

## **MOTIONS**

**1. To Set Public Hearings for the Council Meeting of Thursday, June 11, 2015 for:**

It was moved by Councillor Alto, seconded by Councillor Thornton-Joe that the following Public Hearings be held in Council Chambers, City Hall, on **THURSDAY, JUNE 11, 2015, at 7:00 p.m.:**

1. Official Community Plan Bylaw, 2012, Amendment Bylaw (No. 15) for property known as 251-259 Esquimalt Road Carried Unanimously

## UNFINISHED BUSINESS

### 2. Official Community Plan, Bylaw, Amendment Bylaw (No. 15) for 251-259 Esquimalt Road

Council received a report dated May 14, 2015 from the Sustainable Planning and Community Development regarding the Official Community Plan, Amendment Bylaw (No. 15) for 251-259 Esquimalt Road updating Council on the status of conditions set by Council, and to recommend the application proceed to public hearing. The application is for the commercial-heritage phase of the Roundhouse Development.

#### Motion:

It was moved by Councillor Coleman, seconded by Councillor Thornton-Joe, that Council receive this report for information and that these Applications proceed to a Public Hearing in accordance with the motion below which has been updated to remove pre-conditions that have been satisfied:

1. a. That Council consider giving first reading to the Official Community Plan Amendment Bylaw;  
b. That Council consider the Official Community Plan Amendment Bylaw in conjunction with the *City of Victoria 2012-2016 Financial Plan* and the *Capital Regional District Liquid Waste Management Plan* and *Capital Regional District Solid Waste Management Plan* pursuant to Section 882(3)(a) of the *Local Government Act* and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw;  
c. That Council consider consultation under Section 879(2) of the *Local Government Act* and determine that no referrals are necessary with the Capital Regional District Board, Councils of Oak Bay, Esquimalt and Saanich, the Songhees and Esquimalt First Nations, the School District Board, and the provincial and federal governments and their agencies due to the nature of the proposed amendments;  
d. That Council give second reading to the Official Community Plan Amendment Bylaw;  
e. That Council refer the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw and after giving notice and allowing opportunity for public comment, Council consider the following motion:  
"That Council authorize the issuance of Development Permit with Variance Application No. 000356 for 251-259 Esquimalt Road, in accordance with:  
a. Plans for Development Permit Application No. 000356, stamped December 22, 2014;  
b. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
  - Section 12.12.8.4 -relaxation for the distance from a railway easement from 10.00m to 1.00m;  
c. Final plans to be generally in accordance with plans identified above to the satisfaction of staff."
3. a. That Council consider giving first and second reading to the Heritage Revitalization Agreement Bylaw;  
b. That Council consider referring the Heritage Revitalization Agreement Bylaw for Consideration at a Public Hearing.
4. Following consideration of the Heritage Revitalization Agreement Bylaw and after giving notice and allowing opportunity for public comment, Council consider the following motion:  
"That Council authorize the issuance of Heritage Alteration Permit Application No. 00180 for 251-259 Esquimalt Road, in accordance with:  
a. Heritage Revitalization Agreement Bylaw No. 15-011;  
b. Development meeting all *Zoning Regulation Bylaw* requirements;  
c. Final plans to be generally in accordance with the Heritage Revitalization Agreement to the satisfaction of staff."

Carried Unanimously



## Council Report

For the Meeting of May 28, 2015

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**To:** Council **Date:** May 14, 2015  
**From:** Jim Handy, Senior Planner – Development Agreements  
**Subject:** Official Community Plan Amendment, Development Permit with Variance Application No. 000356 and Heritage Alteration Permit Application No. 00180 for 251 - 259 Esquimalt Road - Update

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### RECOMMENDATION

Staff recommend that Council receive this report for information and that these Applications proceed to a Public Hearing in accordance with the motion below which has been updated to remove pre-conditions that have been satisfied:

1. a. That Council consider giving first reading to the Official Community Plan Amendment Bylaw;  
b. That Council consider the Official Community Plan Amendment Bylaw in conjunction with the *City of Victoria 2012-2016 Financial Plan* and the *Capital Regional District Liquid Waste Management Plan* and *Capital Regional District Solid Waste Management Plan* pursuant to Section 882(3)(a) of the *Local Government Act* and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw;  
c. That Council consider consultation under Section 879(2) of the *Local Government Act* and determine that no referrals are necessary with the Capital Regional District Board, Councils of Oak Bay, Esquimalt and Saanich, the Songhees and Esquimalt First Nations, the School District Board, and the provincial and federal governments and their agencies due to the nature of the proposed amendments;  
d. That Council give second reading to the Official Community Plan Amendment Bylaw;  
e. That Council refer the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw and after giving notice and allowing opportunity for public comment, Council consider the following motion:  
"That Council authorize the issuance of Development Permit with Variance Application No. 000356 for 251–259 Esquimalt Road, in accordance with:
  - a. Plans for Development Permit Application No. 000356, stamped December 22, 2014;
  - b. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
    - Section 12.12.8.4 - relaxation for the distance from a railway easement from

- 10.00 m to 1.00 m;
- c. Final plans to be generally in accordance with plans identified above to the satisfaction of staff."
3. a. That Council consider giving first and second reading to the Heritage Revitalization Agreement Bylaw;
- b. That Council consider referring the Heritage Revitalization Agreement Bylaw for Consideration at a Public Hearing.
4. Following consideration of the Heritage Revitalization Agreement Bylaw and after giving notice and allowing opportunity for public comment, Council consider the following motion:
- "That Council authorize the issuance of Heritage Alteration Permit Application No. 00180 for 251–259 Esquimalt Road, in accordance with:
- a. Heritage Revitalization Agreement Bylaw No. 15-011;
- b. Development meeting all *Zoning Regulation Bylaw* requirements;
- c. Final plans to be generally in accordance with the Heritage Revitalization Agreement to the satisfaction of staff."

## EXECUTIVE SUMMARY

The purpose of this report is to inform Council that, in accordance with Council's motion of October 23, 2014 (attached), the necessary Official Community Plan Amendment Bylaw that would authorize Development Permit with Variance Application No. 00356 and Heritage Alteration Permit Application No. 00180 for the property located at 251-259 Esquimalt Road has been prepared. The Planning and Land Use Committee report dated October 2, 2014, along with the meeting minutes are attached. With regard to the pre-conditions that Council set in relation to these Applications, staff have provided an update below.

### General Conditions

- The applicant has revised the *Roundhouse Design Guidelines* to reflect where the proposal differs from mandatory guidelines. Since the Guidelines are specifically referenced in the *Official Community Plan, 2012* (OCP), this is the reason for the Official Community Plan Amendment Application. A copy of the revised Design Guidelines are attached to this report.
- As required by the Council motion dated October 23, 2014, revised plans have been submitted that:
  - include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza
  - provide further details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings
  - provide further details of the proposed railway crossings including details of finishing materials.
- The *Roundhouse Master Development Agreement* (MDA) has been amended to reflect the location of the proposed rail crossings and requires that the Developer provide the City with a copy of the Rail Crossing Agreement and any other necessary documentation between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the submission of any Building Permit relating to the Commercial Heritage Phase.
- A Section 219 Covenant and Easement have been registered on title to link the proposed temporary surface parking area on the adjacent lot to the use of the Commercial Heritage Phase.



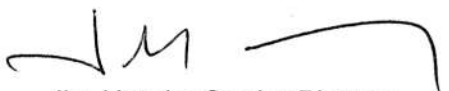
- A Section 219 Covenant has been registered on title to ensure the final design of Lime Bay Mews is consistent with the *Roundhouse Design Guidelines*. The initial design of this corridor, featuring a two-lane road, is only an interim solution to provide access to temporary surface parking lots serving the Commercial Heritage Phase. As required by the Design Guidelines, the final Lime Bay Mews design must be focused on pedestrians and cyclists with only one-way traffic permitted along the corridor from Kimta Road to Catherine Street.
- A Statutory Right-of-Way for public access over the Roundhouse Mews shared-use corridor has been registered on title.
- Development Permit with Variance Application No. 000356 and Heritage Alteration Permit Application No. 00180 were referred to a Joint Advisory Design Panel and Heritage Advisory Panel meeting on December 3, 2014. A copy of the Joint Panel minutes and the applicants' detailed response to the Joint Panel recommendations (dated December 22, 2014) are attached to this report.
- A Heritage Revitalization Agreement has been prepared and can be registered on title subject to Council approval of the associated Heritage Revitalization Agreement Bylaw. A Heritage Conservation Plan is attached to the Heritage Revitalization Agreement.

### Community Input on OCP Amendment

On February 26, 2015, Council directed staff to consult with the property owners and occupants within 200m of the properties at 251-259 Esquimalt Road through a mail-out and a public notice on the City's website. Fourteen responses were received from neighbours as a result of this consultation and are attached to this report.

This report includes a revised staff recommendation for Council's consideration that is reflective of the fact that the Public Hearing conditions have been addressed and the Applications are ready to advance to a Public Hearing.

Respectfully submitted,



Jim Handy, Senior Planner  
Development Agreements  
Development Services Division

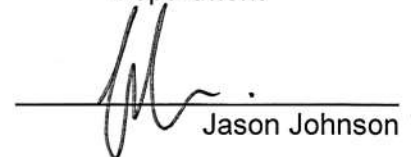


Alison Meyer, Assistant Director  
Development Services Division  
Sustainable Planning and  
Community Development  
Department



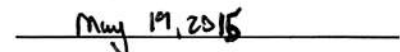
Andrea Hudson  
Acting Director  
Sustainable Planning  
and Community  
Development  
Department

Report accepted and recommended by the City Manager:



Jason Johnson

Date:



May 19, 2015

JH:aw

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## List of Attachments

- PLUC Report, October 2, 2014
- PLUC Minutes, October 16, 2014
- Council Minutes, October 23, 2014
- Letters from applicant dated December 22, 2014
- Revised plans dated December 22, 2014
- Revised Roundhouse Design Guidelines
- Joint Advisory Design Panel and Heritage Advisory Panel Minutes
- Correspondence received in response to the proposed OCP Amendment.



## Planning and Land Use Committee Report

For the meeting of October 16, 2014

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**To:** Planning and Land Use Committee      **Date:** October 2, 2014  
**From:** Jim Handy, Senior Planner – Development Agreements  
**Subject:** **Official Community Plan Amendment, Development Permit with Variance Application #000356 and Heritage Alteration Permit Application #00180 for 251 - 259 Esquimalt Road** - Proposed rehabilitation of five Heritage-Designated buildings and rail turntable, construction of three new single-storey buildings, public plaza, temporary and permanent surface parking lots, cultural interpretation features and siting of boxcars for retail use.

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### Executive Summary

The purpose of this report is to present Council with information, analysis and recommendations regarding an Official Community Plan (OCP) Amendment, Development Permit with Variance Application and Heritage Alteration Permit Application at 251-259 Esquimalt Road, also known as the Roundhouse Commercial Heritage Phase.

These Applications propose a number of components including:

- the rehabilitation of the Heritage-Designated Roundhouse, Back Shop, Boiler House, Car Shop, Stores Building and the Turntable
- the construction of three new single-storey retail buildings
- the siting of seven reconditioned boxcars for retail and interpretive purposes
- a public plaza with the focal point being the rehabilitated Heritage-Designated Turntable
- a comprehensive program of cultural interpretive features.

