

MOTIONS

1. To Set Public Hearings for the Council Meeting of Thursday, November 12, 2015 for:

It was moved by Councillor Coleman, seconded by Councillor Alto, that the following Hearings be held in Council Chambers, City Hall, on **THURSDAY, NOVEMBER 12, 2015, at 7 p.m.:**

1. Heritage Alteration Permit No. 00206 with Variances for 222 Dallas Road

REPORTS OF THE COMMITTEES

2. Planning and Land Use Committee – October 1, 2015

5. Heritage Alteration Permit with Variances Application No. 00206 for 222 Dallas Road

It was moved by Councillor Coleman, seconded by Councillor Alto,

- A. That Council advance Heritage Alteration Permit Application No. 00206 with Variances for 222 Dallas Road, for consideration at a Public Hearing."
- B. Following consideration at the Public Hearing of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road, that Council consider the following motion.

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:

1. *Revised plans date stamped August 18, 2015.*
2. *The provision of:*
 - a. *Plan, elevation and section details for the front porch;*
 - b. *A post-relocation condition assessment of the existing wood siding/shingles, Woodwork, roof, exterior doors and windows;*
 - c. *Rehabilitation details confirming the scope of work arising from the condition of the historic fabric;*
 - d. *An exterior door and window rehabilitation schedule.*
3. *Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:*
 - a. *Section 1.2.4.a - Height relaxed from 7.6m to 9.9m and number of storeys from 2 to 2.5;*
 - b. *Section 1.2.5.a - Front setback relaxed from 7.5m to 6.45m for main building, from 5.9m to 4.94m for porch, from 5.0m to 3.91m for stairs;*
 - c. *Section 1.2.5.c - Side yard setback (east) relaxed from 1.5m to 1.36m;*
 - d. *Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.68m; and*
 - e. *Section 1.2.5.e - Flanking street (Dock) setback relaxed from 3.5m to 1.32m.*
4. *The Heritage Alteration Permit lapsing two years from the date of this resolution.*
5. *Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."*

Carried Unanimously

Councillor Young returned to the meeting at 8:56 p.m.

222 Dallas Road

"That Council advance Heritage Alteration Permit Application No. 00206 with Variances for 222 Dallas Road, for consideration at a Public Hearing."

- A. Following consideration of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road:
- B. That Council authorize the issuance of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:
 - 1. Revised plans date stamped August 18, 2015.
 - 2. The provision of:
 - a. Plan, elevation and section details for the front porch;
 - b. A post-relocation condition assessment of the existing wood siding/shingles, woodwork, roof, exterior doors and windows;
 - c. Rehabilitation details confirming the scope of work arising from the condition of the historic fabric;
 - d. An exterior door and window rehabilitation schedule.
 - 3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - a. Section 1.2.4.a - Height relaxed from 7.6m to 9.9m and number of storeys from 2 to 2.5;
 - b. Section 1.2.5.a - Front setback relaxed from 7.5m to 6.45m for main building, from 5.9m to 4.94m for porch, from 5.0m to 3.91m for stairs;
 - c. Section 1.2.5.c - Side yard setback (east) relaxed from 1.5m to 1.36m;
 - d. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.68m; and
 - e. Section 1.2.5.e - Flanking street (Dock) setback relaxed from 3.5m to 1.32m.
 - 4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
 - 5. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."

CARRIED UNANIMOUSLY 15/PLUC215

- iii. Section 1.2.5.c - Side yard setback (east) relaxed from 3.0m to 1.20m and side yard setback (west) relaxed from 1.5m to 1.04m
- iv. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.24m.
4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
5. Final plans to be generally in accordance with the plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."

222 Dallas Road

"That Council advance Heritage Alteration Permit Application No. 00206 with Variances for 222 Dallas Road, for consideration at a Public Hearing."

Following consideration of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:

1. Revised Plans date stamped August 18, 2015.
2. The provision of:
 - plan, elevation and section details for the front porch
 - a post-relocation condition assessment of the existing wood siding/shingles, woodwork, roof, exterior doors and windows
 - rehabilitation details confirming the scope of work arising from the condition of the historic fabric
 - an exterior door and window rehabilitation schedule.
3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Section 1.2.4.a - Height relaxed from 7.6m to 9.9m and number of storeys from 2 to 2.5
 - ii. Section 1.2.5.a - Front setback relaxed from 7.5m to 6.45m for main building, from 5.9m to 4.94m for porch, from 5.0m to 3.91m for stairs
 - iii. Section 1.2.5.c - Side yard setback (east) relaxed from 1.5m to 1.36m
 - iv. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.68m
 - v. Section 1.2.5.e - Flanking street (Dock) setback relaxed from 3.5m to 1.32m.
4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
5. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."

LEGISLATIVE AUTHORITY

In accordance with Sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for two heritage alteration permit applications for the heritage-registered houses (presently located at 524 and 526 Michigan Street) to be relocated to 226 and 222 Dallas Road, respectively. The two houses are being relocated to facilitate the development of Capital Park. The proposal is to rehabilitate the houses after they have been relocated and designated at the receiver sites.

The following points were considered in assessing this application:

- consistency with OCP
- consistency with the James Bay Neighbourhood Plan
- consideration of impacts of variances to the *Zoning Regulation Bylaw*
- consistency with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Staff recommend that Council advance Heritage Alteration Permit Application Nos. 00205 and 00206 with Variances for 226 Dallas Road and 222 Dallas Road, respectively, for consideration at a Public Hearing.

BACKGROUND

The Province and the City were parties to the *Victoria Accord - Legislative Precinct Master Development Agreement*, made June 6, 1994, respecting the subdivision and development of the lands within the Legislative Precinct. In relation to the five heritage-registered homes currently situated on the South Block, the extent of restoration of the heritage houses and a relocation plan were to be described in future development proposals.

On June 11, 2014, Council authorized the issuance of Heritage Alteration Permits Nos. 00188 and 00189 for 524 and 526 Michigan Street, regarding the relocation of the Prout House and the Beaven/Macabe Residence within James Bay, subject to conditions that included providing the City with a relocation plan and a letter irrevocably agreeing to the designation of the houses. The condition regarding heritage designation was satisfied by the applicant in August 2014.

On September 11, 2014, Council instructed staff to prepare the heritage designation bylaw that would designate the Prout House and Beaven/Macabe Residence upon receipt of owner's consent to the designations. Once the houses have been relocated to their new lots, the heritage designation bylaw that Council gave first and second reading will be advanced to a public hearing pursuant to Section 968 of the *Local Government Act*, and Council may then consider adopting the bylaw.

These applications address the second condition regarding the provision of a relocation plan and as a result, deal with the planning issues associated with relocating the two houses to specific lots within James Bay.

Description of Proposal

These applications propose to remove the existing 1950s house that straddles the two existing lots located at 222 and 226 Dallas Road and to relocate the heritage-registered Prout House and Beaven/Macabe Residence presently located at 524 and 526 Michigan Street, part of the South Block.

The proposal to rehabilitate the houses presently located at 524 and 526 Michigan Street will involve the construction of new concrete footings on the receiver site; construction of new storm windows that are compatible with the character of the place; undertaking of alterations to rear and side window/door openings in order to accommodate the new use; rehabilitation of the existing guardrails; construction of a new steel rear balcony to comply with the Building Code; and undertaking of repairs to the exterior wood siding/shingles.

The scope of the proposed work outlined in Heritage Alteration Permit Nos. 00205 and 00206 is more particularly described in the revised plans prepared by Keay Cecco Architecture Ltd., dated August 18, 2015, and in the applicant's letter, dated August 17, 2015.

Public Realm Improvements

No public realm improvements are proposed in association with these heritage alteration permit applications.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applications were sent to the James Bay Neighbourhood Association on August 25, 2015. Should staff receive comments from the James Bay CALUC, these will be forwarded to Council for consideration.

ANALYSIS

The following sections provide a summary of the applications' consistency with the relevant City policies and guidelines.

Official Community Plan

The proposed development outlined in the applications is consistent with the OCP because it contributes to the goal of protecting and celebrating Victoria's cultural and natural heritage resources. In addition, a key strategic direction of James Bay would be met by the proposed development where it enables the adaptation and renewal of existing building stock.

James Bay Neighbourhood Plan

The proposed development is consistent with the goals and objectives of the *James Bay Neighbourhood Plan* in relation to Housing, where it encourages the retention of significant buildings in the neighbourhood and in relation to Heritage Preservation, where it encourages the conservation and rehabilitation of buildings, lands and structures of heritage significance, which

contribute to the neighbourhood's attractive character and where the moving of heritage buildings is considered as a last resort to prevent their demolition.

Zoning Regulation Bylaw

The relocation of the heritage-registered Prout House and Beaven/Macabe Residence (presently located at 524 and 526 Michigan Street) triggers siting variances (height, front and side yard setbacks) as a result of the dimensions of the existing houses. The placement of the houses is generally compatible with the Dallas Road lot configuration, which are narrow in width and deep in length. The heights of nearby structures range from one to two storeys along Dallas Road and up to three-and-one-half storeys in relation to the apartment block across Dock Street to the north. Staff consider that the variances of heights and setbacks will have a minor impact on the overall character of the area and therefore recommend that Council consider the variances to the *Zoning Regulation Bylaw* to accommodate the proposed development.

Standards and Guidelines for the Conservation of Historic Places in Canada

(As applicable to both buildings)

Exterior Walls

The proposal includes the alteration of openings on the north elevation; alterations to existing openings on the east elevation for code compliance; and the rehabilitation of the exterior wood shingles, siding and windows. The proposed interventions will conserve character-defining elements of the building's exterior and are therefore consistent with the Standards and Guidelines where it recommends modifying exterior walls to accommodate an expanded program, a new use, or applicable codes and regulations, in a manner that respects the building's heritage value.

Doors and Windows

The rehabilitation of existing wood windows and the construction of new storm windows that are compatible with the character of the place will significantly improve the thermal performance of the exterior envelope and is consistent with the Standards and Guidelines where it recommends designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

Roof

Undertaking repairs to the roofs as necessary is consistent with the Standards and Guidelines where it recommends repairing a roof assembly, including its functional and decorative elements, by using a minimal intervention approach.

Codes

Alterations to an existing front porch, east side openings, and the construction of a new upper-level balcony at the rear in order to comply with the Building Code is consistent with the Standards and Guidelines where it recommends complying with health, safety and security requirements in a manner that conserves the heritage value of the exterior wall assembly and minimizes impact on its character-defining elements.

CONCLUSIONS

These applications to rehabilitate two heritage-registered houses form part of the sequence of applications associated with the Capital Park Development that will enable the relocation, designation and rehabilitation of the properties. The proposal is consistent with the Standards and Guidelines in relation to exterior walls, doors and windows, roof elements and the Building Code. The applicant has made revisions to reduce the potential effects that may result from the increased height and reduced setbacks (including the removal of existing openings to comply with codes) and has responded to community concerns within the constraints of the existing property and the dimensions of the heritage-registered houses. Staff consider that the potential impact of the variances requested have been mitigated and therefore recommend that Council consider supporting the applications subject to the conditions outlined in this report.

ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application Nos. 00205 and 00206 for the properties located at 226 Dallas Road and 222 Dallas Road.

Respectfully submitted,



Murray G. Miller
Senior Heritage Planner
Community Planning



Jonathan Tinney
Director
Sustainable Planning and Community Development

Report accepted and recommended by the City Manager:



Date: _____

Sept. 23/15

List of Attachments

- Subject map
- Aerial photograph
- Revised plans dated August 18, 2015
- Letters from applicant dated August 20, 2015.



