDRESS - 1940 Moss St, Victoria, BC
CLIENT - Art Gallery of Greater Victoria
LANDSCAPE CONSULTANT - Durante Kereak Ltd. Contact: Dylan Chernoff

PARKING COUNTS

- 26 TOTAL CAR STALLS
- 1 HIC PARKING STALL
- 25 STANDARD CAR STALLS
- 3 MOTORCYCLE / SCOOTER STALLS

BIKE PARKING COUNTS

- 12 CLASS A BIKE STALLS
- 38 CLASS B BIKE STALLS

TREE PROTECTION NOTES

- Existing trees to remain, where possible and be protected during construction.
- Any tree removals are to be compensated with the planting of garry oak trees or equivalent.
- Refer to Arborist report for detailed tree information and tree protection details notes.

LANDSCAPE NOTES

- Refer to Architectural and Survey plans of site dimensions.
- Refer to Survey for any utility information.
- All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the current edition of the B.C. Landscape Standard. For container classes #40 and smaller, plant sizes shall be as shown in the plant list and the standards; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the B.C. (ANSI) Standard.
- All 'Soft Landscape Areas' are to be irrigated with a high efficiency design build irrigation system to BASIS Standards, site rain sensor.
- All trees to be staked in accordance with BCOT Standards.

LEGEND

- GARRY OAK MEADOW
- PLANTING - West coast vegetation
- PERMEABLE PAVING
- PAVING TYPE 1
- ASPHALT
- GRAVEL
- ILLUMINATED GALVANIZED STEEL ANGLE

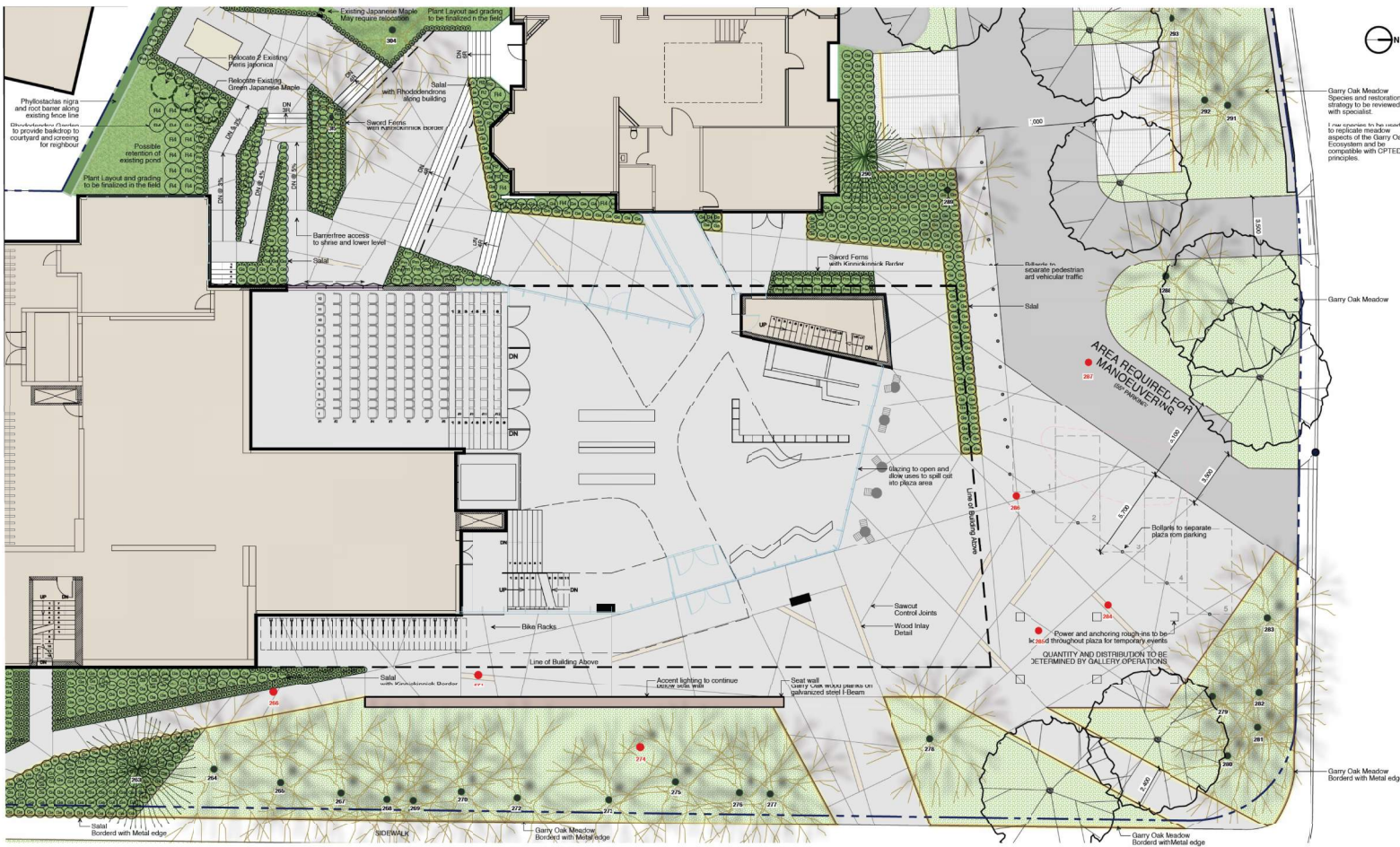
- EXISTING TREES (To be Retained)
- EXISTING TREES (To be Removed)
- NEW TREES
11 Garry Oak Trees or equivalent (Size determined by nursery stock)
Exact number of replacements to be reviewed on site to maximize number of replacement trees.

