

UNFINISHED BUSINESS

4. Rezoning Application No. 00381 for 1002-1008 and 1012 Pandora Avenue

Council received a report dated July 22, 2014 from the Sustainable Planning and Community Development Department providing Council with updated information regarding Rezoning Application No. 00381 for 1002-1008 and 1012 Pandora Avenue.

Councillor Isitt asked why this is coming as a late item.

Deb Day (Director of Sustainable Planning and Community Development): Staff's intention was to provide all of the information requested by Council as it became available.

Motion:

It was moved by Councillor Helps, seconded by Councillor Young, that Council:

1. Consider giving first and second reading to the *Zoning Regulation Bylaw* amendment.
2. Consider giving first and second reading to the Housing Agreement Bylaw.

Councillor Isitt said that he would like to postpone consideration to the next Council meeting to provide the neighbourhood time to review the new information.

Councillor Helps said that:

- *She supports moving forward to public hearing as there is strong interest in this proposal;*
- *This report provides an update prior to the one month break;*
- *The applicant has done everything the City has asked the applicant to do, and;*
- *She now wants to hear from the public.*

Mayor Fortin said that the work has been done and it is ready for the public hearing and he doesn't want to hold it up.

Councillor Gudgeon said that this is coming to Council as a late item and the North Park Neighbourhood has not been engaged by the proponent.

Robert Woodland (Corporate Administrator): A public hearing date is not being proposed, just first and second reading of the bylaws. He would expect the developer will be engaging with the neighbourhood prior to a public hearing date being set.

Councillor Isitt said that Council voted to move this forward by a 5-to-4 vote and it was to come back to Council to determine if it was ready for public hearing; he has not seen the new designs of how the massing has been shifted.

Motion to Postpone Consideration:

It was moved by Councillor Isitt, seconded by Councillor Gudgeon, that Council postpone consideration of first and second reading of the bylaws for Rezoning Application No. 00381 for 1002-1008 and 1012 Pandora Avenue. Defeated

For:

Councillors Gudgeon, Isitt and Madoff

Against:

Mayor Fortin, Councillors Alto, Coleman, Helps, Thornton-Joe and Young

On the main motion:

Carried

For:

Mayor Fortin, Councillors Alto, Coleman, Helps, Thornton-Joe and Young

Against:

Councillors Gudgeon, Isitt and Madoff



Council Report For the meeting of July 24, 2014

Date: July 22, 2014 **From:** Mike Wilson, Senior Planner - Urban Design
Subject: **Rezoning Application #00381 and Development Permit Application #000351
for 1002-1008 and 1012 Pandora Avenue**
Update on Council Conditions

Executive Summary

The purpose of this report is to present Council with information regarding a Rezoning Application and Development Permit Application for the property located at 1002-1008 and 1012 Pandora Avenue. At the Council meeting of April 10, 2014 Council endorsed the following motion:

It was moved by Councillor Helps, seconded by Councillor Alto, that Council authorize that Rezoning Application # 00381 and Development Permit Application # 000351 for 1002-1008 and 1012 Pandora Avenue proceed to a Public Hearing and that City staff prepare the necessary Zoning Regulation Bylaw amendments, subject to completion of the following conditions:

1. *Advisory Design Panel review of the Development Permit Application with particular attention to:
 - a. *The comprehensive design approach and whether the building's mass has been adequately articulated through the provision of varying building materials and setbacks.*
 - b. *The appropriateness of the building finishes, including cement board siding and landscape design.*
 - c. *Improvements to building form as it relates to the mid-block walkway including Crime Prevention Through Environmental Design (CPTED) principles.*
 - d. *Signage identifying the mid-block walkway.**
2. *Registration of Statutory Right-of-Ways on Mason Street and Vancouver Street to the satisfaction of the Director of Engineering and Public Works.*
3. *Revisions to the proposed Pandora Avenue and Vancouver Street frontages to the satisfaction of Director of Engineering and Public Works subject to the removal of the parking on the east side of Vancouver Street and its replacement with a cycling facility and adding an exploration of cycling facilities on Pandora Avenue and Mason Street.*
4. *The provision of 17 Class 2 bicycle parking stalls to the satisfaction of the Director of Sustainable Planning and Community Development.*
5. *That staff explore the viability of a legal mechanism and the implications of restricting commercial truck traffic between the hours of 11pm to 7am and to explore the advisability of limiting the weight of vehicles to 7000 lbs on Mason Street especially fronting Franklin Green Park.*

6. *Preparation of a Housing Agreement Bylaw and legal agreement to ensure that future strata bylaws cannot prohibit strata owners from renting residential strata units to non-owners to the satisfaction of the City Solicitor.*
7. *That staff explore with the applicant the possibility of including a Housing Agreement to retain the residential units as rental for a period of 10 years and to have staff identify the mechanism that would be put in place to deal with the conversion from rental to strata should that happen in the future.*
8. *That staff be directed to discuss with the applicant the addition of green building features.*
9. *That staff consult with the applicant regarding the possibility of further transitioning of massing from Mason Street to Pandora Street.*

The following sections of this report provide an update on each of the conditions outlined above.

Advisory Design Panel Review

The application was presented to the Advisory Design Panel on May 28, 2014. Minutes of the meeting are attached to this report. The ADP's recommended changes to the project are provided in italics below followed by staff commentary on the applicant's revisions to the design:

- *The provision of a larger break in the expression of the Pandora Avenue elevation.*

The applicant has revised the Pandora Avenue street frontage and broken up the building face into two distinct sections, both clad in brick. This break extends vertically down to the retail frontage at grade. This change helps to break up the building massing, making it appear as two separate buildings.

- *A widening of the entry to the mid-block walkway from Pandora Avenue.*

The applicant has revised the entry to the mid-block walkway from Pandora Avenue by creating a larger entrance at grade level. Retail glazing has been extended into the walkway in order to provide a more welcoming entrance for pedestrians. The width of the walkway has also been increased.

- *Further design development of the landscape courtyard at the second level.*

ADP members expressed concern with respect to the viability of the proposed trees and landscape within the rooftop courtyard. The applicant has revised the application to include a section of each of the tree planters and a detailed planting plan. This aspect of the proposal has been reviewed and accepted by the City's Park Development Officer.

- *Reconsideration, through design development, of the proposed paving treatment and landscape on the Vancouver Street frontage as they relate to the ground floor retail expression.*

In conjunction with staff from the Department of Engineering and Public Works, the applicant has redesigned the Vancouver Street frontage. This includes the removal of on-street parking on the east side of Vancouver Street and the installation of a conventional bike lane. The sidewalk has been widened and now includes a boulevard for a portion of the frontage.

Consider installing a green roof on the four-storey building.

The applicant has considered the installation of a green roof on the four-storey building. The applicant's letter states that green roofs are most successful on buildings that are of concrete construction. The proposed development is to be wood frame. As a result the applicant has chosen not to provide a green roof. However, the applicant has proposed to install coloured stone on the roof in order to create a more attractive finish.

- *Consider alternative exterior finishes that are more in keeping with a building of this scale and further consider a simplification of the materials palette.*

The applicant has revised the materials pallet in response to this recommendation. Materials include: brick, painted concrete, metal panel, Hardie panel, and corrugated metal. The applicant has also simplified the application of these materials.

Statutory Rights-of-Way

The applicant has agreed to register Statutory Right-of-Ways on Mason Street and Vancouver Street. These agreements are currently in the process of being registered on the property's title.

Street Frontages - Pandora Avenue and Vancouver Street

The applicant has carried out revisions to both of these frontages, including the introduction of a conventional bike lane on Vancouver Street and a buffered bike lane on Pandora Avenue.

Class 2 Bicycle Parking

The applicant proposed amendment to the *Zoning Regulation Bylaw* requires 18 Class 2 bicycle stalls. This is in compliance with *Schedule C* and be a requirement of at the Building Permit stage.

Truck Delivery Restrictions

The applicant has agreed to enter into a legal agreement with the City to ensure the following:

- that between the hours of 11:00 pm and 7:00 am daily, no delivery trucks exceeding 10,000 lbs will be permitted to deliver to the development through the loading dock accessed off of Mason Street
- that no access to the development for delivery (all hours) will be permitted by delivery trucks exceeding 10,000 lbs using the one way section of Mason Street west of Cook Street
- that the owner will install appropriate signage at the development to express these restrictions
- that the owner will include notices in the leases of all commercial occupants of the development.

The limitation of trucks of a gross vehicle weight of 10,000 lbs is not consistent with the Council motion which expresses a desired limit of 7,000 lbs. The applicant's consulting engineer has provided a vehicle classification chart (attached) which demonstrates the maximum size of a

10,000 lbs vehicle would be a step van. These vehicles are typically used by private courier companies and Canada Post.

Housing Agreement

Staff have prepared a Housing Agreement Bylaw to ensure that future strata bylaws cannot prohibit strata owners from renting residential strata units to non-owners. The agreement further ensures that all of the residential units in the development will be secured for rental housing for a period of 10 years.

The applicant intends to strata title the building at the occupancy stage. However, the housing agreement would restrict the use of the building to rental housing for 10 years after which individual units could be sold. Existing tenant agreements would be subject to the *Residential Tenancy Act*.

Green Building Features

The applicant has agreed to construct the building to a LEED Silver equivalent standard. The building will not be a LEED Certified building. The applicant will have a LEED consultant present a report to staff at Building Permit stage and a report after completion of the building to confirm that the development is consistent with a LEED Silver standard.

Massing Transition from Pandora Avenue to Mason Street

The applicant has revised the proposal to reallocate floor area from the Mason Street frontage to the Vancouver Street frontage. As a result, the portions of the building fronting Mason Street are four storeys in height. The building is also set back approximately 7.3 m from the property line.

Restricting Left Hand Turns from Cook Street to Mason Street

Both the applicant and staff have explored the option of restricting left hand turns from Cook Street onto Mason Street. The applicant's traffic engineer has provided a letter (attached) which recommends maintaining left hand turn access onto Mason Street from Cook Street. Staff concur with the rationale provided in the letter. In order to reduce vehicle speeds on the east end of Mason Street, the applicant has agreed to construct a driveway crossing. Driveway crossings have been installed in other locations and proven successful.



Figure 1: Driveway crossing in James Bay

Conclusion

Staff have reviewed the various revisions to the proposal and recommend that Council support the application.

Recommendations

1. That Council consider giving first and second reading to the *Zoning Regulation Bylaw* amendment.
2. That Council consider giving first and second reading to the Housing Agreement Bylaw.

Respectfully submitted,

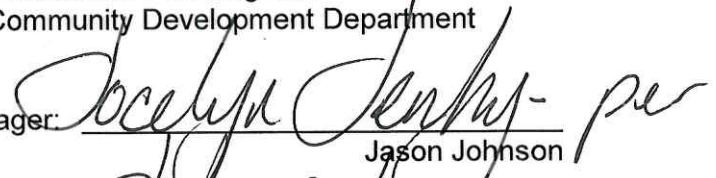


Mike Wilson
Senior Planner - Urban Design
Development Services Division

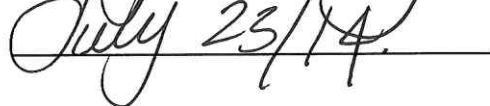


Deb Day, Director
Sustainable Planning and
Community Development Department

Report accepted and recommended by the City Manager:


Jason Johnson

Date:


July 23/14

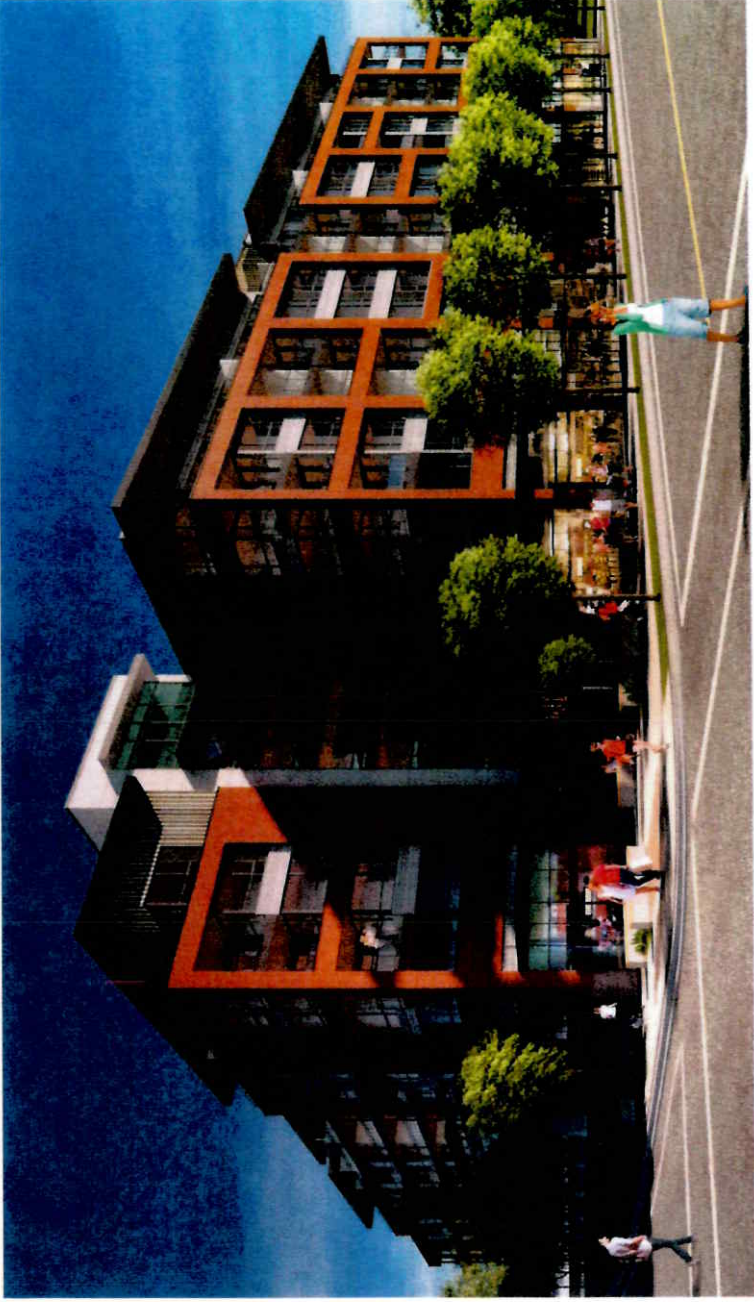
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S:\TEMPEST_ATTACHMENTS\PROSPERO\PLIREZ\REZ00381\PLUSC PLANNING REPORT TEMPLATE REZ2.DOC

List of Attachments

- Plans dated July 15, 2014
- Letter from Robert Duke, MAIBC dated July 14, 2014.
- Letter from Bunt and Associates dated July 8, 2014
- Vehicle Classification Schedule.

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**RESIDENTIAL/COMMERCIAL
DEVELOPMENT**
1008 - 1012 PANDORA AVENUE,
VICTORIA, BC, V8V 3P5
ADVISORY DESIGN PANEL
RESPONSE

July 14th, 2014



CHRIS DIKEAKOS ARCHITECTS INC.
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OWNER / DEVELOPER
BLUESKY PROPERTIES

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STRUCTURAL

JOHN BRYSON & PARTNERS

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ELECTRICAL

STANTEC

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LANDSCAPE

DURANTE KRELUK LTD.

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SURVEYOR
BRAD CUNNING LAND SURVEYING INC.

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BUILDING CODE CONSULTANT

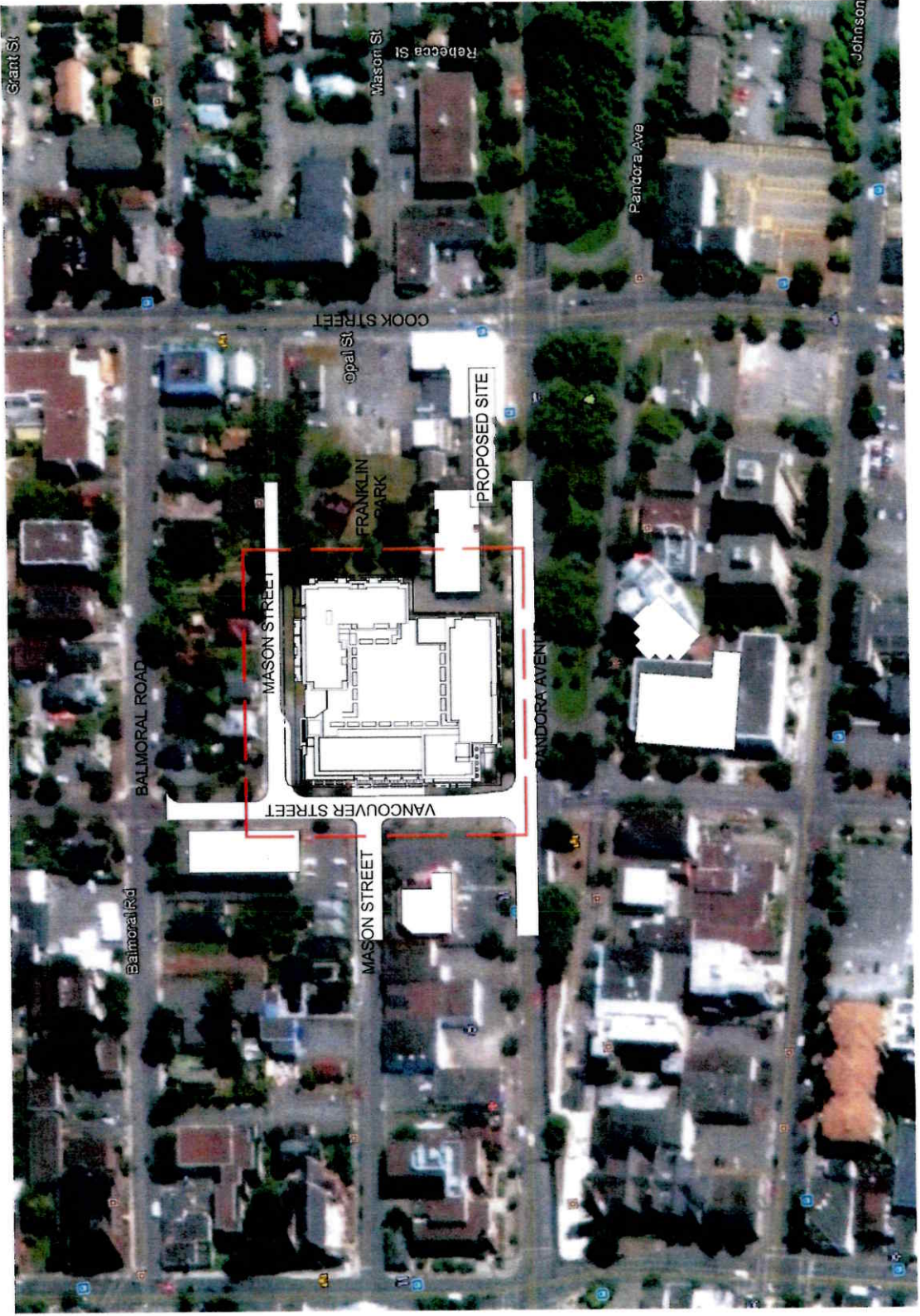
LMDG BUILDING CODE CONSULTANTS

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TRAFFIC CONSULTANT

BIJANT & ASSOCIATES ENGINEERING

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KEY PLAN
SCALE: 1" = 100'
NOTES



NO.	DATE	DESCRIPTION
1	08/11/2023	ISSUED FOR PERMIT
2	08/11/2023	ISSUED FOR PERMIT
3	08/11/2023	ISSUED FOR PERMIT
4	08/11/2023	ISSUED FOR PERMIT
5	08/11/2023	ISSUED FOR PERMIT
6	08/11/2023	ISSUED FOR PERMIT
7	08/11/2023	ISSUED FOR PERMIT
8	08/11/2023	ISSUED FOR PERMIT
9	08/11/2023	ISSUED FOR PERMIT
10	08/11/2023	ISSUED FOR PERMIT



CHRIS DIKEAKOS
ARCHITECTS, NC

1000 W. PANDORA AVENUE
VICTORIA, BC
V8N 1A1
TEL: 250-403-1111
WWW.CHRISDIKEAKOSARCHITECTS.COM

PROJECT:
RESIDENTIAL, COMMERCIAL
1000 W. PANDORA AVENUE,
VICTORIA, BC



OWNER:

CONTRACT NO.:

DATE:	08/11/2023
SCALE:	1" = 100'
DATE:	08/11/2023
DATE:	08/11/2023

SHEET TITLE:
SITE - CONTEXT

DRAWING NO.:	A002
REV.:	



(A) PANDORA LOOKING WEST



(B) SITE LOOKING NORTH



(C) CORNER PANDORA & VANCOUVER



(D) PANDORA LOOKING EAST



(E) VANCOUVER ST LOOKING SOUTH



(F) SITE LOOKING SOUTH



(G) MASON ST CORNER



KEY PLAN

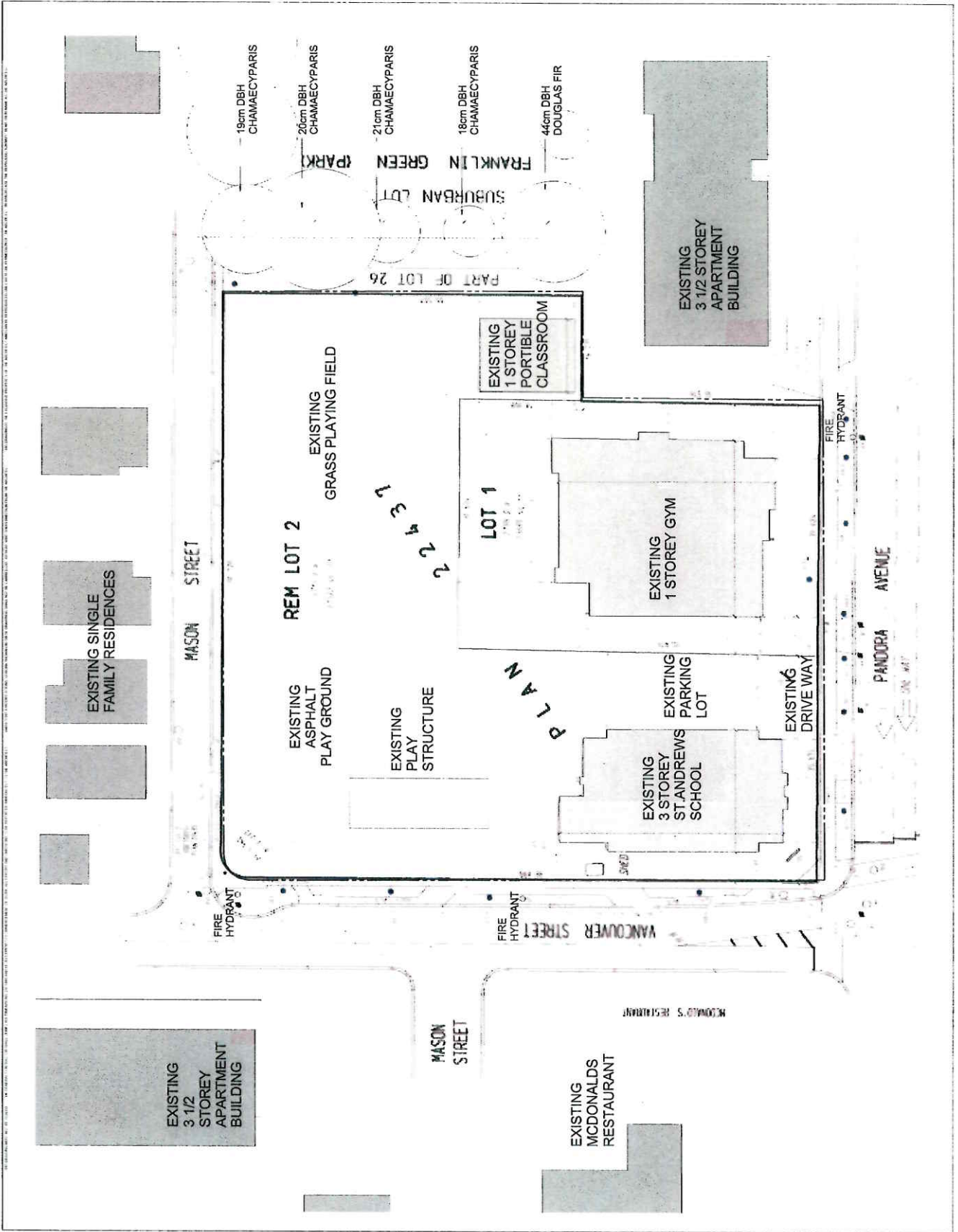
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2	ISSUED FOR PERMIT			1008 1/2" PANDORA AVENUE,	
3	ISSUED FOR PERMIT			VICTORIA BC	
DRAWING NO.: A003		REV.:		SHEET TITLE: SITE PHOTOS	

BlueSky PROPERTIES
 CHESS DIKENS ARCHITECTS INC.
 1008 1/2" PANDORA AVENUE, VICTORIA BC

CONTRACT NO.:
 PROJECT: RESIDENTIAL COMMERCIAL
 1008 1/2" PANDORA AVENUE, VICTORIA BC

SHEET TITLE: SITE PHOTOS
 DRAWING NO.: A003
 REV.:

KEY PLAN SCALE 1:100 NOTES		REVISIONS		CHS'S DIKAKOS ARCHITECTS INC. <small>100/101 STATION STREET, SUITE 101, MELBOURNE VIC 3000</small>	PROJECT: RESIDENTIAL - COMMERCIAL 100/101 STATION STREET, MELBOURNE, VIC		DRAWN BY: CHECKED BY: SCALE: 1:200 PLOT NO.: DATE: 10/10/2018	SHEET TITLE: SITE PLAN OF EXISTING SCHOOL	DRAWING NO.: REV. A102
		ISSUED FOR:							



KEY PLAN
SCALE: N.T.S.
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APPROVED FOR:	
DESIGNED BY:	
PLANNED BY:	
PROJECT:	



CHRIS D'AMICO
ARCHITECTS INC.