222 & 226 Dallas Road

Heritage Alteration Permit #00205 & #00206

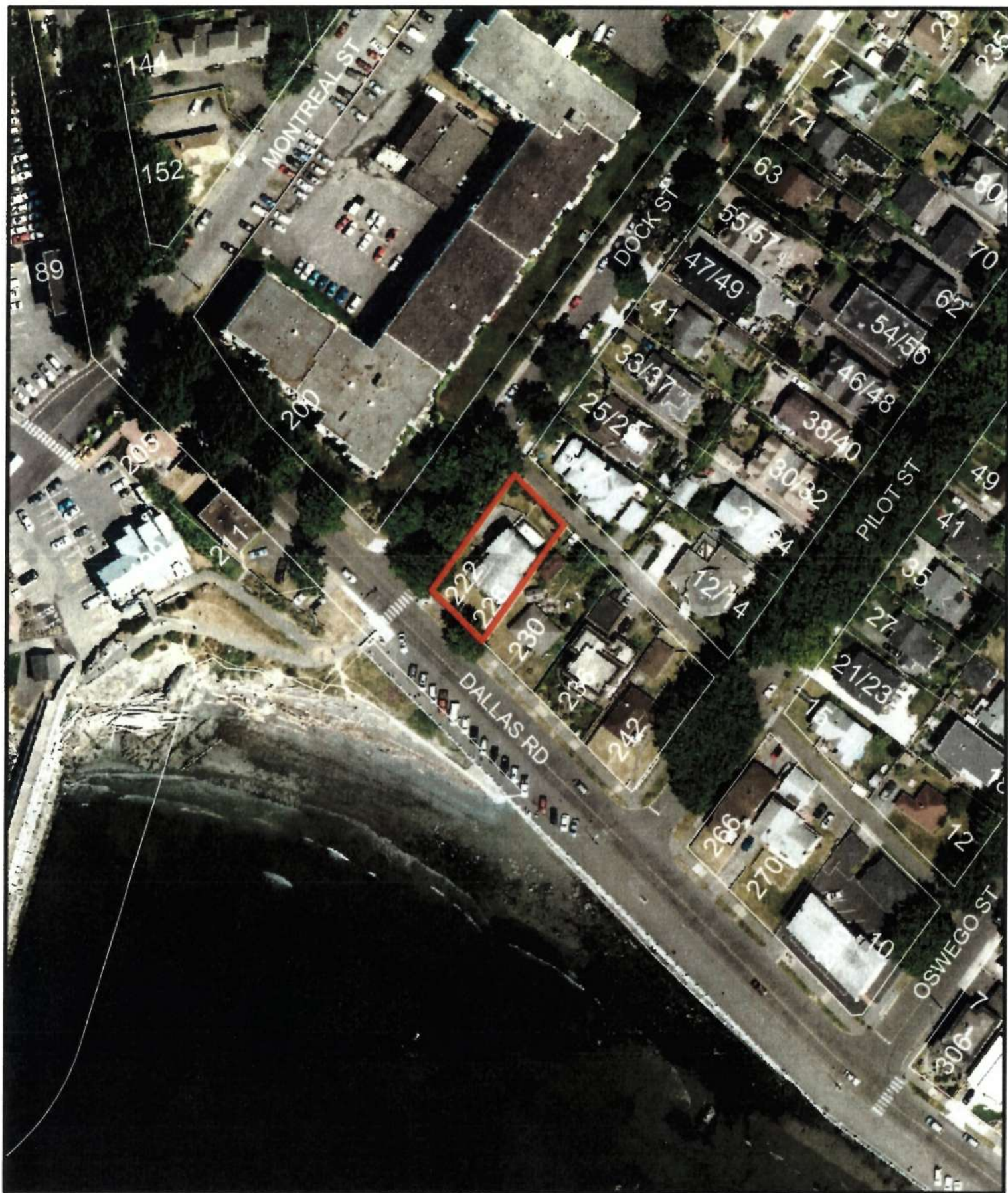


Designated



Registered





222 & 226 Dallas Road

Heritage Alteration Permit #00205 & #00206



CAPITAL PARK - HERITAGE BUILDINGS

226 DALLAS ROAD (524 MICHIGAN BUILDING)



ARCHITECTURAL:
KEY CECCO ARCHITECTURE LTD.
CONTACT: JOHN KEAY
Phone: 250.382.3523
Email: john@kececoarchitecture.ca

A0.0 TITLE SHEET
A1.0 SITE PLAN
A2.0 PHOTOGRAPHS
A3.0 DEMO PLANS
A4.0 RENO PLANS
A5.0 ELEVATIONS
A6.0 SECTIONS
A6.1 GARAGE
A7.0 DETAILS

STRUCTURAL:
READ JONES CHRISTOFFERSEN
CONTACT: LEON PLETT
Phone: 250.384.7784
Email: lplett@rjc.ca

S101, 2, 3, 4, 5
GENERAL NOTES AND
TYPICAL DETAILS
S201 FOUNDATION AND MAIN
FLOOR FRAMING PLANS
WITH SECOND FLOOR OVER
S202 SECOND FLOOR WITH ROOF
OVER & GARAGE PLANS
S301 SECTIONS AND DETAILS

MECHANICAL:
WSP CANADA INC.
CONTACT: PAUL TIMMINS & MIKE DEAN
Phone: 250.384.5510
Email: paul.timmins@wspgroup.com

M001 LEGEND & DRAWING LIST
M100 PLUMBING FLOOR PLANS
M101 PLUMBING DETAILS & GARAGE
M102 PLUMBING SCHEMATICS
M200 HVAC FLOOR PLANS
M201 HVAC DETAILS

ELECTRICAL:
APPLIED ENGINEERING SOLUTIONS LTD.
CONTACT: JAY BRIGH
Phone: 250.381.5121
Email: jbrigh@appliedengineering.ca

E100 SITE PLAN, DETAILS & LEGEND
E200 ELECTRICAL LAYOUT
E300 SPECIFICATIONS

CIVIL:
WSP CANADA INC.
CONTACT: STEPHEN CHILDS
Phone: 250.384.5510
Email: stephen.childs@wspgroup.com

C01 SITE SERVICES PLAN

CODE CONSULTANT:
GHL CONSULTANTS LTD.
CONTACT: FRANKIE VICTOR
Phone: 604.689.4449
Email: fv@ghl.ca

ATTACHED LETTER

LANDSCAPE:
CHRISTIAN BARNARD LAND STUDIO
CONTACT: CHRISTIAN BARNARD
Phone: 250.589.3033
Email: info@christianbarnard.ca

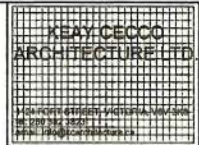
L1 TREE PROTECTION PLAN
L2 SITE PLAN
L3 SPECIFICATIONS

INTERIOR DESIGNER:
KYLA BIDGOOD INTERIOR DESIGN
CONTACT: KYLA BIDGOOD
Phone: 250.589.0852
Email: kyla@kylabidgood.com

ID-1.00 SCHEDULES & SPECIFICATIONS
ID-1.01 SCHEDULES & SPECIFICATIONS
ID-2.00 FLOOR PLANS
ID-3.00 RCP
ID-4.00 KITCHEN FLOOR PLANS & ELEV.
ID-5.01 WIC FLOOR PLANS & ELEV.
ID-5.02 WIC FLOOR PLANS & ELEV.
ID-5.03 STAIRS & LIVING ROOM ELEV.
ID-5.04 STAIRS & LIVING ROOM ELEV.
ID-6.00 KITCHEN SECTIONS
ID-6.01 BATHROOM SECTIONS
ID-6.02 BATHROOM SECTIONS
ID-7.00 DETAILS

HERITAGE CONSULTANT:
DONALD LUXTON AND ASSOCIATES INC.
CONTACT: DONALD LUXTON
Phone: 604.688.1216
Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015



COMMENTS		
NO.	DESCRIPTION	DATE
1.	WSP SUBMISSION	2015-10-10
2.	REVISIONS TO WSP SUBMISSION	2015-10-10
3.	REVISIONS TO DETAILS	2015-10-10
4.	REVISIONS TO WSP SUBMISSION	2015-10-10
5.	REVISIONS TO WSP SUBMISSION	2015-10-10

GENERAL NOTES

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PROJECT

- CAPITAL PARK -
HERITAGE HOUSES

226 Dallas Road
524 Michigan Building
Victoria, BC

SHEET TITLE

- TITLE SHEET -

SCALE	SHEET
AS SHOWN	1124 - 1517
DRAWN BY	A0.0
CHECKED BY	



1 CONTEXT SITE PHOTO
Scale: NTS

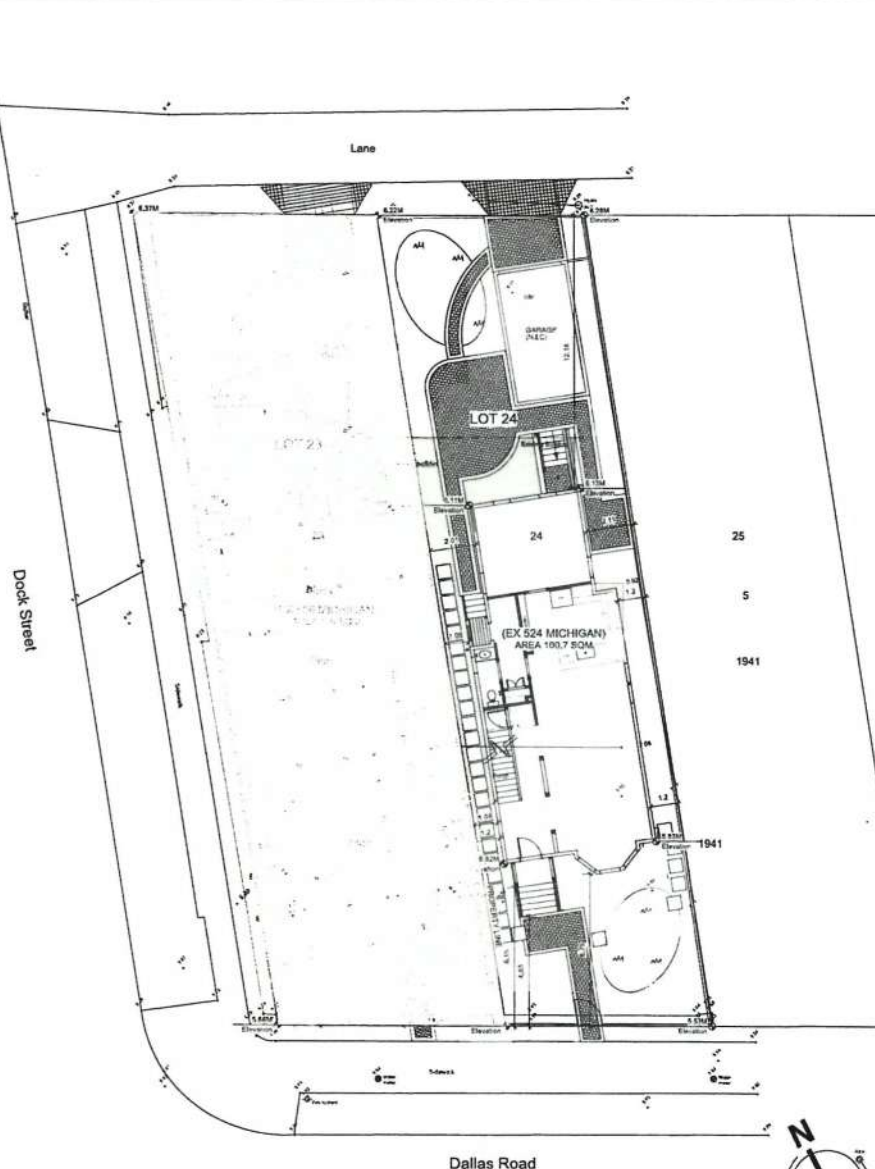
PROJECT INFORMATION TABLE:

1. OWNER: SOUTH BLOCK DEVELOPMENT CORPORATION
2. STREET ADDRESS: 226 DALLAS ROAD
3. LEGAL DESCRIPTION: LOT 24, BLOCK 5, SECTION 26
4. ARCHITECT: KEAY CECCO ARCHITECTURE LTD. (250) 382-3823
john@keaycecco.com
5. PRESENT ZONING: EXISTING: R2 (R1-B)
6. SITE AREA: LOT 24: 334.5 SQM 3500 SQFT, EXISTING NON CONFORMING
7. SITE COVERAGE: PERMITTED 40% LOT 24: 30%
8. TOTAL FLOOR AREA: HOUSE: 180.5 SQM, MAXIMUM PERMITTED 300 SQM
GARAGE: 17.8 SQM
9. FLOOR SPACE RATIO: 0.57
10. AVERAGE GRADE: 5.5%
11. HEIGHT: 8.8M, MAXIMUM PERMITTED 7.6M
12. NUMBER OF UNITS: 1
13. NUMBER OF STOREYS: 2
14. SETBACKS ZONING STANDARD
FRONT 6.75M 7.5M (EXCEPT STAIRS AND PORCH)
FRONT PORCH 6.15M
FRONT STAIRS 4.80M
EAST SIDE: 1.2 M 1.5 M MIN
REAR: 12.18 M 7.5 M MIN
WEST SIDE: 1.04 M TOTAL 4.5
15. OPEN SPACE: .63
16. PARKING PROVIDED: 1 CAR
17. BICYCLE PARKING: 3

Received
City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division



2 SITE PLAN
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANTING LIST



KEAY CECCO
ARCHITECTURE LTD.
1124 FINE STREET VICTORIA, BC CANADA V8W 2Y9
Office 250 382-3823
www.kca.com

COMMENTS			
NO.	DESCRIPTION	DATE	BY
1.	HAP SUBMISSION	APRIL 14	APRIL 14
2.	REVISIONS TO HAP SUBMISSION	APRIL 14	APRIL 14
3.	REVISED DETACHMENT	JULY 11	JULY 11
4.	REVISIONS TO HAP SUBMISSION	JULY 27	JULY 27
5.	SUBMISSION FOR BLDG PERMIT	NOV 04	NOV 04
6.	REVISIONS TO HAP SUBMISSION	NOV 04	NOV 04

GENERAL NOTES
Use of these drawings is limited to that identified in the transmission column.
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All drawings (plans, sections, elevations, etc.) are the property of the architect and are not to be reproduced or used in any way without the written consent of the architect.
These drawings are not to be reproduced or used in any way without the written consent of the architect.



**- CAPITAL PARK -
HERITAGE HOUSES**
226 Dallas Road
Victoria, BC

**CONTEXT
AND
SITE PLAN**

SCALE AS SHOWN	DATE 1124 - 1517
DATE PLOTTED AUGUST 20, 2015	
DRAWN BY NPK/K	
	A1.0



KEAY, CECOO
ARCHITECTURE LTD.
1144 HASTINGS STREET, VICTORIA, B.C. V8M 1A1
TEL: 250-383-2800
FAX: 250-383-2801

COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP SUBMISSION	JAN 15/14
2.	REVISIONS TO HAP SUBMISSION	JUL 17/15
3.	REVISIONS TO DETAILS	JUL 19/15
4.	SUBMIT FOR BUILDING PERMIT	AUG 14/15
5.	REVISIONS TO HAP SUBMISSION	AUG 16/15

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These drawings are issued as shown, subject to the conditions and terms of contract of the firm.