PROPOSED PLANT LIST

GARRY OAK MEADOW
We will be working together with a local expert to develop a seed mix and bulbs suitable for the art gallery site that can be used to succeed the existing lawn.

PLANTING	Knickerbocker	#1 Pot	450mm O.C.
Acrostichum sp.	Sisal	#1 Pot	450mm O.C.
Gaultheria shallon	Black Bamboo	2.5m Tall	600mm O.C.
Physalis peruviana	Western Sward Fern	#2 Pot	600mm O.C.
Polystichum munitum	Rhododendron	#2 Pot	900mm O.C.
Rhododendron spp.			





1 ENLARGED PLAN
 Scale 1:100



West Coast Vegetation



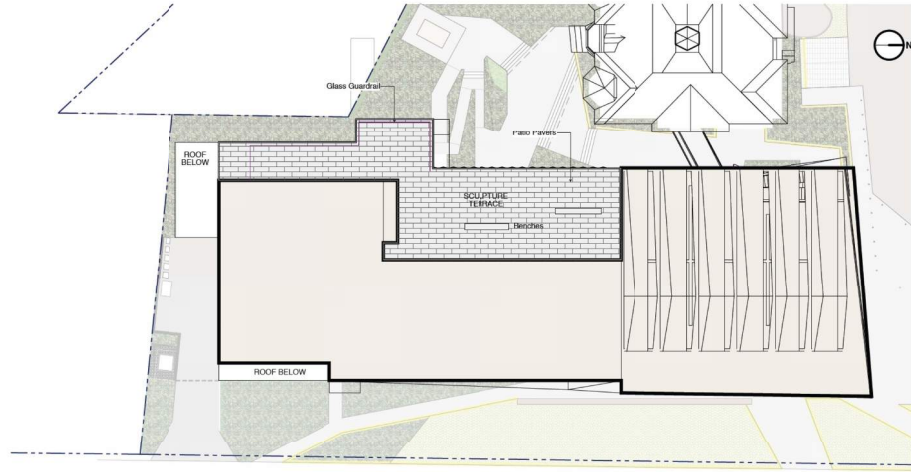
Existing Courtyard



Garry Oak Meadow



Existing Site Perimeter



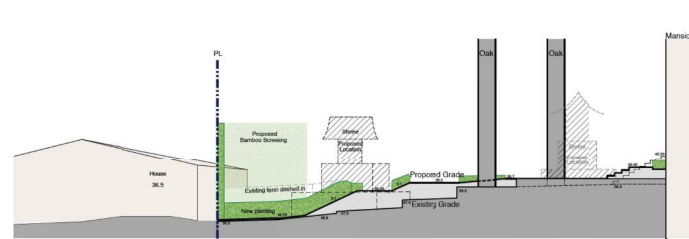
SCULPTURE TERRACE - LANDSCAPE PLAN



Simple paving / Flexible space



Stepping Garden Terraces



Schematic Section of Back Courtyard

Project:



RENEWAL

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Phone: (250) 385-0511

Project Manager:

CitySpaces

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LWPAC

Lang Wren Practice in Architectural Culture

+ MW

Office: Lang, Architect AIBC

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Sheet 4.3015

Sheet 4.3016

Sheet 4.3017

Sheet 4.3018