RESIDENTIAL COMMERCIAL
100-102 PANDORA AVENUE
VICTORIA, BC



Bluesky
PROPERTIES

DESIGNED BY:	DATE:
CHECKED BY:	SCALE:
DATE:	PROJECT:

SHEET TITLE
SITE PLAN

DRAWING NO.:	REV.
A103	

PROJECT SUMMARY

PROPOSED ONE-LEVEL COMMERCIAL DEVELOPMENT ON 0.27 ACRES OF LAND AT THE CORNER OF MASON STREET AND PANDORA AVENUE, VICTORIA, BC. THE PROPOSED DEVELOPMENT WILL CONSIST OF A 3-STOREY APARTMENT BUILDING, A 3-STOREY COMMERCIAL BUILDING, AND A 3-STOREY GARAGE. THE PROPOSED DEVELOPMENT WILL BE ADJACENT TO EXISTING SINGLE FAMILY RESIDENCES TO THE WEST AND A 3-STOREY APARTMENT BUILDING TO THE EAST. THE PROPOSED DEVELOPMENT WILL BE ADJACENT TO FRANKLIN PARK TO THE NORTH AND MCDONALD'S RESTAURANT TO THE SOUTH.

PROPOSED DEVELOPMENT:

- 3-STOREY APARTMENT BUILDING (100-102 PANDORA AVENUE)
- 3-STOREY COMMERCIAL BUILDING (100-102 PANDORA AVENUE)
- 3-STOREY GARAGE (100-102 PANDORA AVENUE)

EXISTING DEVELOPMENT:

- EXISTING SINGLE FAMILY RESIDENCES (100-102 PANDORA AVENUE)
- EXISTING 3-STOREY APARTMENT BUILDING (100-102 PANDORA AVENUE)
- EXISTING MCDONALD'S RESTAURANT (100-102 PANDORA AVENUE)

PROPOSED IMPROVEMENTS:

- NEW SIDEWALK AND BIKEWAY ALONG MASON STREET
- NEW BIKEWAY ALONG PANDORA AVENUE
- NEW PLANTING AND LANDSCAPING
- NEW LIGHT FIXTURES
- NEW SIGNAGE

PROPOSED UTILITIES:

- NEW WATER MAINS
- NEW SEWER MAINS
- NEW GAS MAINS
- NEW ELECTRICAL MAINS
- NEW TELEPHONE MAINS

PROPOSED ACCESS:

- NEW SIDEWALK AND BIKEWAY ALONG MASON STREET
- NEW BIKEWAY ALONG PANDORA AVENUE

PROPOSED PARKING:

- NEW BIKEWAY ALONG PANDORA AVENUE

PROPOSED SIGNAGE:

- NEW SIGNAGE ALONG MASON STREET
- NEW SIGNAGE ALONG PANDORA AVENUE

PROPOSED LANDSCAPING:

- NEW PLANTING ALONG MASON STREET
- NEW PLANTING ALONG PANDORA AVENUE

PROPOSED LIGHTING:

- NEW LIGHT FIXTURES ALONG MASON STREET
- NEW LIGHT FIXTURES ALONG PANDORA AVENUE

PROPOSED UTILITIES:

- NEW WATER MAINS
- NEW SEWER MAINS
- NEW GAS MAINS
- NEW ELECTRICAL MAINS
- NEW TELEPHONE MAINS

PROPOSED ACCESS:

- NEW SIDEWALK AND BIKEWAY ALONG MASON STREET
- NEW BIKEWAY ALONG PANDORA AVENUE

PROPOSED PARKING:

- NEW BIKEWAY ALONG PANDORA AVENUE

PROPOSED SIGNAGE:

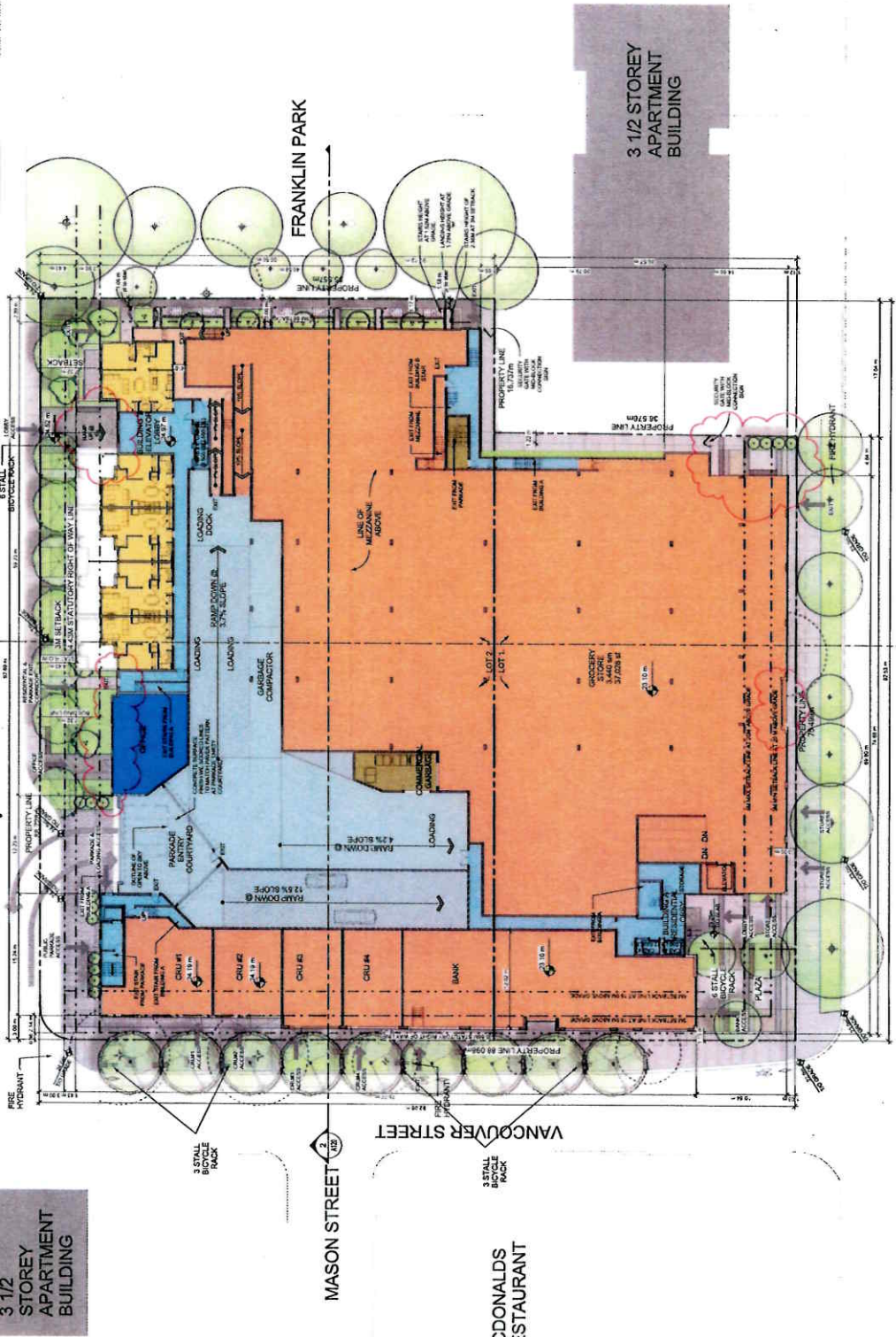
- NEW SIGNAGE ALONG MASON STREET
- NEW SIGNAGE ALONG PANDORA AVENUE

PROPOSED LANDSCAPING:

- NEW PLANTING ALONG MASON STREET
- NEW PLANTING ALONG PANDORA AVENUE

PROPOSED LIGHTING:

- NEW LIGHT FIXTURES ALONG MASON STREET
- NEW LIGHT FIXTURES ALONG PANDORA AVENUE



PANDORA AVENUE

FRANKLIN PARK

EXISTING SINGLE
FAMILY RESIDENCES

MASON STREET

MASON STREET

VANCOVER STREET

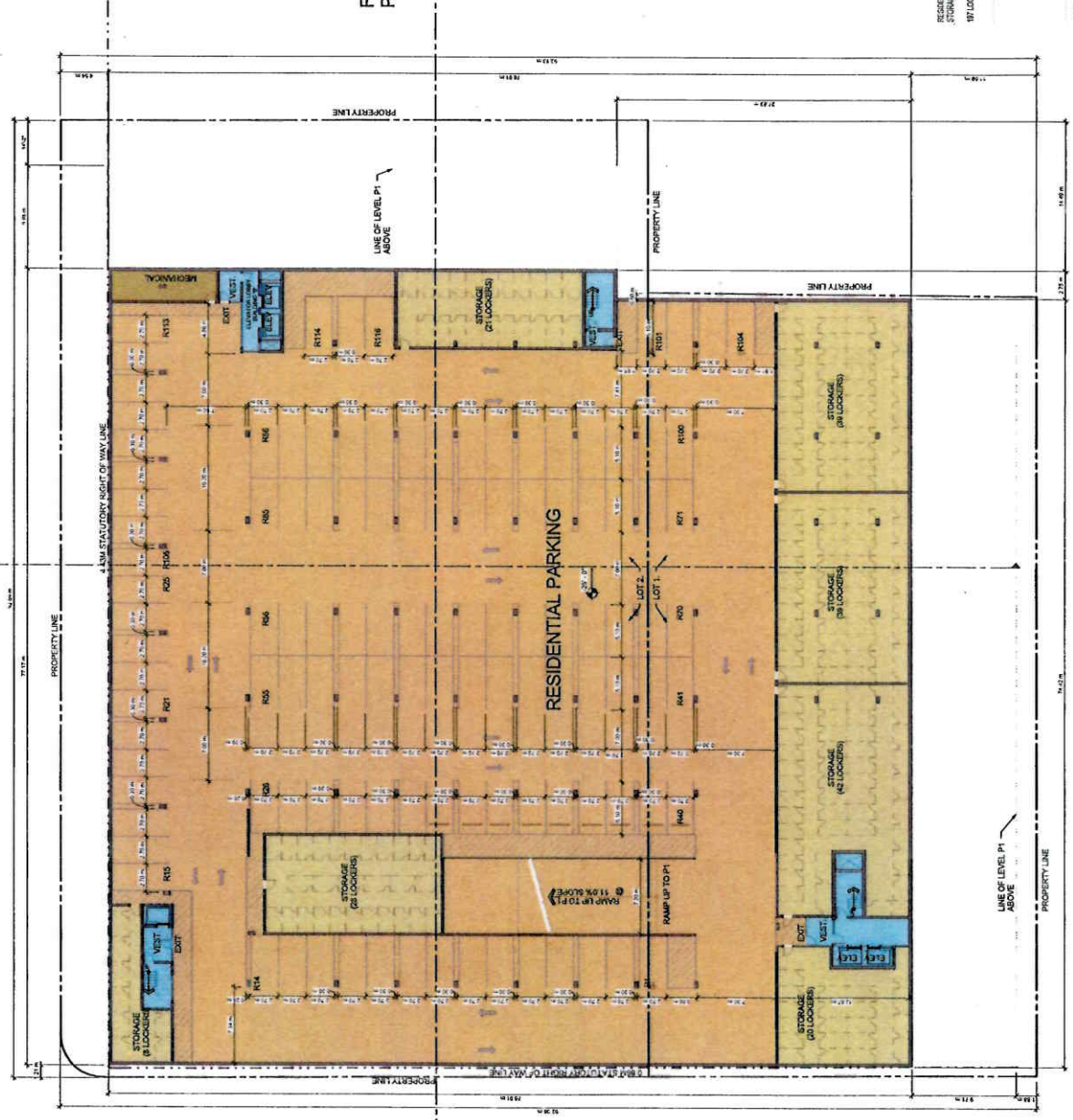
MCDONALD'S
RESTAURANT

3 1/2 STOREY
APARTMENT
BUILDING

3 1/2 STOREY
APARTMENT
BUILDING

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MASON STREET



FRANKLIN PARK

PANDORA AVENUE

VANCOUVER STREET

RESIDENTIAL STORAGE	112
REGULAR	0
INACCESSIBLE	0
TOTAL	112

NOTE: PLANS ARE CERTIFIED IN COMPLIANCE WITH THE NATIONAL ASSOCIATION STANDARDS.

KEY PLAN
SITE PLAN
NOTES



ISSUED FOR:

PROVISIONS:	MEZONIA
ADDITIONAL DESIGN PANELS:	LANDSCAPE
ADDITIONAL DESIGN PANELS:	LANDSCAPE
ADDITIONAL DESIGN PANELS:	LANDSCAPE
ADDITIONAL DESIGN PANELS:	LANDSCAPE
ADDITIONAL DESIGN PANELS:	LANDSCAPE



CHRIS KEANS ARCHITECTS INC.

CONSULTANT SERVICES
ARCHITECTURAL SERVICES
Landscape Architecture Services
Structural Engineering Services
Mechanical Engineering Services
Electrical Engineering Services
Civil Engineering Services
Geotechnical Engineering Services
Environmental Engineering Services
Traffic Engineering Services
Surveying Services
Quantity Surveying Services
Cost Estimating Services
Project Management Services

RESIDENTIAL - COMMERCIAL DEVELOPMENT
1000A AVENUE
VICTORIA, BC



OWNER:	BLUESKY PROPERTIES
DESIGNED BY:	CHRIS KEANS ARCHITECTS INC.
DRAWN BY:	TRACY WONG
CHECKED BY:	TRACY WONG
DATE:	JULY 16, 2014
PROJECT:	1000A AVENUE
SHEET TITLE:	LEVEL P2

DRAWING NO.: A104
REV.:

KEY PLAN
SCALE: N.T.S.
NOTES:



REVISIONS:
ISSUED FOR:
APPROVED FOR PERMIT:
DATE:
DRAWN BY:
CHECKED BY:
DATE:



100-1012 PANDORA AVENUE, VICTORIA, BC
100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:
RESIDENTIAL - COMMERCIAL
DEVELOPMENT
100-1012 PANDORA AVENUE,
VICTORIA, BC

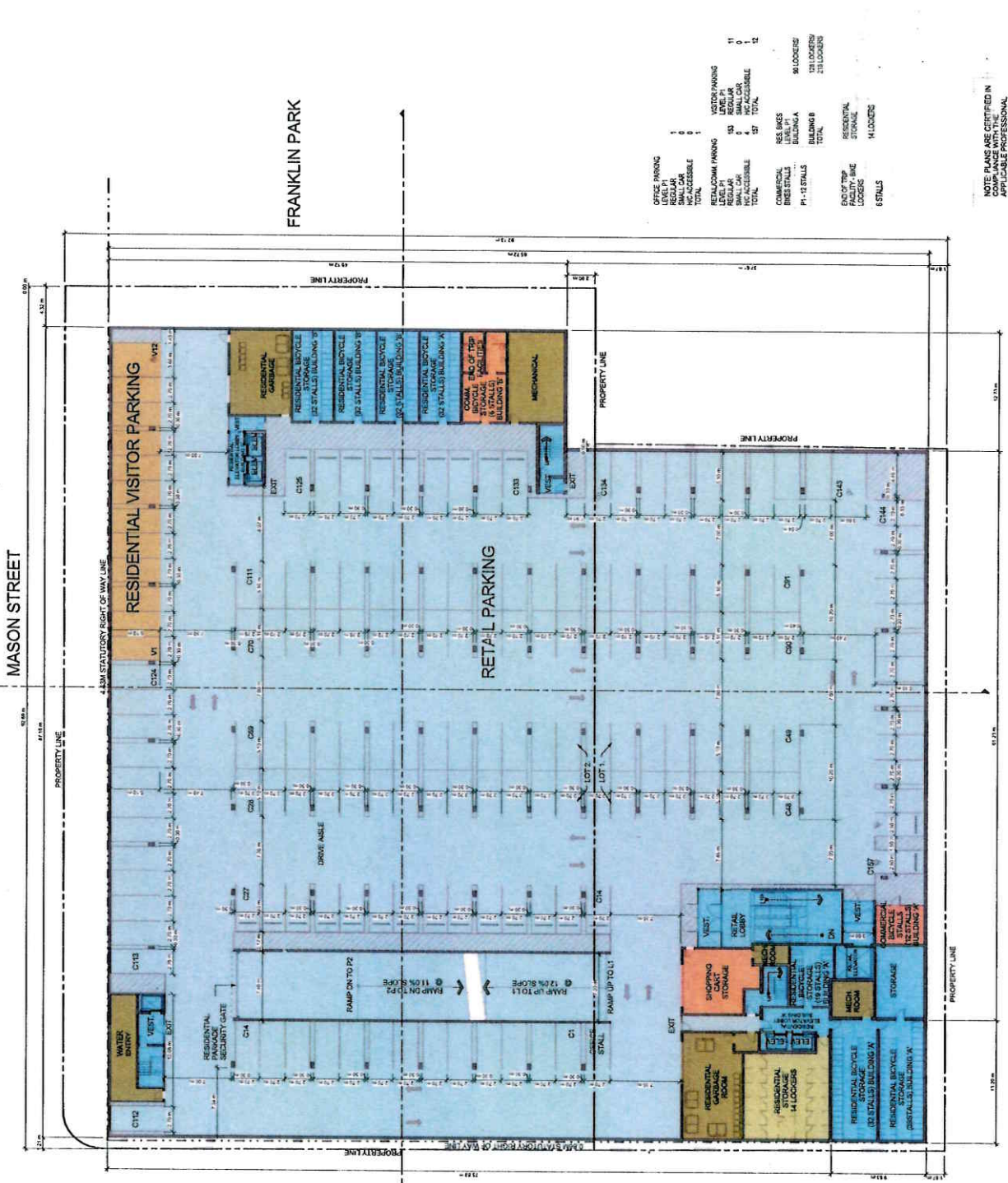


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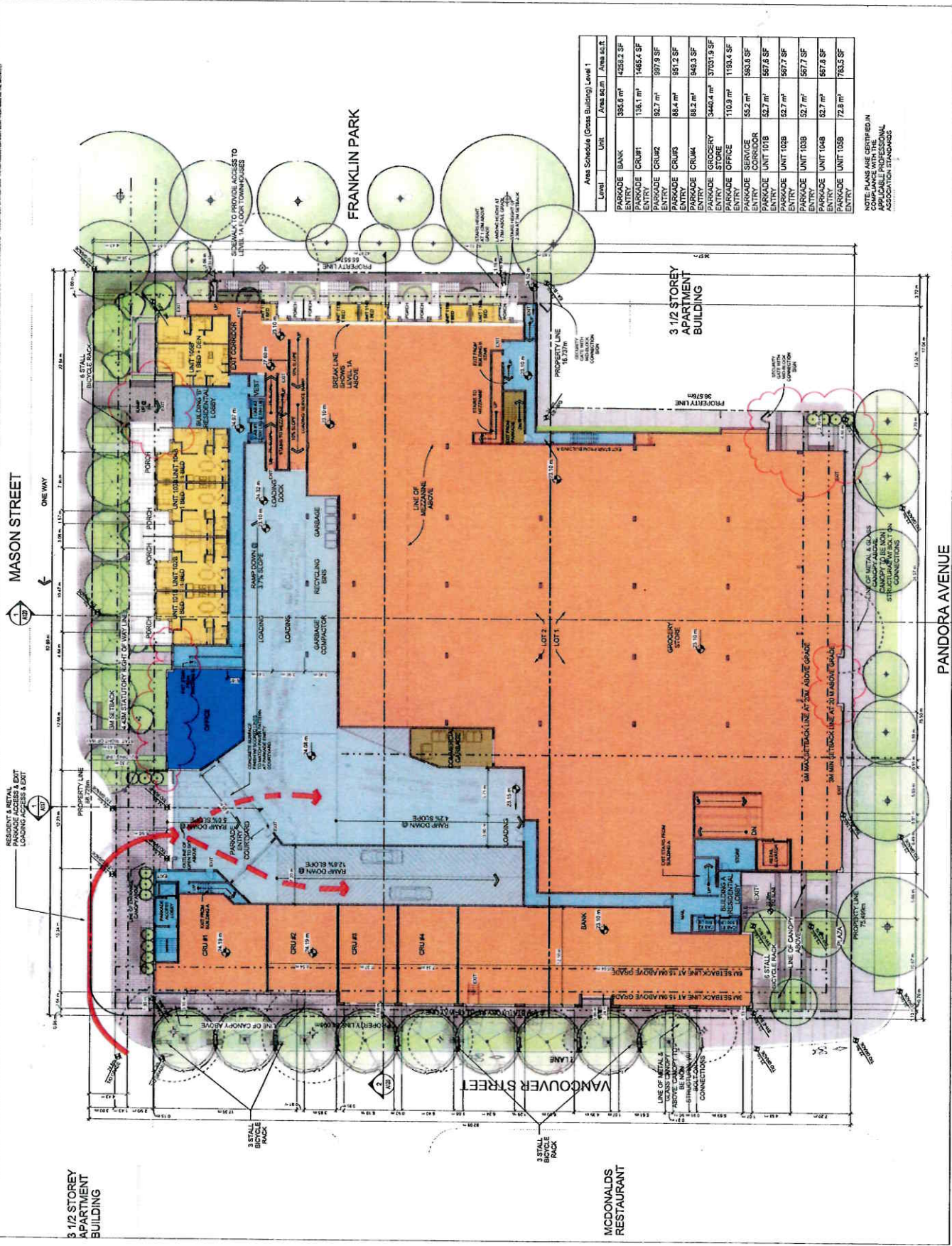


OFFICE PARKING		VEHICLE PARKING		TOTAL	
RESIDENTIAL	11	LEVEL P1	11	LEVEL P1	11
RETAIL	0	LEVEL P2	0	LEVEL P2	0
SMALL CAR	0	LEVEL P3	0	LEVEL P3	0
BIKE	0	LEVEL P4	0	LEVEL P4	0
INACCESSIBLE	0	LEVEL P5	0	LEVEL P5	0
TOTAL	11	TOTAL	11	TOTAL	11

VEHICLE PARKING		TOTAL	
LEVEL P1	11	LEVEL P1	11
LEVEL P2	0	LEVEL P2	0
LEVEL P3	0	LEVEL P3	0
LEVEL P4	0	LEVEL P4	0
LEVEL P5	0	LEVEL P5	0
TOTAL	11	TOTAL	11

VEHICLE PARKING		TOTAL	
LEVEL P1	11	LEVEL P1	11
LEVEL P2	0	LEVEL P2	0
LEVEL P3	0	LEVEL P3	0
LEVEL P4	0	LEVEL P4	0
LEVEL P5	0	LEVEL P5	0
TOTAL	11	TOTAL	11

NOTE: PLANS ARE CERTIFIED IN COMPLIANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. THE INFORMATION ON THESE PLANS IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A GUARANTEE OF ACCURACY OR COMPLETION. THE INFORMATION ON THESE PLANS IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A GUARANTEE OF ACCURACY OR COMPLETION.



Area Schedule (Gross Building) Level 1

Level	USE	Area (sqm)	Area (sqft)
PARKADE BANK		335.0 m ²	4259.2 SF
PARKADE CRUFT		136.1 m ²	1465.4 SF
PARKADE CRU2		92.7 m ²	997.9 SF
PARKADE CRU3		88.4 m ²	951.2 SF
PARKADE CRU4		88.2 m ²	943.3 SF
PARKADE GROCERY STORE		3440.4 m ²	37031.9 SF
PARKADE OFFICE		110.9 m ²	1193.4 SF
PARKADE SERVICE		53.2 m ²	569.6 SF
PARKADE CORRIDOR		52.7 m ²	567.8 SF
PARKADE UNIT 1018		52.7 m ²	567.8 SF
PARKADE UNIT 1029		52.7 m ²	567.8 SF
PARKADE UNIT 1038		52.7 m ²	567.8 SF
PARKADE UNIT 1048		52.7 m ²	567.8 SF
PARKADE UNIT 1058		72.8 m ²	783.5 SF

NOTE: PLANS ARE CERTIFIED IN ACCORDANCE WITH THE APPLICABLE PROFESSIONAL ASSOCIATION STANDARDS

KEY PLAN
NOTES



REVISIONS:
ISSUED FOR

NO.	DATE	DESCRIPTION
1	10/11/2017	ISSUED FOR PERMIT
2	10/11/2017	ISSUED FOR PERMIT
3	10/11/2017	ISSUED FOR PERMIT
4	10/11/2017	ISSUED FOR PERMIT
5	10/11/2017	ISSUED FOR PERMIT
6	10/11/2017	ISSUED FOR PERMIT
7	10/11/2017	ISSUED FOR PERMIT
8	10/11/2017	ISSUED FOR PERMIT
9	10/11/2017	ISSUED FOR PERMIT
10	10/11/2017	ISSUED FOR PERMIT
11	10/11/2017	ISSUED FOR PERMIT
12	10/11/2017	ISSUED FOR PERMIT
13	10/11/2017	ISSUED FOR PERMIT
14	10/11/2017	ISSUED FOR PERMIT
15	10/11/2017	ISSUED FOR PERMIT
16	10/11/2017	ISSUED FOR PERMIT
17	10/11/2017	ISSUED FOR PERMIT
18	10/11/2017	ISSUED FOR PERMIT
19	10/11/2017	ISSUED FOR PERMIT
20	10/11/2017	ISSUED FOR PERMIT



PROJECT:
RESIDENTIAL COMMERCIAL
DEVELOPMENT
1200A AVENUE,
VICTORIA, BC



OWNER:
Bluesky Properties

DESIGNED BY:
CHRIS DIKEAKOS ARCHITECTS INC.