The following points were considered when reviewing these Applications:

- the proposal is generally consistent with the applicable City Design Guidelines, however, it fails to address a number of mandatory design requirements outlined in the *Roundhouse Design Guidelines*. An amendment to the OCP is required to amend these Guidelines.
- the proposal is generally consistent with the goals, broad objectives and policies outlined in the OCP, in particular, the *Standards and Guidelines for the Conservation of Historic Places in Canada*.
- the Development Permit Application proposes a variance to the *Zoning Regulation Bylaw* to allow a new building to be constructed within 1 m of an existing rail easement. The location and design of the proposed building is generally supported in the *Roundhouse Design Guidelines* and, therefore, staff recommend that Council support the proposed variance.
- the Development Permit Application proposes a crossing over the existing rail easement that is not currently contemplated in the *Roundhouse Master Development Agreement (MDA)*. In the event that Council support the provision of this new rail crossing, then an amendment to the MDA is required.

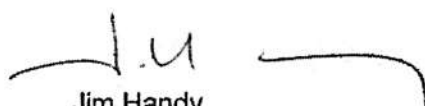
Staff recommend that Council approve an amendment to the OCP to allow revisions to the *Roundhouse Design Guidelines* and advance an OCP Amendment Bylaw to a Public Hearing, subject to referral of the Development Permit with Variance Application and Heritage Alteration Permit Application to the Joint Advisory Design Panel and Heritage Advisory Panel, registration of a Section 219 Agreement to secure the future design of Lime Bay Mews and an amendment to the Roundhouse MDA to allow for an additional rail crossing. Furthermore, staff recommend that Council require revisions to the plans submitted with both the Development Permit with Variance Application and the Heritage Alteration Permit Application providing additional information in relation to the proposal.

### Recommendations

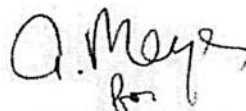
1. That Council direct City staff to prepare the necessary Official Community Plan Amendment Bylaw and that Council:
  - a. consider giving first reading to the Official Community Plan Amendment Bylaw;
  - b. consider the Official Community Plan, Amendment Bylaw in conjunction with the *City of Victoria 2012-2016 Financial Plan* and the *Capital Regional District Liquid Waste Management Plan* and *Capital Regional District Solid Waste Management Plan* pursuant to section 882(3)(a) of the *Local Government Act* and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw;
  - c. consider consultation under section 879(2) of the *Local Government Act* and determine that no referrals are necessary with the Capital Regional District Board; Councils of Oak Bay, Esquimalt and Saanich; the Songhees and Esquimalt First Nations; the School District Board; and the provincial and federal governments and their agencies due to the nature of the proposed amendments;
  - d. consider giving second reading to the Official Community Plan Amendment Bylaw;
  - e. consider referring the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw that Development Permit with Variance Application #000356 for 251–259 Esquimalt Road proceed to a Hearing, subject to:
  - a) development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
    - Section 12.12.8.4 - relaxation for the distance from a railway easement from 10.00 m to 1.00 m;
  - b) referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
  - c) the submission of revised plans that:
    - (i) include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza, to the satisfaction of the Director of Sustainable Planning and Community Development and the Director of Engineering and Public Works,
    - (ii) provide details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings, to the satisfaction of the Director of Sustainable Planning and Community Development,
    - (iii) provide details of the proposed railway crossings including details of any finishing materials, to the satisfaction of the Director of Sustainable Planning and Community Development;

- d) an amendment to the *Roundhouse Master Development Agreement* to reflect the location of the proposed rail crossings and requiring that the Developer provide the City with a copy of the Rail Crossing Agreement and any other necessary documentation between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the submission of any Building Permit relating to the Commercial Heritage Phase, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - e) a Section 219 Covenant to link the proposed temporary surface parking areas to the use of the Commercial Heritage Phase and to ensure the final design of Lime Bay Mews is consistent with the *Roundhouse Design Guidelines* being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - f) a Statutory Right-of-Way for the Roundhouse Mews being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - g) final plans to be in accordance with the plans identified above to the satisfaction of the Director of Sustainable Planning and Community Development.
3. That concurrent with Development Permit with Variance Application #000356, Council consider authorizing the issuance of Heritage Alteration Permit Application #00180 in accordance with the revised Heritage Conservation Plan dated July 2014 and plans date-stamped September 15, 2014, for Heritage Alteration Permit Application #00180, subject to:
- a) referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
  - b) a Heritage Revitalization Agreement being registered on title to secure the exterior conservation of the Heritage-Designated buildings and structures, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - c) the submission of revised plans and Heritage Conservation Plan to ensure consistency between documents and providing details of, but not limited to, the rehabilitation of the Roundhouse large double doors, existing and proposed parapets, seismic restraining for the historic chimneys, details of any proposed signage, new interior construction to be located within 2 m of an opening and condition assessments for all historic fabric that is proposed to be replaced, to the satisfaction of the Director of Sustainable Planning and Community Development.

Respectfully submitted,



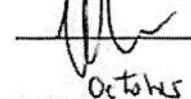
Jim Handy  
Senior Planner – Development Agreements  
Development Services



Deb Day, Director  
Sustainable Planning and Community  
Development Department

Report accepted and recommended by the City Manager:

Date:



Jason Johnson  
October 9, 2014

JH:aw

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## **1.0 Purpose**

The purpose of this report is to present Council with information, analysis and recommendations regarding an Official Community Plan (OCP) Amendment, Development Permit with Variance Application and a Heritage Alteration Permit Application at 251-259 Esquimalt Road, also known as the Roundhouse Commercial Heritage Phase.

## **2.0 Background**

### **2.1 Description of Proposal**

The Development Permit Application and Heritage Alteration Permit Application propose a number of components which are discussed in detail in the following sections of this report.

#### **2.1.1 Heritage-Designated Buildings and Structures**

There are a number of Heritage-Designated buildings and structures located on the subject site. This includes the E&N Railway Roundhouse, Back Shop, Boiler House, Car Shop, Stores Building and the Turntable. Together, in conjunction with the rail yard, these structures comprise the Esquimalt and Nanaimo Railway Roundhouse National Historic Site.

These Applications propose the rehabilitation of all of these buildings and structures which are proposed to be used for commercial, retail, office, restaurant, brewery, brew pub and other uses permitted in the existing CD-12 Zone, Roundhouse District.

#### **2.1.2 New Buildings**

These Applications propose the construction of three new single-storey retail buildings. Two of the buildings would be situated on the southern edge of the site, 1 m from the existing railway easement and framing a proposed public plaza. These two buildings would each include a monopitch roof design, a significant area of glazing with corrugated metal siding and roofing material.

One of these new buildings (west of the proposed Lime Bay Mews) is located in Development Area 1 (DA-1) of the CD-12 Zone, Roundhouse District, while the proposed new building immediately to the east is located in Development Area 2 (DA-2). The existing zoning requires that buildings located in DA-1 are set back a minimum of 1 m from the rail easement, however, in DA-2 that setback requirement increases to a minimum of 10 m. Therefore, a setback variance is required for the proposed new building adjacent to the rail easement in DA-2.

The new third building would be situated immediately adjacent to the existing Heritage-Designated Roundhouse and Back Shop buildings and separated from these buildings by way of a new glass atrium structure.

The applicant proposes to introduce a total of seven reconditioned boxcars throughout the site. The boxcars would be used for retail and interpretive purposes.

#### **2.1.3 Public Plaza**

The rehabilitated Turntable would be the focal point of a public plaza space framed by the existing and proposed buildings. The north side of the Turntable would be designed to accommodate seating, a stage area for performances and for public access to and across the historic structure. The south side of the Turntable would remain open to reveal historic steam-



powered mechanical works of the Turntable. A map of the original E&N railway route on Vancouver Island is proposed on the base of the Turntable as an interpretive feature, along with interpretive panels. The Turntable would be rehabilitated to be operational but would be maintained in a fixed position to align with the rail line.

The Railway Yard is a key character-defining element of the site and the surrounding plaza area has been designed to reflect this "working yard" character. The surface treatment of the plaza includes unit pavers inlaid with rail tracks and rail artifacts displayed in an interpretive installation. Rail artifacts include the reconstruction of a Water Tower and Sand Tower which were both original features of the site. Rail-themed canopies, bollards, lamp standards, benches, tables and outdoor seating areas would be provided with steel and timber being the principal finishing materials.

#### **2.1.4 Public Amenities**

The *Roundhouse Master Development Agreement* (MDA) requires the Developer to provide a number of amenities as part of the Commercial Heritage Phase. These amenities include the rehabilitation of Heritage-Designated buildings and the Turntable Plaza. Other required amenities that the Developer is providing at this stage are as follows:

- **Naturalized Landscape Knoll**

In accordance with the MDA, the proposal indicates that the rock outcropping in the northwest corner of the site will be preserved as a naturalized landscape feature supplemented with native species.

- **Roundhouse Mews**

The Roundhouse Mews is a shared-use corridor accommodating vehicular traffic, pedestrians, cyclists and rolling traffic, emergency and service vehicles. The proponent indicates that the Roundhouse Mews will be provided through the site between Esquimalt Road and Sitkum Road, skirting the southern edge of the Turntable Plaza.

- **Temporary Pathway**

A 4 m wide pathway linking Sitkum Road and Catherine Street will be provided on a temporary basis until a multi-purpose pathway, forming part of the E&N Rail Trail, is constructed. The MDA requires that the multi-purpose pathway be developed in stages in conjunction with future phases of development.

The MDA also envisages that, in conjunction with a later phase of development, a shared-use corridor would be provided from the waterfront at Lime Bay directly to the proposed Turntable Plaza. The applicant proposes that this corridor, referred to as Lime Bay Mews, be partially constructed as part of the Commercial Heritage Phase. The initial design of this corridor, featuring a two-lane road, is only an interim solution to provide access to temporary surface parking lots serving the Commercial Heritage Phase. As required by the *Roundhouse Design Guidelines*, the final Lime Bay Mews design should be focused on pedestrians and cyclists with only one-way traffic permitted along the corridor from Kimta Road to Catherine Street. Staff recommend that, prior to advancing to a Hearing, Council require that the developer enter into a Section 219 Covenant with the City to ensure that the final design of Lime Bay Mews is

consistent with the *Roundhouse Design Guidelines*.

### **2.1.5 Surface Parking**

These Applications propose a limited amount of surface parking within the Commercial Heritage Phase of the development, utilizing unit paving as a finishing material. However, significant areas of temporary surface car parking are also proposed on the adjacent Development Areas. These temporary parking areas, which would be finished with asphalt, would serve the Commercial Heritage Phase of the development until an underground parkade is constructed as part of Phase 2, as envisaged in the *Roundhouse Design Guidelines*.

The CD-12 Zone, Roundhouse District, allows parking to be located on any lot within the Zone regardless of the Development Area of the lot where the parking is actually required, provided that a covenant is registered on the title of the property linking the parking to the use.

### **2.1.6 Cultural Interpretive Features**

The applicant is proposing a comprehensive interpretive program which includes:

- site banners
- interpretive signage
- interior theming in historic buildings
- recreated and reconstructed historic structures
- artifact displays
- installation of concrete railway map
- rehabilitated Turntable to occasionally display rolling stock.

A comprehensive Interpretive Program Report has been provided by the applicant and is attached to this report.

### **2.1.7 Sustainability Features**

The development is a registered Leadership in Energy and Environmental Design (LEED) Neighbourhood Development (ND) project. The applicant has confirmed that the proposed development is adhering to the LEED ND guidelines and that the two new buildings, situated adjacent to the rail easement, are designed to LEED Silver standard.

### **2.1.8 Transportation Demand Management Strategies**

Under the terms of the Roundhouse MDA, the Developer covenants and agrees to provide a number of Transportation Demand Management (TDM) strategies. The applicant has identified that the following TDM measures will be provided with the Commercial Heritage Phase of the development:

- Commercial units will have access to a transit ProPass for a minimum of three years. This will be fully subsidized by the Developer.
- The Developer will ensure that transit facilities, such as bus lay-bys and improved bus stop amenities, will be provided at the developer's cost where the transit facilities border the site.
- Class 1 and Class 2 bicycle facilities are provided and exceed the City of Victoria requirements.