PROJECT
- CAPITAL PARK -
HERITAGE HOUSES
226 Dallas Road
2024 Marquise Building
Victoria, BC

SHEET TITLE
524 MICHIGAN
PHOTOGRAPHS

SCALE AS SHOWN	DATE 11/24 - 11/17
DATE PLOTTED AUGUST 18, 2015	A2.0
DRAWN BY	

Received
City of Victoria
AUG 18 2015
Planning & Development Department
Development Services Division

KEAY CECOO ARCHITECTURE LTD.

1000 FORT STREET, VICTORIA, B.C. V8W 2E6
TEL: 250-383-1000
WWW.KEAYCECOO.COM

COMMENTS		
NO.	REVISION	DATE
1.	SAP SUBMISSION	2014/10/14
2.	REVISION TO SAP SUBMISSION	2014/11/18
3.	REVISION TO DETAILS	2014/12/16
4.	SUBMIT FOR BUILDING PERMIT	2015/01/15
5.	REVISION TO SAP SUBMISSION	2015/01/16

GENERAL NOTES

Use of these drawings is limited to that identified in the introduction to these drawings. Do not construct from these drawings unless marked "Issued for construction".

Measurements, plans, sections, elevations and other items designed by Keay Coo Architects Ltd. shall be subject to the "As Shown" clause of the contract documents. The "As Shown" clause shall not be used to alter the scope of the work or to alter the design of the project.

These drawings are shown for information only and are not to be used for construction without the approval and written consent of KCA.

PROJECT

**- CAPITAL PARK -
HERITAGE HOUSES**

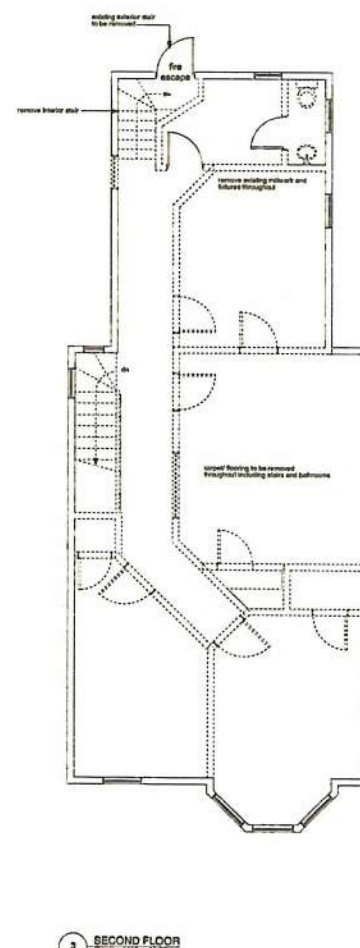
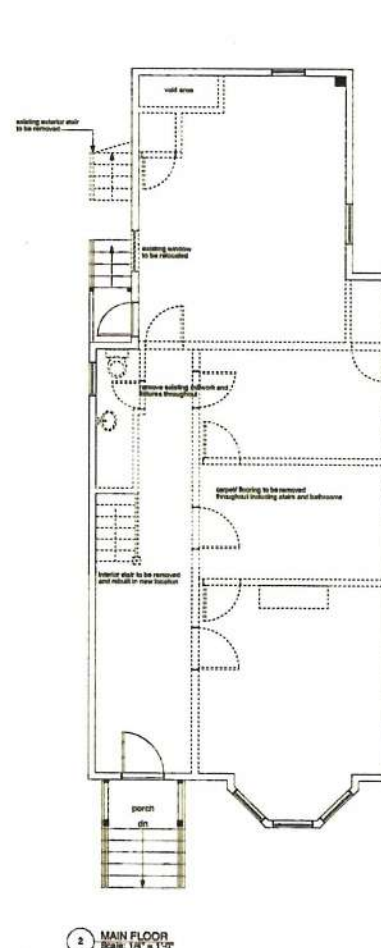
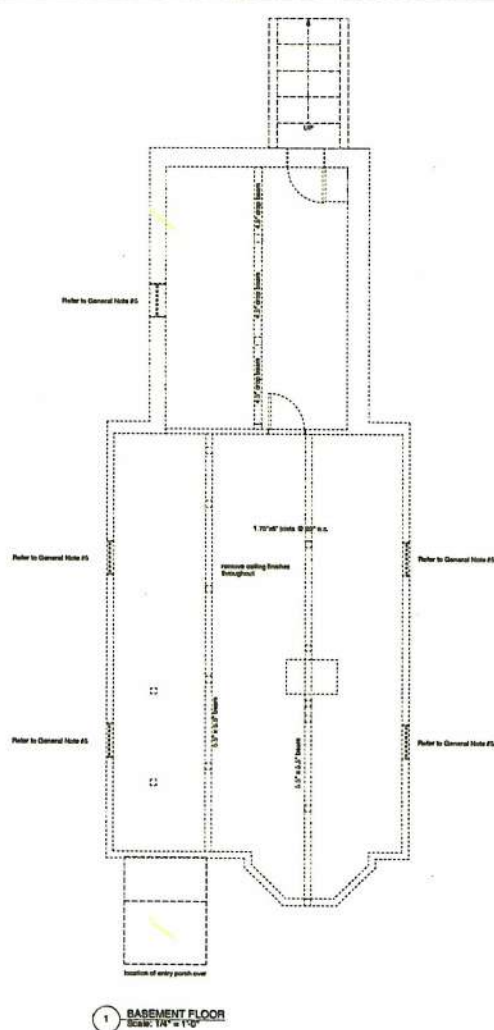
225 Dallas Road
1000 Metropark Building
Victoria, BC

SHEET TITLE

**- DEMO PLANS -
BASEMENT, MAIN & UPPER
FLOOR PLANS**

SCALE	DATE
AS SHOWN	11/24 - 15/17
DATE REVISED	
AUGUST 18, 2015	
DRAWN BY	

A3.0



DEMOLITION LEGEND & GENERAL NOTES

	EXISTING WALLS - DEMOLITION PLANS TO REMAIN
	EXISTING WALLS - TO BE DEMOLISHED BY DEMOLITION PLANT
	WALLS TO BE REMOVED

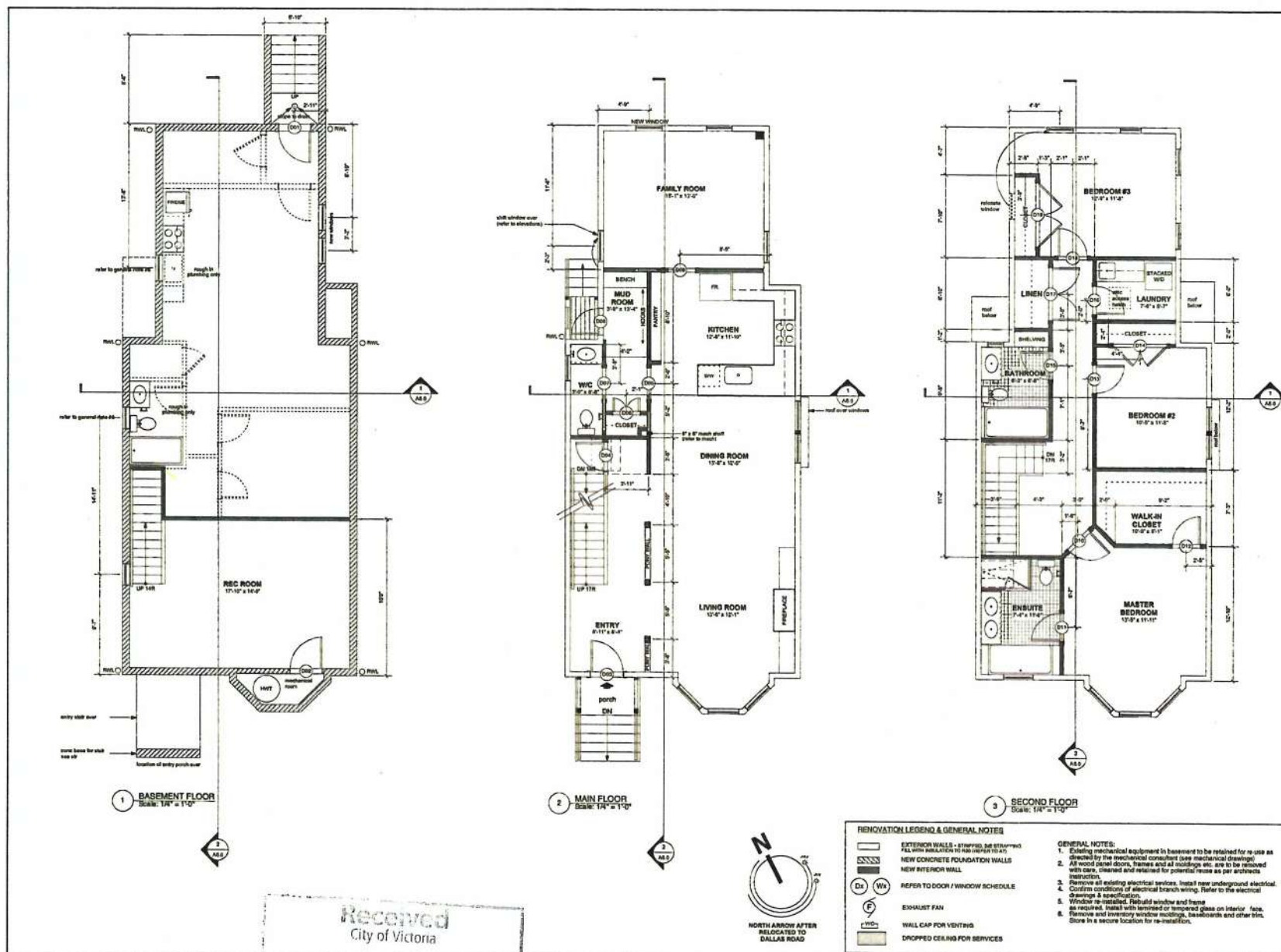
GENERAL NOTES:

- All wood panel doors, frames and all moldings etc. are to be removed with care, catalogued, cleaned and retained for potential reuse as per architect's instructions, and the door and window architraves.
- Remove radiators and heating lines (see mechanical drawings).
- Remove and dispose of all existing electrical panels and equipment as per electrical drawings.
- Confirm condition of electrical branch wiring. Review with the electrical consultant. Refer to the electrical drawings & specifications.
- Windows and sills in existing foundation wall to be removed with care and stored for re-use in new foundations.
- Remove all existing fixtures and plumbing (to be replaced with new).
- Remove all plaster/foam ceilings (and 1/2" where appropriate).
- Remove all carpet, vinyl tile, rubber floor and window coverings.
- Remove all heating lines.
- Remove and store doors and frames and sills as directed by the Architect.
- Remove and store any equipment, appliances as directed by the Architect.
- Refer to the specifications, to be used in conjunction with these drawings.
- Protect all openings created by this contract during strip-out and moving.
- Provide security to Owner's specification.

Received
City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division



KEAY CECCO
ARCHITECTURE LTD.
1140 FORT STREET, VICTORIA, B.C. V8M 1Y1
TEL: 253-2555
WWW.KCARCHITECTURE.COM

NO.	DESCRIPTION	DATE	BY
1.	RAP SUBMISSION	2015-11	
2.	REVISION TO RAP SUBMISSION	2015-11	
3.	REVISION TO DETAILS	2015-11	
4.	REVISION TO BUILDING PERMIT	2015-11	
5.	REVISION TO RAP SUBMISSION	2015-11	

GENERAL NOTES

Use of these drawings is limited to that identified in the description column.

Do not construct from these drawings unless marked "Issued for construction".

All design, plans, sections, details, etc. are to be prepared by the architect.

These drawings are not to be used for any other purpose without the written consent of the architect.