DATE:
10/11/2017

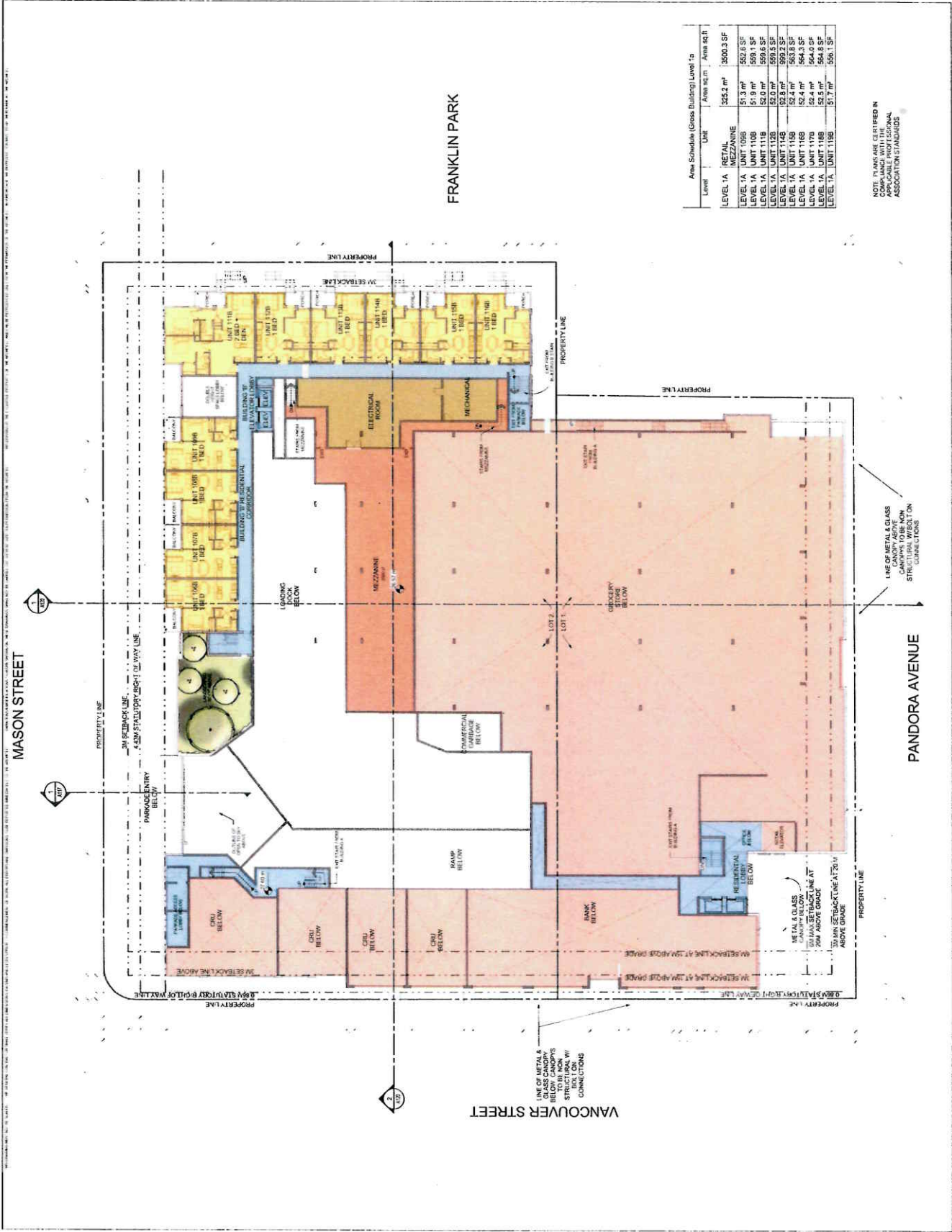
SCALE:
1:200

PROJECT NO.
17-0000

SHEET TITLE:
LEVEL 1A

DRAWING NO.:
A107

REV.



FRANKLIN PARK

Area Schedule (Gross Building) Level 1a

Level	Unit	Area sq.m	Area sq.ft
LEVEL 1A	RETAIL	3352.3 m ²	3600.3 SF
LEVEL 1A	MEZZANINE	51.3 m ²	552.8 SF
LEVEL 1A	UNIT 1108	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1109	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1110	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1111	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1112	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1113	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1114	52.8 m ²	569.6 SF
LEVEL 1A	UNIT 1115	52.4 m ²	564.3 SF
LEVEL 1A	UNIT 1116	52.4 m ²	564.3 SF
LEVEL 1A	UNIT 1117	52.4 m ²	564.3 SF
LEVEL 1A	UNIT 1118	51.7 m ²	556.1 SF

NOTE: PLANS ARE CERTIFIED IN ACCORDANCE WITH THE NATIONAL ASSOCIATION STANDARDS

KEY PLAN
SITE



REVISIONS

NO.	DATE	DESCRIPTION
1	11/11/2014	ISSUED FOR PERMITS
2	11/11/2014	ISSUED FOR PERMITS
3	11/11/2014	ISSUED FOR PERMITS
4	11/11/2014	ISSUED FOR PERMITS
5	11/11/2014	ISSUED FOR PERMITS
6	11/11/2014	ISSUED FOR PERMITS
7	11/11/2014	ISSUED FOR PERMITS
8	11/11/2014	ISSUED FOR PERMITS
9	11/11/2014	ISSUED FOR PERMITS
10	11/11/2014	ISSUED FOR PERMITS



CHRIS DIKEAKOS
ARCHITECTS INC.

1400 WEST 14TH AVENUE, SUITE 100, VANCOUVER, BC V6H 2M6
TEL: 604.681.1111 FAX: 604.681.1112
WWW.CHRISDIKEAKOSARCHITECTS.COM



RESIDENTIAL COMMERCIAL
DEVELOPMENT
1400 WEST 14TH AVENUE,
VANCOUVER, BC

OWNER: BLUESKY PROPERTIES

DATE: JULY 2014

SHEET TITLE: LEVEL 2

DRAWING NO.: A108

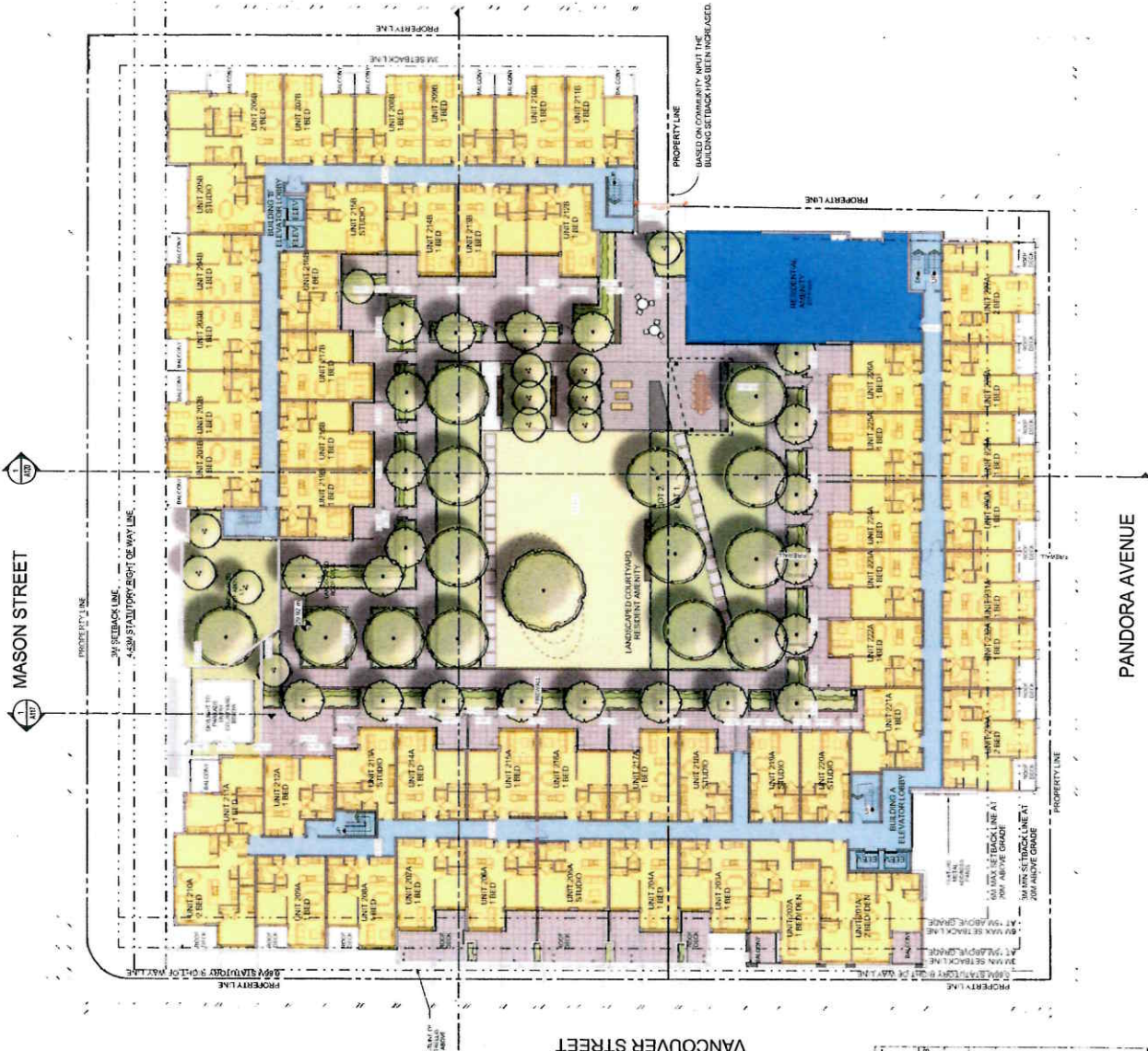
REV.

FRANKLIN PARK

Area Schedule (Gross Building) Level 2

Level	Name	Area sq.m	Area sq.ft.
LEVEL 2	UNIT 201A	51.6 m ²	555.2 SF
LEVEL 2	UNIT 201B	186.8 m ²	2021.1 SF
LEVEL 2	UNIT 202A	52.1 m ²	560.0 SF
LEVEL 2	UNIT 202B	51.3 m ²	550.0 SF
LEVEL 2	UNIT 203A	51.3 m ²	551.8 SF
LEVEL 2	UNIT 203B	43.9 m ²	472.9 SF
LEVEL 2	UNIT 203C	51.8 m ²	557.9 SF
LEVEL 2	UNIT 204A	51.3 m ²	550.0 SF
LEVEL 2	UNIT 204B	51.3 m ²	551.8 SF
LEVEL 2	UNIT 205A	51.8 m ²	557.9 SF
LEVEL 2	UNIT 205B	42.2 m ²	453.3 SF
LEVEL 2	UNIT 206A	51.3 m ²	550.0 SF
LEVEL 2	UNIT 206B	51.3 m ²	551.8 SF
LEVEL 2	UNIT 207A	51.3 m ²	550.0 SF
LEVEL 2	UNIT 207B	51.3 m ²	551.8 SF
LEVEL 2	UNIT 208A	51.3 m ²	551.8 SF
LEVEL 2	UNIT 208B	42.2 m ²	453.3 SF
LEVEL 2	UNIT 209A	51.3 m ²	550.0 SF
LEVEL 2	UNIT 209B	51.3 m ²	551.8 SF
LEVEL 2	UNIT 210A	71.1 m ²	765.8 SF
LEVEL 2	UNIT 210B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 211A	42.9 m ²	462.3 SF
LEVEL 2	UNIT 211B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 212A	42.7 m ²	458.5 SF
LEVEL 2	UNIT 212B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 213A	43.7 m ²	468.3 SF
LEVEL 2	UNIT 213B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 214A	51.9 m ²	559.0 SF
LEVEL 2	UNIT 214B	51.2 m ²	550.7 SF
LEVEL 2	UNIT 215A	51.2 m ²	550.7 SF
LEVEL 2	UNIT 215B	51.2 m ²	550.7 SF
LEVEL 2	UNIT 216B	15.7 m ²	169.1 SF
LEVEL 2	UNIT 216B	124.9 m ²	1350.7 SF
LEVEL 2	UNIT 217A	52.1 m ²	561.2 SF
LEVEL 2	UNIT 217B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 218A	43.9 m ²	472.9 SF
LEVEL 2	UNIT 218B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 219B	42.6 m ²	458.1 SF
LEVEL 2	UNIT 220A	42.1 m ²	452.7 SF
LEVEL 2	UNIT 220B	51.5 m ²	554.2 SF
LEVEL 2	UNIT 221A	49.8 m ²	534.4 SF
LEVEL 2	UNIT 221B	51.9 m ²	559.0 SF
LEVEL 2	UNIT 222A	51.5 m ²	554.2 SF
LEVEL 2	UNIT 222B	51.5 m ²	554.2 SF
LEVEL 2	UNIT 223A	51.5 m ²	554.2 SF
LEVEL 2	UNIT 223A	52.0 m ²	559.7 SF
LEVEL 2	UNIT 227A	71.1 m ²	765.8 SF
LEVEL 2	UNIT 228A	52.0 m ²	559.7 SF
LEVEL 2	UNIT 228B	52.0 m ²	559.7 SF
LEVEL 2	UNIT 230A	51.5 m ²	554.2 SF
LEVEL 2	UNIT 231A	51.5 m ²	554.2 SF
LEVEL 2	UNIT 232A	52.2 m ²	562.3 SF
LEVEL 2	UNIT 233A	71.1 m ²	765.7 SF

NOTE: PLANS ARE CERTIFIED IN ACCORDANCE WITH THE APPLICABLE PROFESSIONAL ASSOCIATION STANDARDS.



FIRE COMPARTMENT AREAS

LEVEL	SOUTH WEST	NORTH WEST	SOUTH EAST	NORTH EAST	TOTAL
L1	960.9 SF	537.5 SF	500.6 SF	500.6 SF	2500.6 SF
L2	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L3	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L4	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L5	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L6	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L7	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L8	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L9	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L10	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
L11	1107.5 SF	429.6 SF	559.6 SF	559.6 SF	2656.3 SF
TOTAL	42902.6 SF	34914.2 SF	28906.8 SF	42700.3 SF	153523.9 SF

MASON STREET



FRANKLIN PARK

Level	Name	Area Sq. Ft.	Area Sq. Ft.
LEVEL 3	UNIT 301A	86.6 m ²	922.1 SF
LEVEL 3	UNIT 302A	64.6 m ²	697.3 SF
LEVEL 3	UNIT 303A	52.1 m ²	560.0 SF
LEVEL 3	UNIT 304A	51.8 m ²	556.0 SF
LEVEL 3	UNIT 305A	43.9 m ²	471.3 SF
LEVEL 3	UNIT 305B	71.2 m ²	766.6 SF
LEVEL 3	UNIT 306A	50.9 m ²	547.9 SF
LEVEL 3	UNIT 306B	69.6 m ²	746.0 SF
LEVEL 3	UNIT 307A	51.9 m ²	556.5 SF
LEVEL 3	UNIT 308A	51.8 m ²	555.2 SF
LEVEL 3	UNIT 308B	76.3 m ²	821.5 SF
LEVEL 3	UNIT 309A	51.9 m ²	556.5 SF
LEVEL 3	UNIT 310A	71.2 m ²	766.7 SF
LEVEL 3	UNIT 310B	42.9 m ²	460.2 SF
LEVEL 3	UNIT 311B	42.9 m ²	460.2 SF
LEVEL 3	UNIT 312A	66.5 m ²	716.0 SF
LEVEL 3	UNIT 312B	46.7 m ²	502.5 SF
LEVEL 3	UNIT 313A	52.0 m ²	559.7 SF
LEVEL 3	UNIT 313B	43.6 m ²	466.2 SF
LEVEL 3	UNIT 313C	52.1 m ²	560.0 SF
LEVEL 3	UNIT 314A	51.9 m ²	556.5 SF
LEVEL 3	UNIT 314B	51.9 m ²	556.5 SF
LEVEL 3	UNIT 315A	51.2 m ²	547.1 SF
LEVEL 3	UNIT 315B	42.6 m ²	457.1 SF
LEVEL 3	UNIT 316A	51.2 m ²	547.1 SF
LEVEL 3	UNIT 316B	51.5 m ²	554.6 SF
LEVEL 3	UNIT 317A	52.1 m ²	560.0 SF
LEVEL 3	UNIT 317B	51.9 m ²	556.5 SF
LEVEL 3	UNIT 318A	52.2 m ²	561.2 SF
LEVEL 3	UNIT 318B	51.3 m ²	549.2 SF
LEVEL 3	UNIT 319A	42.1 m ²	451.2 SF
LEVEL 3	UNIT 320A	42.1 m ²	451.2 SF
LEVEL 3	UNIT 321A	48.6 m ²	524.4 SF
LEVEL 3	UNIT 321B	48.6 m ²	524.4 SF
LEVEL 3	UNIT 322A	51.2 m ²	547.1 SF
LEVEL 3	UNIT 322B	51.2 m ²	547.1 SF
LEVEL 3	UNIT 323A	51.2 m ²	547.1 SF
LEVEL 3	UNIT 323B	52.0 m ²	558.8 SF
LEVEL 3	UNIT 324A	52.0 m ²	558.8 SF
LEVEL 3	UNIT 324B	71.2 m ²	766.3 SF
LEVEL 3	UNIT 325A	52.0 m ²	558.8 SF
LEVEL 3	UNIT 325B	52.0 m ²	558.8 SF
LEVEL 3	UNIT 326A	51.5 m ²	549.6 SF
LEVEL 3	UNIT 326B	51.5 m ²	549.6 SF
LEVEL 3	UNIT 327A	51.6 m ²	555.0 SF
LEVEL 3	UNIT 327B	51.6 m ²	555.0 SF
LEVEL 3	UNIT 328A	52.5 m ²	565.0 SF
LEVEL 3	UNIT 328B	71.0 m ²	764.3 SF

NOTE: PLANS ARE CERTIFIED IN COMPLIANCE WITH THE BRITISH COLUMBIA PROFESSIONAL ASSOCIATION'S STANDARDS

KEY PLAN
SCALE: 1:500

REVISIONS

NO.	DATE	DESCRIPTION
1	2024.01.15	ISSUED FOR PERMIT

ISSUED FOR: PERMIT

DESIGNED BY: JENNIFER HALL ARCHITECTS

PROJECT: FRANKLIN PARK

CLIENT: BLUE SKY PROPERTIES

DATE: JAN 15 2024

SCALE: 1:500

SHEET TITLE: LEVEL 3

DRAWING NO.: A109

REV.

JENNIFER HALL ARCHITECTS INC.

1000-1077 PANDORA AVENUE
VICTORIA, BC

Blue Sky PROPERTIES

RESIDENTIAL COMMERCIAL
1000-1077 PANDORA AVENUE
VICTORIA, BC

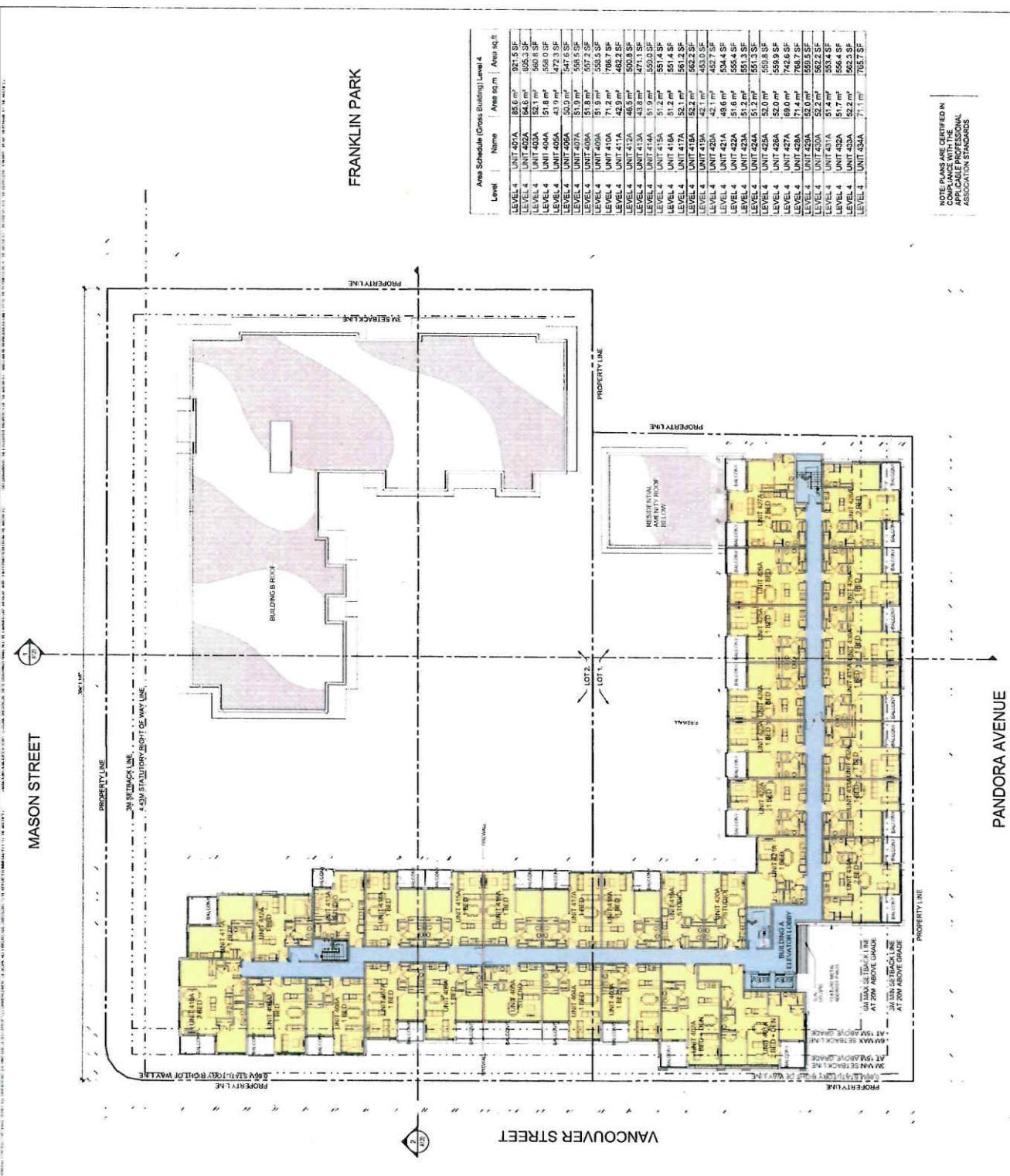
DATE: JAN 15 2024

SCALE: 1:500

SHEET TITLE: LEVEL 3

DRAWING NO.: A109

REV.



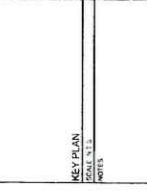
Area Schedule (Cross Building) Level 4

Level	Name	Area sqm	Area sq ft
LEVEL 4	UNIT 401A	83.6 m²	901.5 SF
LEVEL 4	UNIT 402A	84.6 m²	912.3 SF
LEVEL 4	UNIT 403A	52.1 m²	562.8 SF
LEVEL 4	UNIT 404A	51.8 m²	558.0 SF
LEVEL 4	UNIT 405A	51.9 m²	560.5 SF
LEVEL 4	UNIT 406A	51.9 m²	560.5 SF
LEVEL 4	UNIT 407A	51.9 m²	560.5 SF
LEVEL 4	UNIT 408A	51.8 m²	557.2 SF
LEVEL 4	UNIT 409A	51.9 m²	560.5 SF
LEVEL 4	UNIT 410A	71.2 m²	766.7 SF
LEVEL 4	UNIT 411A	42.9 m²	462.2 SF
LEVEL 4	UNIT 412A	42.9 m²	462.2 SF
LEVEL 4	UNIT 413A	42.9 m²	462.2 SF
LEVEL 4	UNIT 414A	42.9 m²	462.2 SF
LEVEL 4	UNIT 415A	42.9 m²	462.2 SF
LEVEL 4	UNIT 416A	51.9 m²	560.5 SF
LEVEL 4	UNIT 417A	51.9 m²	560.5 SF
LEVEL 4	UNIT 418A	51.9 m²	560.5 SF
LEVEL 4	UNIT 419A	42.1 m²	452.7 SF
LEVEL 4	UNIT 420A	42.1 m²	452.7 SF
LEVEL 4	UNIT 421A	48.6 m²	524.4 SF
LEVEL 4	UNIT 422A	51.6 m²	555.4 SF
LEVEL 4	UNIT 423A	51.2 m²	548.3 SF
LEVEL 4	UNIT 424A	51.2 m²	548.3 SF
LEVEL 4	UNIT 425A	51.2 m²	548.3 SF
LEVEL 4	UNIT 426A	51.2 m²	548.3 SF
LEVEL 4	UNIT 427A	69.0 m²	742.6 SF
LEVEL 4	UNIT 428A	71.4 m²	768.7 SF
LEVEL 4	UNIT 429A	52.0 m²	559.5 SF
LEVEL 4	UNIT 430A	52.2 m²	562.5 SF
LEVEL 4	UNIT 431A	51.4 m²	552.4 SF
LEVEL 4	UNIT 432A	51.4 m²	552.4 SF
LEVEL 4	UNIT 433A	52.2 m²	562.5 SF
LEVEL 4	UNIT 434A	71.1 m²	765.7 SF

NOTE: PLANS ARE CERTIFIED IN ACCORDANCE WITH THE APPLICABLE PROFESSIONAL ASSOCIATION STANDARDS

MSV PLAN
SCALE 1:1

NOTES



REVISIONS ISSUED FOR

NO.	DATE	DESCRIPTION
1	2024/01/15	ISSUED FOR PERMIT
2	2024/02/01	REVISIONS TO PERMIT
3	2024/02/15	REVISIONS TO PERMIT
4	2024/03/01	REVISIONS TO PERMIT
5	2024/03/15	REVISIONS TO PERMIT
6	2024/04/01	REVISIONS TO PERMIT
7	2024/04/15	REVISIONS TO PERMIT
8	2024/05/01	REVISIONS TO PERMIT
9	2024/05/15	REVISIONS TO PERMIT
10	2024/06/01	REVISIONS TO PERMIT
11	2024/06/15	REVISIONS TO PERMIT
12	2024/07/01	REVISIONS TO PERMIT
13	2024/07/15	REVISIONS TO PERMIT
14	2024/08/01	REVISIONS TO PERMIT
15	2024/08/15	REVISIONS TO PERMIT
16	2024/09/01	REVISIONS TO PERMIT
17	2024/09/15	REVISIONS TO PERMIT
18	2024/10/01	REVISIONS TO PERMIT
19	2024/10/15	REVISIONS TO PERMIT
20	2024/11/01	REVISIONS TO PERMIT
21	2024/11/15	REVISIONS TO PERMIT
22	2024/12/01	REVISIONS TO PERMIT
23	2024/12/15	REVISIONS TO PERMIT

CCN
CHRIS DIKEAKOS
ARCHITECTS INC

100-1111 11th Street, Suite 100, Victoria, BC V8W 2E1
Tel: 250-383-1111
www.ccn.ca

RESIDENTIAL COMMERCIAL
1111 PANDORA AVENUE
VICTORIA, BC

BlueSky
PROPERTIES

CONTRACT NO.