- The development team will appoint a staff member to act as TDM Coordinator for a minimum period of one year following occupancy of each building on site.

## 2.2 Existing Site Development and Development Potential

The current zoning allows for a diverse range of uses at this location, including but not limited to: limited light industrial including processing, manufacturing and assembly, offices, restaurants, retail, breweries and brew pubs, pubs and lounges, tourist facilities, railway operations, artist studios and theatres. There are a number of Heritage-Designated buildings and structures located on the subject site. This includes the E&N Railway Roundhouse, Back Shop, Boiler House, Car Shop, Stores Building and the Turntable. Together, in conjunction with the Rail Yard, these structures comprise the Esquimalt and Nanaimo Railway Roundhouse National Historic Site.

## 2.3 Data Table

The proposed development is located in DA-1 and partially within DA-2 of the CD-12 Zone, Roundhouse District. The following data tables compare the proposal with the regulations specifically outlined in the CD-12 Zone and then with those regulations applicable to DA-1 and DA-2. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria (Overall Site)	Proposal	Zone Standard
Site area (m <sup>2</sup> ) – minimum	42,455	n/a
Density (Floor Space Ratio) – maximum	0.11:1	2:1
Total floor area (m <sup>2</sup> ) – maximum	4691.56	84,910
Total floor area for non-residential uses (m <sup>2</sup> ) – maximum	4376.56	9180
Setback from any street or park (m) – minimum	3	2
Parking – minimum	199	144
Bicycle storage – minimum	22	13
Bicycle rack – minimum	50	13

Zoning Criteria (DA-1 & DA-2)	Proposal (DA-1)	Zone Standard (DA-1)	Proposal (DA-2)	Zone Standard (DA-2)
Height (m) – maximum	8.49	19	5.48	76
Setbacks (m) – minimum				
Rail easement setback	1	1	1*	10

## 2.4 Land Use Context

The Roundhouse site consists of several parcels situated between Esquimalt Road to the north, Sitkum Road to the east, Kimta Road to the south and Catherine Street to the west. The E&N Railway Right-of-Way bisects the site from the northwest to the southeast.

The Application site is located within the CD-12 Zone, Roundhouse District. This Zone identifies sub-areas, referred to as Development Areas, and it is envisaged that the development will be constructed in phases generally consistent with those identified sub-areas. In this instance, the proposal specifically relates to DA-1, also referred to as the Commercial Heritage Phase, and part of DA-2 situated in the northeast corner of the Roundhouse site. Victoria West Park and the existing multi-family dwellings are situated to the north of the Application site, to the east is Vista Park and multi-family dwellings at Bayview Place and future development phases of the Roundhouse project are located directly to the south and west.

## 2.5 Legal Description

- Lot 1, Part of the Bed of Victoria Harbour, Victoria District, Plan VIP79333
- Lot 1, District Lot 119, Esquimalt District, Plan 3237 Except Part in Plans 5424, 1461R and 43176
- Lot 1, District Lot 119, Esquimalt District Plan VIP74716
- Lot 2, of the unnumbered part of Esquimalt District, Plan VIP81036
- Lot 52, Section 31, Esquimalt District, Plan 549
- Lot 52A, Section 31, Esquimalt District, Plan 549
- Lot 53, Section 31, Esquimalt District, Plan 549
- Lot 54, Section 31, Esquimalt District, Plan 549
- Lot 55, Section 31, Esquimalt District, Plan 549
- Lot 56, Section 31, Esquimalt District, Plan 549
- Lot 56A, Section 31, Esquimalt District, Plan 549
- Lot 57, Section 31, Esquimalt District, Plan 549
- Lot 58, Section 31, Esquimalt District, Plan 549
- Lot 59, Section 31, Esquimalt District, Plan 549
- All that part of Section 31, Esquimalt District, described as commencing on the east boundary of said Section, at the high water mark of the public harbour of Victoria, 125 feet more or less, in a southerly direction from the south east corner of Lot 52-A, Plan 549, thence northerly along the east boundary of Section 31 to the said south east corner of Lot 52A, thence westerly along the southerly boundaries of said Lot 52A and Lot 52, Plan 549, 86 feet more or less, to high water mark, thence in a south easterly direction following said high water mark to the point of commencement.

## 2.6 Relevant Design Guidelines

The following Design Guidelines are to be considered and applied for Development Permits relating to the Roundhouse site:

- *Roundhouse Design Guidelines (2008)*
- *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*
- *Crime Prevention Through Environmental Design Guidelines (2004).*



The following sections of the report outline where the proposal is consistent with the aforementioned Design Guidelines.

### **2.6.1 Roundhouse Design Guidelines**

The *Roundhouse Design Guidelines* are comprehensive and detailed in order to sustain and reinforce the historic and geographic significance of the site. The proposal has been reviewed against these Guidelines and is considered consistent with them in the following ways:

- These Applications propose the preservation and adaptive reuse of the historic Roundhouse buildings and structures.
- The proposed new buildings are limited to a single storey and are located in a manner that respects the historic precinct and animates the proposed Turntable Plaza.
- the proposed new buildings are contemporary in nature in contrast to the heritage buildings on the site. They are finished with glass and metal panel siding and the overall appearance of these buildings is light and transparent in contrast to the heavy historic structures.
- The new building proposed immediately to the south of the Car Shop has been designed with a glass atrium to permit views of the heritage façade.
- The new buildings would not adversely impact the Turntable Plaza by way of overshadowing.
- The Heritage-Designated Turntable is being rehabilitated and will be the focal point of a public plaza.
- Significant structures, such as the water tower and sand tower, will be rebuilt.
- A key pedestrian corridor, referred to as Lime Bay Mews, will provide a connection from the waterfront directly to the proposed Turntable Plaza. The Mews will also allow for a view corridor from the waterfront into the Plaza.
- A pedestrian crossing over the E&N tracks will occur at the alignment of Lime Bay Mews.
- A shared-use corridor, referred to as Roundhouse Mews, will be provided through the Historic Railway Precinct, along the north side of the rail corridor and additional access to the site will be provided from Esquimalt Road and Sitkum Road.
- The Knoll in the northwest corner of the site will be preserved and enhanced as a natural feature and visual amenity.
- The proposal fosters sustainable landscape design by protecting indigenous trees during site construction and by virtue of new native and drought-tolerant plant material to minimize water usage and maintenance needs.

The *Roundhouse Design Guidelines* use the terms "must, will and shall" to describe mandatory Guidelines that must be met. In this instance, there are several mandatory Guidelines that have not been addressed and, in each case, staff recommend that Council support the proposed alternative design solution. These are identified and discussed in detail in Section 4.1 of this report.

### **2.6.2 Standards and Guidelines for the Conservation of Historic Places in Canada**

The *Standards and Guidelines for the Conservation of Historic Places in Canada* (the "Standards and Guidelines") outline sound, practical advice aimed at achieving good conservation practice. The Standards and Guidelines recognize three treatments, including

preservation, restoration and rehabilitation. The primary treatment associated with the scope of proposed work associated with the Heritage Alteration Permit Application is rehabilitation. Rehabilitation includes actions or processes of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

A detailed assessment of impacts on Heritage-Designated buildings and structures is provided in Section 4.2 of this report and it is considered that the proposed work is generally consistent with the aforementioned Standards and Guidelines.

### **2.6.3 Crime Prevention Through Environmental Design Guidelines**

The applicant states that they are implementing the following Crime Prevention Through Environmental Design (CPTED) measures:

- natural surveillance
- glazing and sightlines between interior and exterior
- central public space
- central access corridor
- temporary surface parking areas.

## **2.7 Consistency with other City Policy**

### **2.7.1 Official Community Plan**

As outlined in the OCP, a key strategic direction for the Victoria West neighbourhood is to complete the revitalization of the Roundhouse site. The development of the Commercial Heritage portion of the Roundhouse development responds directly to this key direction.

Although, as outlined in Section 2.6.1 of this report, the proposal is generally consistent with the applicable City Design Guidelines, it fails to address a number of mandatory design requirements outlined in the *Roundhouse Design Guidelines*. An amendment to the OCP is required to amend these Guidelines.

Should Council support the OCP amendment, Council is required to consider consultation with the Capital Regional District Board; Councils of Oak Bay, Esquimalt and Saanich; the Songhees and Esquimalt First Nations; the School District Board and the provincial government and its agencies. However, further consultation is not recommended as necessary for this amendment to change the Urban Place Designation as this matter can be considered under policies in the OCP Bylaw.

Council is also required to consider OCP Amendments in relation to the City's *Financial Plan* and the *Capital Regional District Liquid Waste Management Plan* and the *Capital District Solid Waste Management Plan*. This proposal will have no impact on any of these plans.

## **2.8 Community Consultation**

In compliance with the Community Association Land Use Committee Procedures (CALUC) for Processing an OCP amendment, the applicant consulted with the Victoria West Neighbourhood Association on February 18, 2014. Notification of the CALUC meeting was circulated to neighbours living within 200 m of the subject site. In addition, as the Development Permit



Application proposes a variance, the Application was referred to the Victoria West Neighbourhood Association on June 16, 2014, for a 30-day comment period. No comments were received at the time of writing this report.

### **3.0 Issues**

The key issues related to this application are:

- OCP amendment and revisions to the *Roundhouse Design Guidelines*
- impact on Heritage-Designated buildings and structures
- interim proposal for Lime Bay Mews
- MDA amendment
- proposed variance
- recommended plan revisions.

### **4.0 Analysis**

#### **4.1 OCP Amendment and Revisions to the Roundhouse Design Guidelines**

As outlined earlier in this report, the *Roundhouse Design Guidelines* use the terms "must, will and shall" to describe mandatory Guidelines that must be met. In this instance, there are several such Guidelines that have not been addressed and these are discussed in turn below. Should Council approve the proposal, the Design Guidelines must be revised to reflect where the proposal differs from the mandatory Guidelines. Since the *Roundhouse Design Guidelines* are specifically referenced in the OCP, an OCP amendment is also necessary.

For the reasons outlined below, staff recommend that Council consider approving an OCP amendment allowing revisions to the *Roundhouse Design Guidelines* to accommodate the proposed project design.

##### **4.1.1 Use of Brick in all New Buildings**

The *Roundhouse Design Guidelines* require that elements of brick be used in all buildings to match the material used in the historic Roundhouse structures and the new buildings at the adjacent Bayview development. However, they also state that:

*New buildings on the site should be designed with a contemporary appearance. It is anticipated that they will be built from structural steel or heavy timber with exterior walls made of glass and metal panel siding where solid areas are required. The overall appearance of these buildings should be very light and transparent as a contrast to the heavy historic structures.*

The design of the proposed new buildings is consistent with the above Guideline, however, as the proposed design does not include a brick element, a revision to the Guidelines is required.

##### **4.1.2 Location of Site Servicing Facilities**

These Applications propose that site servicing will be provided between the Heritage-Designated buildings and Esquimalt Road; however, the *Roundhouse Design Guidelines* state that servicing, deliveries and garbage/recycling facilities within the historic and mixed-use precincts will be provided within the underground parking structure beneath a future residential-

hotel building in DA-2. However, at this stage, the residential-hotel and underground parkade are not proposed and the Developer is not obligated by City policy, legal agreement or otherwise, to construct the parkade prior to the Commercial Heritage Phase. Furthermore, the applicant has explained that an underground parkade would not be a suitable solution for site servicing as it would not be able to accommodate large trucks and their turning manoeuvres.

The Guidelines also require that a dynamic and animated streetscape be created along the Esquimalt Road frontage behind the Back Shop. To some degree, the location of site servicing in this area is an impediment to a satisfactory design response to this requirement. However, as outlined above, the underground parkade associated with the future residential-hotel development is not part of the current proposal and may not present a workable solution to site servicing requirements. Alternative solutions would result in truck movements through the Turntable Plaza which could create potential conflicts between service vehicles, pedestrians and site features such as landscaping, decorative surface materials and interpretive features. The proposed solution represents the most practical and workable way of servicing the site.