PROJECT

- CAPITAL PARK - HERITAGE HOUSES

226 Dallas Road
Victoria, BC

PROJECT TITLE

- RENO PLANS - BASEMENT, MAIN & UPPER FLOOR PLANS

SCALE

AS SHOWN

DATE PLOTTED

AUGUST 18, 2015

DRAWN BY

1124 - 1517

A4.0

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Development Services Division



SCALE AS SHOWN	JOINT No. 1124 • 1517
DATE PLOTTED AUGUST 18, 2015	A5.0
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KEAY CECCO
ARCHITECTURE LTD
1100 COWI STREET, VICTORIA, B.C. V8M 1G5
TEL: 250-383-1111
WWW.KCARCHITECTURE.COM

COMMENTS

No.	REVISION	DATE	BY
1.	MAP SUBMISSION	28/08/15	
2.	REVISIONS TO MAP SUBMISSION	JUL 29/15	
3.	REVISIONS TO DETAILS	JUL 29/15	
4.	SUBMIT FOR BUILDING PERMIT	AUG 4/15	
5.	REVISIONS TO MAP SUBMISSION	AUG 18/15	

GENERAL NOTES

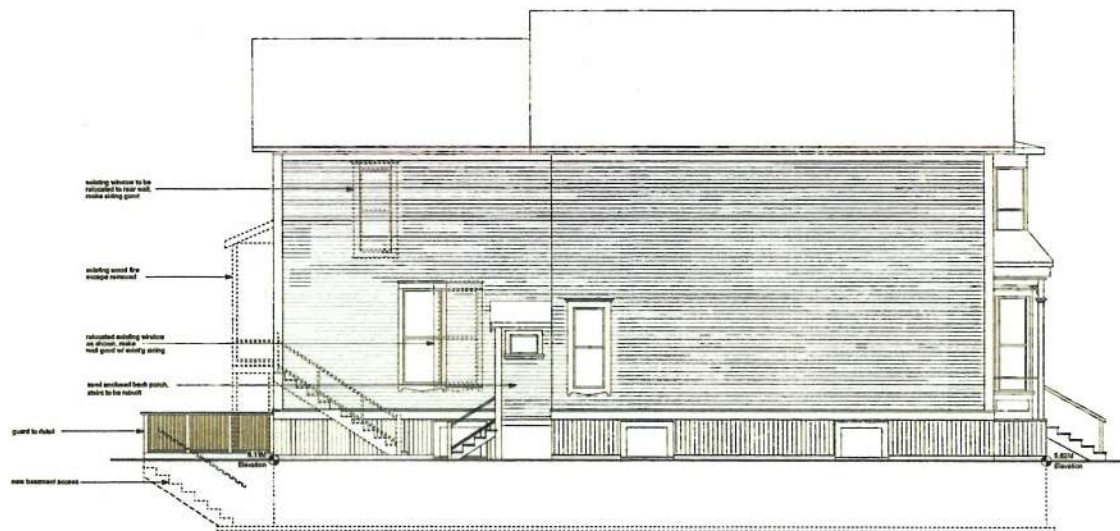
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PROJECT
**- CAPITAL PARK -
HERITAGE HOUSES**

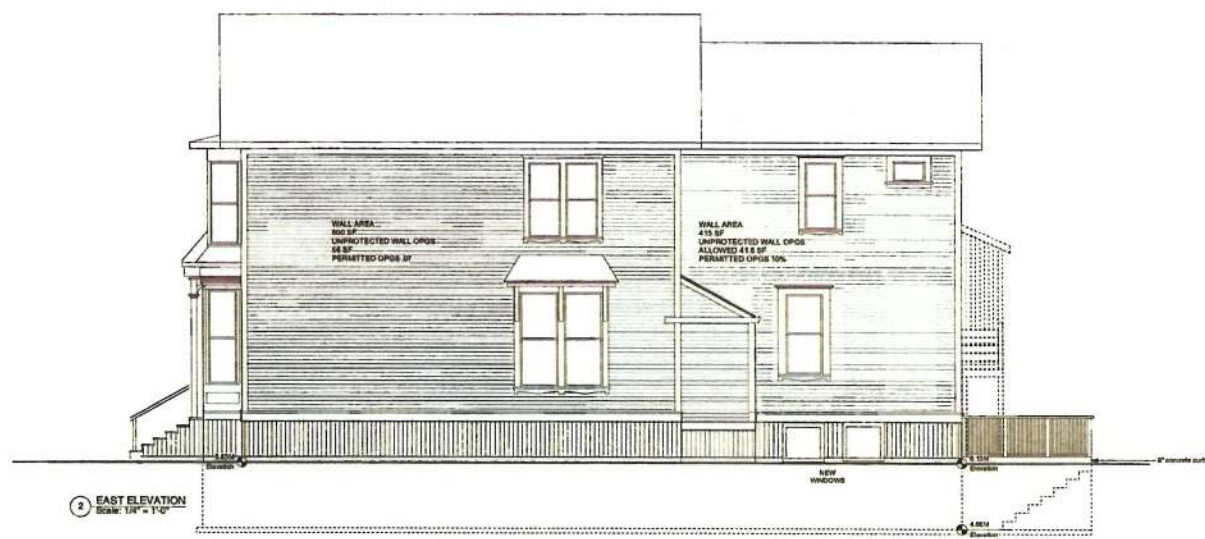
226 Dallas Road
204 Montague Building
Victoria, BC

SHEET TITLE
**- ELEVATIONS -
EAST & WEST**

SCALE AS SHOWN	1/16" = 1'-0"
DATE PLOTTED AUGUST 18, 2015	
DRAWN BY	
	A5.1



1 WEST ELEVATION
Scale: 1/16" = 1'-0"



2 EAST ELEVATION
Scale: 1/16" = 1'-0"

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Development Services Division

COMMENTS		
NO.	DESCRIPTION	DATE
1.	10% SUBMISSION	JAN 15/15
2.	REVISIONS TO 10% SUBMISSION	APR 15/15
3.	REVISIONS TO DETAILS	JUL 15/15
4.	SUBMIT FOR BUILDING PERMIT	AUG 14/15
5.	REVISIONS TO 10% SUBMISSION	JUL 15/15

GENERAL NOTES

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Do not construct from these drawings unless explicitly "Issued for construction".
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PRIORITY

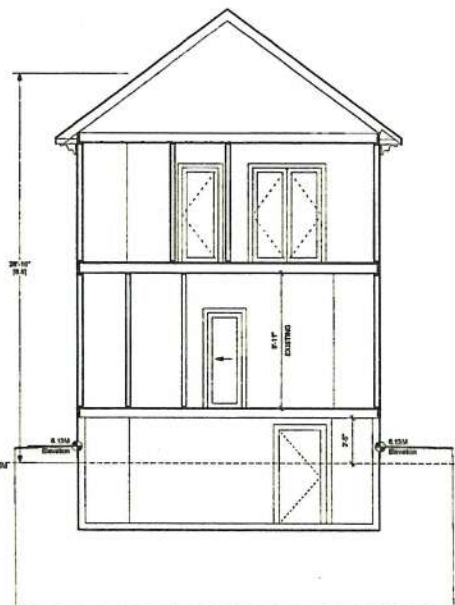
**- CAPITAL PARK -
HERITAGE HOUSES**

228 Dallas Road
2011 Metropark Building
Victoria, BC

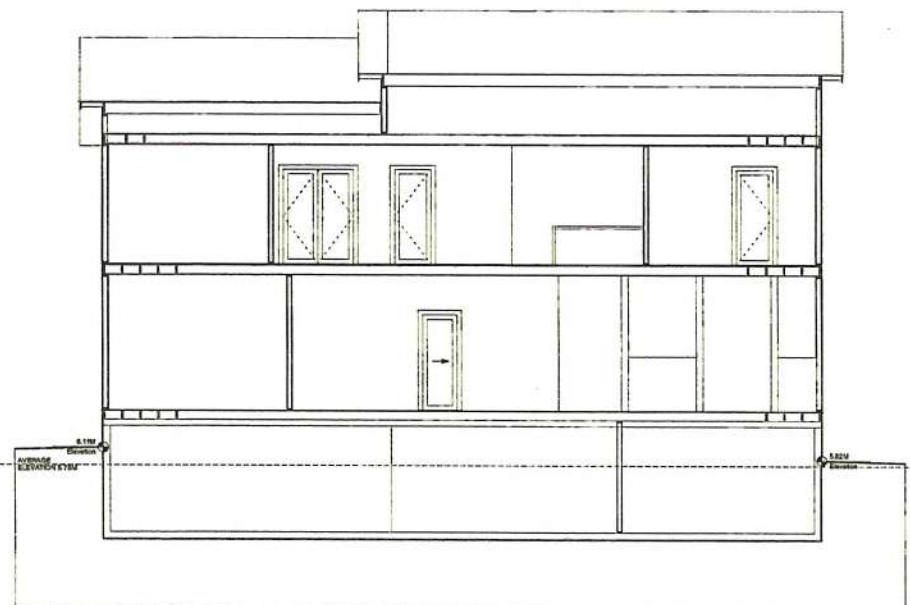
SHEET TITLE

- SECTIONS -

SCALE	3/8" = 1'-0"
AS SHOWN	1121 - 1517
DATE PLOTTED	AUGUST 18, 2015
DRAWN BY	A6.0



1 SECTION - A
Scale: 1/4" = 1'-0"



2 SECTION - B
Scale: 1/4" = 1'-0"

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Development Services Division



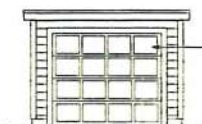
1 EAST ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



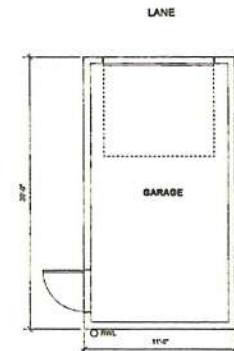
4 NORTH ELEVATION
Scale: 1/4" = 1'-0"

horizontal finished over 2 ply
bricks on roofing placed to depth 1-60
width to 10' combined surface, painted

wood siding, painted, to match
house

full painted cedar corner boards,
painted

vertical painted cedar side passage set
and doorwork. Full wood trim,
combined under, painted



5 FLOOR PLAN
Scale: 1/4" = 1'-0"



6 WEST ELEVATION
Scale: 1/4" = 1'-0"

KEAY CECCO
ARCHITECTURE LTD.
1000-10TH STREET, VICTORIA, B.C. V8W 2G7
250.623.2323
WWW.KCARCHITECTURE.COM

COMMENTS		
No.	DESCRIPTION	DATE
1.	HAP SUBMISSION	JAN 18 15
2.	REVISIONS TO HAP SUBMISSION	JAN 18 15
3.	REVISIONS TO DETAILS	AUG 18 15
4.	SUBMIT FOR BUILDING PERMIT	AUG 18 15
5.	REVISIONS TO HAP SUBMISSION	AUG 18 15

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consent of KCAL.

PROJECT

- CAPITAL PARK -
HERITAGE HOUSES

228 Dallas Road
200 Midway Building
Victoria, BC

PROJECT TITLE

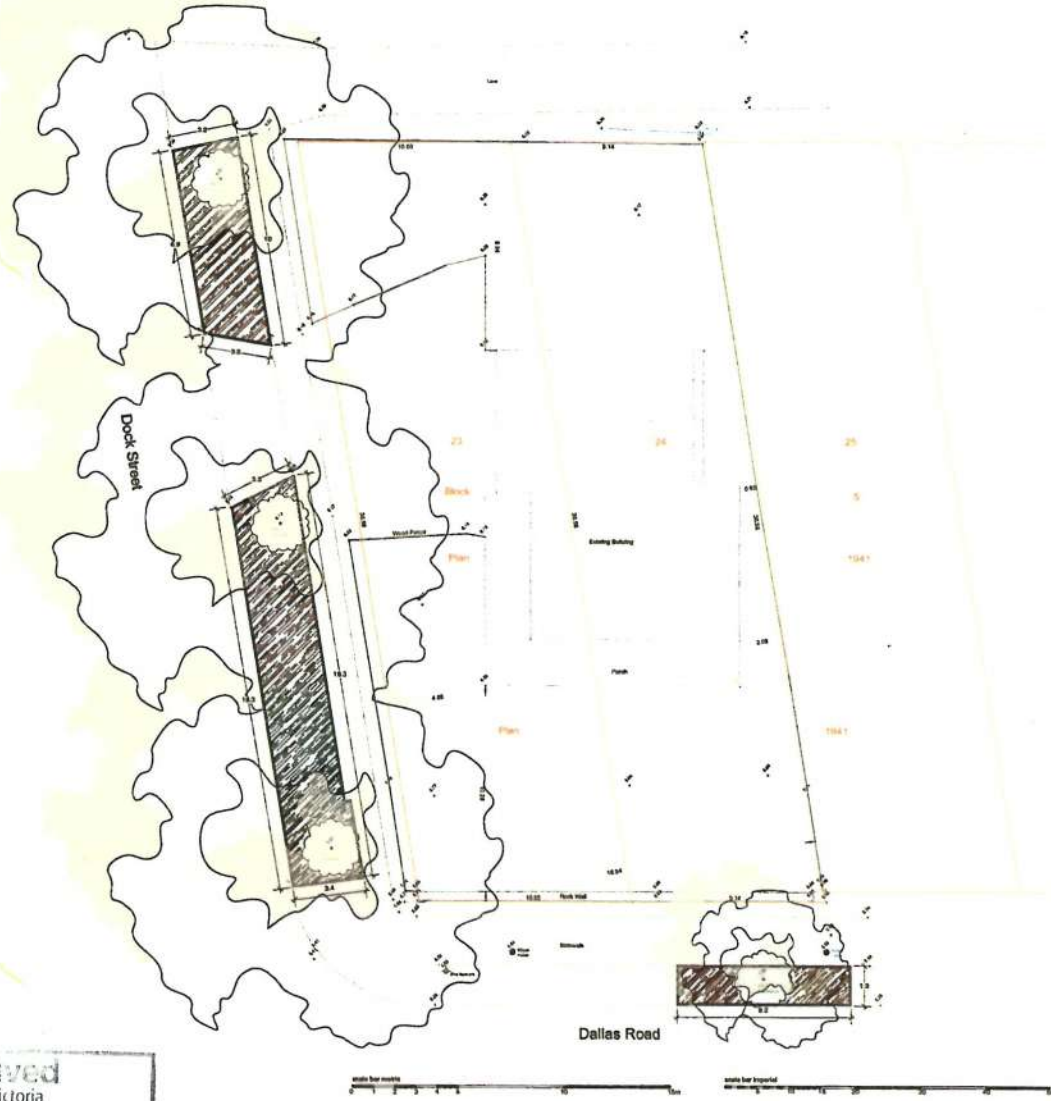
GARAGE

SCALE	270 N/A
AS SHOWN	1124 - 1517
DATE PROJECTED	A 6.1
AUGUST 18, 2015	
DRAWN BY	

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City of Victoria

AUG 18 2015

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TREE PROTECTION AREA

NOTE: MUNICIPAL ANNOTATION TO DEFINE FINAL TREE PROTECTION AREA FOR CITY TREE PROTECTION SPECIFICATIONS REFER TO ATTACHED DRAINAGE & DEVELOPMENT SERVICES BYLAW SCHEDULE 8 SUPPLEMENTARY DETAIL DRAWINGS SD P1 & SD P2
ORIGINAL SURVEY PROVIDED BY J.E. ANDERSON AND ASSOCIATES
VICTORIA BC 2007/2015
FILE# 2009 APRIL 19/15

EXISTING TREE DATA

TREE TOTALS WITHIN WORK BOUNDARY - 0
PRE-EXISTING TREES TO BE RETAINED - 0
PRE-EXISTING TREES TO BE REMOVED - 0
ADJACENT TREES WITHIN WORKING BOUNDARY - 14 ULMUS SPECIES

LEGEND

TREE PROTECTION AREA EXTENT OF FENCING



DRIP AND SHADOW LINE OF TREE CANOPY ESTIMATED BY DESIGNER



EXISTING STREET TREE CONDITIONS



SOUTHEAST VIEW DALLAS ROAD & DOOK ROAD



SOUTHWEST VIEW TOWARD DALLAS ROAD

CHRISTIAN BARNARD
land X studio

Suite 201 1115 Washington Alley
Victoria BC V8W 0G2
c.barnard@christianbarnard.ca
t. 250.688.2030
w. christianbarnard.ca

DISCLAIMER REQUIRED
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REVISIONS

No.	Date	Changes	By

NOTES

- ①
- ②
- ③
- ④
- ⑤
- ⑥
- ⑦
- ⑧
- ⑨
- ⑩
- ⑪
- ⑫

GENERAL NOTES
Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the contractor from field measurements. The contractor shall be responsible for the design and construction of the work and shall be responsible for the design and construction of the work and shall be responsible for the design and construction of the work.