DATE

PROJECT

CLIENT

CONTRACT VALUE

OWNER

PROJECT

DATE

SCALE

DATE

SCALE

PREPARED BY

CHECKED BY

DATE

SCALE

DATE

SCALE

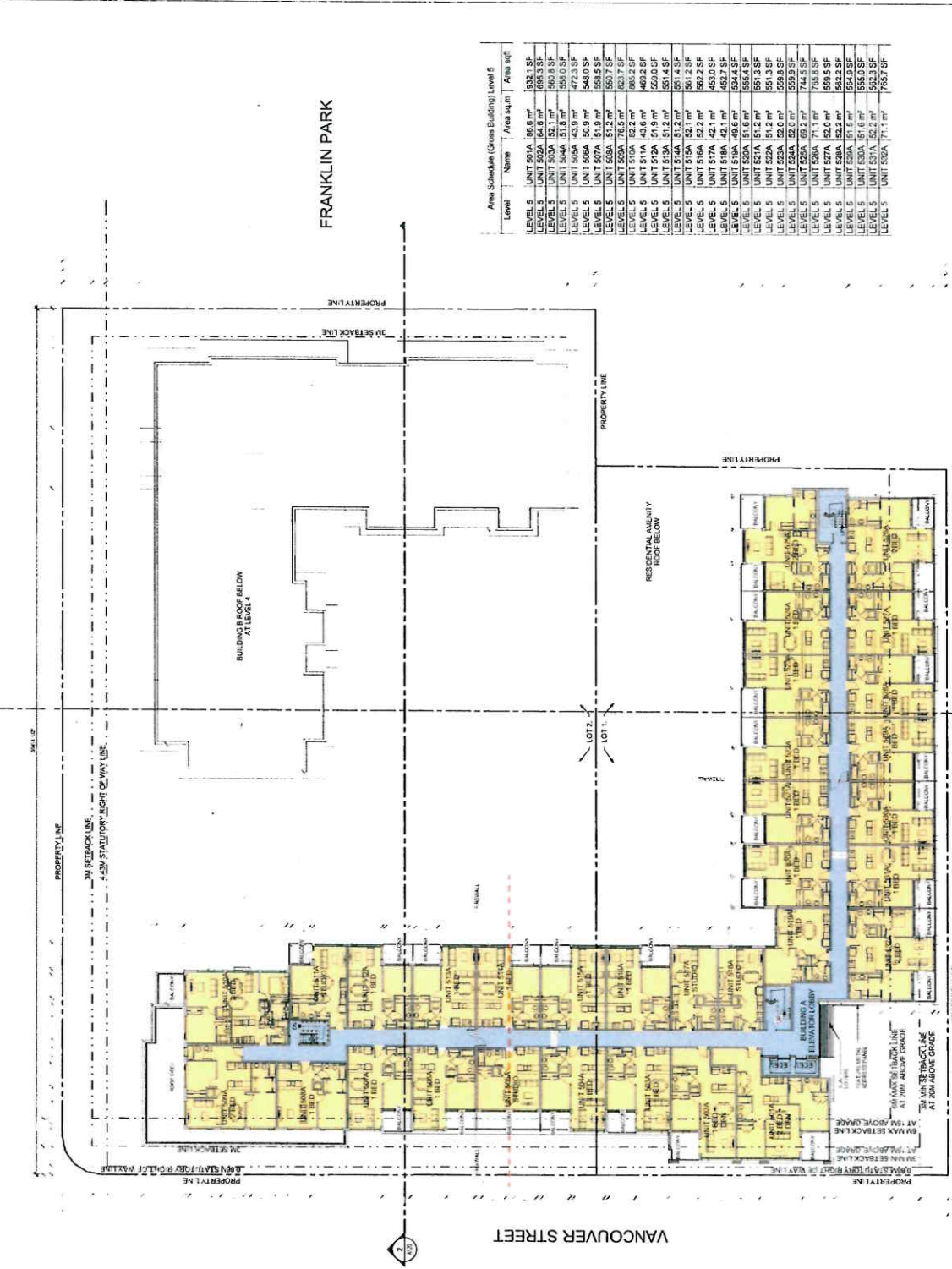
SHEET TITLE

LEVEL 5

DRAWING NO.

A111

REV.



Area Schedule (Gross Building) Level 5

Level	Name	Area sqm	Area sqft
LEVEL 5	UNIT 501A	366.6 m²	3932.3 SF
LEVEL 5	UNIT 502A	344.6 m²	3695.3 SF
LEVEL 5	UNIT 503A	52.1 m²	560.8 SF
LEVEL 5	UNIT 504A	51.8 m²	556.0 SF
LEVEL 5	UNIT 505A	43.9 m²	472.3 SF
LEVEL 5	UNIT 506A	51.9 m²	558.6 SF
LEVEL 5	UNIT 507A	51.2 m²	548.9 SF
LEVEL 5	UNIT 508A	51.2 m²	550.7 SF
LEVEL 5	UNIT 509A	78.5 m²	850.7 SF
LEVEL 5	UNIT 510A	82.2 m²	885.2 SF
LEVEL 5	UNIT 511A	43.6 m²	466.2 SF
LEVEL 5	UNIT 512A	51.9 m²	559.0 SF
LEVEL 5	UNIT 513A	44.2 m²	475.2 SF
LEVEL 5	UNIT 514A	51.2 m²	548.9 SF
LEVEL 5	UNIT 515A	52.1 m²	561.2 SF
LEVEL 5	UNIT 516A	52.2 m²	562.2 SF
LEVEL 5	UNIT 517A	42.7 m²	459.0 SF
LEVEL 5	UNIT 518A	42.7 m²	459.7 SF
LEVEL 5	UNIT 519A	51.9 m²	559.0 SF
LEVEL 5	UNIT 520A	51.9 m²	559.0 SF
LEVEL 5	UNIT 521A	51.9 m²	559.0 SF
LEVEL 5	UNIT 522A	51.2 m²	548.9 SF
LEVEL 5	UNIT 523A	52.0 m²	559.8 SF
LEVEL 5	UNIT 524A	52.0 m²	559.5 SF
LEVEL 5	UNIT 525A	52.0 m²	559.5 SF
LEVEL 5	UNIT 526A	52.0 m²	559.5 SF
LEVEL 5	UNIT 527A	52.0 m²	559.5 SF
LEVEL 5	UNIT 528A	52.2 m²	562.2 SF
LEVEL 5	UNIT 529A	51.6 m²	554.5 SF
LEVEL 5	UNIT 530A	51.6 m²	554.5 SF
LEVEL 5	UNIT 531A	52.2 m²	562.2 SF
LEVEL 5	UNIT 532A	77.1 m²	837.3 SF

NOTE: THIS PLAN IS NOT CERTIFIED IN COMPLIANCE WITH THE APPLICABLE PROFESSIONAL ASSOCIATION STANDARDS.

KEY PLAN
SCALE: 1:1

NOTES



REVISIONS

ISSUED FOR

PROJECT

CLIENT

CONTRACT

DATE

SCALE

SHEET TITLE

DRAWING NO.

REV.

A112

CHRIS DIKEAKOS ARCHITECTS INC

BlueSky PROPERTIES

RESIDENTIAL COMMERCIAL
100A LOT 2 PANDORA AVENUE,
VICTORIA, BC

LEVEL 6

FRANKLIN PARK

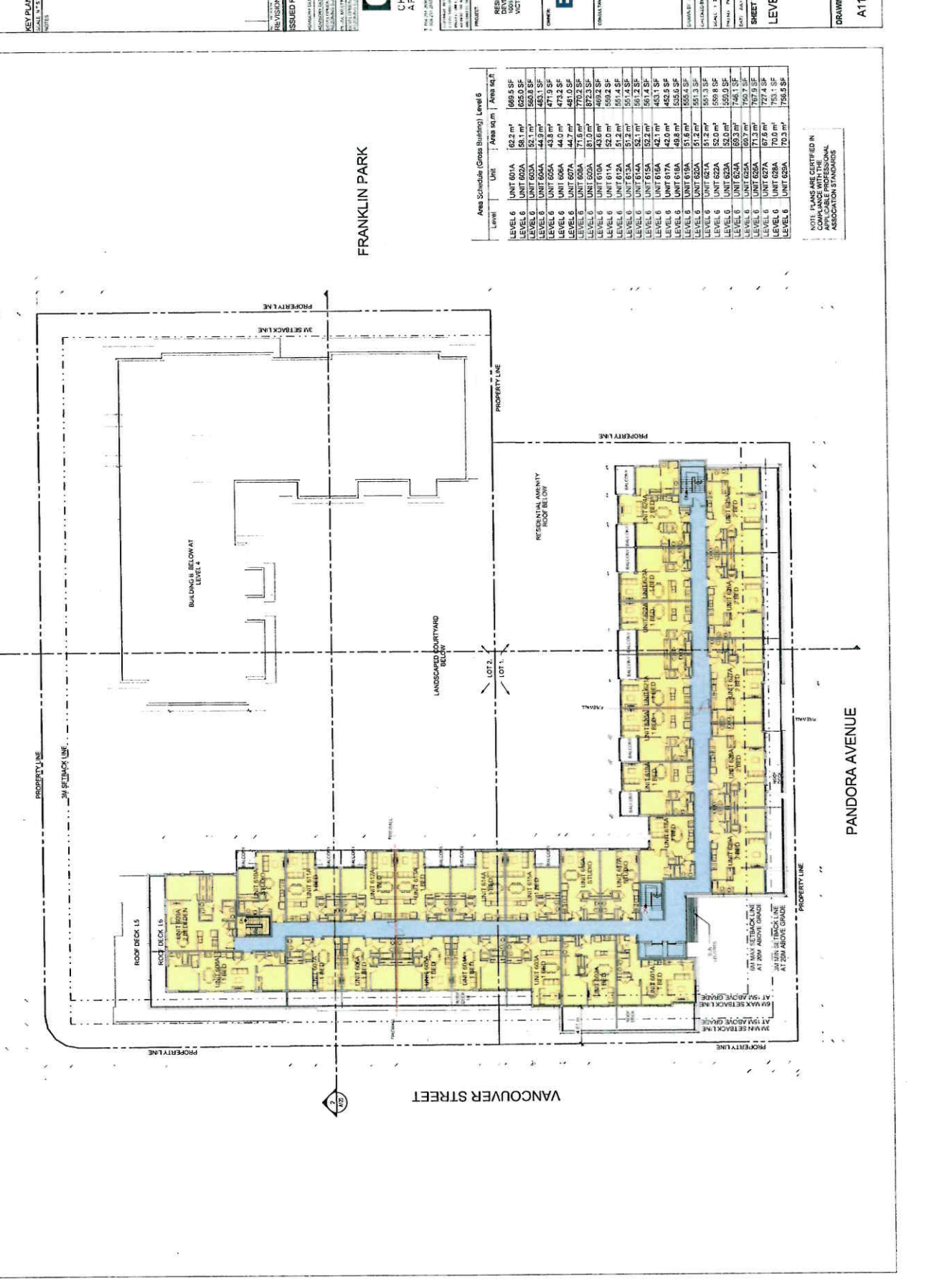
Area Schedule (Gross Building) Level 6

NOT: PLANS ARE CERTIFIED IN
COMPLIANCE WITH THE
APPLICABLE PROFESSIONAL
ASSOCIATION STANDARDS

RESIDENTIAL ANTIENITY
ROOM BELOW

LANDSCAPED COURTYARD
BELOW

RESIDENTIAL ANTIENITY
ROOM BELOW



Level	Unit	Area sq.m	Area sq.ft
LEVEL 6	UNIT 601A	82.2 m ²	889.5 SF
LEVEL 6	UNIT 602A	58.1 m ²	626.0 SF
LEVEL 6	UNIT 603A	52.1 m ²	560.8 SF
LEVEL 6	UNIT 604A	44.3 m ²	477.9 SF
LEVEL 6	UNIT 605A	43.8 m ²	469.0 SF
LEVEL 6	UNIT 606A	44.3 m ²	477.9 SF
LEVEL 6	UNIT 607A	44.3 m ²	477.9 SF
LEVEL 6	UNIT 608A	71.6 m ²	770.2 SF
LEVEL 6	UNIT 609A	81.0 m ²	872.3 SF
LEVEL 6	UNIT 610A	43.6 m ²	466.2 SF
LEVEL 6	UNIT 611A	52.0 m ²	559.2 SF
LEVEL 6	UNIT 612A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 613A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 614A	52.1 m ²	560.8 SF
LEVEL 6	UNIT 615A	52.2 m ²	561.4 SF
LEVEL 6	UNIT 616A	42.1 m ²	451.1 SF
LEVEL 6	UNIT 617A	42.0 m ²	450.5 SF
LEVEL 6	UNIT 618A	49.8 m ²	535.0 SF
LEVEL 6	UNIT 619A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 620A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 621A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 622A	52.0 m ²	559.2 SF
LEVEL 6	UNIT 623A	52.0 m ²	559.2 SF
LEVEL 6	UNIT 624A	69.3 m ²	746.1 SF
LEVEL 6	UNIT 625A	69.2 m ²	745.7 SF
LEVEL 6	UNIT 626A	69.2 m ²	745.7 SF
LEVEL 6	UNIT 627A	69.2 m ²	745.7 SF
LEVEL 6	UNIT 628A	70.0 m ²	751.7 SF
LEVEL 6	UNIT 629A	70.3 m ²	756.5 SF

KEY PLAN

SCALE: 1:1



REVISIONS

ISSUED FOR

PROJECT

CLIENT

CONTRACT

DATE

SCALE

SHEET TITLE

DRAWING NO.

REV.

A112

CHRIS DIKEAKOS ARCHITECTS INC

BlueSky PROPERTIES

RESIDENTIAL COMMERCIAL
100A LOT 2 PANDORA AVENUE,
VICTORIA, BC

LEVEL 6

FRANKLIN PARK

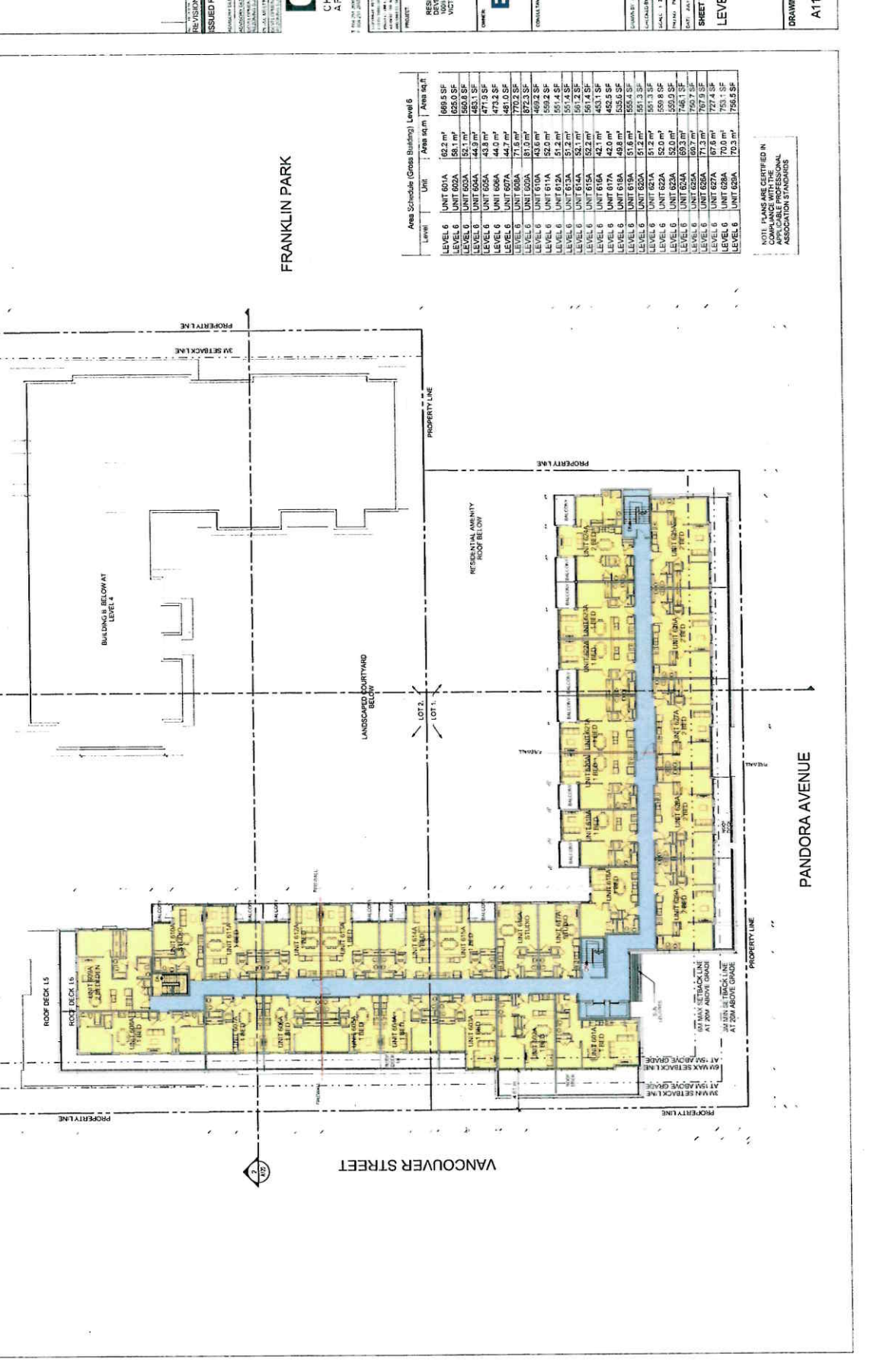
Area Schedule (Gross Building) Level 6

NOT: PLANS ARE CERTIFIED IN
COMPLIANCE WITH THE
APPLICABLE PROFESSIONAL
ASSOCIATION STANDARDS

RESIDENTIAL ANTIENITY
ROOM BELOW

LANDSCAPED COURTYARD
BELOW

RESIDENTIAL ANTIENITY
ROOM BELOW



Level	Unit	Area sq.m	Area sq.ft
LEVEL 6	UNIT 601A	82.2 m ²	889.5 SF
LEVEL 6	UNIT 602A	58.1 m ²	626.0 SF
LEVEL 6	UNIT 603A	52.1 m ²	560.8 SF
LEVEL 6	UNIT 604A	44.3 m ²	477.9 SF
LEVEL 6	UNIT 605A	43.8 m ²	469.0 SF
LEVEL 6	UNIT 606A	44.3 m ²	477.9 SF
LEVEL 6	UNIT 607A	44.3 m ²	477.9 SF
LEVEL 6	UNIT 608A	71.6 m ²	770.2 SF
LEVEL 6	UNIT 609A	81.0 m ²	872.3 SF
LEVEL 6	UNIT 610A	43.6 m ²	466.2 SF
LEVEL 6	UNIT 611A	52.0 m ²	559.2 SF
LEVEL 6	UNIT 612A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 613A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 614A	52.1 m ²	560.8 SF
LEVEL 6	UNIT 615A	52.2 m ²	561.4 SF
LEVEL 6	UNIT 616A	42.1 m ²	451.1 SF
LEVEL 6	UNIT 617A	42.0 m ²	450.5 SF
LEVEL 6	UNIT 618A	49.8 m ²	535.0 SF
LEVEL 6	UNIT 619A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 620A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 621A	51.2 m ²	549.1 SF
LEVEL 6	UNIT 622A	52.0 m ²	559.2 SF
LEVEL 6	UNIT 623A	52.0 m ²	559.2 SF
LEVEL 6	UNIT 624A	69.3 m ²	746.1 SF
LEVEL 6	UNIT 625A	69.2 m ²	745.7 SF
LEVEL 6	UNIT 626A	69.2 m ²	745.7 SF
LEVEL 6	UNIT 627A	69.2 m ²	745.7 SF
LEVEL 6	UNIT 628A	70.0 m ²	751.7 SF
LEVEL 6	UNIT 629A	70.3 m ²	756.5 SF

KEY PLAN

SCALE: 1:1



REVISIONS

ISSUED FOR

PROJECT

CLIENT

CONTRACT

DATE

SCALE

SHEET TITLE

DRAWING NO.

REV.

A112

CHRIS DIKEAKOS ARCHITECTS INC

BlueSky PROPERTIES

RESIDENTIAL COMMERCIAL
100A LOT 2 PANDORA AVENUE,
VICTORIA, BC

LEVEL 6

FRANKLIN PARK

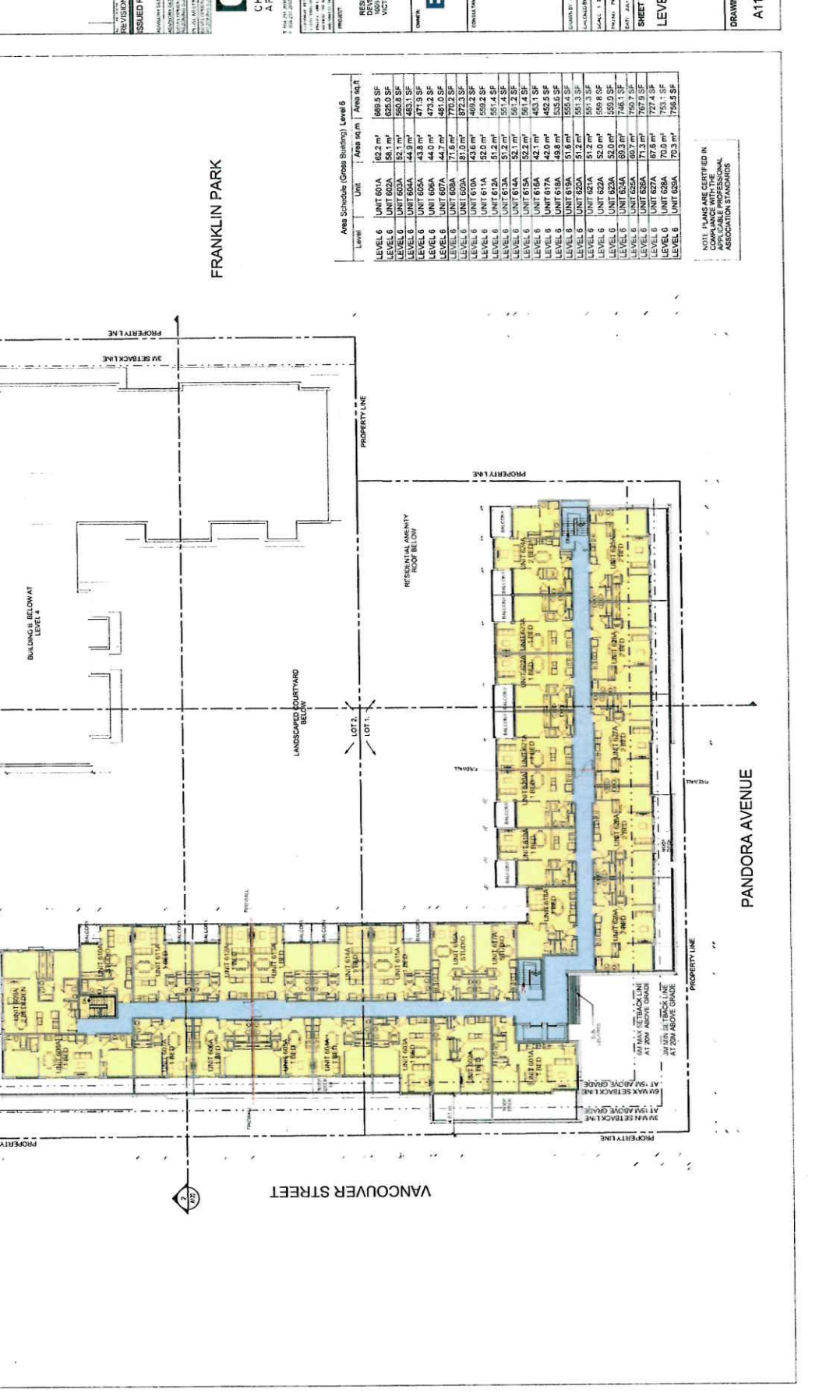
Area Schedule (Gross Building) Level 6

NOT: PLANS ARE CERTIFIED IN
COMPLIANCE WITH THE
APPLICABLE PROFESSIONAL
ASSOCIATION STANDARDS

RESIDENTIAL ANTIENITY
ROOM BELOW

LANDSCAPED COURTYARD
BELOW

RESIDENTIAL ANTIENITY
ROOM BELOW



MATERIALS LEGEND	
1	PAINTED CONCRETE
2	BRICK
GLAZING	
3	WALL WINDOW FRAME
4	GLAZING CURTAIN
5	GLAZING CURTAIN
6	METAL WINDOW FRAME
ROOFING	
7	ALUMINUM A
8	METAL ALUMINUM
ELEVATION	
9	WOOD PANEL
10	WOOD PANEL
11	WOOD PANEL
12	WOOD PANEL
13	WOOD PANEL

CCN
CHRIS D'KEAKOS
ARCHITECTS INC.