It should also be noted that there is a significant grade change (approximately 4 m) between Esquimalt Road and the Back Shop and, therefore, some public views from Esquimalt Road towards the site will mainly consist of the upper parts of the rehabilitated Heritage-Designated buildings. However, these Applications propose the siting of box cars between the Roundhouse and Car Shop buildings which would provide interesting views from certain public vantage points along Esquimalt Road.

In response to the above issues, the Guidelines must be revised to reflect the proposed site servicing plan.

#### **4.1.3 Extent of Surface Parking**

The *Roundhouse Design Guidelines* state that only a limited amount of surface parking will be provided on-site and any surface parking areas will be surfaced with brick or unit pavers, however, these Applications propose significant areas of temporary surface car parking using asphalt as a finishing material. These parking areas are required to temporarily serve the Commercial Heritage Phase of the development. However, it is envisaged that the second phase of the development would include the construction of an underground parkade which would ultimately serve the commercial development and replace these temporary parking areas. As outlined in the CD-12 Zone, a Section 219 Covenant must be registered on title linking the proposed temporary surface parking areas to the use of the Commercial Heritage Phase.

It should be noted that the areas proposed for temporary surface parking are used for vehicle parking in association with existing businesses operating on site. The proposal includes the addition of landscaping to soften the appearance of these temporary parking areas.

In this instance, the Guidelines must be revised to identify that the provision of surface car parking to support the Commercial Heritage Phase is acceptable on a temporary basis, until the underground parkade associated with DA-2 has been constructed.

#### **4.1.4 Configuration of the Turntable Plaza**

The *Roundhouse Design Guidelines* state that the Turntable Plaza will be shaped by the semi-circular Roundhouse building along its eastern flank and will extend to the car shop in the north, Roundhouse Mews in the west and the E&N line in the south. The siting of proposed new buildings adjacent to the E&N line has resulted in the Roundhouse Mews shifting northwards

and a slight reconfiguration of the Turntable Plaza area. The Guidelines must be revised to accommodate this design revision. However, the resulting plaza space is not substantially reduced and there are benefits derived from the location of the new buildings which will frame the public space and create opportunities for vibrancy and activity along the southern edge of the plaza.

#### **4.1.5 Ongoing Railway Use**

The *Roundhouse Design Guidelines* state that ongoing railway use will occur utilizing elements for the E&N line and access to the Turntable and Roundhouse building. Since the Guidelines were written and adopted, the Island rail service ceased to operate, however, it may operate again in the future. The rail tracks will be maintained across the site and the Turntable will be rehabilitated so that, if required, it can function to accommodate future rail use.

In light of the above, the Guidelines must be revised to reflect that railway use is not currently ongoing, however, the development had been designed to accommodate future rail use.

#### **4.2 Impact on Heritage Designated Buildings and Structures**

In relation to the Heritage-Designated buildings, structure and rail yard, the proposed scope of work involves actions aimed at making possible a compatible contemporary use of the E&N National Historic Site, while protecting its heritage value. Specific interventions, such as those that change character-defining elements of the Roundhouse, could be mitigated to reduce the visual effect of the proposed change. The repairs to the exterior envelope and the seismic strengthening of the unreinforced masonry buildings represent a significant commitment to one of the City's most important cultural assets.

The proposed work is generally consistent with City policy, in particular, the *Standards and Guidelines for the Conservation of Historic Places in Canada*. However, staff recommend that Council require the submission of revised plans and the Heritage Conservation Plan to address minor inconsistencies between the submitted documents and to provide additional details to ensure that the Heritage Conservation Plan satisfactorily identifies all works required in relation to the exterior conservation of the Heritage-Designated buildings and structures.

The key work associated with the rehabilitation and reuse of the Heritage-Designated buildings and structures is identified below.

##### **4.2.1 Roofs**

The proposed work to the roofs of the Heritage-Designated buildings includes the removal of temporary trusses and replacing them with new decking to match the original; removal of temporary gutters and down pipes and the installation of new gutters and down pipes to match the original profiles; repair of parapets; and the rehabilitation of flashings.

##### **4.2.2 Exterior Walls and Structural Systems**

The proposed work to the exterior unreinforced masonry walls of the Heritage-Designated buildings includes performing shear tests on the brick walls, masonry repair, repointing and seismic upgrading. It is proposed that the exterior walls of buildings such as the Car Shop and Back Shop will be altered at certain window openings in order to increase access through exterior walls.

Work associated with the heavy-timber structural systems of the Heritage-Designated buildings includes the proposed replacement of defective material with new reinforced structural members.

#### **4.2.3 Windows, Doors and Storefronts**

The proposed plans indicate that a considerable number of windows will be removed, sanded, repaired, re-glazed where necessary and repainted. A new roller door will be installed behind an existing arched opening at the Back Shop and an existing doorway opening will be widened to match a window opening above it at the Car Shop.

The scope of proposed work to the doors and windows is generally consistent with the *Standards and Guidelines*, particularly where new construction is intended to ensure that the essential form and integrity of the historic place will not be impaired if the new work is removed in the future.

It should be noted that there is a discrepancy between the plans submitted, which indicate that the Roundhouse large double doors will be altered to accommodate new glass elements, and the Heritage Conservation Plan which does not identify this intervention. The applicant has been made aware of this discrepancy and has agreed to submit revised plans and documentation to address this issue. They have also indicated that the final plans will propose the introduction of glass elements in the double doors. While the introduction of these glass elements supports the proposed commercial reuse of the building, staff have recommended that Council refer the proposal to a Joint Advisory Design Panel and Heritage Design Panel and that the Joint Panel give special attention to the exterior rehabilitation of the Heritage-Designated structures.

#### **4.2.4 Turntable and Rail Yard**

These Applications propose the retention of the Turntable and all of its mechanical elements. The circular pit in which the Turntable revolves will also be retained and developed as the focal point of the Rail Yard.

The work associated with the Rail Yard includes the proposed removal of material and railway tracks from the site as part of its decontamination. The final configuration of the space surrounding the major structures that provides the circulation area for the locomotives and the rolling stock will be altered but will be sufficiently reinstated to allow for interpretation.

#### **4.3 Interim Proposal for Lime Bay Mews**

The applicant proposes that the amenity required by the MDA and referred to as Lime Bay Mews be constructed as part of the Commercial Heritage Phase. The applicant has explained that the initial design of this corridor, featuring a two-lane road only, is an interim solution to provide access to temporary surface parking lots serving the Commercial Heritage Phase. As required by the *Roundhouse Design Guidelines*, the final Lime Bay Mews design must be pedestrian and cyclist focused with only one-way traffic permitted along the corridor from Kimta Road to Catherine Street. Staff recommend that Council support the proposed interim design solution for Lime Bay Mews subject to:

- the submission of revised plans demonstrating that the interim solution includes the provision of a public footpath from Kimta Road to the edge of the proposed Turntable Plaza



- the developer registering a Section 219 Covenant on title to ensure the final design of Lime Bay Mews is consistent with the *Roundhouse Design Guidelines*.

The above requirements are reflected in the staff recommendation.

#### **4.4 MDA Amendment**

Under the terms of the Roundhouse MDA, the Developer is required to develop and perpetually maintain rail crossings in the locations generally identified within the agreement. The current proposal identifies two rail crossings, one of which would form part of Lime Bay Mews and is identified in the MDA, the other, which is not contemplated in the Roundhouse MDA, would provide an additional pedestrian link from an area of temporary parking to the south-east corner of the Turntable Plaza. In the event that Council support the provision of this new rail crossing, an amendment to the Roundhouse MDA would be required. Staff also recommend to Council that the MDA be revised so that the Developer is required to provide the City with the Rail Crossing Agreement between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the occupancy of any building in the Commercial Heritage Phase.

#### **4.5 Proposed Variance**

The Development Permit Application proposes the construction of two new buildings adjacent to the existing rail easement that runs east to west along the southern edge of the site. One of these new buildings (located west of the proposed Lime Bay Mews) is located in DA-1 of the CD-12 Zone, Roundhouse District, while the proposed new building immediately to the east is located in DA-2. The existing zoning requires that buildings located in DA-1 are set back a minimum of 1 m from the rail easement, however, in DA-2 the required setback increases to a minimum of 10 m. Therefore, a setback variance is required for the proposed new building adjacent to the rail easement in DA-2.

The purpose of the 10 m setback was to facilitate the provision of the Roundhouse Mews along the northern edge of the rail easement. The Application now proposes an alternative location for the Roundhouse Mews north of the proposed new buildings. The location of the buildings allows them to frame the proposed Turntable which, in principle, is a design concept supported in the *Roundhouse Design Guidelines*. As such, staff recommend that Council support the proposed variance.

#### **4.6 Recommended Plan Revisions**

The following information has been omitted from the Development Permit Application submission:

- details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings
- details of the proposed railway crossings including details of any finishing materials.

The applicant has indicated to staff that this information will be provided prior to setting the Public Hearing.

## 5.0 Resource Impacts

There are no resource impacts anticipated.

## 6.0 Conclusions

The proposal is considered to be generally consistent with City policy, as outlined in the OCP, the applicable *Roundhouse Design Guidelines* and *Standards and Guidelines for the Conservation of Historic Places in Canada*. However, the proposal does not address a number of mandatory design requirements outlined in the *Roundhouse Design Guidelines*; therefore, an amendment to the OCP is required to amend these Guidelines. Staff recommend that Council approve the OCP amendment as, in each instance where the proposal is not consistent with the mandatory Guidelines, staff recommend that Council support the proposed rationale and alternative design solution.

Staff recommend that Council approve an OCP amendment to allow revisions to the *Roundhouse Design Guidelines* and advance an OCP Amendment Bylaw to a Public Hearing subject to: referral of the Development Permit with Variance Application and Heritage Alteration Permit Application to the Joint Advisory Design Panel and Heritage Advisory Panel, registration of a Section 219 Agreement to secure the future design of Lime Bay Mews and an amendment to the Roundhouse MDA to allow for an additional rail crossing.

## 7.0 Recommendations

### 7.1 Staff Recommendations

1. That Council direct City staff to prepare the necessary Official Community Plan Amendment Bylaw and that Council:
  - a. consider giving first reading to the Official Community Plan Amendment Bylaw;
  - b. consider the Official Community Plan, Amendment Bylaw in conjunction with the *City of Victoria 2012-2016 Financial Plan* and the *Capital Regional District Liquid Waste Management Plan* and *Capital Regional District Solid Waste Management Plan* pursuant to section 882(3)(a) of the *Local Government Act* and deem those plans to be consistent with the proposed Official Community Plan Amendment Bylaw;
  - c. consider consultation under section 879(2) of the *Local Government Act* and determine that no referrals are necessary with the Capital Regional District Board; Councils of Oak Bay, Esquimalt and Saanich; the Songhees and Esquimalt First Nations; the School District Board; and the provincial and federal governments and their agencies due to the nature of the proposed amendments;
  - d. consider giving second reading to the Official Community Plan Amendment Bylaw;
  - e. consider referring the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw that Development Permit with Variance Application #000356 for 251 – 259 Esquimalt Road proceed to a Hearing, subject to:



- a) the development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - Section 12.12.8.4 - relaxation for the distance from a railway easement from 10.00 m to 1.00 m;
- b) referral of these Applications to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
- c) the submission of revised plans that:
  - (i) include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza, to the satisfaction of the Director of Sustainable Planning and Community Development and the Director of Engineering and Public Works,
  - (ii) provide details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings,
  - (iii) provide details of the proposed railway crossings including details of any finishing materials;
- d) an amendment to the *Roundhouse Master Development Agreement* to reflect the location of the proposed rail crossings and requiring that the Developer provide the City with a copy of the Rail Crossing Agreement and any other necessary documentation between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the submission of any Building Permit relating to the Commercial Heritage Phase, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- e) a Section 219 Covenant to link the proposed temporary surface parking areas to the use of the Commercial Heritage Phase and to ensure the final design of Lime Bay Mews is consistent with the *Roundhouse Design Guidelines* being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- f) a Statutory Right-of-Way for the Roundhouse Mews being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- g) final plans to be in accordance with the plans identified above to the satisfaction of the Director of Sustainable Planning and Community Development.