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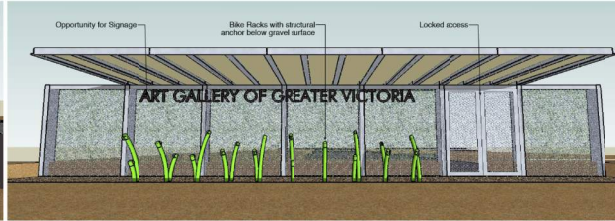
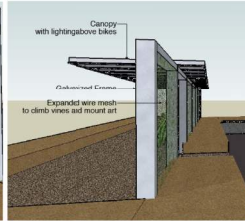
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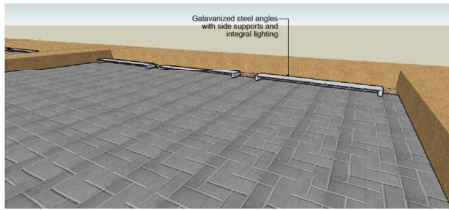
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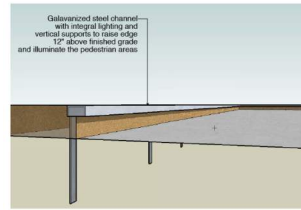
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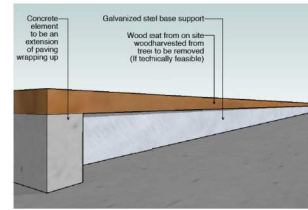
EXPANDED WIRE MESH AND GALVANIZED FRAME TOP TO FLOAT OVER SCREEN VIEW ANGLE FROM FOAD WILL HIDE BIKES AND PROVIDE A WELCOMING CORNER ELEMENT
CONCEPTUAL DESIGN FOR COVERED SECURE BIKE STORAGE FOR STAFF



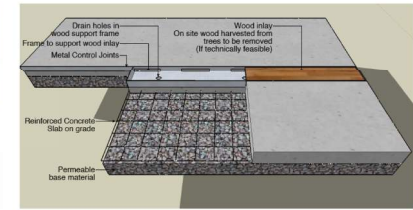
GALVANIZED METAL ANGLE
PARKING LOT WHEEL STOPS



GALVANIZED METAL CHANNEL (MAX 12" HIGH)
METAL EDGE DESIGN



WOOD TOP W/ GALVANIZED METAL & CONCRETE
CUSTOM BENCH DESIGN



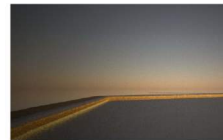
SAWCUT CONCRETE W/ WELL DRAINED SUPPORTS FOR WOOD
CUTAWAY OF PAVING DETAILS



BIKE ENCLOSURE ILLUMINATED FROM ABOVE
LIGHTING DESIGN



WHEEL STOP LIGHTING WASHING PAVING



EDGE LIGHTING WASHING PLAZA



LIGHTING UNDER BENCH WASHING PLAZA

Project:



RENEWAL

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