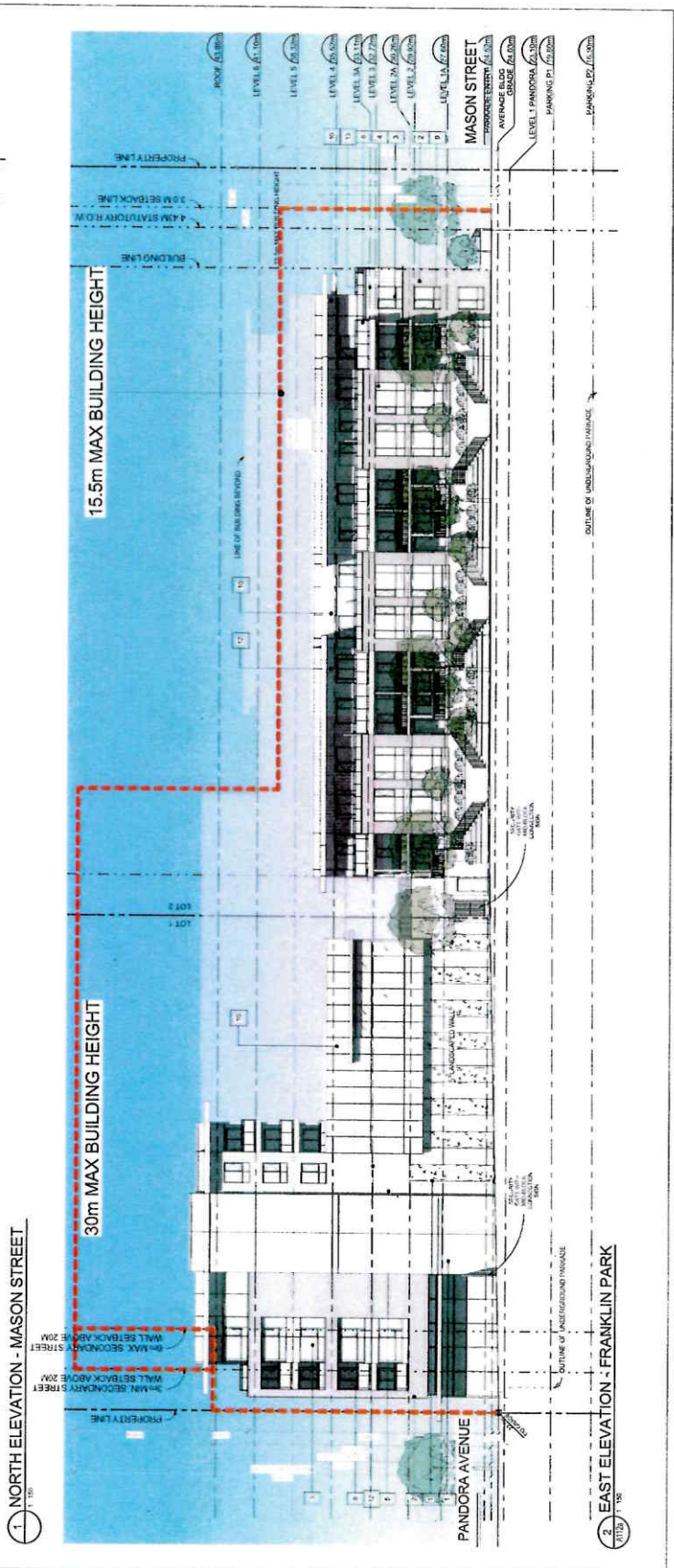
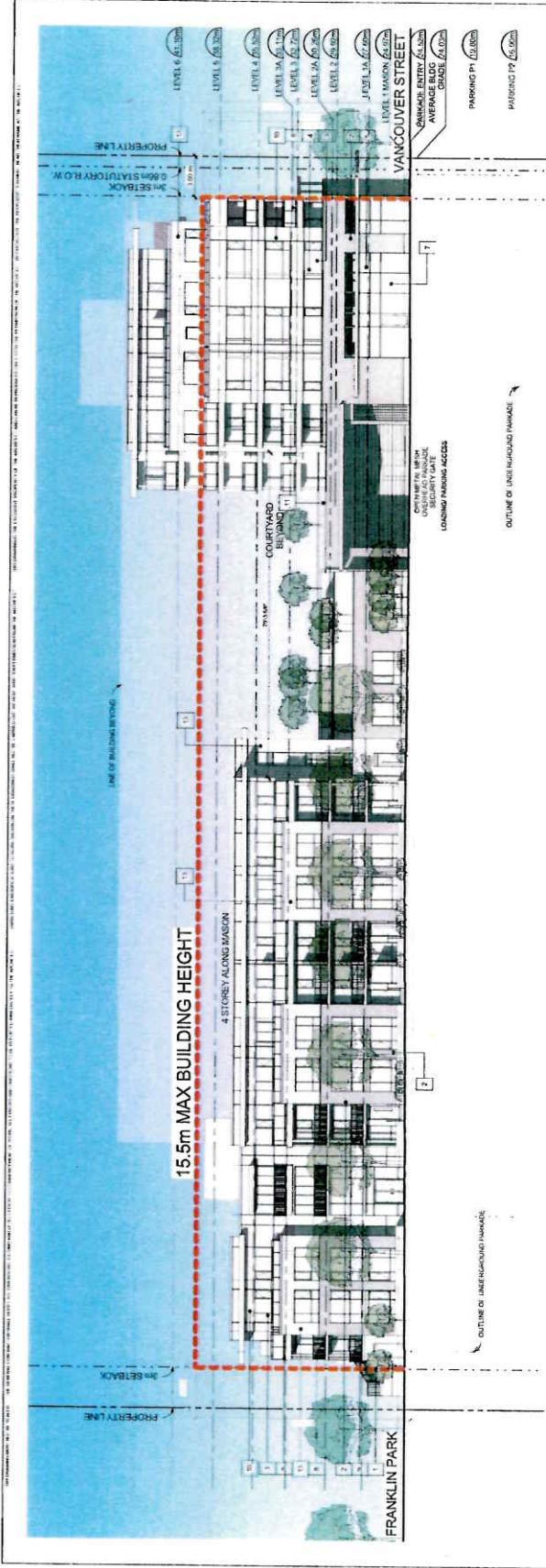
1000 WEST 10TH AVENUE, SUITE 1000
 VANCOUVER, BC V6H 1T6
 TEL: 604.681.1111
 WWW.CCNARCHITECTS.COM

Bluesky
PROPERTIES

RESIDENTIAL COMMERCIAL
 DEVELOPMENT - PANDORA AVENUE
 VICTORIA, BC

PROJECT: PANDORA AVENUE
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 2024-01-15

SHEET TITLE:	
NORTH/EAST ELEVATIONS	
DRAWING NO.:	A113
REV.:	



MATERIALS LEGEND	
1	GRAVEL
2	PAVING CONCRETE
3	CEILING
4	INSULATED CONCRETE WALL
5	GLAZING
6	EXTERIOR WALL
7	METAL WINDOW FRAME
8	ROOFING
9	METAL CLADDING
10	GLASS CURTAIN WALL
11	CONCRETE
12	CONCRETE MASONRY
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100	CONCRETE MASONRY

CCN
CHRIS DIREAKOS ARCHITECTS INC.
 1005 1012 PANDORA AVENUE, VICTORIA, BC
 TEL: 250-383-7777
 WWW.CCNARCHITECTS.COM

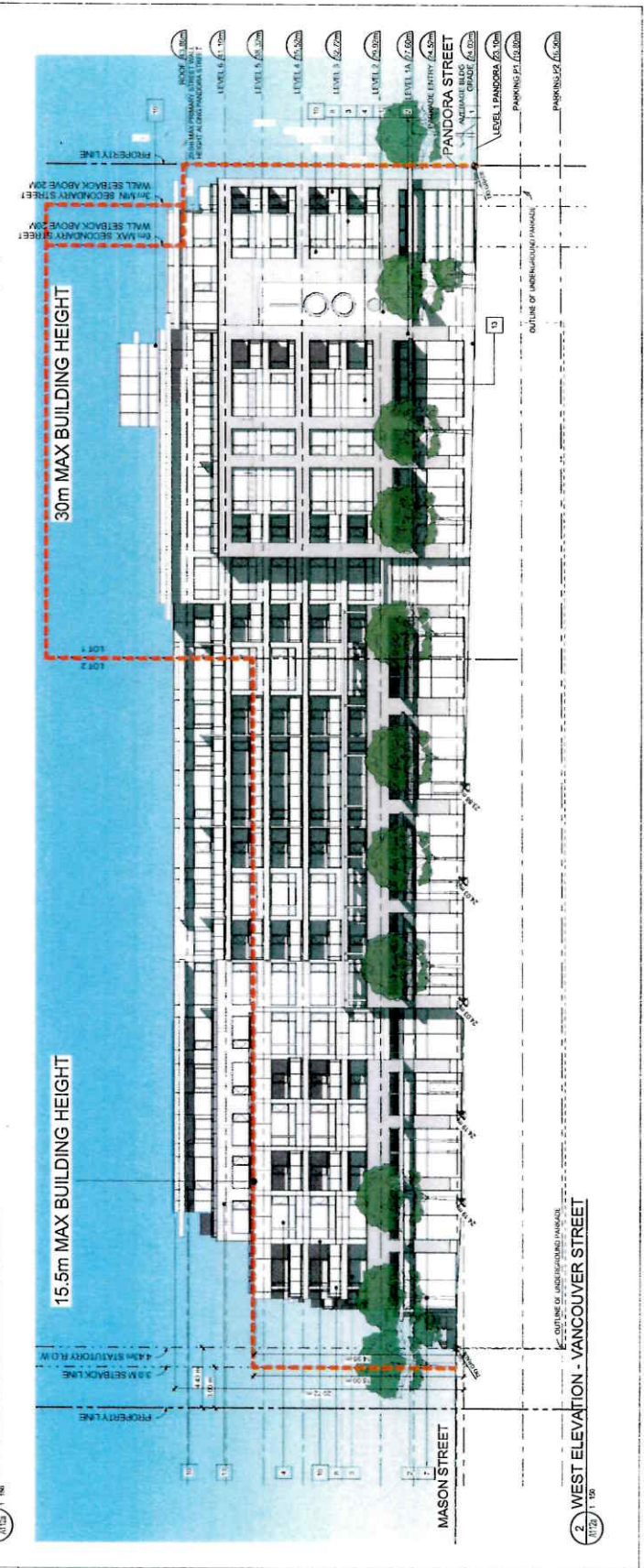
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 1005 1012 PANDORA AVENUE, VICTORIA, BC

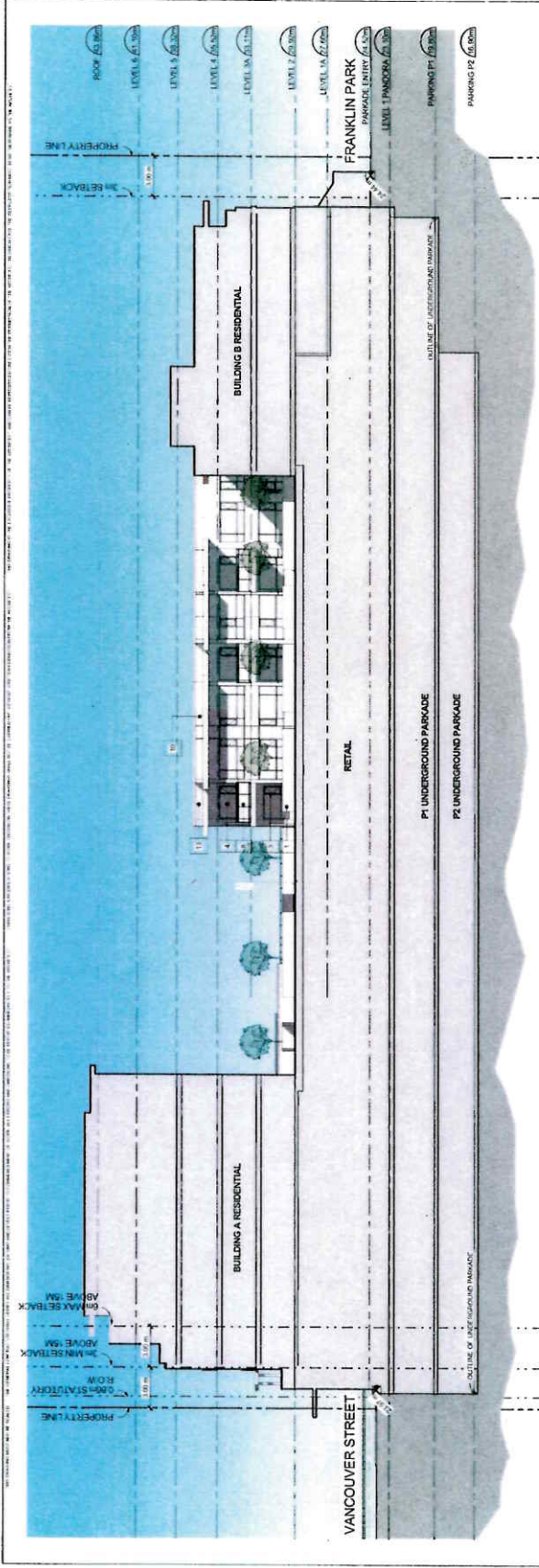
BlueSky PROPERTIES

DATE: JAN 2024
 SCALE: 1:50
 SHEET NO.: 101
 SHEET TITLE: SOUTH/WEST ELEVATIONS

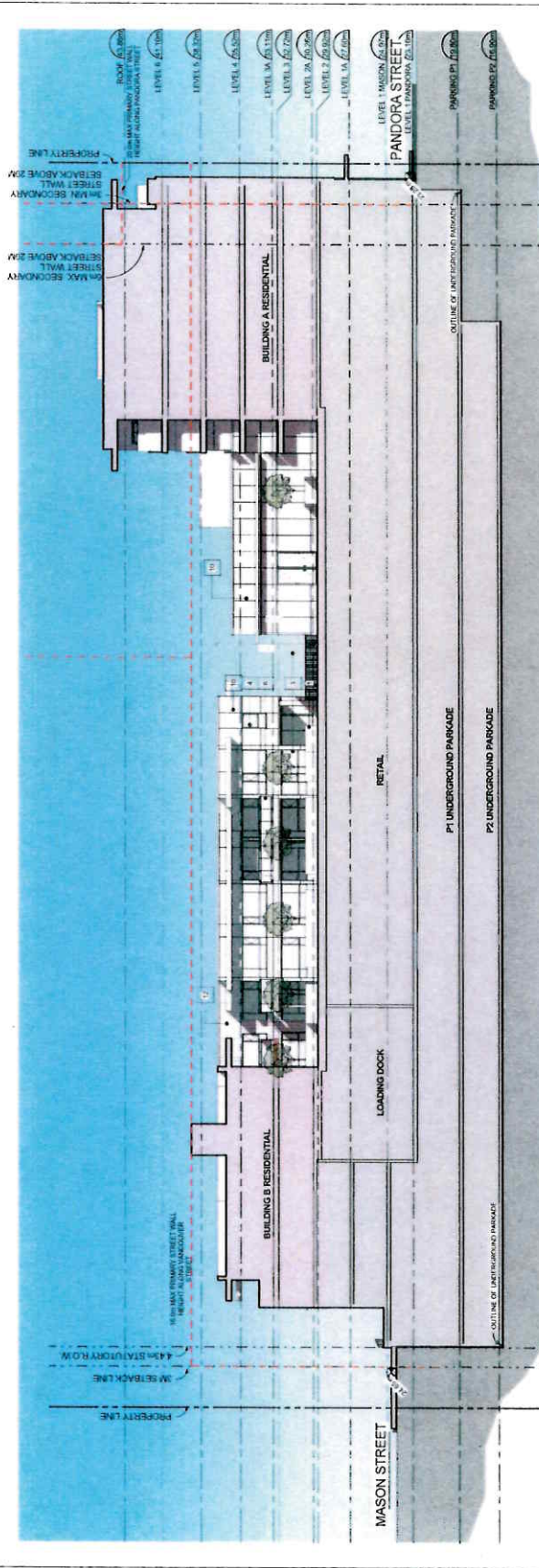
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99	ISSUED FOR PERMIT	10/10/2023
100	ISSUED FOR PERMIT	10/10/2023

DRAWING NO.: A114
 REV.





1 INTERIOR COURTYARD ELEVATION (LOOKING NORTH)
 (1/15) 1:50



2 INTERIOR COURTYARD ELEVATION (LOOKING EAST)
 (1/15) 1:50

MATERIALS LEGEND

1	PAVING TO CONCRETE
2	SLICK
CLADDING	
3	GLASS CURTAIN WALL
4	GLASS INFILL FRAME
5	SPRINKLED GLASS
6	METAL WINDOW FRAME
7	PAVING
8	ALUMINUM CLADDING
9	METAL CLADDING
ELEVATION	
10	BRICK
11	CONCRETE
12	LANDSCAPE METAL PANEL
13	LANDSCAPE METAL PANEL

REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR:
 PROJECT: [REDACTED]
 DRAWING NO.: A115

CCN
 CHRIS DIKAKOS
 ARCHITECTS INC.

Bluesky PROPERTIES

OWNER: [REDACTED]
GENERAL CONTRACTOR: [REDACTED]

DATE: [REDACTED]
SCALE: 1:50
PROJECT NO.: [REDACTED]
SHEET NO.: [REDACTED]

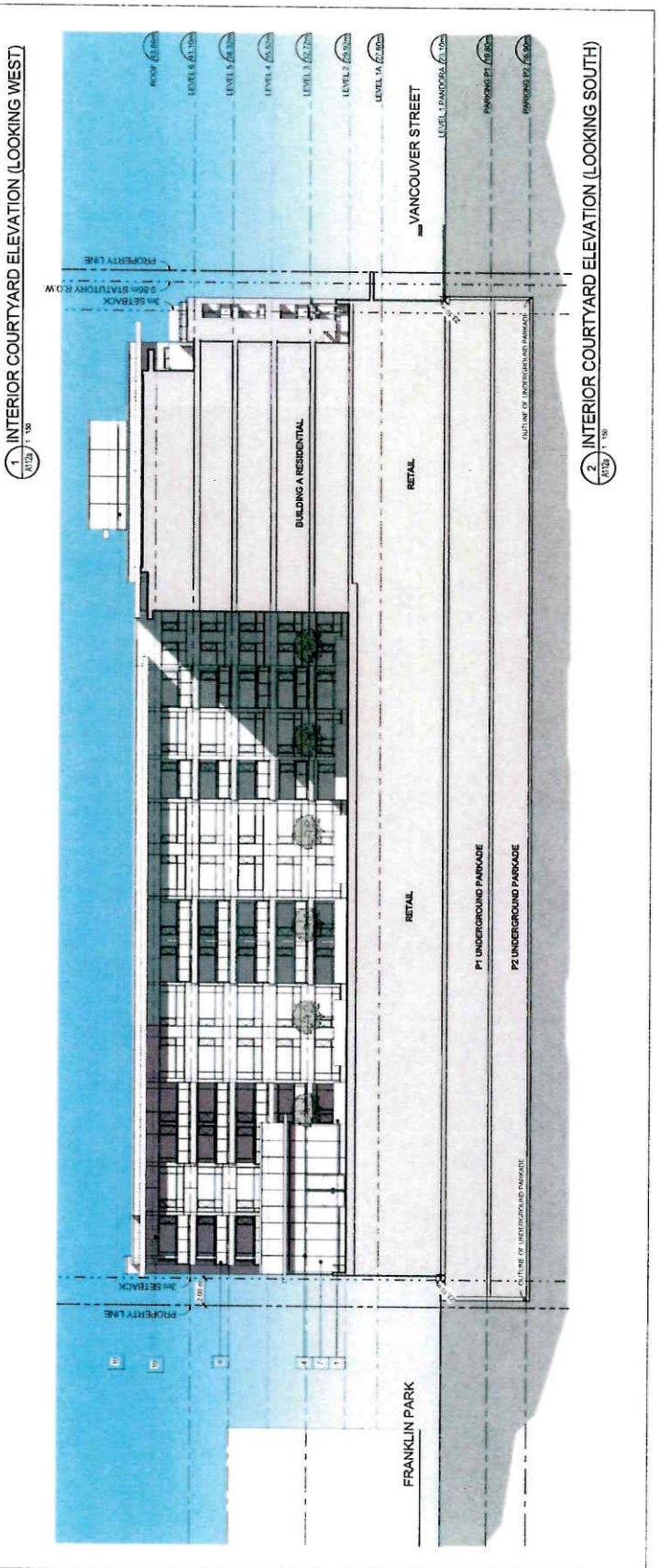
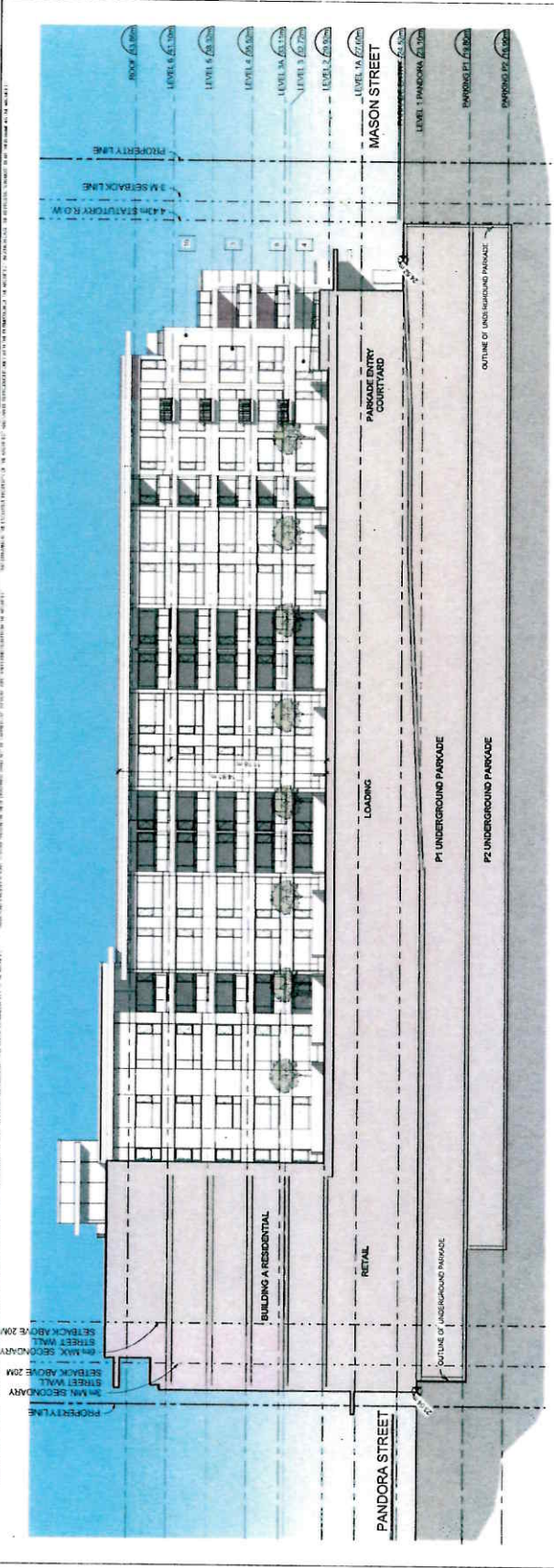
SHEET TITLE:
 INTERIOR COURTYARD ELEVATIONS

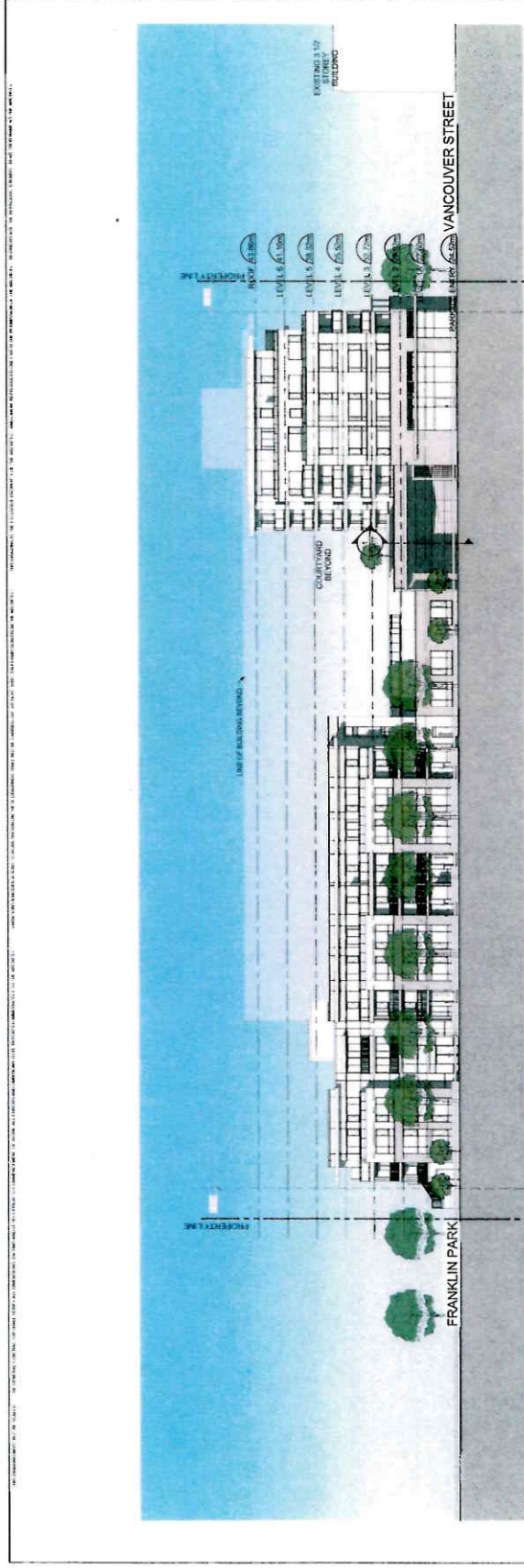
DRAWING NO.: A115
REV.:

MATERIALS LEGEND	
1	SMOKE GLASS
2	GLAZING
3	INSULATED WINDOW FRAME
4	ALUMINUM WINDOW FRAME
5	METAL WINDOW FRAME
6	GLASS
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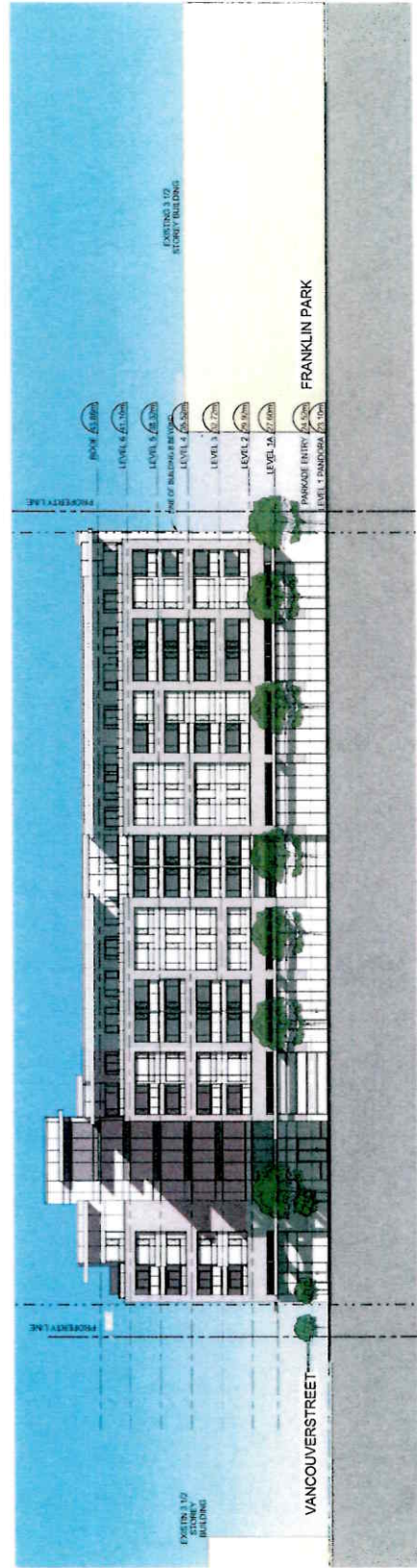
CCN
CHRIS DIKEAKOS ARCHITECTS INC.