3. That concurrent with Development Permit with Variance Application #000356, Council consider authorizing the issuance of Heritage Alteration Permit Application #00180 in accordance with the revised Heritage Conservation Plan dated July 2014 and plans date stamped September 15, 2014, for Heritage Alteration Permit Application #00180, subject to:

- a) referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
- b) a Heritage Revitalization Agreement being registered on title to secure the exterior conservation of the Heritage-Designated buildings and structures, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- c) the submission of revised plans and Heritage Conservation Plan to

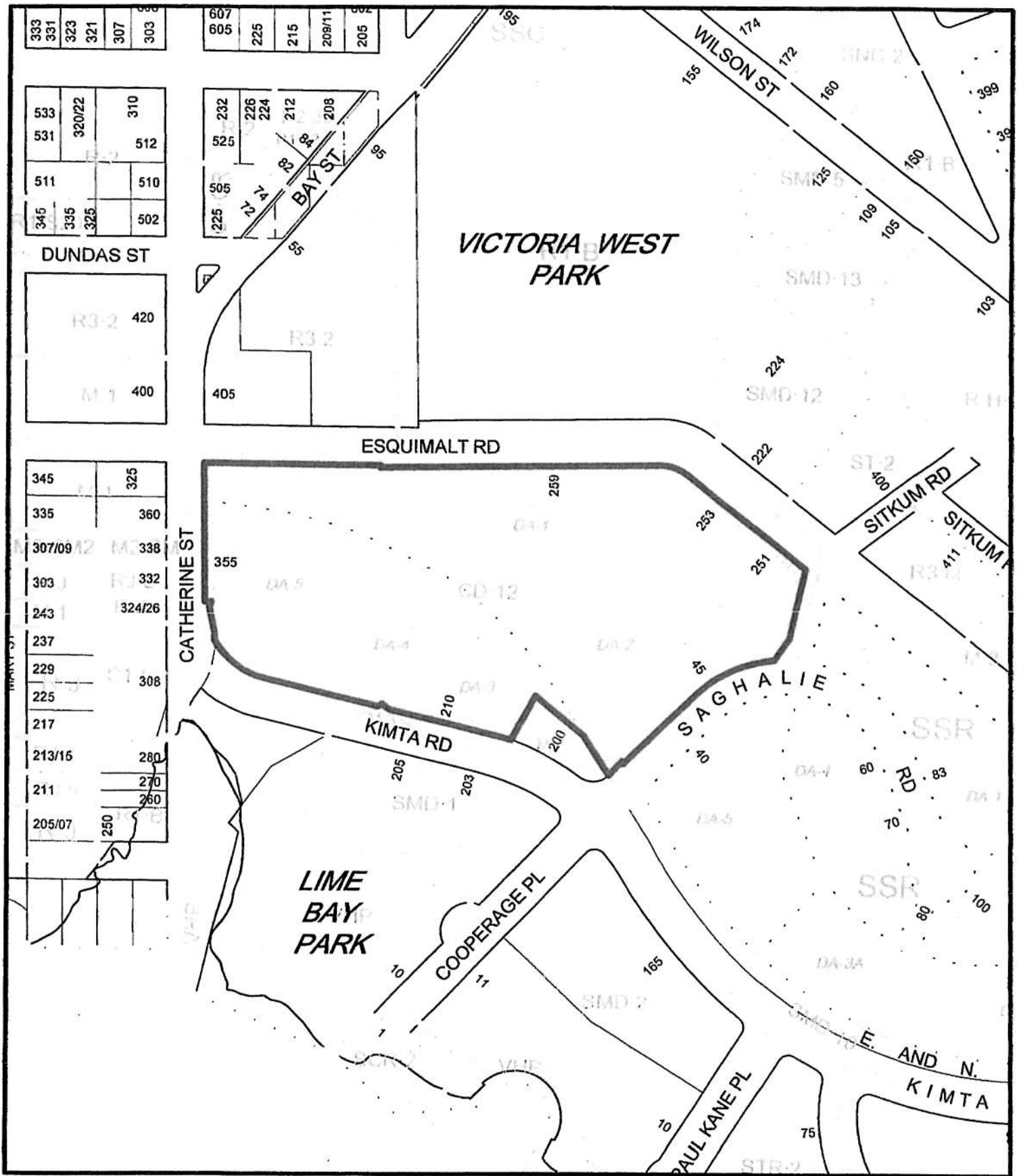
ensure consistency between documents and providing details of, but not limited to, the rehabilitation of the Roundhouse large double doors, existing and proposed parapets, seismic restraining for the historic chimneys, details of any proposed signage, new interior construction to be located within 2 m of an opening and condition assessments for all historic fabric that is proposed to be replaced, to the satisfaction of the Director of Sustainable Planning and Community Development.

## **7.2 Alternate Recommendation (Decline)**

That Council decline the Development Permit Application and Heritage Alteration Permit Application.

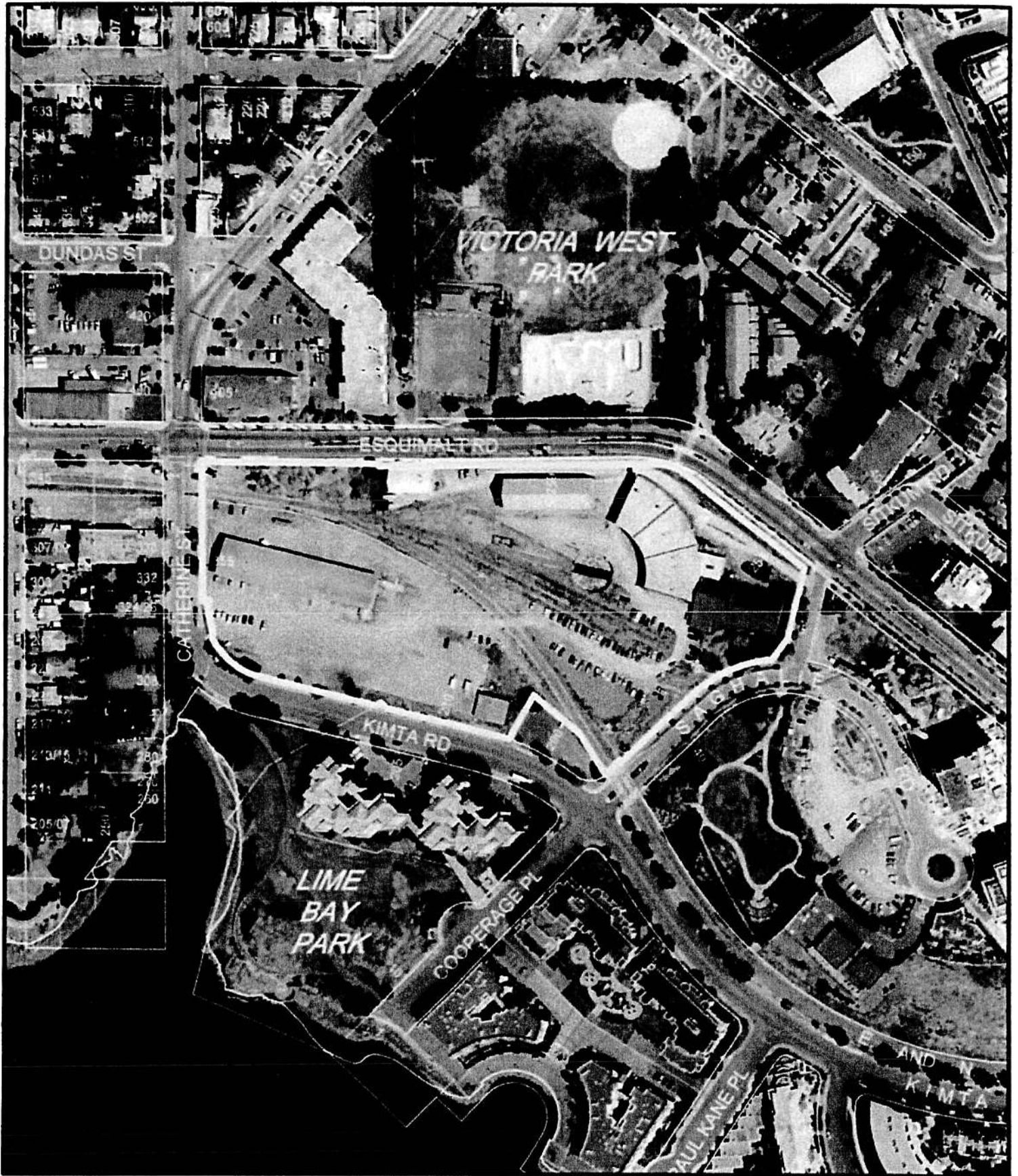
## **8.0 List of Attachments**

- Zoning map
- Aerial map
- Letter from applicant dated May 26, 2014
- Plans date stamped September 15, 2014
- Submission summary document dated October, 2014
- Interpretive Program Report, March 2014
- Heritage Conservation Plan, revised July 2014.



251-259 Esquimalt Road  
Development Permit #000356





251-259 Esquimalt Road  
Development Permit #000356





### 3. DECISION REQUEST

#### 3.1 Official Community Plan Amendment, Development Permit with Variance Application No. 000356 and Heritage Alteration Permit Application No. 00180 for 251-259 Esquimalt Road

Committee received a report dated October 2, 2014 which provided information, analysis and recommendations regarding Official Community Plan (OCP) Amendment, Development Permit with Variance Application and Heritage Alteration Permit Application at 251-259 Esquimalt Road, also known as the Roundhouse Commercial Heritage Phase.