PROJECT TITLE:
Capital Park Heritage Houses
220/228 Dallas Road
(524 + 628 Morgan Street Buildings)
Victoria BC

DATE: August 17, 2015
SCALE: 1"=20'
Drawn By: AB
Checked By: Y
SHEET TITLE: TREE PROTECTION DALLAS ROAD
L1

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Development Services Division

CAPITAL PARK - HERITAGE BUILDINGS

222 DALLAS ROAD (526 MICHIGAN BUILDING)



ARCHITECTURAL:
KEYE CECOCO ARCHITECTURE LTD.
CONTACT: JOHN KEAY
Phone: 250.582.5823
Email: john@keycecoarchitecture.ca

A6.0 TITLE SHEET
A1.0 SITE PLAN
A2.0 PHOTOGRAPHS
A3.0 DEMO PLANS
A4.0 RENO PLANS
A5.0 ELEVATIONS
A6.0 SECTIONS
A6.1 GARAGE
A7.0 DETAILS

STRUCTURAL:
READ JONES CHRISTOFFERSEN
CONTACT: LEON PLETT
Phone: 250.384.7784
Email: leon@rjc.ca

S101, 2, 3, 4, 5
GENERAL NOTES AND
TYPICAL DETAILS
S201 FOUNDATION AND MAIN
FLOOR FRAMING PLANS
WITH SECOND FLOOR OVER
S202 SECOND FLOOR WITH THIRD
FLOOR FRAMING WITH ROOF
OVER
S203 GARAGE FOUNDATION & MAIN
FLOOR WITH ROOF FRAMING
OVER
S301 SECTIONS AND DETAILS

MECHANICAL:
WSP CANADA INC.
CONTACT: PAUL TIMMINS & MIKE DEAN
Phone: 250.384.5610
Email: paul.timmings@wspgroup.com

M001 LEGEND & DRAWING LIST
M100 PLUMBING FLOOR PLANS
M101 PLUMBING DETAILS & GARAGE
M102 PLUMBING SCHEMATICS
M200 HVAC FLOOR PLANS
M201 HVAC DETAILS

ELECTRICAL:
APPLIED ENGINEERING SOLUTIONS LTD.
CONTACT: JAY SINGH
Phone: 250.381.8121
Email: jay@aesengineering.ca

E100 SITE PLAN, DETAILS & LEGEND
E200 ELECTRICAL LAYOUT
E300 SPECIFICATIONS

CIVIL:
WSP CANADA INC.
CONTACT: STEPHEN CHILDS
Phone: 250.384.5810
Email: stephen.childs@wspgroup.com

C02 SITE SERVING PLAN

CODE CONSULTANT:
GHL CONSULTANTS LTD.
CONTACT: FRANKIE VICTOR
Phone: 804.889.4449
Email: fv@ghl.ca

ATTACHED LETTER

LANDSCAPE:
CHRISTIAN BARNARD LAND STUDIO
CONTACT: CHRISTIAN BARNARD
Phone: 250.889.3033
Email: info@christianbarnard.ca

L1 TREE PROTECTION PLAN
L2 SITE PLAN
L3 SPECIFICATIONS

INTERIOR DESIGNER:
KYLE BIDDGOOD INTERIOR DESIGN
CONTACT: KYLE BIDDGOOD
Phone: 250.589.8852
Email: kyle@kylabiddgood.com

ID-1.00 SCHEDULES & SPECIFICATIONS
ID-1.01 SCHEDULES & SPECIFICATIONS
ID-2.00 FLOOR PLANS
ID-3.00 RCP
ID-4.00 KITCHEN FLOOR PLANS & ELEV.
ID-5.01 WIC FLOOR PLANS & ELEV.
ID-5.02 WIC FLOOR PLANS & ELEV.
ID-5.03 STAIRS & LIVING ROOM ELEV.
ID-5.04 STAIRS & LIVING ROOM ELEV.
ID-6.00 KITCHEN SECTIONS
ID-6.01 BATHROOM SECTIONS
ID-6.02 BATHROOM SECTIONS
ID-7.00 DETAILS

HERITAGE CONSULTANT:
DONALD LUXTON AND ASSOCIATES INC.
CONTACT: DONALD LUXTON
Phone: 604.688.1218
Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015



KEYE CECOCO
ARCHITECTURE LTD.
1000 GARDEN STREET, VICTORIA, B.C. V8T 1A1
PHONE: 250.582.5823
WWW.KEYCECOARCHITECTURE.CA

COMMENTS		
NO.	DESCRIPTION	DATE
1.	MAP SUBMISSION	JAN 18/15
2.	REVISED TO MAP SUBMISSION	AS 18/15
3.	REVISED TO DETAILS	AS 18/15
4.	SUBMISSION FOR BLDG PERMIT	JUN 18/15
5.	REVISED TO MAP SUBMISSION	NOV 18/15

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PROPERTY
- CAPITAL PARK -
HERITAGE HOUSES
222 Dallas Road
(526 Michigan Building)
Victoria, BC

SHEET TITLE
- TITLE SHEET -

SCALE AS SHOWN	DATE 11/24 - 15/17
DATE PLOTTED AUGUST 18, 2015	
DRAWN BY NJP / JK	A0.0



KEAY CECCO ARCHITECTURE LTD. 1140 FORT STREET, VICTORIA, B.C. V8M 1Y1 TEL: 250-363-8888		
COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP SUBMISSION	AUG 19 15
2.	REVISIONS TO HAP SUBMISSION	AUG 19 15
3.	REVISIONS TO DETAILS	AUG 19 15
4.	SUBMISSION FOR BLDG PERMIT	AUG 19 15
5.	REVISIONS TO HAP SUBMISSION	AUG 19 15
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PROJECT - CAPITAL PARK - HERITAGE HOUSES 222 Dallas Road 1008 Morgan Building Victoria, BC		
SHEET TITLE 526 MICHIGAN PHOTOGRAPHS		
SCALE	NORTH	
AS SHOWN	1:124 - 1:1517	
DATE PLOTTED	AUGUST 18, 2015	
DRAWN BY	A2.0	

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COMMENTS			
No.	Description	Date	By
1.	HAP SUBMISSION	JAN 10/11	
2.	REVISIONS TO HAP SUBMISSION	FEB 20/11	
3.	REVISIONS TO DETAILS	JUL 22/11	
4.	SUBMISSION FOR BLDG PERMIT	JUL 24/11	
5.	REVISIONS TO HAP SUBMISSION	AUG 10/11	

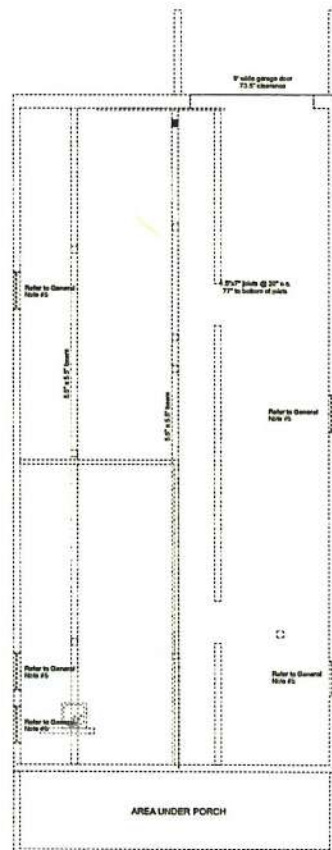
GENERAL NOTES
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Do not construct from these drawings unless approved in writing by the Architect.
All drawings, notes, specifications and the Project Manual are to be read in conjunction with the contract documents and the Project Manual.
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PROJECT
- CAPITAL PARK -
HERITAGE HOUSES
222 Dallas Road
Victoria, BC

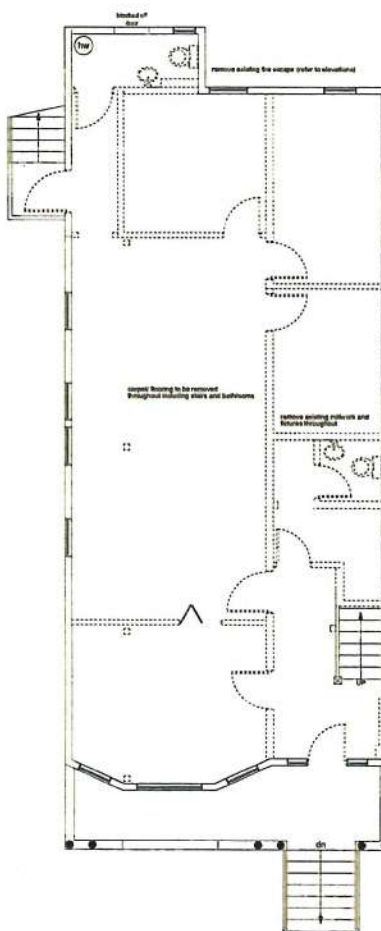
WHAT TITLE
- DEMO PLANS -
BASEMENT, MAIN, SECOND
& TOP FLOOR PLANS

SCALE AS SHOWN	1124 - 1517
DATE PLOTTED AUGUST 18, 2015	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	

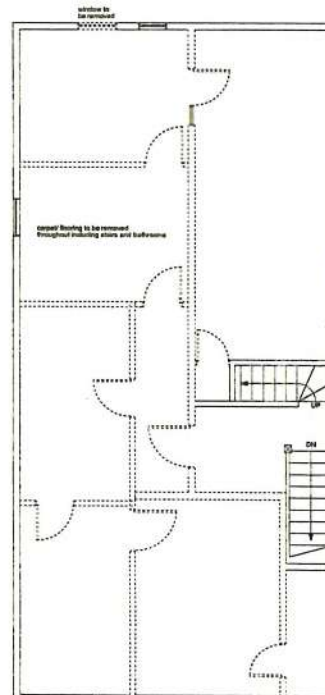
A3.0



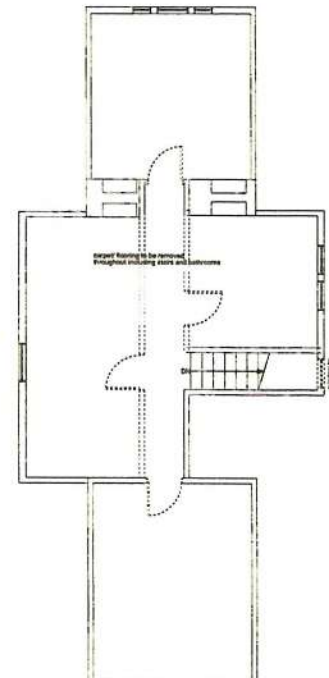
1 BASEMENT FLOOR
Scale: 1/4" = 1'-0"



2 MAIN FLOOR
Scale: 1/4" = 1'-0"



3 SECOND FLOOR
Scale: 1/4" = 1'-0"



4 TOP FLOOR
Scale: 1/4" = 1'-0"

DEMOLITION LEGEND & GENERAL NOTES

- EXISTING WALLS - CONCRETE/PLASTER TO REMAIN
- EXISTING WALLS - TO BE STRIPPED OF CONCRETE/PLASTER
- WALLS TO BE REMOVED
- REFER TO DOOR SCHEDULE