PROJECT:	BlueSky PROPERTIES
OWNER:	BlueSky PROPERTIES
DESIGNER:	CCN
DATE:	2024.04.15
SCALE:	1/8" = 1'-0"
SHEET NO.:	A116
TITLE:	INTERIOR COURTYARD ELEVATIONS
REV.:	





1 NORTH MASON STREET STREETSCAPE



2 SOUTH PANDORA AVENUE STREETSCAPE

REVISIONS:	NO. 1	DATE	DESCRIPTION
ISSUED FOR:	[REDACTED]		
PROJECT:	[REDACTED]		
CLIENT:	[REDACTED]		
ARCHITECT:	[REDACTED]		
ENGINEER:	[REDACTED]		
LANDSCAPE ARCHITECT:	[REDACTED]		
INTERIOR DESIGNER:	[REDACTED]		
MECHANICAL ENGINEER:	[REDACTED]		
ELECTRICAL ENGINEER:	[REDACTED]		
PLUMBING ENGINEER:	[REDACTED]		
STRUCTURAL ENGINEER:	[REDACTED]		
ENVIRONMENTAL ENGINEER:	[REDACTED]		
ACoustical ENGINEER:	[REDACTED]		
TRANSPORTATION ENGINEER:	[REDACTED]		
PAVEMENT ENGINEER:	[REDACTED]		
TRAFFIC ENGINEER:	[REDACTED]		
UTILITY ENGINEER:	[REDACTED]		
GEOTECHNICAL ENGINEER:	[REDACTED]		
ARCHITECTURAL RENDERING:	[REDACTED]		
PHOTOGRAPHY:	[REDACTED]		
MODELING:	[REDACTED]		
PRINTING:	[REDACTED]		
SCALE:	[REDACTED]		
DATE:	[REDACTED]		
DRAWN BY:	[REDACTED]		
CHECKED BY:	[REDACTED]		
DATE:	[REDACTED]		
PROJECT NO.:	[REDACTED]		
SHEET NO.:	[REDACTED]		
SHEET TITLE:	STREETSCAPE		
DRAWING NO.:	A118		
REV.:	[REDACTED]		

CDN
CHRIS DIKEAKOS
ARCHITECTS INC.

RESIDENTIAL COMMERCIAL
 DEVELOPMENT
 1000 PANDORA AVENUE
 VICTORIA, BC

Bluesky
 PROPERTIES

PROJECT:
 CLIENT:
 ARCHITECT:
 ENGINEER:
 LANDSCAPE ARCHITECT:
 INTERIOR DESIGNER:
 MECHANICAL ENGINEER:
 ELECTRICAL ENGINEER:
 PLUMBING ENGINEER:
 STRUCTURAL ENGINEER:
 ENVIRONMENTAL ENGINEER:
 ACoustical ENGINEER:
 TRANSPORTATION ENGINEER:
 PAVEMENT ENGINEER:
 TRAFFIC ENGINEER:
 UTILITY ENGINEER:
 GEOTECHNICAL ENGINEER:
 ARCHITECTURAL RENDERING:
 PHOTOGRAPHY:
 MODELING:
 PRINTING:

SCALE:
 DATE:
 PROJECT NO.:

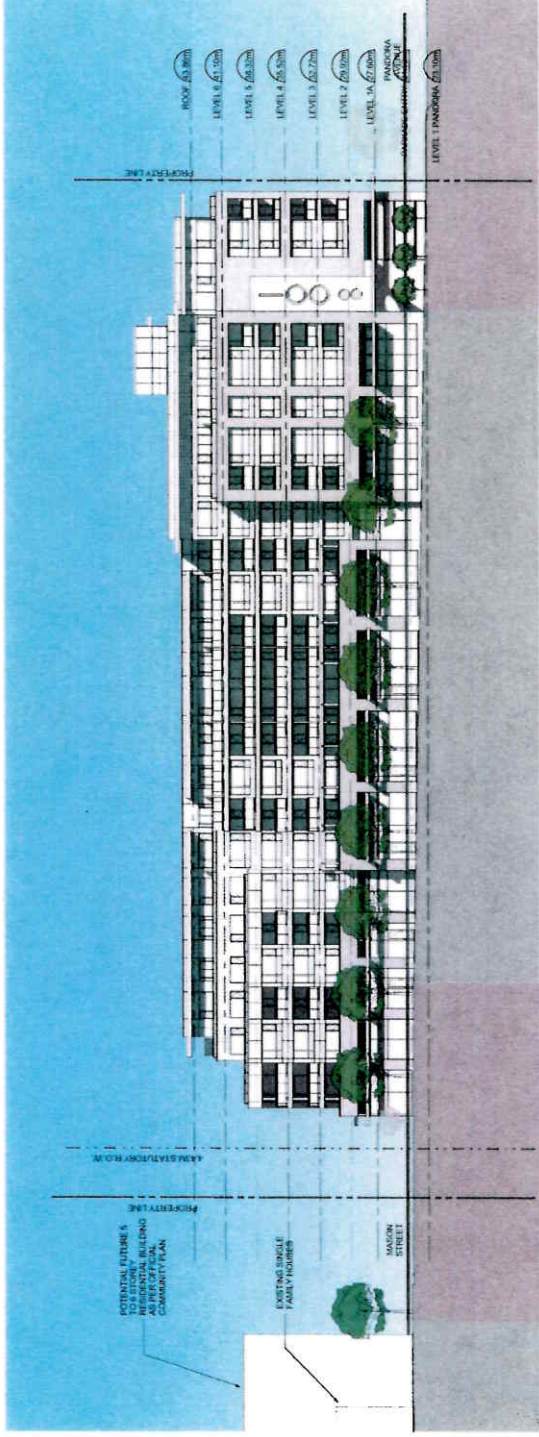
SHEET TITLE:
 STREETScape

DRAWING NO.:

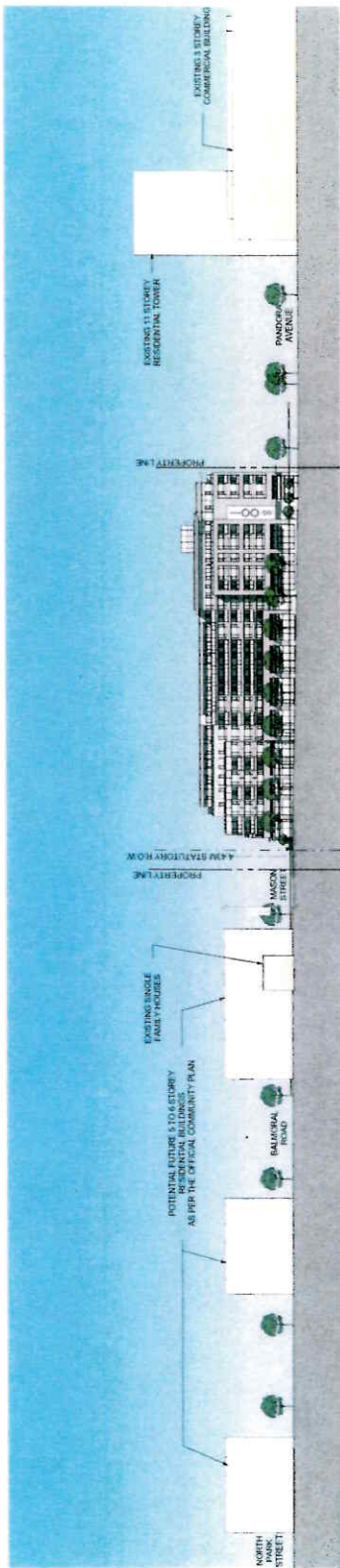
A118

REV.:

100% DEVELOPMENT OF THE PROJECT. THE DEVELOPER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE PROJECT IS BEING DEVELOPED IN ACCORDANCE WITH THE CITY OF VANCOUVER ZONING BY-LAW AND THE VANCOUVER COMMUNITY PLAN. THE DEVELOPER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE PROJECT IS BEING DEVELOPED IN ACCORDANCE WITH THE CITY OF VANCOUVER ZONING BY-LAW AND THE VANCOUVER COMMUNITY PLAN.



2. WEST VANCOUVER STREET STREETSCAPE
 1/200



1. WEST VANCOUVER STREET STREETSCAPE CONTEXT
 1/200

KEY PLAN
 SCALE 1:1
 DATE

ISSUED FOR:	RESIDENTIAL DEVELOPMENT
PROJECT:	100% DEVELOPMENT OF THE PROJECT. THE DEVELOPER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE PROJECT IS BEING DEVELOPED IN ACCORDANCE WITH THE CITY OF VANCOUVER ZONING BY-LAW AND THE VANCOUVER COMMUNITY PLAN.
DATE:	2024.01.15
BY:	CHRIS DIKEAKOS
CHECKED BY:	CHRIS DIKEAKOS
APPROVED BY:	CHRIS DIKEAKOS

CDN
 CHRIS DIKEAKOS
 ARCHITECTS INC.

100% DEVELOPMENT OF THE PROJECT. THE DEVELOPER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE PROJECT IS BEING DEVELOPED IN ACCORDANCE WITH THE CITY OF VANCOUVER ZONING BY-LAW AND THE VANCOUVER COMMUNITY PLAN.

BlueSky
 PROPERTIES

DATE:	2024.01.15
BY:	CHRIS DIKEAKOS
CHECKED BY:	CHRIS DIKEAKOS
APPROVED BY:	CHRIS DIKEAKOS

SHEET TITLE:
 STREETSCAPE

DRAWING NO.:	A119
REV.:	

NO.	DATE	DESCRIPTION
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8	15.05.2018	ISSUED FOR PERMIT
9	15.05.2018	ISSUED FOR PERMIT
10	15.05.2018	ISSUED FOR PERMIT

CAN
CHRIS DIKEAKOS ARCHITECTS INC.

RESIDENTIAL COMMERCIAL DEVELOPMENT, PANORAMA AVENUE, VICTORIA, BC.

Bluesky PROPERTIES

PROJECT: RESIDENTIAL COMMERCIAL DEVELOPMENT, PANORAMA AVENUE, VICTORIA, BC.

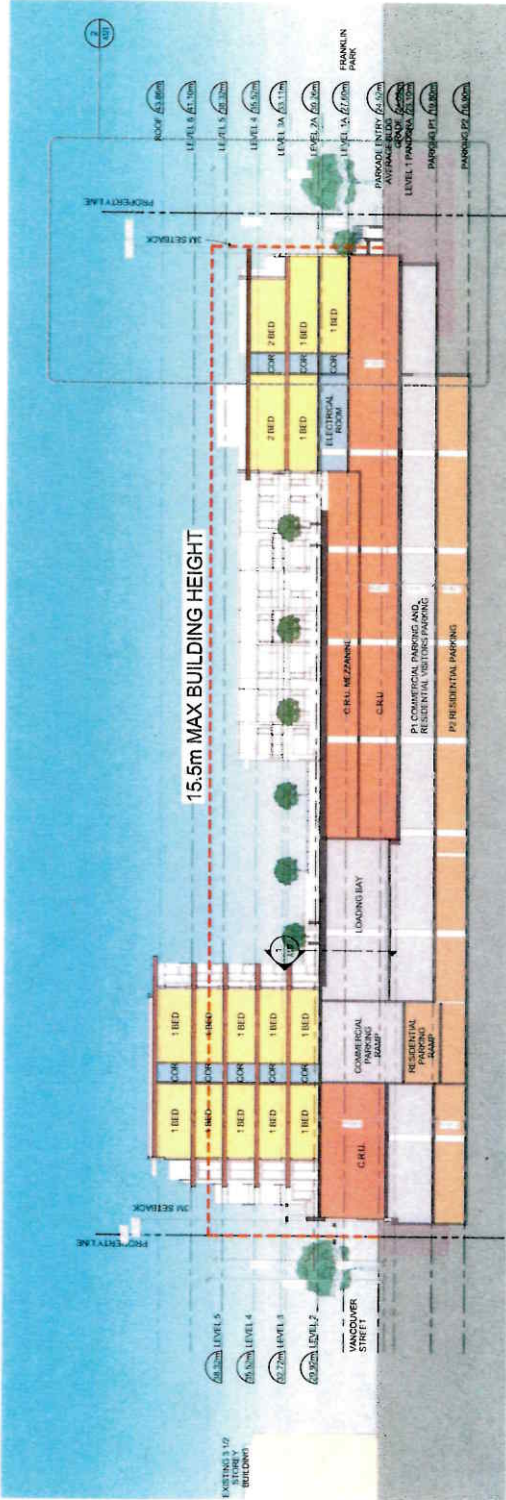
DATE: 15.05.2018

DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1:200
 PLOTTED BY: [Name]
 DATE: 15.05.2018

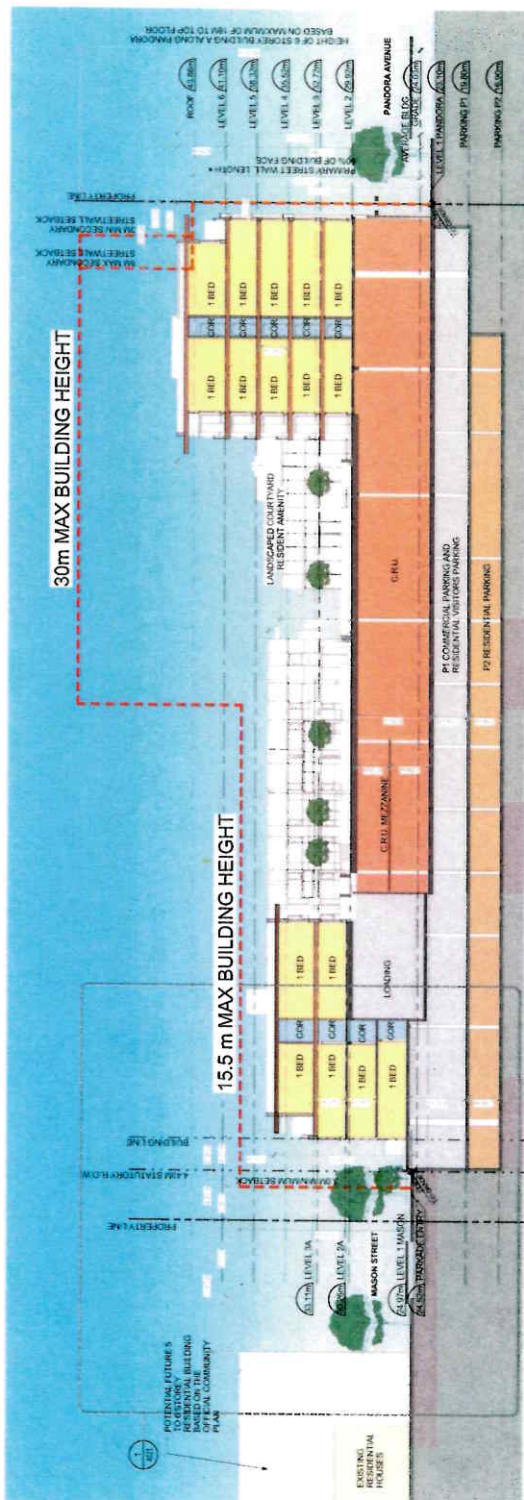
SHEET TITLE: BUILDING SECTIONS

DRAWING NO.: A120

REV: [Table with revision details]



2. BUILDING SECTION 2



1. BUILDING SECTION 1

KEY PLAN	
REVISIONS	
ISSUED FOR:	
PROJECT:	
CLIENT:	
DATE:	



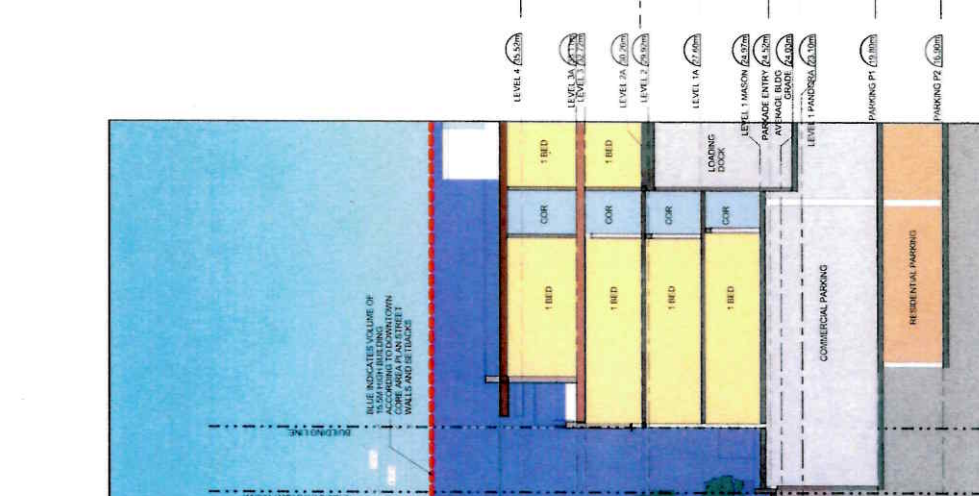
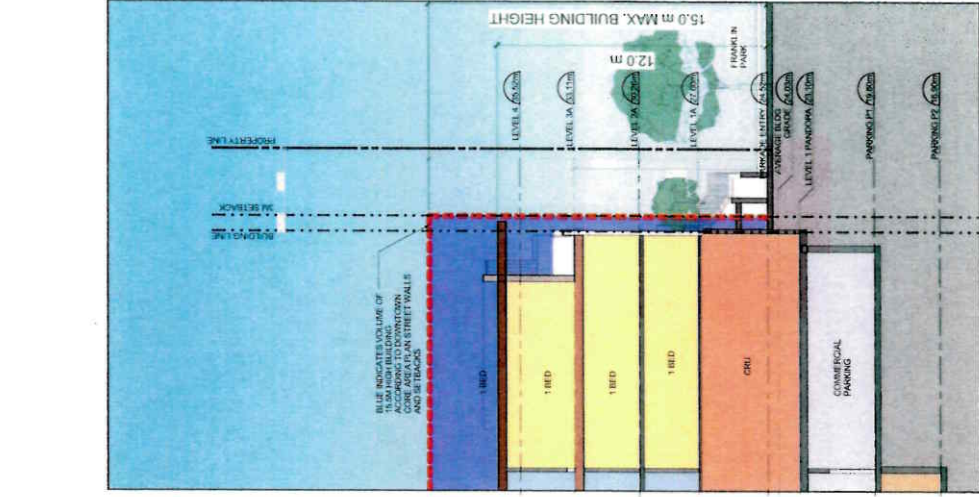
CHRIS DIKEAKOS ARCHITECTS INC.