#### **Action:**

It was moved by Councillor Helps, seconded by Councillor Gudgeon, that Committee recommends that Council:

1. Direct City staff to prepare the necessary Official Community Plan Amendment Bylaw and that Council:
  - a. Consider giving first reading to the Official Community Plan Amendment Bylaw;
  - b. Consider the Official Community Plan, Amendment Bylaw in conjunction with the *City of Victoria 2012-2016 Financial Plan* and the *Capital Regional District Liquid Waste Management Plan* and *Capital Regional District Solid Waste Management Plan* pursuant to section 882(3)(a) of the *Local Government Act* and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw;
  - c. Consider consultation under section 879(2) of the *Local Government Act* and determine that no referrals are necessary with the Capital Regional District Board; Councils of Oak Bay, Esquimalt and Saanich; the Songhees and Esquimalt First Nations; the School District Board; and the provincial and federal governments and their agencies due to the nature of the proposed amendments;
  - d. Consider giving second reading to the Official Community Plan Amendment Bylaw;
  - e. Consider referring the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw that Development Permit with Variance Application #000356 for 251-259 Esquimalt Road proceed to a Hearing, subject to:
  - a. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
    - Section 12.12.8.4 - relaxation for the distance from a railway easement from 10.00 m to 1.00 m;
  - b. Referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
  - c. The submission of revised plans that:
    - (i) Include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza, to the satisfaction of the Director of Sustainable Planning and Community Development and the Director of Engineering and Public Works,
    - (ii) Provide details of the proposed glass canopy over the boxcars

- between the Roundhouse and Car Shop buildings, to the satisfaction of the Director of Sustainable Planning and Community Development,
- (iii) Provide details of the proposed railway crossings including details of any finishing materials, to the satisfaction of the Director of Sustainable Planning and Community Development;
- d. An amendment to the *Roundhouse Master Development Agreement* to reflect the location of the proposed rail crossings and requiring that the Developer provide the City with a copy of the Rail Crossing Agreement and any other necessary documentation between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the submission of any Building Permit relating to the Commercial Heritage Phase, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- e. A Section 219 Covenant to link the proposed temporary surface parking areas to the use of the Commercial Heritage Phase and to ensure the final design of Lime Bay Mews is consistent with the *Roundhouse Design Guidelines* being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- f. A Statutory Right-of-Way for the Roundhouse Mews being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- g. Final plans to be in accordance with the plans identified above to the satisfaction of the Director of Sustainable Planning and Community Development.
3. That concurrent with Development Permit with Variance Application #000356, Council consider authorizing the issuance of Heritage Alteration Permit Application #00180 in accordance with the revised Heritage Conservation Plan dated July 2014 and plans date-stamped September 15, 2014, for Heritage Alteration Permit Application #00180, subject to:
- a. Referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
- b. A Heritage Revitalization Agreement being registered on title to secure the exterior conservation of the Heritage-Designated buildings and structures, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
- c. The submission of revised plans and Heritage Conservation Plan to ensure consistency between documents and providing details of, but not limited to, the rehabilitation of the Roundhouse large double doors, existing and proposed parapets, seismic restraining for the historic chimneys, details of any proposed signage, new interior construction to be located within 2 m of an opening and condition assessments for all historic fabric that is proposed to be replaced, to the satisfaction of the Director of Sustainable Planning and Community Development.

Committee discussed:

- Looking forward to input from the Heritage Advisory Panel and the public.
- Information needs to be provided to the public regarding how much retail space is being added to the city.
- The contextual fit of the proposal.



- Potential impacts of future rail operations, and would revisions to the development be made to aid in future revitalization of the rail corridor?
- How the covenant requires the property to be maintained as a rail transportation corridor.
- Concerns that the applicant may be operating under the notion that in future the EN Railway would be removed in this location.
- Concerns about the proposed private pedestrian crossing in the parking lot. Have all the procedures been followed to ensure safety since the crossing intersects at a railway?
- The importance of the Railway Corridor.

**Action:**

It was moved by Councillor Madoff, seconded by Councillor Alto, that the motion be amended:

1. Direct City staff to prepare the necessary Official Community Plan Amendment Bylaw and that Council:
  - a. Consider giving first reading to the Official Community Plan Amendment Bylaw;
  - b. Consider the Official Community Plan, Amendment Bylaw in conjunction with the City of Victoria 2012-2016 Financial Plan and the Capital Regional District Liquid Waste Management Plan and Capital Regional District Solid Waste Management Plan pursuant to section 882(3)(a) of the Local Government Act and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw;
  - c. Consider consultation under section 879(2) of the Local Government Act and determine that no referrals are necessary with the Capital Regional District Board; Councils of Oak Bay, Esquimalt and Saanich; the Songhees and Esquimalt First Nations; the School District Board; and the provincial and federal governments and their agencies due to the nature of the proposed amendments;
  - d. Consider giving second reading to the Official Community Plan Amendment Bylaw;
  - e. Consider referring the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw that Development Permit with Variance Application #000356 for 251-259 Esquimalt Road proceed to a Hearing, subject to:
  - a. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
    - Section 12.12.8.4 - relaxation for the distance from a railway easement from 10.00 m to 1.00 m;
  - b. Referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures, **the roundhouse doors, and the addition of the atrium and adjacent connected building.**
  - c. The submission of revised plans that:
    - (i) Include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza, to the satisfaction of the Director of Sustainable Planning and

Community Development and the Director of Engineering and Public Works,

- (ii) Provide details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings, to the satisfaction of the Director of Sustainable Planning and Community Development,
  - (iii) Provide details of the proposed railway crossings including details of any finishing materials, to the satisfaction of the Director of Sustainable Planning and Community Development;
- d. An amendment to the Roundhouse Master Development Agreement to reflect the location of the proposed rail crossings and requiring that the Developer provide the City with a copy of the Rail Crossing Agreement and any other necessary documentation between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the submission of any Building Permit relating to the Commercial Heritage Phase, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - e. A Section 219 Covenant to link the proposed temporary surface parking areas to the use of the Commercial Heritage Phase and to ensure the final design of Lime Bay Mews is consistent with the Roundhouse Design Guidelines being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - f. A Statutory Right-of-Way for the Roundhouse Mews being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - g. Final plans to be in accordance with the plans identified above to the satisfaction of the Director of Sustainable Planning and Community Development.
3. That concurrent with Development Permit with Variance Application #000356, Council consider authorizing the issuance of Heritage Alteration Permit Application #00180 in accordance with the revised Heritage Conservation Plan dated July 2014 and plans date-stamped September 15, 2014, for Heritage Alteration Permit Application #00180, subject to:
- a. Referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
  - b. A Heritage Revitalization Agreement being registered on title to secure the exterior conservation of the Heritage-Designated buildings and structures, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - c. The submission of revised plans and Heritage Conservation Plan to ensure consistency between documents and providing details of, but not limited to, the rehabilitation of the Roundhouse large double doors, existing and proposed parapets, seismic restraining for the historic chimneys, details of any proposed signage, new interior construction to be located within 2 m of an opening and condition assessments for all historic fabric that is proposed to be replaced, to the satisfaction of the Director of Sustainable Planning and Community Development.

On the amendment  
CARRIED14/PLUC0263

**For:** Mayor Fortin, Councillors Alto, Coleman, Gudgeon, Helps, Madoff,  
Thornton-Joe, Young  
**Against:** Councillor Isitt

Discussion on the main motion:

- Safety concerns with an active railroad.
- Information related to the railway transportation issues should be provided in a detailed manner.
- A response from the Island Corridor Foundation would be welcomed.
- Drawings need to show where the railway lies in relation to the proposal.

On the main motion as amended  
CARRIED UNANIMOUSLY 14/PLUC0264

**For:** Mayor Fortin, Councillors Alto, Coleman, Gudgeon, Helps, Madoff,  
Thornton-Joe, Young  
**Against:** Councillor Isitt

PLUC meeting  
October 16, 2014

## REPORTS OF THE COMMITTEE

### 2. Planning and Land Use Committee – October 16, 2014

#### 5. Official Community Plan Amendment, Development Permit with Variance Application No. 000356 and Heritage Alteration Permit Application No. 00180 for 251-259 Esquimalt Road:

It was moved by Councillor Helps, seconded by Councillor Alto, that Council:

1. Direct City staff to prepare the necessary Official Community Plan Amendment Bylaw and that Council:
  - a. Consider giving first reading to the Official Community Plan Amendment Bylaw;
  - b. Consider the Official Community Plan, Amendment Bylaw in conjunction with the City of Victoria 2012-2016 Financial Plan and the Capital Regional District Liquid Waste Management Plan and Capital Regional District Solid Waste Management Plan pursuant to section 882(3)(a) of the Local Government Act and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw;
  - c. Consider consultation under section 879(2) of the Local Government Act and determine that no referrals are necessary with the Capital Regional District Board; Councils of Oak Bay, Esquimalt and Saanich; the Songhees and Esquimalt First Nations; the School District Board; and the provincial and federal governments and their agencies due to the nature of the proposed amendments;
  - d. Consider giving second reading to the Official Community Plan Amendment Bylaw;
  - e. Consider referring the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.
2. Following consideration of the Official Community Plan Amendment Bylaw that Development Permit with Variance Application #000356 for 251–259 Esquimalt Road proceed to a Hearing, subject to:
  - a. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
    - Section 12.12.8.4 - relaxation for the distance from a railway easement from 10.00 m to 1.00 m;
  - b. Referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures, the roundhouse doors, and the addition of the atrium and adjacent connected building.
  - c. The submission of revised plans that:
    - (i) Include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza, to the satisfaction of the Director of Sustainable Planning and Community Development and the Director of Engineering and Public Works,
    - (ii) Provide details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings, to the satisfaction of the Director of Sustainable Planning and Community Development,
    - (iii) Provide details of the proposed railway crossings including details of any finishing materials, to the satisfaction of the Director of Sustainable Planning and Community Development;
  - d. An amendment to the Roundhouse Master Development Agreement to reflect the location of the proposed rail crossings and requiring that the Developer provide the City with a copy of the Rail Crossing Agreement and any other necessary documentation between the Developer, Island Corridor Foundation, the rail operator and any other necessary Government bodies for the proposed rail crossings prior to the submission of any Building Permit relating to the Commercial Heritage Phase, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;



- e. A Section 219 Covenant to link the proposed temporary surface parking areas to the use of the Commercial Heritage Phase and to ensure the final design of Lime Bay Mews is consistent with the Roundhouse Design Guidelines being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - f. A Statutory Right-of-Way for the Roundhouse Mews being registered on title, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - g. Final plans to be in accordance with the plans identified above to the satisfaction of the Director of Sustainable Planning and Community Development.
3. That concurrent with Development Permit with Variance Application #000356, Council consider authorizing the issuance of Heritage Alteration Permit Application #00180 in accordance with the revised Heritage Conservation Plan dated July 2014 and plans date-stamped September 15, 2014, for Heritage Alteration Permit Application #00180, subject to:
- a. Referral of the Application to a Joint Advisory Design Panel and Heritage Advisory Panel with the Joint Panel giving special attention to the exterior rehabilitation of the Heritage-Designated structures;
  - b. A Heritage Revitalization Agreement being registered on title to secure the exterior conservation of the Heritage-Designated buildings and structures, to the satisfaction of the City Solicitor and the Director of Sustainable Planning and Community Development;
  - c. The submission of revised plans and Heritage Conservation Plan to ensure consistency between documents and providing details of, but not limited to, the rehabilitation of the Roundhouse large double doors, existing and proposed parapets, seismic restraining for the historic chimneys, details of any proposed signage, new interior construction to be located within 2 m of an opening and condition assessments for all historic fabric that is proposed to be replaced, to the satisfaction of the Director of Sustainable Planning and Community Development.

Carried Unanimously

Council meeting  
October 23, 2014

22 December 2014

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6



Dear Mayor and Council:

**Re: Roundhouse Development Permit / Heritage Alteration Permit  
(DP/HAP) Application**

Originally constructed in 1913, Victoria's former CPR Roundhouse celebrated its centennial last year and Focus Equities is proud to be stewarding the revitalization of the heritage buildings and the transformation of the National Historic Site into a community destination: the Roundhouse Marketplace. The Roundhouse will become a commercial and social focal point for the Bayview Place neighbourhood and an amenity for the surrounding Victoria West community. It will attract people from other parts of the region as well, including visitors to the city.

**Development Permit / Heritage Alteration Permit Application**

The submission of this combined Development Permit (DP) and Heritage Alteration Permit (HAP) application marks a major milestone in the history of Victoria and advances detailed plans that have been developed through significant community collaboration and design consideration. Focus Equities has made the decision to advance the development of this precinct as the first phase of the Roundhouse site. Previously, it was thought that it would follow the completion of one or two residential towers at Roundhouse. The project will now bring a significant neighbourhood and community amenity on stream much earlier than anticipated. Getting to this stage has taken longer than originally anticipated, largely due to the major changes in the urban development market as a result of the recession in 2008/2009. This additional time, however, has been used to further refine the concepts presented during the 2008 rezoning process to develop more robust plans, which also support the implementation of the Roundhouse as a first phase of development.