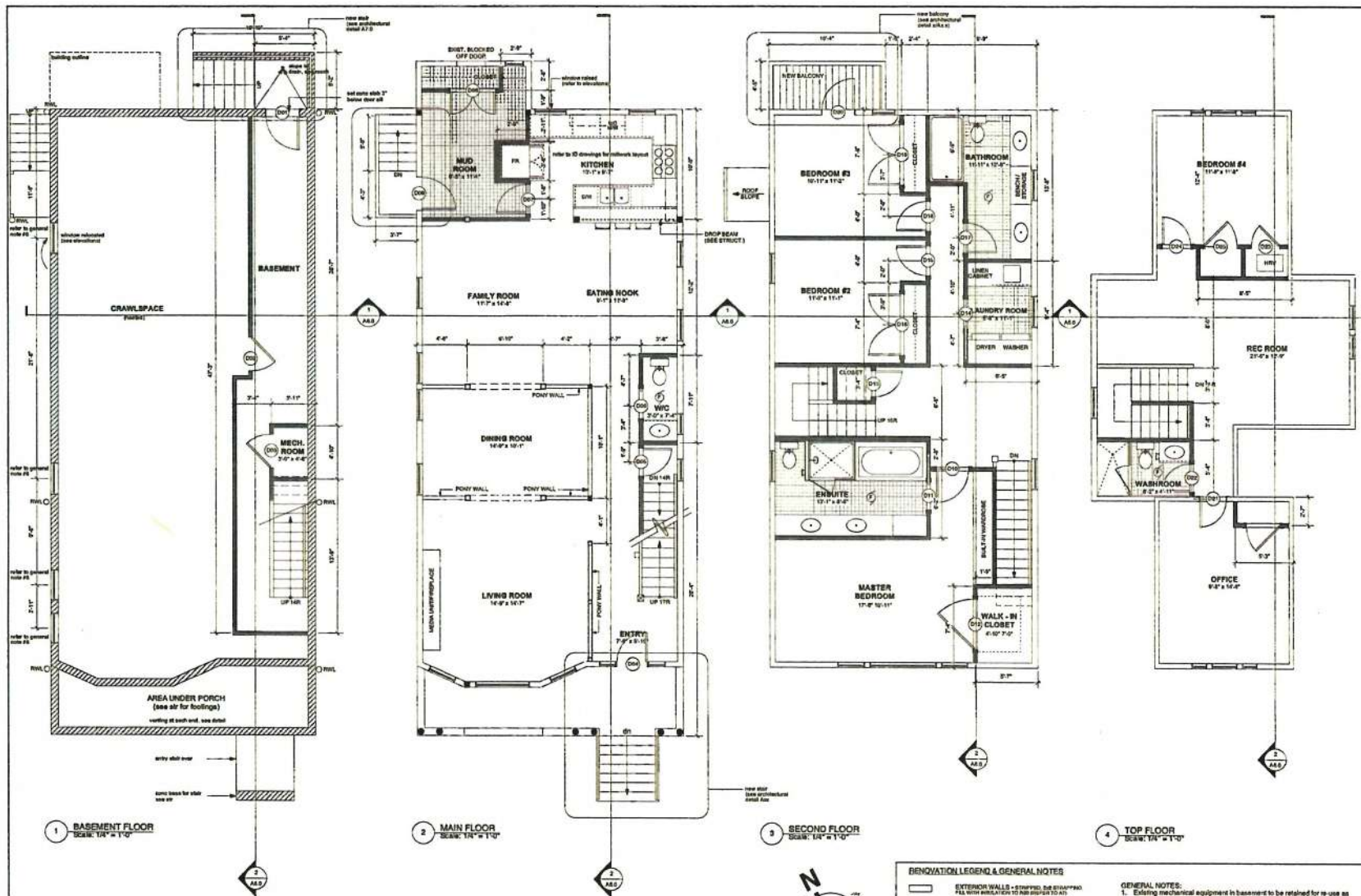
GENERAL NOTES:

- All structural panel doors, frames and all moldings etc. are to be removed with care, catalogued, cleaned and retained for potential reuse as per architect's instructions, and the door and window schedule.
- Remove radiators and heating lines (see mechanical drawings)
- Remove and dispose of all existing electrical panels and equipment as per electrical drawings
- Confirm condition of electrical layout with the electrical consultant
- Refer to the electrical drawings & specifications
- Windows and trim in existing foundation wall to be removed with care and stored for re-use in new foundations.
- Remove all existing fixtures and plumbing (to be replaced with new)
- Remove all post-tensioned ceilings (and floor where applicable)
- Remove all carpets, vinyl tile, rubber floor tiles and window coverings
- Remove all heating lines.
- Remove and store any equipment, artifacts as directed by the Architect.
- Refer to the specifications, to be used in conjunction with these drawings.
- Protect all openings created by the contract during strip-out and moving.
- Provide security to Owner's specification.

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City of Victoria

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Development Services Division



**KEY: CECO
ARCHITECTURE LTD.**

1. PROJECT: HERITAGE HOUSES
2. PROJECT NO.: 1124-1517
3. PROJECT ADDRESS: 222 DALLAS ROAD, VICTORIA, BC
4. PROJECT DATE: AUGUST 18, 2015

NO.	DESCRIPTION	DATE	BY
1.	1. SUBMISSION	JAN 10/14	
2.	2. REVISIONS TO HAP SUBMISSION	JAN 10/14	
3.	3. REVISIONS TO HAP SUBMISSION	JAN 10/14	
4.	4. SUBMISSION FOR BLDG PERMIT	AUG 10/14	
5.	5. REVISIONS TO HAP SUBMISSION	AUG 10/14	

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All drawings shall comply with the British Columbia Building Code (BCBC) and the National Building Code of Canada (NBC). Where there is a conflict between the BCBC and the NBC, the BCBC shall prevail.

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PROPERTY

- CAPITAL PARK - HERITAGE HOUSES

222 Dallas Road
(off Michigan Building)
Victoria, BC

PROJECT TITLE

- RENO PLANS - BASEMENT, MAIN, SECOND & TOP FLOOR PLANS

SCALE	DATE
AS SHOWN	1124 - 1517
DATE PLOTTED	
AUGUST 18, 2015	
DRAWN BY	

A4.0

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RENOVATION LEGEND & GENERAL NOTES

RENOVATION LEGEND:

- EXTERIOR WALLS - STUCCO DETAIL
- NEW CONCRETE FOUNDATION WALLS
- NEW INTERIOR WALL
- REFER TO DOOR / WINDOW SCHEDULE
- EXHAUST FAN
- WALL CAP FOR VENTING
- DROPPED CEILING FOR SERVICES

GENERAL NOTES:

- Existing mechanical equipment in basement to be retained for re-use as directed by the mechanical consultant (see mechanical drawings).
- All work shall be done in accordance with the BCBC and the NBC.
- Remove all existing electrical services. Install new underground electrical services.
- Confirm conditions of electrical branch wiring. Refer to the electrical drawings & specifications.
- Window re-installed. Repair window and frame as required. Install with tempered or laminated glass on interior face.
- Remove and inventory window moldings, baseboards and other trim. Store in a secure location for re-installation.

KEY CECCO ARCHITECTURE LTD	
1000 WEST STREET, VICTORIA, B.C. V8M 1A1 TEL: 251-2221 WWW.KEYCECCOARCHITECTURE.COM	

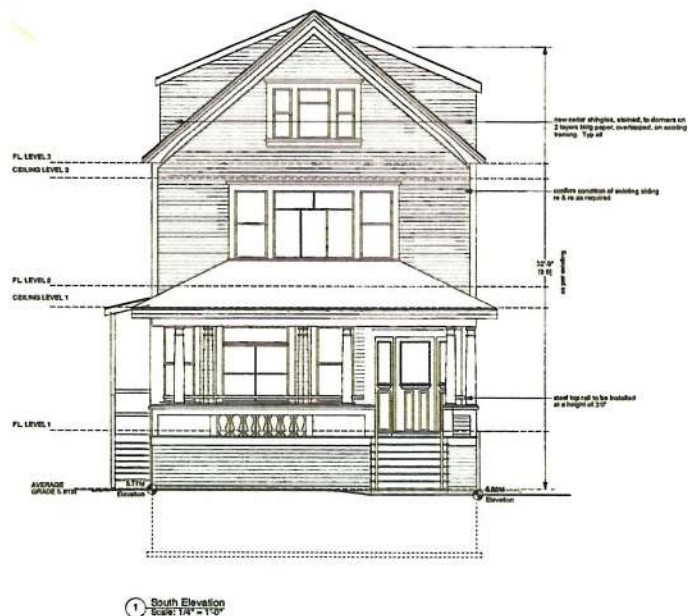
COMMENTS		
NO.	DESCRIPTION	DATE
1.	WSP SUBMISSION	7/26/14
2.	REVISIONS TO WSP SUBMISSION	10/15/14
3.	REVISIONS TO DETAILS	10/15/14
4.	SUBMISSION FOR BLDG PERMIT	7/15/15
5.	REVISIONS TO WSP SUBMISSION	AUG 18/15

GENERAL NOTES

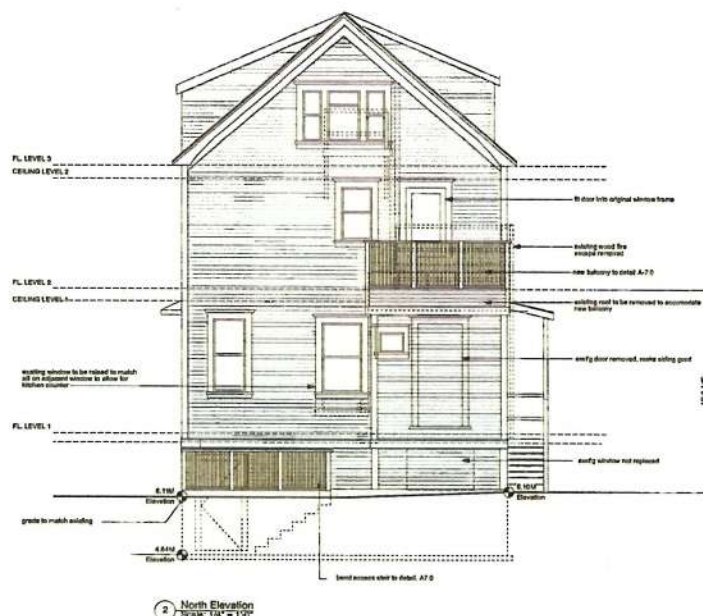
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1 South Elevation
Scale: 1/4" = 1'-0"



2 North Elevation
Scale: 1/4" = 1'-0"

PROJECT

**- CAPITAL PARK -
HERITAGE HOUSES**

222 Dallas Road
(100 Metropark Building)
Victoria, BC

SHEET TITLE

**- ELEVATIONS -
NORTH & SOUTH**

SCALE	FORM NO.
AS SHOWN	1124 - 1517
DATE PLOTTED	A5.0
AUGUST 18, 2015	
DRAWN BY	

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City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division

**KEAY CECCO
ARCHITECTURE LTD.**

1111 HURON STREET, VICTORIA, B.C. V8W 2E6
TEL: 250-383-1500
WWW.KEAYCECCOARCHITECTURE.COM

COMMENTS		
NO.	DESCRIPTION	DATE
1.	HWP SUBMISSION	AUG 10/15
2.	REVISIONS TO HWP SUBMISSION	AUG 20/15
3.	REVISIONS TO DETAILS	AUG 20/15
4.	SUBMISSION FOR BDO PERMIT	AUG 24/15
5.	REVISIONS TO HWP SUBMISSION	AUG 16/16

GENERAL NOTES

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PROJECT:

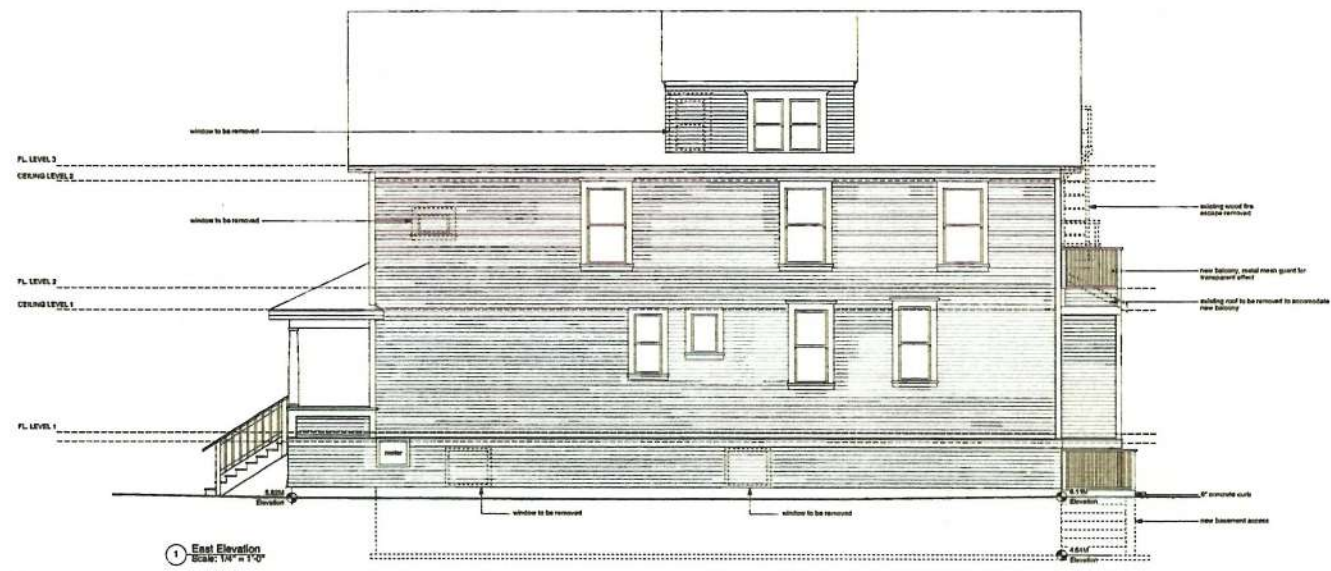
**- CAPITAL PARK -
HERITAGE HOUSES**

222 Dallas Road
East Morgan Building
Victoria, BC

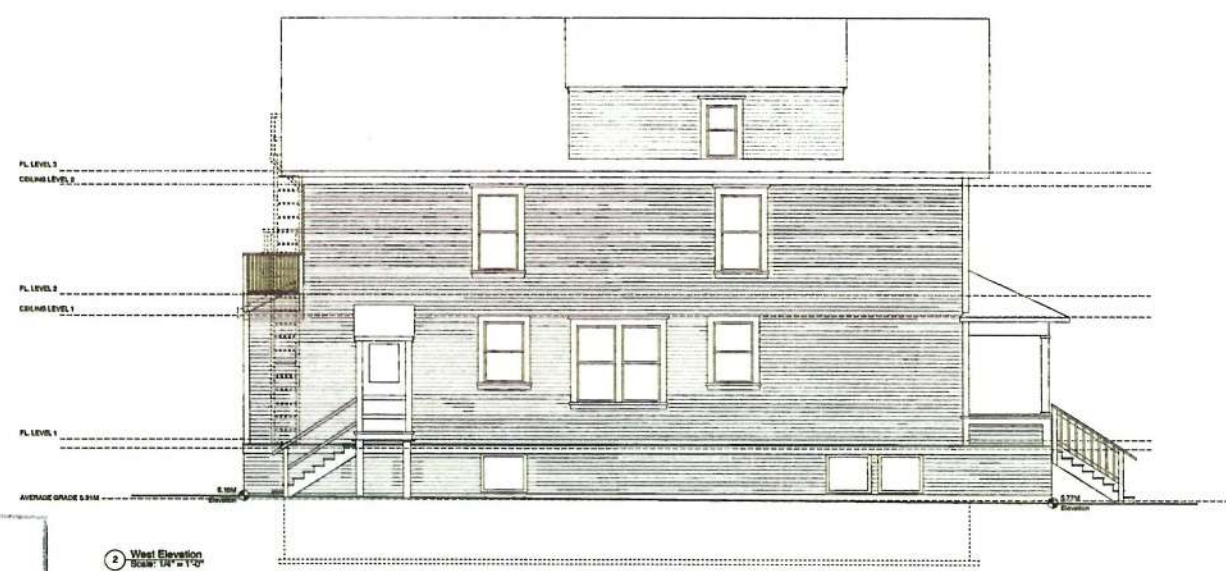
SHEET TITLE

**- ELEVATIONS -
EAST & WEST**

SCALE AS SHOWN	JOB NO. 1124 - 1517
DATE PLOTTED AUGUST 18, 2015	A5.1
DRAWN BY	



1 East Elevation
Scale: 1/4" = 1'-0"

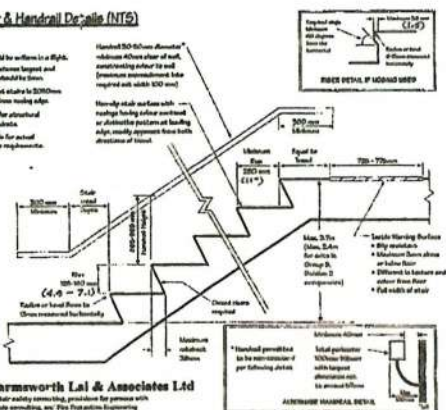
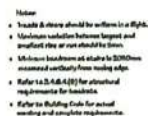


2 West Elevation
Scale: 1/4" = 1'-0"

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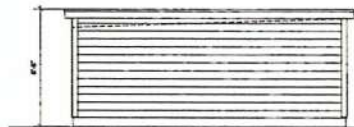
Graham Harmsworth Lal & Associates Ltd
Provide expertise in chair safety consulting, product for persons with disabilities, inclusive Code consultation, etc. Free Post action E-commerce



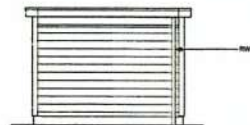
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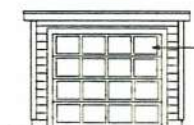
1 EAST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



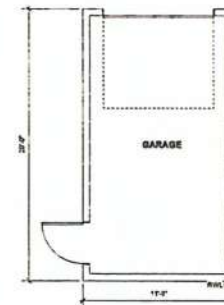
2 West ELEVATION
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION
Scale: 1/4" = 1'-0"

perpet finished over 2 ply
built on roofing support to depth 1/2
with 1/2" corrugated metal, painted
wood siding, painted, to match
house
1/2" corrugated metal corner boards,
painted
adhesive metal door clip passage set
and hardware, 1/2" wood trim,
corrugated metal, painted

also overhead garage door clip
hardware panels, 1/2" wood trim,
painted



5 FLOOR PLAN
Scale: 1/4" = 1'-0"



6 West Elevation
Scale: 1/4" = 1'-0"

KEAY, CECCO
ARCHITECTURE LTD.
1400 WEST 4TH AVENUE, VICTORIA, BC
V8M 2K2
TEL: 250-383-1111

COMMENTS		
No.	Description	Date
1.	MAP SUBMISSION	JAN 15/15
2.	REVISIONS TO MAP SUBMISSION	JUL 15/15
3.	REVISIONS TO DETAILS	JUL 15/15
4.	SUBMISSION FOR BLDG PERMIT	AUG 15/15
5.	REVISIONS TO MAP SUBMISSION	AUG 15/15

GENERAL NOTES

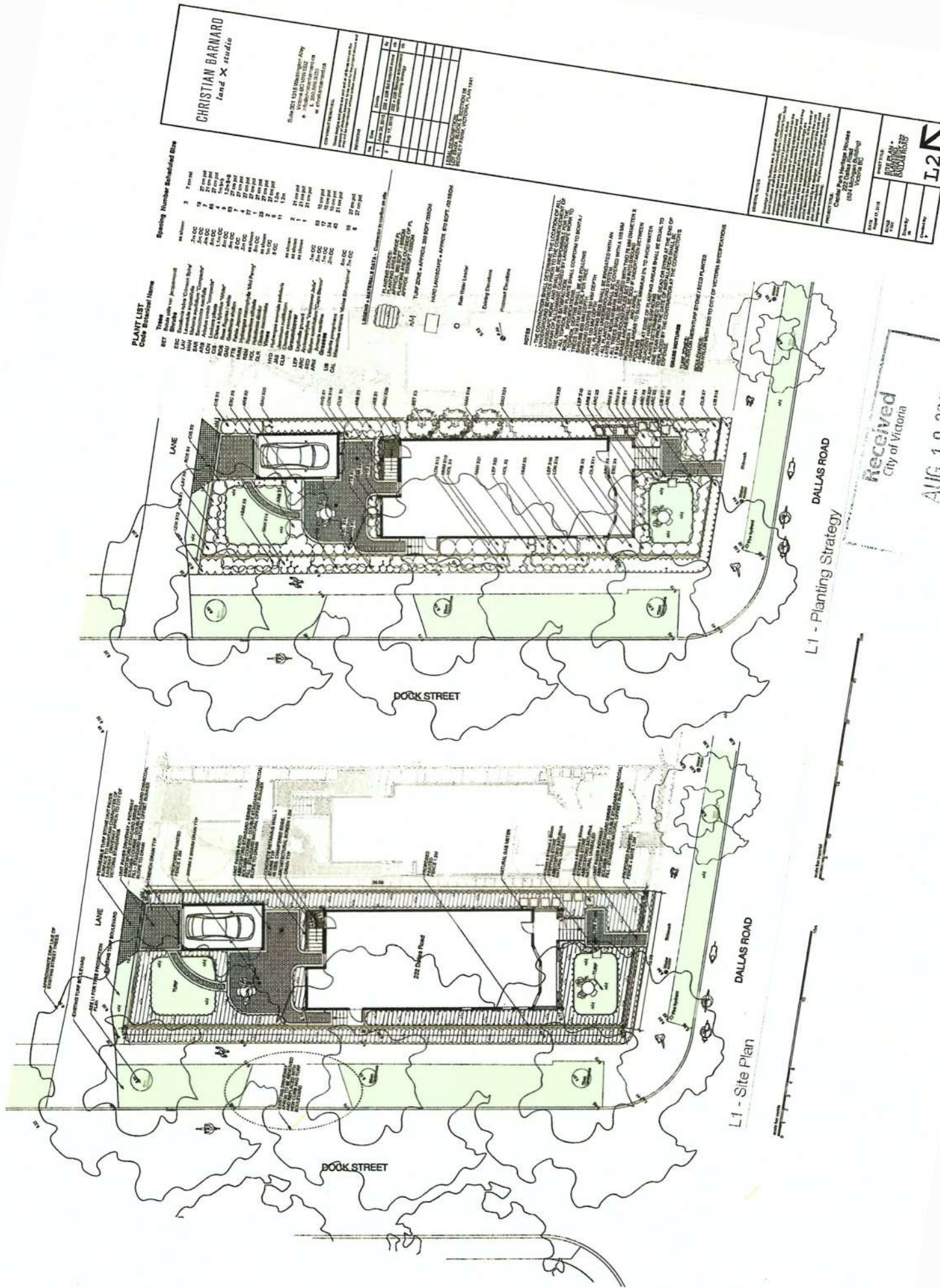
Use of these drawings is limited to that identified
in the location shown below.
Do not reproduce from these drawings unless
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All drawings, plans, sections, elevations, and
other documents are the property of Keay, Cecco
Architecture Ltd. (KCAL) and are to be returned
to KCAL upon completion of the project. KCAL
will not be responsible for any loss or damage
to drawings or documents in the event of fire, theft,
or other disaster.

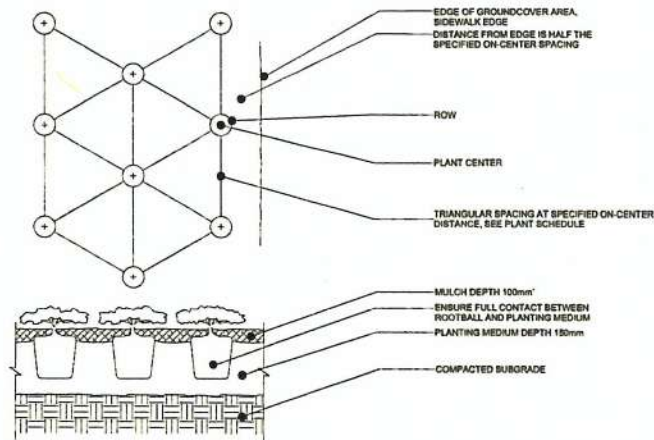
PROJECT
- CAPITAL PARK -
HERITAGE HOUSES
222 Dallas Road
West Vancouver, BC

PROJECT TITLE
GARAGE

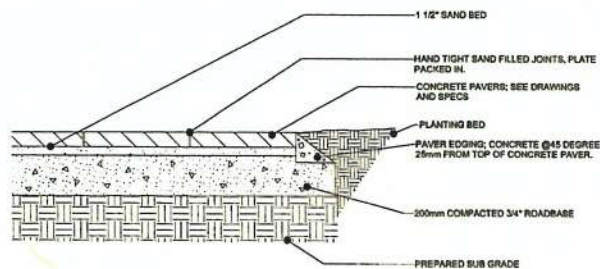
SCALE AS SHOWN	1/8" = 1'-0"
DATE PLOTTED AUGUST 15, 2015	
DRAWN BY	A 6.1

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AUG 18 2015
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Development Services Division

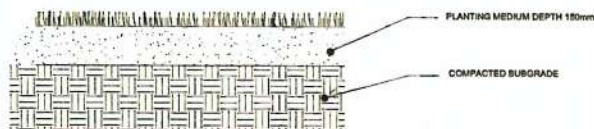




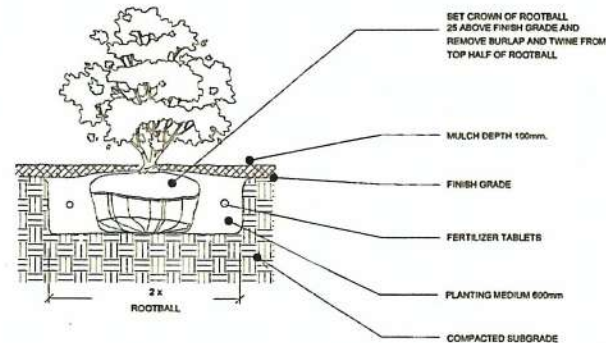
5 GROUND COVER PLANTING TYP.
SCALE: NTS



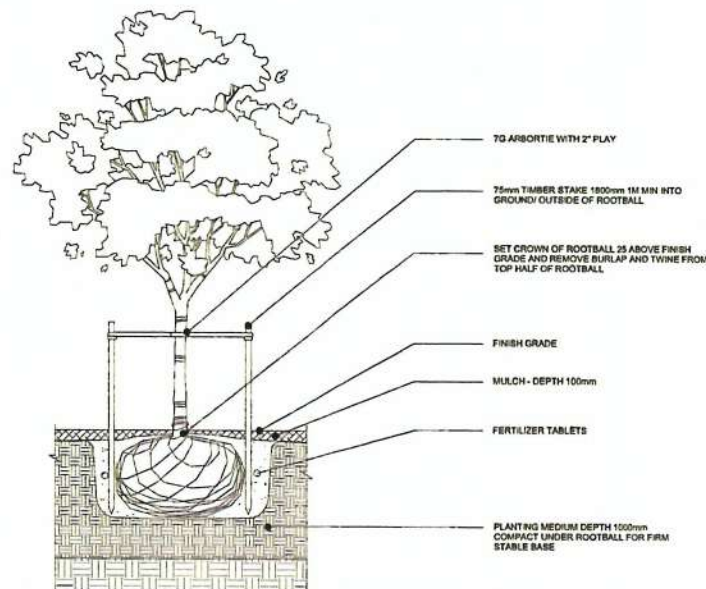
4 UNIT PAVER TYP.
SCALE: NTS



3 LAWN ON GRADE TYP.
SCALE: NTS



2 SHRUB PLANTING TYP.
SCALE: NTS



1 TREE PLANTING ON GRADE
SCALE: NTS

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City of Victoria

AUG 18 2015

Planning & Development Department
Development Services Division

CHRISTIAN BARNARD
land X studio

Suite 301 1215 Waddington Alley
Victoria BC V8W 1G2
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t. 250.689.2010
www.christianbarnard.ca

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REV	DATE	DESCRIPTION	BY

GENERAL NOTES
Design of existing features are in general diagrams. Specifications shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow features shown on the drawings within the tolerances of existing equipment and construction. Dimensions and ground slope changes and they are not to be scaled. Grading and slope to be shown on the drawings. The appropriate method of planting trees and shrubs shall be determined by the Designer. Structural and other details shall be determined by the Designer. All dimensions shall be to the center of the work unless otherwise specified.