PROJECT:	RESIDENTIAL COMMERCIAL DEVELOPMENT, ANDROMEDA AVENUE, VICTORIA BC
CLIENT:	BlueSky Properties
DATE:	
DESIGNER:	
ARCHITECT:	
ENGINEER:	
DATE:	

KEY PLAN	
REVISIONS	
ISSUED FOR:	
PROJECT:	
CLIENT:	
DATE:	

DRAWING NO.:	A121
REV.:	

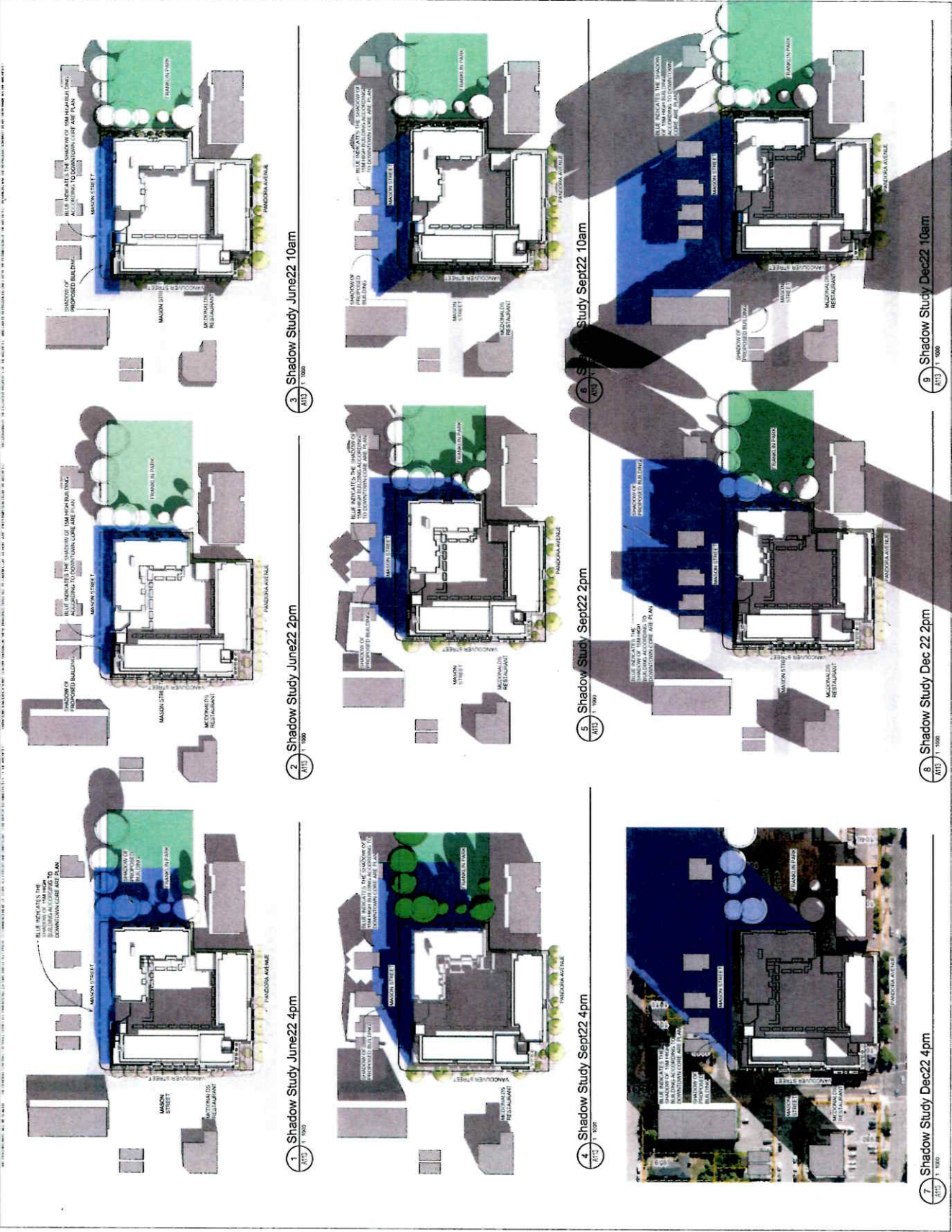
15.0 m MAX. BUILDING HEIGHT
120 m
PROPERTY LINE
1.50 m MINIMUM SETBACK
4.50 m STATUTE SETBACK
PROPERTY LINE
15.0 m MAX. BUILDING HEIGHT
120 m
PROPERTY LINE
1.50 m MINIMUM SETBACK
4.50 m STATUTE SETBACK
PROPERTY LINE



1 BUILDING 'B' SECTION 1

2 BUILDING 'B' SECTION 2

1/20



<p>KEY PLAN</p> <p>NOTES</p>		<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>5</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>6</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>7</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>8</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>9</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> </table>		NO.	DATE	DESCRIPTION	1		ISSUED FOR PERMIT	2		ISSUED FOR PERMIT	3		ISSUED FOR PERMIT	4		ISSUED FOR PERMIT	5		ISSUED FOR PERMIT	6		ISSUED FOR PERMIT	7		ISSUED FOR PERMIT	8		ISSUED FOR PERMIT	9		ISSUED FOR PERMIT	<p>ISSUED FOR PERMIT</p> <p>PROJECT: RESIDENTIAL COMMERCIAL DEVELOPMENT, 100 MAISON AVENUE, VICTORIA, BC</p> <p>OWNER: Bluesky Properties</p> <p>DATE: JULY 14, 2014</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT NO: 100 MAISON AVENUE</p> <p>DATE: JULY 14, 2014</p> <p>SHEET TITLE: SHADOW STUDIES</p>	
NO.	DATE	DESCRIPTION																																	
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<p>DRAWING NO: A122</p>		<p>REV:</p>																																	

1 Shadow Study June 22 4pm
 2 Shadow Study June 22 2pm
 3 Shadow Study June 22 10am
 4 Shadow Study Sept 22 4pm
 5 Shadow Study Sept 22 2pm
 6 Shadow Study Sept 22 10am
 7 Shadow Study Dec 22 4pm
 8 Shadow Study Dec 22 2pm
 9 Shadow Study Dec 22 10am



KEY PLAN
SCALE: 1:15
NOTES

REVISIONS:

NO.	DATE	DESCRIPTION
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2	2023.08.15	ISSUED FOR PERMIT
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4	2023.08.15	ISSUED FOR PERMIT
5	2023.08.15	ISSUED FOR PERMIT
6	2023.08.15	ISSUED FOR PERMIT
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8	2023.08.15	ISSUED FOR PERMIT
9	2023.08.15	ISSUED FOR PERMIT
10	2023.08.15	ISSUED FOR PERMIT



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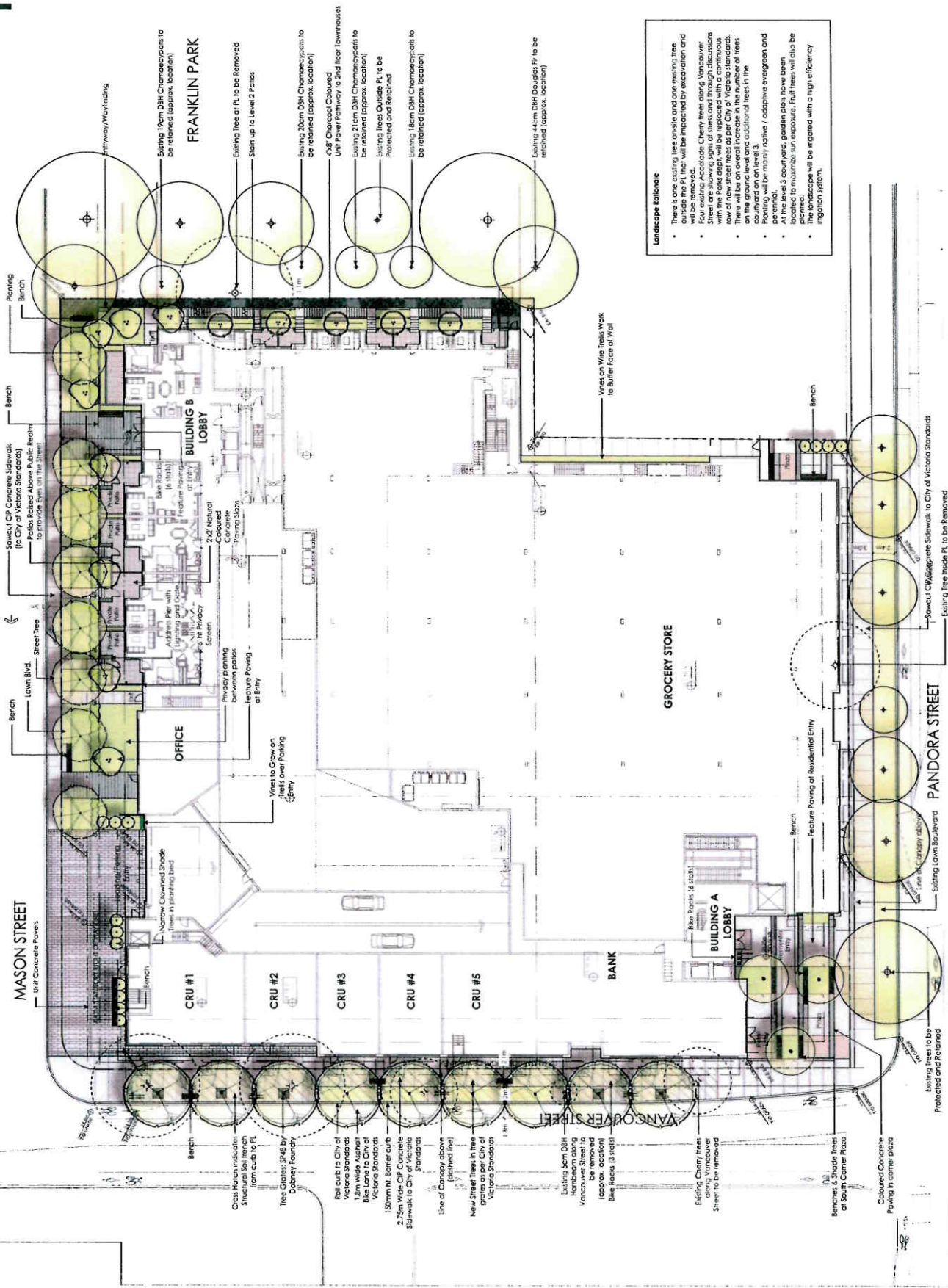


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PROJECT NO: 23-001
SHEET NO: 01
DATE: November 21, 2023

Ground Floor
Landscape
Concept Plan

REV 1
DRAWING NO.: L 01



Landscape Rationale

- There is one existing tree on-site and one existing tree outside the PI that will be impacted by excavation and foundation work.
- Four existing Chromolaetia trees along Vancouver Street are showing signs of stress and through discussions with the Parks Dept. will be replaced with a continuous row of these street trees to provide a canopy effect.
- Additional trees will be planted in the courtyard area on the ground level and additional trees in the courtyard on level 3.
- Planting will be mainly native / adaptive evergreen and deciduous trees.
- At the level 3 courtyard, garden paths have been located to maximize sun exposure. Full trees will also be planted.
- The courtyards will be irrigated with a high efficiency irrigation system.

1. CONSULT THE CITY OF VANCOUVER FOR ALL NECESSARY REGULATIONS AND STANDARDS. 2. THIS PLAN IS A CONCEPTUAL DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 4. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. 5. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. 6. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. 7. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. 8. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. 9. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. 10. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.



KEY PLAN
SCALE: NTS
NOTES

- 1. ALL FOLIAGE PLANTINGS ARE TO BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANTING SCHEDULE AND SPECIFICATIONS.
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- 10. ALL PLANTINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND SPECIFICATIONS.

REVISIONS
ISSUED FOR:



CHRIS DIKEAKOS
ARCHITECTS INC.

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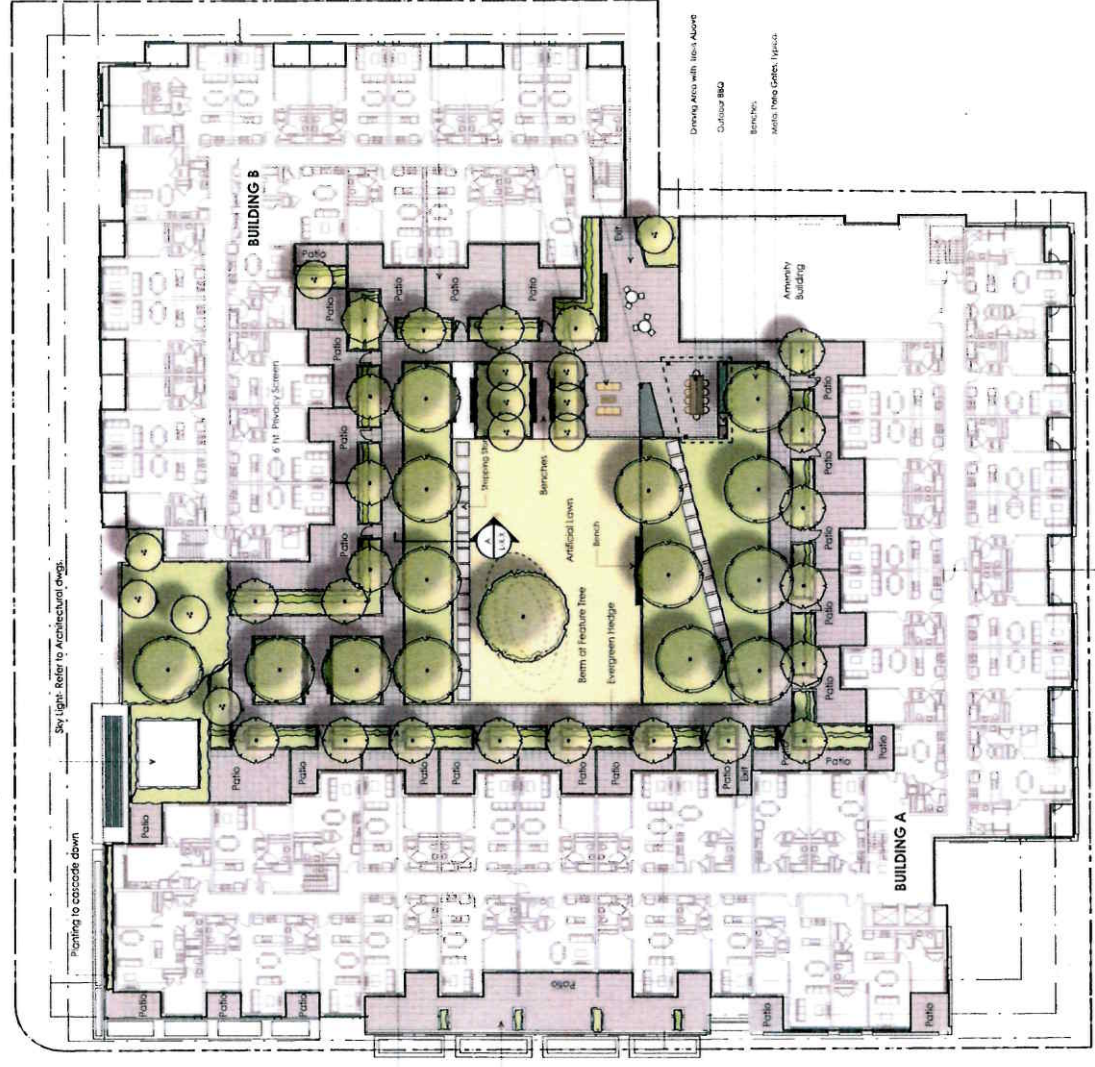


Project No. 2012-001
Client: iK
Date: 01/11/12
Scale: 1:200
Sheet Title: Landscape Concept Plan

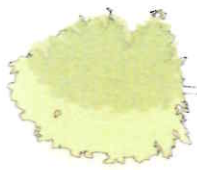
Podium (Level 2)
Landscape
Concept Plan

DRAWING NO.: L 02
REV: 1

MASON STREET



SECTION A-A: Typical Planting Section
Scale: 1:50



150' DBH
150'

PANDORA STREET

VANCOUVER STREET

Patio Gates

From Above

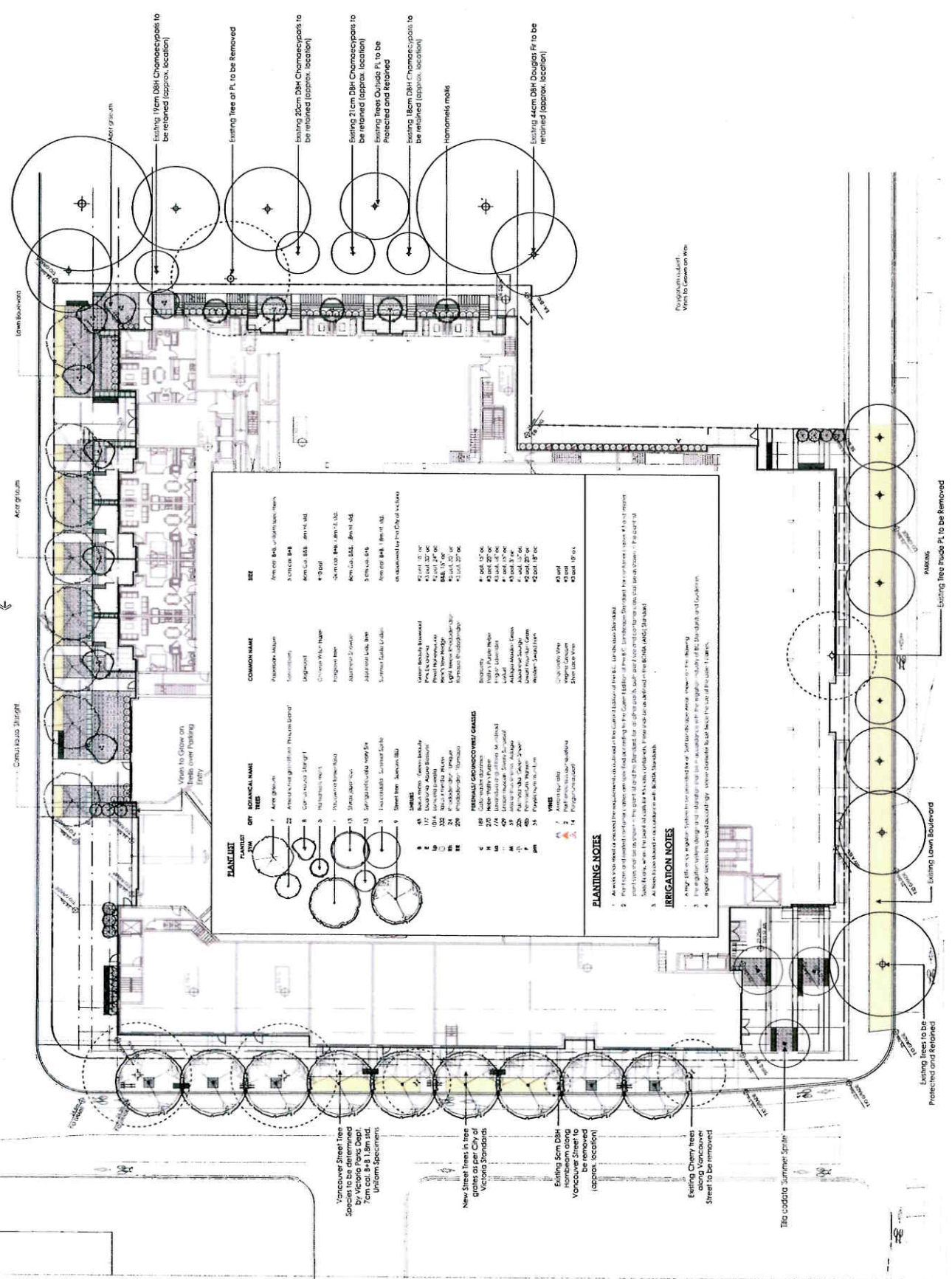
2 x 2 Mature Canadian Courtyard Planting Table

Outdoor Tree Table
Outdoor Seating Area
18 M Square

2 x 2 Mature Canadian Courtyard Planting Table

ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

North



PLANT LIST	PLANT ID	SYMBOL	COMMON NAME	SIZE
1	1		Platycodon grandiflorus	4500 x 1500
2	2		Platycodon grandiflorus	4500 x 1500
3	3		Platycodon grandiflorus	4500 x 1500
4	4		Platycodon grandiflorus	4500 x 1500
5	5		Platycodon grandiflorus	4500 x 1500
6	6		Platycodon grandiflorus	4500 x 1500
7	7		Platycodon grandiflorus	4500 x 1500
8	8		Platycodon grandiflorus	4500 x 1500
9	9		Platycodon grandiflorus	4500 x 1500
10	10		Platycodon grandiflorus	4500 x 1500
11	11		Platycodon grandiflorus	4500 x 1500
12	12		Platycodon grandiflorus	4500 x 1500
13	13		Platycodon grandiflorus	4500 x 1500
14	14		Platycodon grandiflorus	4500 x 1500
15	15		Platycodon grandiflorus	4500 x 1500
16	16		Platycodon grandiflorus	4500 x 1500
17	17		Platycodon grandiflorus	4500 x 1500
18	18		Platycodon grandiflorus	4500 x 1500
19	19		Platycodon grandiflorus	4500 x 1500
20	20		Platycodon grandiflorus	4500 x 1500
21	21		Platycodon grandiflorus	4500 x 1500
22	22		Platycodon grandiflorus	4500 x 1500
23	23		Platycodon grandiflorus	4500 x 1500
24	24		Platycodon grandiflorus	4500 x 1500
25	25		Platycodon grandiflorus	4500 x 1500
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28	28		Platycodon grandiflorus	4500 x 1500
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30	30		Platycodon grandiflorus	4500 x 1500
31	31		Platycodon grandiflorus	4500 x 1500
32	32		Platycodon grandiflorus	4500 x 1500
33	33		Platycodon grandiflorus	4500 x 1500
34	34		Platycodon grandiflorus	4500 x 1500
35	35		Platycodon grandiflorus	4500 x 1500
36	36		Platycodon grandiflorus	4500 x 1500
37	37		Platycodon grandiflorus	4500 x 1500
38	38		Platycodon grandiflorus	4500 x 1500
39	39		Platycodon grandiflorus	4500 x 1500
40	40		Platycodon grandiflorus	4500 x 1500
41	41		Platycodon grandiflorus	4500 x 1500
42	42		Platycodon grandiflorus	4500 x 1500
43	43		Platycodon grandiflorus	4500 x 1500
44	44		Platycodon grandiflorus	4500 x 1500
45	45		Platycodon grandiflorus	4500 x 1500
46	46		Platycodon grandiflorus	4500 x 1500
47	47		Platycodon grandiflorus	4500 x 1500
48	48		Platycodon grandiflorus	4500 x 1500
49	49		Platycodon grandiflorus	4500 x 1500
50	50		Platycodon grandiflorus	4500 x 1500

PLANTING NOTES

- All trees to be removed are indicated on the landscape plan.
- All trees to be retained are indicated on the landscape plan.
- All trees to be protected are indicated on the landscape plan.
- All trees to be planted are indicated on the landscape plan.

IRRIGATION NOTES

- All trees to be irrigated are indicated on the landscape plan.
- All trees to be protected are indicated on the landscape plan.
- All trees to be planted are indicated on the landscape plan.

KEY PLAN
 SCALE 1:100
 NOTES

1. All trees to be removed are indicated on the landscape plan.
2. All trees to be retained are indicated on the landscape plan.
3. All trees to be protected are indicated on the landscape plan.
4. All trees to be planted are indicated on the landscape plan.

REVISIONS

NO.	DATE	DESCRIPTION
1	2012.08.01	Issue for RFP
2	2012.08.15	Issue for RFP
3	2012.08.20	Issue for RFP
4	2012.08.25	Issue for RFP
5	2012.09.01	Issue for RFP
6	2012.09.05	Issue for RFP
7	2012.09.10	Issue for RFP
8	2012.09.15	Issue for RFP
9	2012.09.20	Issue for RFP
10	2012.09.25	Issue for RFP
11	2012.10.01	Issue for RFP
12	2012.10.05	Issue for RFP
13	2012.10.10	Issue for RFP
14	2012.10.15	Issue for RFP
15	2012.10.20	Issue for RFP
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24	2012.12.05	Issue for RFP
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49	2013.04.10	Issue for RFP
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55	2013.05.10	Issue for RFP
56	2013.05.15	Issue for RFP
57	2013.05.20	Issue for RFP
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76	2013.08.25	Issue for RFP
77	2013.09.01	Issue for RFP
78	2013.09.05	Issue for RFP
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83	2013.10.01	Issue for RFP
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86	2013.10.15	Issue for RFP
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94	2013.11.25	Issue for RFP
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96	2013.12.05	Issue for RFP
97	2013.12.10	Issue for RFP
98	2013.12.15	Issue for RFP
99	2013.12.20	Issue for RFP
100	2013.12.25	Issue for RFP

ISSUED FOR

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 NOT TO BE USED FOR CONSTRUCTION



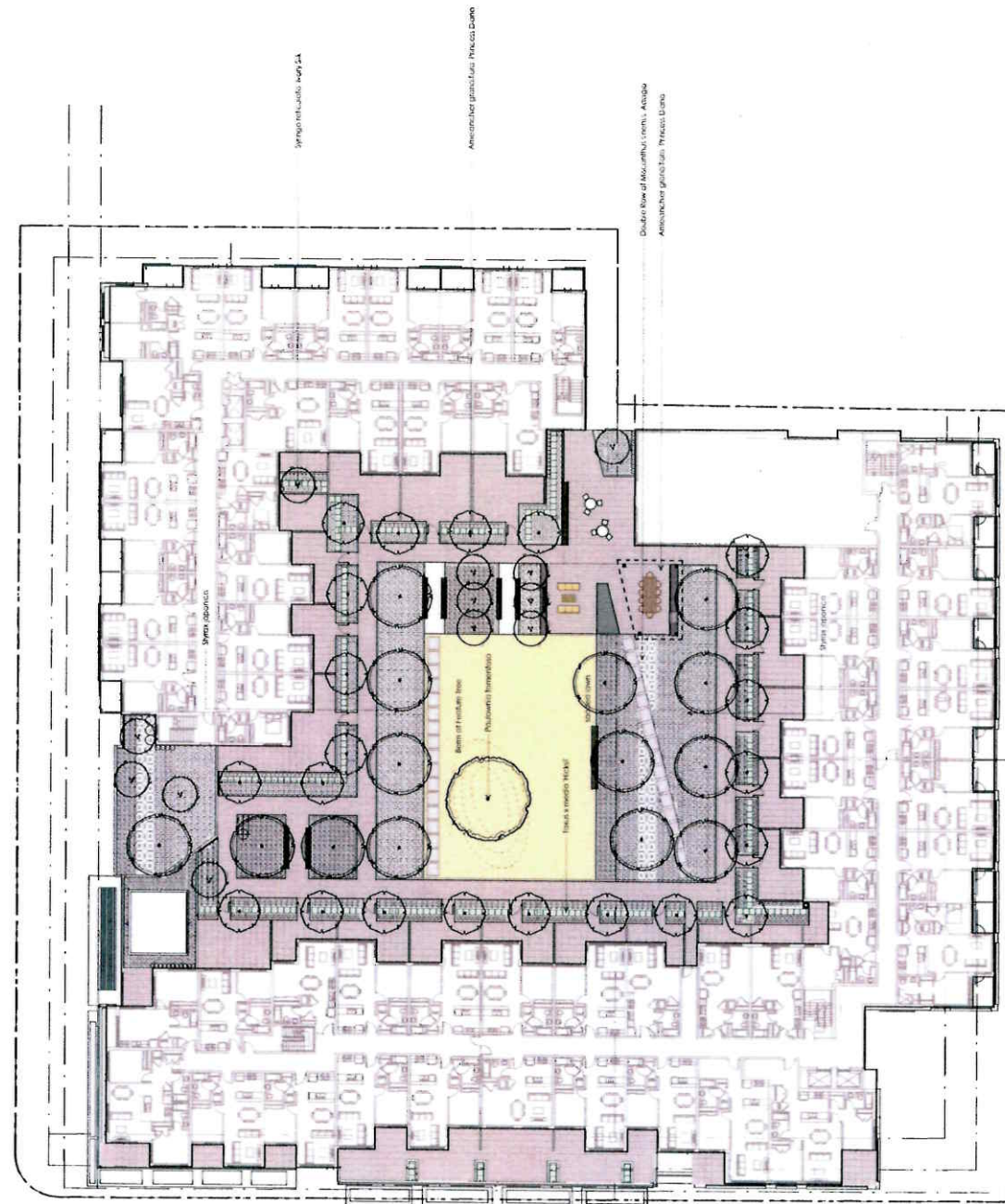
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 Vancouver, BC V6C 1A5
 Tel: 604.681.8811
 Fax: 604.681.8817
 www.chrisdikekos.com



DESIGNED BY
 DRAWN BY
 CHECKED BY
 DATE: November 27, 2012

Ground Floor Landscape Planting Plan
 DRAWING NO.: L 03
 REV. 1

NOT TO SCALE - THIS PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.