The scope of the project includes site remediation; reconstruction of the historic rail yard; restoration of the Turntable; conservation and adaptive re-use of four, early 20th century buildings; and, construction of three new one-storey buildings. The principal functions in the project include retail, restaurant, food market, arts and crafts and light industrial uses. Outdoor areas will be developed for multi-modal circulation, public open space activities and cultural interpretation. Repurposed rail cars will be introduced to accommodate small-scale commercial or retail businesses as additional features in celebration of the site's rail history.

**Official Community Plan Amendment Application**

The proposal is substantially consistent with the overall project vision established by the Roundhouse Design Guidelines (RDG) and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada (SGCHPC). The proposal is consistent with the CD-12 Zone, Roundhouse District and requires only one minor building setback variance. Through preliminary work with City staff over the last 12-18 months, a few guidelines have been identified as requiring amendment in response to our proposed DP/HAP plans. An application





to revise the RDG through an Official Community Plan (OCP) Amendment has been submitted concurrently with the DP/HAP Application, and the full details of the design guideline amendments are included in our submission document. The following is a brief statement of rationale for each of the design guideline amendments proposed:

1. Design Guideline:

*Buildings terrace vertically above a pedestrian-scaled podium element. The podium of the residential-hotel building shall be the same height as the adjacent Roundhouse building; other podiums shall be of similar height as the Roundhouse building.*

Rationale for Amendment:

The proposed new Retail 1 building adjoins the Roundhouse and effectively acts in place of the podium of the future building on the adjacent DA-2 site (the residential-hotel building). The height of this new building is proposed to be slightly lower than the Roundhouse, to remain subordinate to and respectful of the heritage building.

2. Design Guideline:

*Building designs and materials will contribute to the creation of an overall "family of buildings" at Roundhouse; for example, some elements of brick shall be used in all buildings to match the material used in the historic Roundhouse structures and the new buildings at the adjacent Bayview development.*

Rationale for Amendment:

The intent of this guideline when originally drafted was to ensure the new residential and mixed-use buildings relate to the heritage buildings, as has been achieved through the use of brick elements at Bayview One and Promontory. The use of brick on new retail buildings within the historic precinct was never intended, as other guidelines specifically direct that these new infill buildings be contemporary and finished with timber, glass and metal to act as a contrast to the heavy historic structures. An amendment is required to clarify the guideline and address the inconsistency of the original guidelines.

3. Design Guideline:

*On-going rail operations will occur utilizing easements for the E&N line and access to the turntable and Roundhouse building.*

Rationale for Amendment:

The applicant cannot control whether railway operations will occur on or through the site and therefore it is proposed that the guideline statement be revised. All easements for railway access to the site are to be retained.

4. Design Guidelines:

*Servicing, deliveries and garbage/recycling facilities within the historic and mixed-use precincts (DA-1 and DA-2) will be provided within the underground parking structure beneath the residential-hotel.*

Rationale for Amendment:

The project is pursuing advancement of the historic precinct as a first phase and therefore creation of a central servicing area in the underground parking structure on



DA-2 is not possible at this time. The plans propose use of the existing servicing area located behind the Roundhouse and Backshop. This area is located approximately 4 m below the grade of Esquimalt Road and is therefore views down to this area from the streetscape will be partially obscured. The plans respond to the requirement to create an animated streetscape in this area by introducing new boxcars in the space between the Roundhouse and the Car Shop and providing a set of steps that create a new pedestrian connection between Esquimalt Road and the site.

5. Design Guideline:

*These surface parking areas will be surfaced with brick or unit pavers to be consistent with the pedestrian-friendly and heritage character of the precinct.*

Rationale for Amendment:

The majority of surface parking will be surfaced with unit pavers. A small amount of surface parking intended for staff use is located behind the Roundhouse and adjacent to the site servicing area. These surface parking spaces will be finished with asphalt to provide a more durable surface, given their proximity to the servicing area.

6. Design Guideline:

*The Plaza, incorporating the historic Turntable, will be shaped by the semi-circular Roundhouse building along its eastern flank and will extend to the Car Shop in the north, Roundhouse Mews in the west and the E&N line in the south.*

Rationale for Amendment:

The shape of the Turntable Plaza has been redesigned since the rezoning in 2008. The edges remain defined by the Roundhouse building along its eastern flank, the Car Shop in the north and Roundhouse Mews in the west. However, the guideline statement as adopted does not reflect the 2008 concept plan, as the Turntable Plaza was never envisioned to extend all the way to E&N line in the south, but rather was defined by the infill retail podium building and Roundhouse Mews. For clarity and to correct the inconsistency in the original guideline, an amendment is proposed. The proposed plan presents a slightly reconfigured Turntable Plaza, with the Roundhouse Mews forming the southern boundary.

Finally, staff noted that some additional minor changes are also required with respect to the heritage conservation guidelines to ensure the language follows the conservation terminology contained within Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*. We have worked with staff to ensure consistent language is updated.

**Roundhouse at Bayview Place**

The Roundhouse project is one component of the overall 20-acre Bayview Place neighbourhood, and serves to advance a number of the project's guiding principles. Since completion of the 2008 Roundhouse zoning, the Focus Equities team has worked to integrate the site planning for the overall Bayview Place project to fully link the development of the Bayview hilltop lands with the plans for revitalization of the former brownfield Roundhouse lands.

Achieving a Sustainable Neighbourhood

Bayview Place is a registered LEED for Neighbourhood Development (ND) project and the





Roundhouse proposal will bring about tangible improvements to the physical environment by commencing remediation of the brownfield lands and creating a lasting community legacy. Advancement of the Roundhouse as an initial phase allows the upland soil contamination on the north side of the rail corridor to be addressed first. Two of the new buildings are designed to LEED Silver standard.

#### Revitalizing the National Historic Site

The National Historic Site will be realized as a public destination. All of the heritage buildings will be seismically upgraded and conserved, showcasing the site's heritage values through their sensitive and adaptive reuse. A rail theme guides the landscape and architectural design character of the site, but all new interventions will be contemporary, consistent with federal standards for this designated National Historic Site. Much of the cultural interpretation is presented in the richly layered public realm, welcoming residents and visitors to experience history in the context of the heritage buildings.

#### Presenting a Cohesive Architectural Character

The architecture of the complex will be timeless. That is, there will be the careful conservation of the historic resources on the site contrasted by simple, steel and glass infill buildings in a modern idiom. A "kit-of-parts" has been designed for the site using steel and timber as the principal materials. The components include canopies, bollards, lamp standards, structural columns, decks, ramps, benches and tables for outdoor eating. The design of a number of these exterior features has been inspired by the design of railway components.

#### Realizing Economic Vitality and Viability

With a strong emphasis on promoting local business, the Roundhouse will attract both Victoria and area merchants, as well as outside organizations that share the same passions, interests and goals as the region's diverse and vibrant community. Leasing efforts are underway to secure interest from businesses with a food and beverage focus that will meet community needs and create a vibrant shopping destination. Through a separate zoning amendment application, approved earlier this year, the zoning now allows 'distillery' and 'accessory retail liquor sales' as new uses that will be compatible with the currently permitted brewery and brew pub uses. The amendment furthered the potential to welcome the growing artisan and craft brewery and distillery industries to the Roundhouse.

#### Creating a Unique Sense of Place

The century-old working history of the CPR Roundhouse will come alive with a detailed interpretative program that includes artifacts as public art, story boards, repurposed railcars, exposed rail lines, functional Turntable and a rebuilt Sand Tower. Rail theme inspired public space furnishings will contrast with new, contemporary buildings. As envisioned, the Roundhouse will be unique, a place where visitors can appreciate history while experiencing the vitality of a new neighbourhood centre.

#### Providing a Contribution of Public Open Spaces

A core public space is provided at Turntable Plaza. The turntable structure will be made functional, to allow for rail car display or operation as part of the historic interpretation. Naturalized remnant landscapes of the site will be preserved and rehabilitated to contribute additional open spaces.



#### Establishing a Strengthened Network of Community Linkages

The project will see the implementation of the E&N Rail Trail connection through the site, with the installation of an interim multi-use pathway to welcome pedestrian and cyclist activity. While it is uncertain whether the E&N will again feature active rail uses, the project design accommodates its potential and maintains the railway easements through the site. The construction of Roundhouse Mews and Lime Bay Mews will enable further community connectivity. A new pedestrian connection is proposed through the introduction of a set of steps welcoming visitors to arrive to the site from Esquimalt Road, in between the Roundhouse building and the Car Shop.

#### Enhancing Livability for All Residents

Neighbourhood livability means creating places where people want to live and where visitors want to be, where there is a range of housing choices and places to shop, gather, work and take part in community life. This redevelopment breathes new life into the brownfield site, creating a unique and exciting opportunity for greater Victoria to experience history and culture combined.

The Roundhouse will serve new and existing residents of the surrounding community with a dynamic mix of uses: shopping and dining; sampling of locally produced food and beverages; viewing the functioning Turntable structure; attending cultural events in and around the historic buildings; gathering with friends and family in the Turntable Plaza; and experiencing the site's historic buildings, displayed artifacts, and interpretive materials.

We have invested a significant amount of time and effort into the development of the detailed DP/HAP application and have received input over the previous months from members of the Vic West community and from City staff.

Following the Planning and Land Use Committee meeting, and review of the application by a special Joint Panel meeting of the Advisory Design Panel and the Heritage Advisory Committee, we made a number of additional design refinements to respond to specific directions. A summary of these design changes is attached to this letter for reference.

We are confident that the plans reflect the shared community vision for the future of the Roundhouse and we eagerly look forward to your support to help us start the transformation.

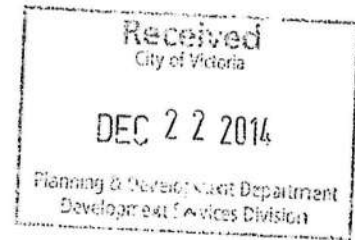
With regards,

  
Focus Equities



22 December 2014

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6



Dear Mayor and Council:

**Re: Roundhouse Development Permit / Heritage Alteration Permit  
(DP/HAP) Application**

The purpose of this letter is to briefly summarize a number of design changes that are included in our current Development Permit / Heritage Alteration Permit (DP/HAP) Application materials that have been implemented in response to directions given by the Planning and Land Use Standing Committee (PLUC) and the Joint Panel of the Advisory Design Panel and Heritage Advisory Committee.

**PLUC Report Condition:**

c) the submission of revised plans that:

(i) include the provision of a public footpath from Kimta Road, along the proposed Lime Bay Mews, to the edge of the proposed Turntable Plaza, to the satisfaction of the Director of Sustainable Planning and Community Development and the Director of Engineering and Public Works,

*A pedestrian walkway has been added along the Lime Bay Mews corridor.*

(ii) provide details of the proposed glass canopy over the boxcars between the Roundhouse and Car Shop buildings, to the satisfaction of the Director of Sustainable Planning and Community Development,

*Additional details of the glass canopy structure over the boxcars between the Roundhouse and Car Shop has been provided. The configuration of the boxcars in this location has also been revised in response to Joint Panel recommendation to include a pedestrian connection (steps) to Esquimalt Road (further details are provided in the following section).*

(iii) provide details of the proposed railway crossings including details of any finishing materials, to the satisfaction of the Director of Sustainable Planning and Community Development;

*Details of the finishing materials of the rail crossings have been provided.*

**Joint Panel Recommendations:**

Proposed Service Door – North Elevation of Back Shop - Reconsider the design of the dock,



canopy and door located at the northwest elevation of the Backshop [proposed new servicing/loading door].