PROJECT TITLE:
Capital Park Heritage Houses
225+228 Dalhousie Road
(524538 Michigan Building)
Victoria BC

DATE:
August 17, 2015

SHEET TITLE:
SPECIFICATIONS

SCALE:
1/8" = 1'-0"

Drawn By:
CB

Checked By:

L3

South Block Development Corporation

3350 Douglas St. - Suite 100
Victoria, BC V8Z 3L1
Phone: 250 475-0338
Fax: 250 475-0339

August 17, 2015

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Attention: Mayor and Council



Re: Heritage Alteration Permit for 524 Michigan Street being relocated to 226 Dallas Road

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 524 Michigan Street within the lands known as South Block in James Bay. This house, along with 526 Michigan Street is being relocated and rehabilitated as committed to as part of the Capital Park redevelopment. This house was the subject of a previous application HAP 00188 which approved in concept the rehabilitation plan and the relocation of this home to a suitable site within James Bay. This application is consistent with the principles outlined in the previous application.

Since acquiring the Capital Park lands in the spring of 2014, South Block Development Corporation has been actively seeking out a receiver site for 524 and 526 Michigan Street in James Bay. After discussions with several land owners in James Bay and consultation with the Senior Heritage Planner, South Block Development Corporation has entered into an agreement to acquire a site at 224 Dallas Road that we feel would be an excellent receiver site for the two homes.

224 Dallas Road consists of two legal lots, one for each heritage home. No changes to either legal parcel are contemplated. A house originally constructed in the 1950's and added on to in the 1980's and during several other renovations spans both lots. The house is not deemed to be architecturally significant or of high quality. The house would be removed to facilitate the redevelopment of the property with the two heritage houses. The existing house will be offered by Nickel Brothers to anyone wishing to pay for its moving costs in an effort to retain it. Failing this the house would be demolished and materials reused, recycled and disposed of as appropriate.

This application contemplates relocating the house currently located at 524 Michigan Street to what would become 226 Dallas Road. 524 Michigan Street is currently vacant and the interior has been significantly altered and most recently used as a post disaster training facility. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. This application contemplates placing the house on a new foundation with a full height basement, fully rehabilitating the exterior in a historically sensitive manner as outlined in the enclosed Heritage Conservation Plan, upgrading thermal, seismic and structural performance, and completely renovating and rebuilding the interior to finish it as a custom single family home.

To facilitate the relocation and adaptive reuse some alterations will need to be made to the exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

1. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. Tongue and groove siding will be installed on the foundation as per the existing detail. There will be a new basement access point and two additional windows added on the east façade.
2. It is proposed that two windows will be relocated, two windows on the basement level will be removed, three windows will be added and one new window will be placed in an existing opening. Where new windows are added they will be replicas of the originals. The balance of the windows will be rebuilt with the original materials and storm windows added as appropriate.
3. The fire escape on the west side of the house will be removed.
4. The siding, trim and exterior finishes will be repaired and replaced with like materials as required and the houses will be painted using a historically appropriate colour palette.
5. Guard rails will be added to stairs and porches as required by Code.
6. Should the roof require replacement it will be done in line with what is suggested in the heritage conservation plan.

For further reference enclosed is the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The constraints imposed by the existing physical massing of the heritage house and the dimensions of the receiver lot necessitate a number of variances as follows:

1. A height variance is requested to accommodate the height of the existing heritage structure and preserve the existing relationship to grade as is consistent with heritage conservation principles. The proposed height is 8.8 meters, compared to an allowable height of 7.6 meters. This height variance would be required to accommodate this heritage house in any residential lot in James Bay. Enclosed please find a Shadow Analysis at the solstices and equinoxes comparing the shadow impact of the existing condition on the site, what would be permitted on the site under the existing zoning and the proposed development.
2. The east side yard setback is proposed at 1.2 meters compared to the 1.5 meter minimum contemplated in the zone. This is a larger setback than the current non-conforming 0.92 meter setback on the site.
3. The west side yard setback is proposed at 1.04 meters compared to the 1.5 meter minimum contemplated in the zone. The combined side yard setback is 2.24 meters compared to the 4.5 meter requirement. While the gap between the two heritage houses is narrow, this represents a new view corridor from 15/17 Dock Street as the house currently located on the site spans the interior lot line. The most significant impact of this variance is on the adjacent heritage house. This was done intentionally to minimize intrusions into the setbacks on the outer edges of the property which would have a greater impact on the existing neighbours. Please note an easement of 0.16 meters on the east side of 222 Dallas Road is proposed to provide 226 Dallas Road with the required 1.2 meter setback for code.
4. The front yard setback is proposed at 6.75 meters for the house, compared to 7.5 meters contemplated in the zone, 6.15 meters from the front porch compared to 5.9 meters contemplated in the zone and 4.83 meters for the front stairs compared to 5 meters contemplated in the zone. This will blend the setbacks between 222 Dallas Road and the neighbor at 230 Dallas Road.

Our application package also includes perspective drawings from Dallas Road, Dock Street and the existing laneway comparing the existing condition, a massing model of what would be permitted under the zoning as well as our proposal to illustrate the impact of the variances we are seeking.

In response to feedback received from neighbours and the community the landscape plan contemplates low height landscaping that will not block views from 15/17 Dock Street, the relocation plan contemplates loading the houses onto the site in a manner that permits the retention of existing boulevard trees, access off of the existing lane was designed with consideration given to providing safe access and visibility and dimensioning parking in a

way that discourages parking in a manner that intrudes on the laneway and discussions have also been had with the City about creating additional residential parking on Dock Street adjacent to 222 Dallas Road.

Please note a heritage designation application for this home has been submitted to the City of Victoria and subject to approval would be issued when the 524 Michigan Street is relocated to 226 Dallas Road.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

A handwritten signature in black ink, appearing to read 'Karen Jawl', written in a cursive style.

Per:
Karen Jawl

South Block Development Corporation

3350 Douglas St. - Suite 100
Victoria, BC V8Z 3L1
Phone: 250 475-0338
Fax: 250 475-0339

Received
City of Victoria

AUG 20 2015

Planning & Development Department
Development Services Division

August 17, 2015

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Attention: Mayor and Council

Re: Heritage Alteration Permit for 526 Michigan Street being relocated to 222 Dallas Road

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 526 Michigan Street within the lands known as South Block in James Bay. This house, along with 524 Michigan Street is being relocated and rehabilitated as committed to as part of the Capital Park redevelopment. This house was the subject of a previous application HAP 00189 which approved in concept the rehabilitation plan and the relocation of this home to a suitable site within James Bay. This application is consistent with the principles outlined in the previous application.

Since acquiring the Capital Park lands in the spring of 2014, South Block Development Corporation has been actively seeking out a receiver site for 524 and 526 Michigan Street in James Bay. After discussions with several land owners in James Bay and consultation with the Senior Heritage Planner, South Block Development Corporation has entered into an agreement to acquire a site at 224 Dallas Road that we feel would be an excellent receiver site for the two homes.

224 Dallas Road consists of two legal lots, one for each heritage home. No changes to either legal parcel are contemplated. A house originally constructed in the 1950's and added on to in the 1980's and during several other renovations spans both lots. The house is not deemed to be architecturally significant or of high quality. The house would be removed to facilitate the redevelopment of the property with the two heritage houses. The existing house will be offered by Nickel Brothers to anyone wishing to pay for its moving costs in an effort to retain it. Failing this the house would be demolished and materials reused, recycled and disposed of as appropriate.

This application contemplates relocating the house currently located at 526 Michigan Street to what would become 222 Dallas Road. 526 Michigan Street is currently vacant and the interior has been significantly altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. This application contemplates placing the house on a new foundation, fully rehabilitating the exterior in a historically sensitive manner as outlined in the enclosed Heritage Conservation Plan, upgrading thermal, seismic and structural performance, and completely renovating and rebuilding the interior to finish it as a custom single family home.

To facilitate the relocation and adaptive reuse some alterations will need to be made to the exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

1. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. Tongue groove siding will be installed on the foundation as per the existing detail. There will be a new basement access point.

2. It is proposed one new window at the rear of the house will be added with the sill to match the window adjacent to accommodate kitchen cabinets, one window will be relocated in the basement, two windows in the basement and one on the top floor will be removed and one window will be replaced with a door to provide exiting as required by code. Where new windows are added they will be replicas of the originals. The balance of the windows will be rebuilt with the original materials and storm windows added as appropriate.
3. The existing door at the rear of the house will be removed and replaced with siding consistent with the balance of the house.
4. The siding, trim and exterior finishes will be repaired and replaced with like materials as required and the houses will be painted using a historically appropriate colour palette.
5. Guard rails will be added to stairs and porches as required by Code.
6. Should the roof require replacement it will be done in line with what is suggested in the heritage conservation plan.
7. A new balcony will be added on the rear of the house as required by Code and will be designed in a historically sensitive manner.

For further reference enclosed is the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The constraints imposed by the existing physical massing of the heritage house and the dimensions of the receiver lot necessitate a number of variances as follows:

1. A height variance is requested to accommodate the height of the existing heritage structure and preserve the existing relationship to grade as is consistent with heritage conservation principles. The proposed height is 9.9 meters, compared to an allowable height of 7.6 meters and 2.5 storeys, compared to the 2 storeys permitted. This height variance would be required to accommodate this heritage house in any residential lot in James Bay. Enclosed please find a Shadow Analysis at the solstices and equinoxes comparing the shadow impact of the existing condition on the site, what would be permitted on the site under the existing zoning, and the proposed development.
2. The west side yard setback is proposed at 1.32 meters compared to the 3.5 meter minimum contemplated in the zone. A consequence of this is the impact on the south west view corridor of the neighbor to the North at 15 Dock Street. The South/West view cone from 15 Dock Street is 5% smaller than would be permitted under the zoning. The north/south siting of this house was carefully studied to minimize the impact on this view cone.
3. The east side yard setback is proposed at 1.36 meters compared to the 1.5 meter minimum contemplated in the zone. The combined side yard setback is 2.68 meters compared to the 4.5 meter requirement. While the gap between the two heritage houses is narrow, this represents a new view corridor from 15/17 Dock Street as the house currently located on the site spans the interior lot line. The most significant impact of this variance is on the adjacent heritage house. This was done intentionally to minimize intrusions into the setbacks on the outer edges of the property which would have a greater impact on the existing neighbours. Please note an easement of 0.16 meters on the east side of 222 Dallas Road is proposed to provide 226 Dallas Road with the required 1.2 meter setback for code.
4. The front yard setback is proposed at 6.45 meters for the house, compared to 7.5 meters contemplated in the zone, 4.94 meters for the porch compared to 5.9 meters contemplated in the zone, and 3.91 meters for the front stairs compared to 5 meters contemplated in the zone. Siting the house further forward on the lot helps mitigate the impact on the view cone to the water from 15 Dock Street.

Our application package also includes perspective drawings from Dallas Road, Dock Street and the existing laneway comparing the existing condition, a massing model of what would be permitted under the zoning as well as our proposal to illustrate the impact of the variances we are seeking.

In response to feedback received from neighbours and the community the landscape plan contemplates low height landscaping that will not block views from 15/17 Dock Street, the relocation plan contemplates loading the houses onto the site in a manner that permits the retention of existing boulevard trees, access off of the existing lane was designed with consideration given to providing safe access and visibility and dimensioning parking in a way that discourages parking in a manner that intrudes on the laneway and discussions have also been had with the City about creating additional residential parking on Dock Street adjacent to 222 Dallas Road.

Please note a heritage designation application for this home has been submitted to the City of Victoria and subject to approval would be issued when the 526 Michigan Street is relocated to 222 Dallas Road.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or karen.jawl@jawlproperties.com or the architect John Keay at (250) 382-2823 or john@kcarchitecture.ca.

Sincerely,

South Block Development Corporation

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Per:
Karen Jawl