KEY PLAN
SCALE: 1/8" = 1'-0"
NOTES

- 1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS AND THE PLANTING SCHEDULE.
 - 2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS AND THE PLANTING SCHEDULE.
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- REVISIONS:
ISSUED FOR:



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BlueSky PROPERTIES
1001 W. 10TH AVE., SUITE 1000
DENVER, CO 80202
TEL: 303.733.1000
WWW.BUESKYPROPERTIES.COM

OWNER: [Name Redacted]
DESIGNER: [Name Redacted]
DATE: [Date Redacted]

SHEET TITLE:
Podium (Level 2)
Landscape
Planting Plan

DRAWING NO.: L 04
REV: 1

SEE SHEET L03 FOR PLANT LIST



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401 - 655 Two Road
Toronto, Ontario M5E 1B5
Tel: 416-398-7111
www.stantec.com

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Consultants

Legend

Notes

Revision

NO.	DATE	BY	CHKD.	APP.
1	11/20/20	MM	MM	MM

Permit Load

Client/Project
BLUESKY PROPERTIES

PANDORA DEVELOPMENT

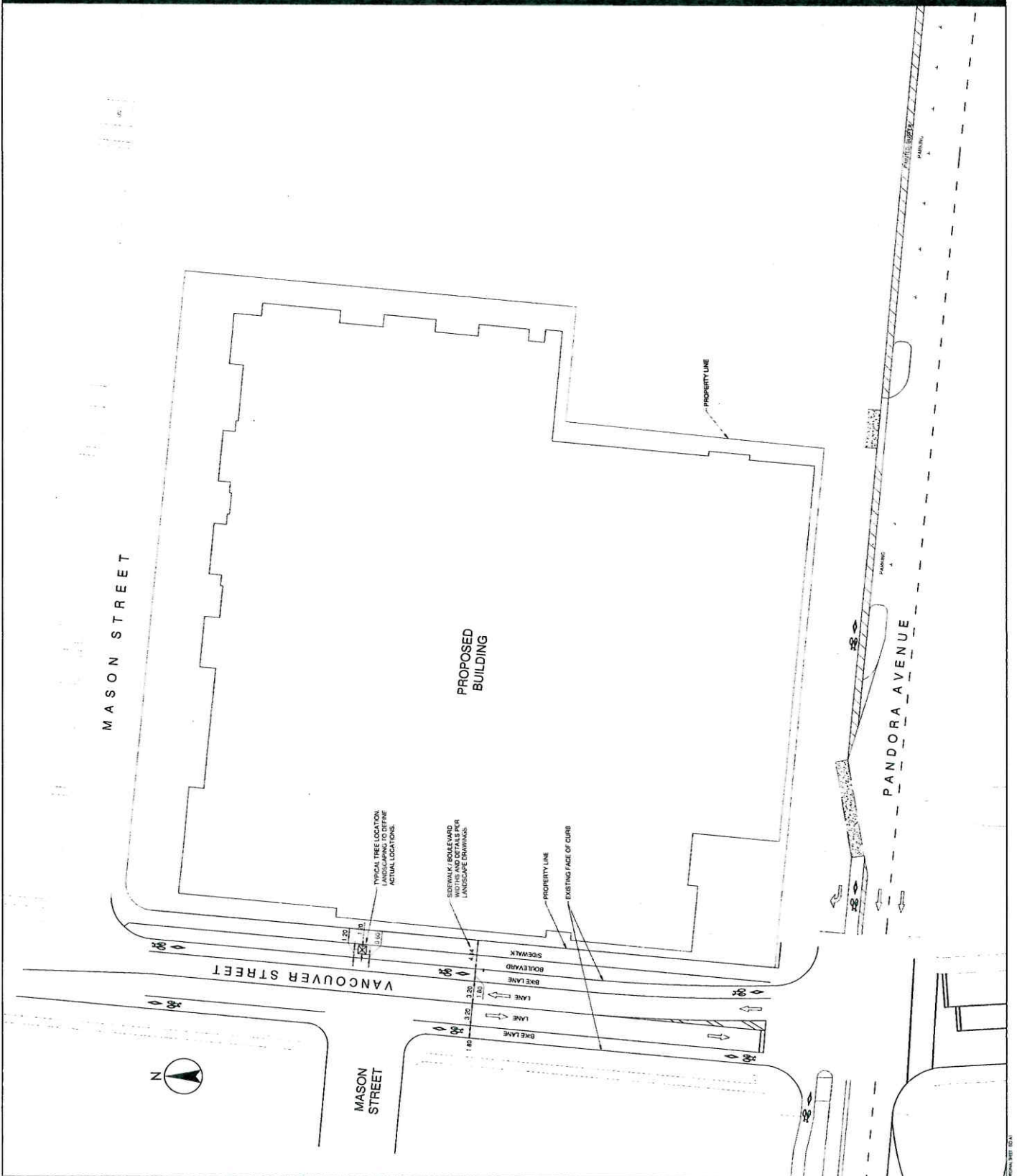
Title
VANCOUVER ST. AND PANDORA AVE.
CONCEPTUAL ROAD & CYCLE LANNING

Project No. Scale 1:250 (METRIC)

Drawing No. Sheet

Revision

C1.0 1 of 1 0



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CHRIS DIKEAKOS ARCHITECTS INC.



July 14, 2014

City of Victoria
Development Services Division
1 Centennial Square
Victoria, B.C. V8W 1P6

Re: Development Permit/Rezoning Submission for 1008-1012 Pandora Avenue, Victoria, B.C.

Dear Mr Mayor and Members of Council,

In response to the Advisory Design Panel Recommendations on May 28, 2014, Blue Sky Properties has made revisions to the application for a Development Permit/Rezoning for 1008-1012 Pandora Avenue. We have worked with the Planning Department, Engineering and Public Works Department and the Landscape Architect to improve the public realm along Pandora Street, Vancouver Street and Mason Street.

The following provides a summary of the project revisions:

- A break in level 1 retail frontage has been incorporated on the Pandora St elevation, this is provided by stepping the glazing back to create a larger sidewalk area in the middle of the frontage.
- The entry to the mid-block walkway along Pandora St has been widened from 2.7m to 4.85m by pulling the east facing glazing of the retail space back. The widened entry to the walkway will function as a secondary landscaped plaza for public use, the beginning of the mid-block walkway will be on the north side of the plaza. The mid-block walkway will have a gate at each end, it will be unlocked and accessible during day hours and locked in the evening. Should there be security problems with the walkway it can be closed off, but the plaza will remain open.
- The pedestrian frontage along Vancouver St will be improved by removing the parking lane on the east side of Vancouver St, the cycling lane will be relocated onto the street into the current parking lane. The new cycling lane will expand the city cycling network as well as allow for a wider sidewalk and boulevard. The extent of the grass boulevard along Vancouver St will be reduced to allow pavers from the curb to the face of the building, extent of trees and tree spacing will be maintained. The sidewalk trees will be placed in sidewalk grates to blend in with the sidewalk treatment, trees will be moved closer to the curb to create a wider sidewalk. The length of the grass boulevard will be reduced to allow for a longer stretch of wider sidewalk, overall a more organic pedestrian experience will be created for the length of the sidewalk along Vancouver St.

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WWW.DIKEAKOS.COM



- Mason St landscaping has been increased beside the parkade entry to be more consistent with a residential streetscape.
- The landscape architect has modified the second level courtyard design and provided a detail of tree wells to ensure the viability of healthy tree growth.
- The Advisory Design Panel suggested a green roof for the four-storey building facing Mason St. Green roofs work best with concrete construction due to load and waterproof issues, since this is a wood frame building it has been suggested that a conventional roof be applied. To enhance the appearance of the roof, coloured ballast will be used to create a pattern on the roof.
- The exterior materials palette is being simplified and refined through the addition of Metal Panel to the Hardie Panel system and the elimination of the Hardie Siding.

Durante Kreuk has provided a written description of modifications they have made to their design, please see attached.

Regards,

Robert Duke AIBC, LEED GA
Senior Associate
Chris Dikeakos Architects Inc.

Cc: Mark Kopinya, Bosa Properties

VICTORIA ADVISORY DESIGN PANEL
MEETING NOTES OF May 28, 2014
COMMITTEE ROOM #1

PRESENT

Rod Windjack (Chair)
Brad Forth
Karen Hillel
Christine Lintott
Suzanne Christensen
Barry Cosgrave
Charles Kierulf

STAFF

Mike Wilson, Senior Planner – Urban Design
Rob Woodland, Legislative Services
Don Schaffer, Legislative Services

REGRETS

Shaun McIntyre
Gregory Damant

CALL TO ORDER

Rod Windjack (Chair): Called the meeting to order at 12.10 p.m. and welcomed meeting participants.

MINUTES

MOVED / SECONDED

That the minutes of the April 23, 2014 meeting be **APPROVED** as circulated.

CARRIED

Staff Update 1: ADP Term Ending June 2014

Mr. Wilson thanked the Panel members for their service to the City and informed them that the term of this Panel would be ending in June of 2014. Mr. Wilson further informed the Panel members of the opportunity to re-apply should they wish to continue to serve for another term.

Staff Update 2: Conflict of Interest

Mr. Woodland provided the Panel members an overview of the legislation and procedures regarding conflict of interest and how the legislation applies to the Panel.

APPLICATION

1002-1008 and 1012 Pandora Avenue Development Permit Application #00351

Development Permit Application that proposes the construction of six-storey mixed use commercial and residential building with two levels of underground parking.

Applicant Meeting attendees:

Mr. Robert Duke, Chris Dikeakos Architects Inc.
Mr. Chris Dikeakos, Chris Dikeakos Architects Inc.
Mr. Dale Bosa, Blue Sky Properties Inc.

Mr. Wilson provided the Panel with a brief introduction of the application and the areas of the project that Council was seeking advice on including the following:

- The comprehensive design approach and whether the building's mass has been adequately articulated through the provision of varying building materials and setbacks
- The appropriateness of the building finishes, including cement board siding and landscape design
- Improvements to building form as it relates to the mid-block walkway including Crime Prevention Through Environmental Design (CPTED) principles
- Signage identifying the mid-block walkway.

Mr. Duke then provided a detailed presentation of the proposal to the Panel.

Mr. Kierulf excused himself from the meeting at 12:47 p.m.

Recommendation:

MOVED / SECONDED

1. That Advisory Design Panel recommend to Council that Development Permit Application #000351 for 1002-1008 and 1012 Pandora Avenue be approved with changes including:

- The provision of a larger break in the expression of the Pandora Avenue elevation.
- A widening of the entry to the mid-block walkway from Pandora Avenue.
- Further design development of the landscape courtyard at the second level.
- Reconsideration, through design development, of the proposed paving treatment and landscape on the Vancouver Street frontage as they relate to the ground floor retail expression.
- Consider installing a green roof on the four-storey building.
- Consider alternative exterior finishes that are more in keeping with a building of this scale and further consider a simplification of the materials palette.

CARRIED Unanimously.

APPLICATION

1950 Blanshard Street Development Permit Application #000336

Development Permit Application that proposes the construction of seven-storey mixed use commercial and residential building with one level of underground parking.

Applicant Meeting attendees:

Mr. Jackson Low, Low Hammond Rowe Architects

Ms. Alanna Holroyd, Greater Victoria Rental Development Society

Mr. Wilson provided the Panel with a brief introduction of the application and the areas of the project that Council was seeking advice on including the following:

- The DCAP building separation guidelines recommend a setback above the podium level of three metres. The south elevation of the proposed building is on the property line. This zero setback could affect future development of the neighbouring property to the south and it raises Building Code issues related to window openings on a zero lot line. Setting back residential portions of this elevation above the second floor should be considered. In addition, the office windows on the second floor should be reconsidered.
- While the large massing of the south elevation is visually broken up with panel cladding and the use of colour, further measures to reduce the apparent mass should be considered.
- The architectural expression of base (podium), middle and top of the building should be enhanced.
- The ground level pedestrian or vehicle driver experience of the building needs to be illustrated or rendered.

Mr. Low then provided a detailed presentation of the proposal to the Panel.

Recommendation:

MOVED / SECONDED

1. That Advisory Design Panel recommend to Council that Development Permit Application #000336 for 1950 Blanshard Street be approved and that the applicant continue to work with staff to address the following issues:
 - Reconsideration of the provision of outdoor amenity space for residents via a roof top patio and individual patios for units on the second floor.
 - Reconsideration of the size and scale of operable windows for residential units.
 - Ensure the submission of a landscape plan, prepared by a registered landscape architect, is included in the plans presented to Council.
 - Review opportunities to differentiate the stair towers and/or podium from the overall building mass.
 - Reconsideration of the zero lot line configuration of the south building face to provide an increase setback for a portion of that façade.

CARRIED

For: Windjack, Cosgrave, Christensen, Forth
Against: Lintoff and Hillel



July 23, 2014

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Attn: Mayor and Members of Council

Re: 1008 – 1012 Pandora Avenue

We are writing to provide an additional update for information as Mayor and Council considers our Rezoning and Development Permit application for the former St. Andrew's School site at its meeting today. We are pleased that the application has received staff support following review of the revised development plans and appreciate the efforts staff have made to detail how the current plans respond to the list of considerations identified by the Planning and Land Use Committee as well as the Advisory Design panel.

Separate letters have been provided by the project architect and well as our landscape architect outlining the various updates.

As well as updates to the plans, BlueSky Properties has entered into various legal agreements with the City of Victoria securing the items discussed at the Planning and Land use meeting. These include:

Green Building

BlueSky has committed to build the building to a LEED Silver equivalency standard. A LEED certified consultant will be retained to work on the project to ensure that a minimum of 50 credits are met.

Access and Loading

BlueSky has entered into an s.219 Covenant to restrict loading trucks greater than 10,000 lbs from driving down the one-way portion of Mason St. west of Cook St. All deliveries trucks greater than this weight will be required to access the site from Vancouver.

This covenant also restricts the hours that a truck greater than 10,000 lbs can deliver to the site to 7am to 11pm.

BlueSky will ensure that these restrictions will be in all tenant leases, place signage on the site, and will work with the City on any off-site signage requirements.

Housing Agreement

BlueSky has entered into a housing agreement with the City that restricts the sale of individual suites for a period of 10 years. While it is currently not BlueSky's intention to sell the suites after 10 years, in the event that they are, BlueSky will ensure that a rental disclosure form is filled, meaning private rentals will never be restricted in the building. In addition to this, BlueSky will commit to the following:

- Provide tenants a minimum of 6 months' notice;
- Waive the last two months' rent to assist in relocation costs;
- Reduce the purchase price by the previous 12 months of rent paid by any tenant who purchases in the building;
- Provide updated information regarding vacancies in other rental building in the neighborhood.

We thank you again for your consideration of our project.

Regards,



Mark Kopinya
Development Manager



July 8, 2014
4211.38

Mark Kopinya
Bosa Properties Inc.
1100-838 West Hastings Street
Vancouver, BC

Dear Mr. Kopinya:

**Re: Mixed use Development at 1008 Pandora Street
Site Access Review**

As requested, Bunt has reviewed the City of Victoria's proposal to limit access to this development site, by restricting northbound left turns from Cook Street onto Mason Street. We have based our review of the forecasted site traffic generation, anticipated vehicle access patterns and our understanding of City policies, as described in our December 2012 Transportation Impact Assessment study for Bosa Properties.

It is our view that the City's proposed restriction will have a negative impact on site accessibility, green house gas emissions, residents on the western end of Mason Street, the Vancouver Street "People Priority Greenway", the Balmoral Road "People Priority Greenway" and accessibility of future redevelopment sites. These items are discussed further below.

Impact on Site Accessibility:

The site is expected to generate a total of about 305 vehicle trips during the Weekday PM Peak Hour (155 entering, 150 exiting). Approximately 44% of the entering traffic, or 70 vph, are expected to enter the site's single access from the eastern section of Mason Street. Of this 70 vph, about 55 vph are expected to originate from Cook Street south or Pandora east. That is, about 55 vph or 35% of all entering traffic is expected to make the northbound left turn from Cook Street onto Mason Street. Therefore, it is concluded that this manoeuvre is critical to the site accessibility.

Increase in Green House Gas Emissions:

If the northbound to westbound left turn from Cook Street onto Mason Street is not available, then site vehicle access will be concentrated on Vancouver Street. This will require any patrons/residents of the site coming from the south on Cook Street or from the east on Pandora to shift to Vancouver Street to enter the site via the west end of Mason Street. Restricting access from Cook Street will result in more vehicle-

km of travel and unnecessary turning movements on/off the Pandora arterial. It will also result in more stops/starts due to the need to pass through one additional signal on Pandora to access the site.

Impact on Residents on Western End of Mason Street

While the northbound left turn restriction on Cook Street will result in a reduction of approximately 55 vph on the eastern end of Mason Street, these vehicles will simply shift to the western end of Mason Street. The residents at the western end of Mason Street will already be experiencing the majority of the traffic impact associated with this development with about 240 vph entering and exiting the site on the west end of Mason. With the northbound left turn restriction, the traffic impact on these western Mason residents will increase by 23%, to 295 vph.

Impact on the Vancouver Street Greenway

When Bunt initiated the 1008 Pandora Transportation Impact Assessment study in 2012, we were advised the City of Victoria staff that it was critical to reduce traffic impacts on Vancouver Street as it was a "People Priority Greenway". Indeed, this was one of the reasons the City insisted the site access must be on Mason Street, so that traffic approaching the site had alternative routes available. Restricting the northbound left turn on Cook Street essentially removes almost every alternative route to the site, forcing almost 95% of all site traffic onto Vancouver Street. This will result in the maximum level of conflict between pedestrians and cyclists on this Greenway and is not, as far as we understand it, consistent with stated City policies.

Impact on the Balmoral Road Greenway

If drivers originating from points south of Pandora on Cook Street travelling northbound encounter difficulties or delays turning left northbound to westbound, then they may choose to continue northbound on Cook and use Balmoral Road to travel westbound before turning southbound onto Vancouver Street to access the site. This will increase conflicts between vehicles, cyclists and pedestrians on this Greenway which is inconsistent with City policies, and also negatively impact residents on Balmoral Road.

Impact on Future Developments fronting Pandora and Cook Street


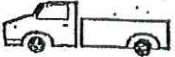
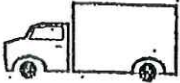
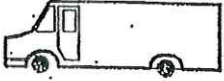
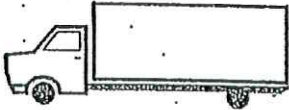
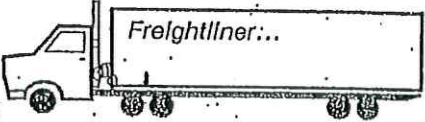
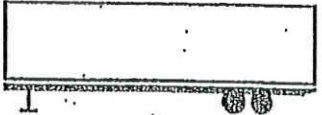
If any of the sites in the block bounded by Mason, Cook, Pandora and Vancouver Street redevelop, they also may be impacted by the turn restriction on Cook Street as back access options will not be possible, or if possible will not be that beneficial and again would disproportionately affect the western end of Mason Street and Vancouver Street. It is our view that the proposed restriction will reduce the flexibility for future redevelopment of the block.

I trust this information will be useful in your ongoing discussions with City staff. We would be pleased to provide further support to your development application, if required.

Yours truly,
Bunt & Associates

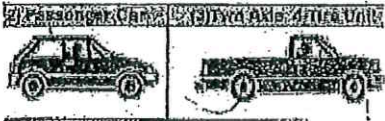


Jane Farquharson, P.Eng, POTE
Principal

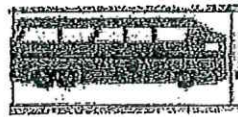
Type of Vehicle	Length in metres (feet)	Width in metres (feet)	Height in metres (feet)	Gross Vehicle Weight (kg) (lbs)	
Van	4.6 - 5.6 (15.0 - 18.5)	1.8 (6.0)	2.0 - 2.1 (6.5 - 7.0)	2,132 - 4,264 (4,700 - 9,400)	
Pick-up	4.4 - 6.11 (14.5 - 20.0)	1.8 (6.0)	1.5 - 2.0 (5.0 - 6.5)	2,495 - 4,536 (5,500 - 10,000)	
Cube Van	5.5 - 9.1 (18.0 - 25.0)	2.4 - 2.6 (8.0 - 8.5)	3.04 (10.0)	2,722 - 4,536 (6,000 - 10,000)	
Step Van	5.5 - 9.1 (18.0 - 25.0)	2.4 - 2.6 (8.0 - 8.5)	3.04 (10.0)	2,700 - 4,536 (6,000 - 10,000)	
Single Units	7.3 - 10.9 (24.0 - 36.0)	2.4 - 2.6 (8.0 - 8.5)	3.66 (12.0)	4,536 - 11,793 (10,000 - 26,000)	
Tractor-trailer	12.2 - 21.3 (40.0 - 70.0)	2.4 - 2.6 (8.0 - 8.5)	4.11 (13.5)	> 11,795 (> 26,000)	
Trailer	8.5 - 14.6 (28.0 - 48.0)	2.4 - 2.6 (8.0 - 8.5)	4.11 (13.5)		

TYPICAL SERVICE VEHICLE CHARACTERISTICS

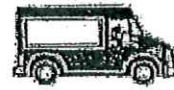
1 - Auto



2 - Bus



3 - Panel Van



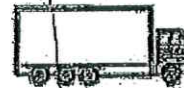
4 - 2 Axle Truck



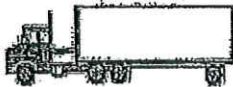
5 - 3 Axle



6 - 4 Axle



7 - 4 Axle Trailer



8 - 5 Axle Trailer



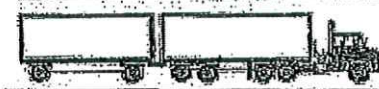
9 - 6 Axle Trailer



10 - 7 Axle Trailer




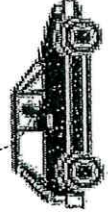
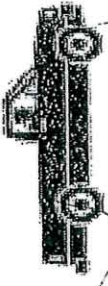
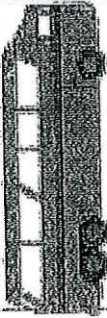
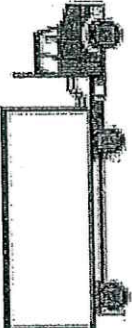
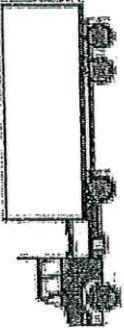
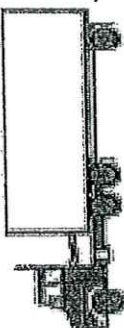
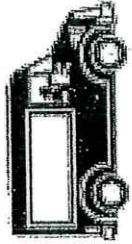
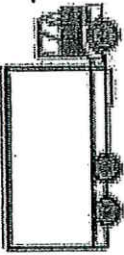
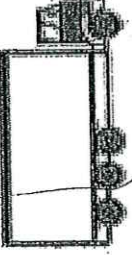
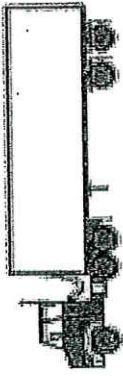
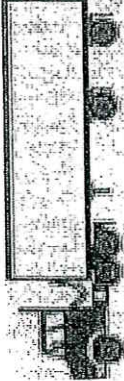
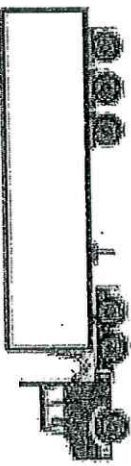
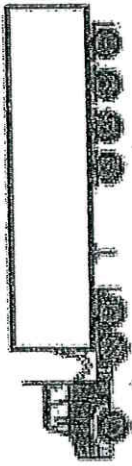
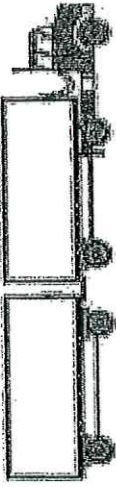
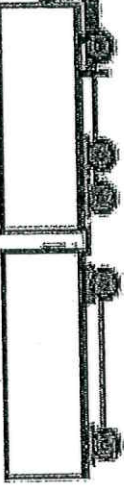
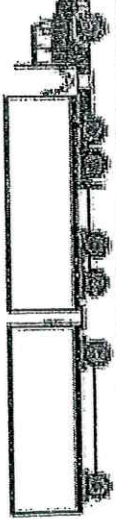
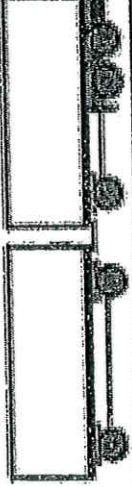
11 - 7 Axle Multi



12 - Above 7 Multi



VEHICLE CLASSIFICATIONS

<p>(1) Motorcycle</p> 	<p>(2) Passenger Car</p> 	<p>(3) Two-Axis, 4-Tire Unit</p> 	<p>(4) Buses</p> 	<p>(5) Three or Four-Axis Trailer</p>   
<p>(6) Two-Axis, 6-Tire Unit</p> 	<p>(7) Three-Axis Single Unit</p> 	<p>(8) Four or More-Axis Unit</p> 	<p>(9) Five-Axis Single Trailer</p>  	<p>(10) Six or More-Axis Single Trailer</p>  
<p>(11) Five or Less-Axis Multi-Trailer</p> 	<p>(12) Six-Axis Multi-Trailer</p> 	<p>(13) Seven or More-Axis Multi-Trailer</p> 	<p>(14) Five or Less-Axis Multi-Trailer</p> 	<p>(15) Six-Axis Multi-Trailer</p> 