*The plans propose expansion of the existing doorway opening to accommodate a new door of sufficient dimensions to support the required loading/servicing functions for this location and by the anticipated new commercial tenants. It is recognized that the Joint Panel expressed concern regarding the contrast of the previously proposed steel roll-up door with the heritage character of the building. In response, we have amended the plans to include a painted finish to the proposed metal door. The paint will match the proposed CN Red colour specified for the corrugated metal siding on the new retail buildings, which has been selected to complement the red brick colouring of the heritage buildings.*

*The proposed canopy structure is designed using the same kit of part materials as is proposed for canopies throughout the site and is intended to present a contemporary contrast to the heritage buildings. The canopy structure is required to provide weather protection at the servicing/loading dock. The structure is freestanding and is not attached to the Backshop building itself. Further, due to a change in grade between Esquimalt Road and the buildings (+/- 4 m), the proposed canopy, dock and door will be partially obscured from view from the streetscape.*

Proposed Retail Door – South Elevation of Stores Building – Retain the one existing door.

*The plans have been amended to retain the one existing door as recommenced on the south elevation.*

Proposed Glass Atrium – Consider the following:

- . *Elimination of one of the openings from the Roundhouse building into the Atrium and retention of one original window.*
- . *The plans have been revised to retain one of the original windows in full, while allowing the other two to be opened to the ground to permit passage through between the atrium and the Backshop. The top sash of these two original windows will be retained to demonstrate the historic architecture of the window.*
- . *Consideration of a green roof treatment over the new building adjacent to the Atrium.*
- . *The plans do not include a green roof on the proposed Retail 1 building. The project cannot support additional costs and we believe views into the Turntable Plaza will provide a more interesting focal point for those viewing the project from above.*
- . *Particular attention to the detailing of building mechanical systems proposed for this area.*
- . *Detailed design of the interiors and mechanical/ventilation systems at the time of Building Permit will take into consideration the importance of maintaining a sense of transparency as intended by the glass atrium.*

New Buildings and Materials – Consider the following:

- . *The preference of old growth material to be used on the ceiling of the Roundhouse rather than wood laminate.*
- . *The plans include use of engineered lumber for the structural beams where replacement of decayed existing beams and/or structural reinforcement is required. The use of*





*engineered lumber over heavy timbers is proposed to allow the new to be distinguished from what is existing and original. Further, new heavy timbers of the same dimension of the existing would not be of sufficient structural strength to meet current building code.*

- . Members suggested the use of Corten steel as an alternative to Corrugated Metal [on the exterior of the proposed new retail buildings], if viable.
- . *We considered the use of Corten steel as an alternative but elected to not implement this change due primarily to maintenance challenges inherent in Corten steel (difficult to remove graffiti, rust staining onto adjacent hardscape, etc.). The Joint Panel support of the proposed corrugated metal siding, which was selected because it reflects a railway vernacular, is accepted.*

Streetscapes, Boxcars and Sand tower - Consider the following:

- . The water tower addition could be misconceiving to the public as there was no water tower on the original site.
- . Members discussed whether or not an original water tower could be sourced or an exact replica could be constructed.
- . *We have revised the plans to remove the proposed reconstructed water tower element. Instead, the hardscape detailing will include an outline indicating the footprint/location of the original oil tower that once existed on site as an additional layer of heritage interpretation.*
- . The space needs to consider how it will be animated year round.
- . *We have included an additional boxcar that will serve as a space for cultural and interpretive use. The boxcar can roll onto the Turntable for performances or special events, and will provide additional animation within the Turntable Plaza throughout the year.*
- . A greater sense of arrival at the two key entrances. The Roundhouse Mews to Esquimalt Road as well as the Lime Bay Mews between the proposed retail buildings.
- . *The plans demonstrate the addition of street furnishings, special lighting, banners and signage that together will help define the sense of entry at the primary Roundhouse Mews / Esquimalt Road intersection. The addition of the two new retail buildings framing the Lime Bay Mews corridor provide a strong sense of entry to the Plaza space for those arriving to the site from the south.*
- . Exploration of a pedestrian link from Esquimalt Road near the current position of the boxcars.
- . *We have revised the plans to include a set of steps that provide a connection between Esquimalt Road and the site, to welcome pedestrians to arrive in the space between the Roundhouse and the Car Shop. The steps are accommodated fully on the subject property. The configuration of the boxcars in this location has also been updated to further enhance the pedestrian connection through this space.*
- . Concerns that modifications made to the boxcars to accommodate new uses could render them unrecognizable. The boxcars are one of the few representations of past use on the site and some members feel these are important additions.



- . *We have included boxcars as key elements of the site linking new uses to the railway history. We have received strong market interest in these boxcar commercial spaces and believe they will contribute greatly to the animation of the site. Boxcars can be modified to welcome new uses without requiring interventions that would compromise their inherent industrial railway character.*
- . The need to reflect the industrial history of this area.
- . *The interpretive program for the site includes materials that will present the history of the site and the E&N Railway on Vancouver Island.*
- . The bumper car seating is not ideal as it does not appear to be a comfortable place to sit.
- . *The proposed seating has been designed to playfully reflect the railway character of the site while introducing a variety of places for visitors to sit, gather and enjoy the public space.*
- . Lack of connection between new and old uses.
- . *Significant efforts have been made to design the site to clearly present the railway history through the reuse of the heritage buildings. The intent is to allow new uses to occupy the buildings and to welcome visitors to enjoy the National Historic Site. The comprehensive interpretive program includes signage, artifacts, the rebuilt Sand Tower and the functioning Turntable, which are complemented through the layering of contemporary public realm features also designed using a railway vernacular.*

Turntable & Treatment – Consider the following:

The turntable's rarity and historic significance.


Some members feel that the double concrete map on the turntable is confusing and that only one map is preferable.

Some members would like to see an engine on the turntable as a focal point.

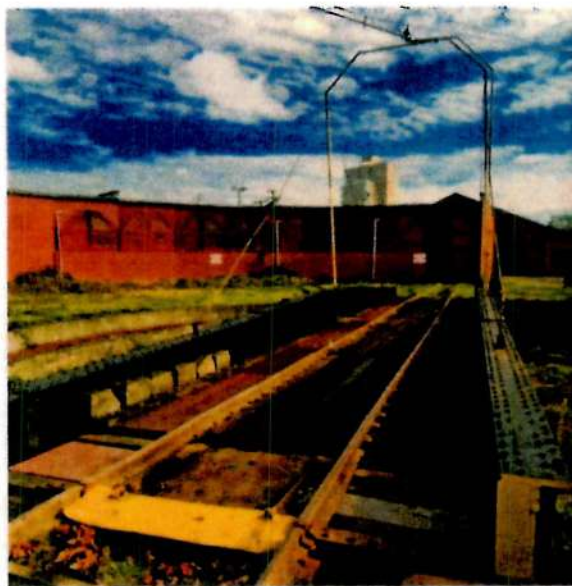
That the applicant be commended for proposing to rehabilitate the turntable

*The plans have been revised to include the addition of a boxcar feature that can roll onto the Turntable for special events. In addition, only one concrete map is now included on the south side floor of the Turntable pit, with the addition of ornamental grasses in a small landscape installation on the north side of the pit.*

We trust the above information summarizes the extent of design changes that were requested following PLUC and Joint Panel review of the application materials.

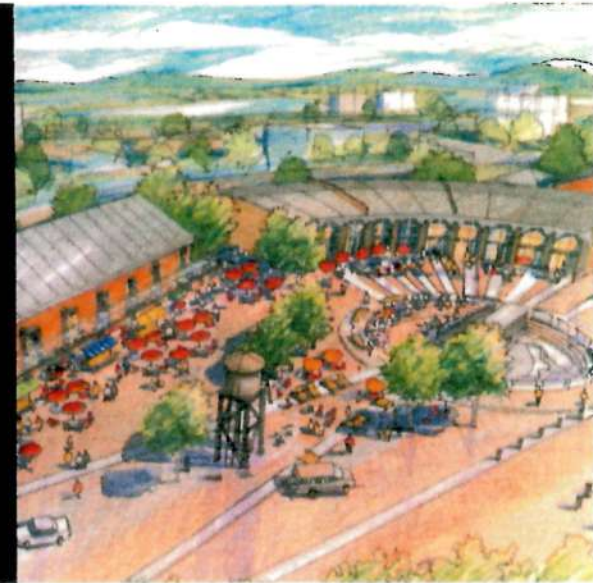
With regards,  
  
Focus Equities





# ROUNDHOUSE

AT  
BAYVIEW PLACE



DP RE-SUBMITTAL  
19 DEC 2014

**DIALOG**

**PHILLIPS-FAREVAAG-SMALLENBERG**  
PLANNING-URBAN DESIGN-LANDSCAPE ARCHITECTURE

**ALDRICHPEARS ASSOCIATES**



**Read Jones Christoffersen**  
Consulting Engineers



**FOCUS ASSOCIATES**  
A LANDSCAPE ARCHITECTURE FIRM

Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division

### PROJECT LOCATION

VICINITY MAP

This application focuses on the Historic Railway Precinct within the Roundhouse rail yard in Victoria West. The project objective is to develop and implement a viable strategy to rehabilitate and preserve the special heritage resources of the Roundhouse site, while remediating the land and infusing the neighbourhood with a new vitality as a result of a mix of community, cultural and retail uses.

This project proposes to protect and enhance the existing heritage buildings and also to introduce several new infill buildings designed to complement the historic nature of the site. The Turntable is also reintroduced as a new interpretive element.

[illegible]

ARCHITECT | Dialog  
LANDSCAPE ARCHITECT | Phillips Farevaag Smaltlenberg  
STRUCTURAL ENGINEER | Read Jones Christoffersen, LTD.  
CIVIL ENGINEER | Stantec  
MECHANICAL ENGINEER | AME Consulting Group  
INTERPRETIVE DESIGN | Aldrich Pears Associates  
HISTORIC PRESERVATION | Jonathan Yardley  
LIGHTING CONSULTANT | Total Lighting Solutions  
ELECTRICAL ENGINEER | Applied Engineering Solutions  
LEED CONSULTANT | Martine Desbois

1995-1996

- A 01 MAY/11 Start of the RRB
- B 01 MAY/10 Start of the RRB in the previous
- C 18 JUL/10 Start of the RRB in the previous
- D 12 SEP/11 Start of the RRB in the previous
- E 27 JUL/10 Start of the RRB in the previous
- F 19 DEC/11 Start of the RRB in the previous

FOR NOT

## METRIC

1. *What is the main purpose of the study?*  
2. *What are the research objectives?*  
3. *What is the research methodology?*  
4. *What are the findings of the study?*  
5. *What are the conclusions of the study?*

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ROUNDHOUSE AT BAYVIEW PLACE

25.316 Fall 2009 Ed. History: 37 of 48 209

### Project Description Drawing List

Page 11 of 11

A001

2700





## PHASE 1

[illegible]

**Notes:**

- Parking based on Schedule C Retail Stores: 1 space / 37.5 sq m. Temporary parking provided on adjacent parcel south of east entrance.
- However, the parking spaces are provided based on Schedule C Commercial Office (retail sales) (1 bldg stall / 205 sqm). Present will provide this structure, and submit the City of Victoria two requests by 2024.
- The three areas of up to 7.5 ha (roughly 18.75 acres) for the commercial purposes is exempt from being included in the commercial zone area limit (Aggregated land use in the CDS-12 zone). However, the floor area is included in the total FSA calculation.

A 07JAN74 Issued for DP  
B 29MAY74 Issued for DP Re-Submission  
C 18AUG74 Issued for DP Re-Submission  
D 12SEP74 Issued for DP Re-Submission  
E 21NOV74 Issued for DPNUP  
F 19DEC74 Issued for DP Re-Submission

12 DEC 74 Issued by DP Re-Schedule

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## ROUNDHOUSE AT BAYVIEW PLACE

**25-297-prior to Vetus SCVEN 015**

Project Phase 1 Data

DRAWN  
 FILE DATE 10/10/1

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### ROUNDHOUSE AT BAYVIEW PLACE

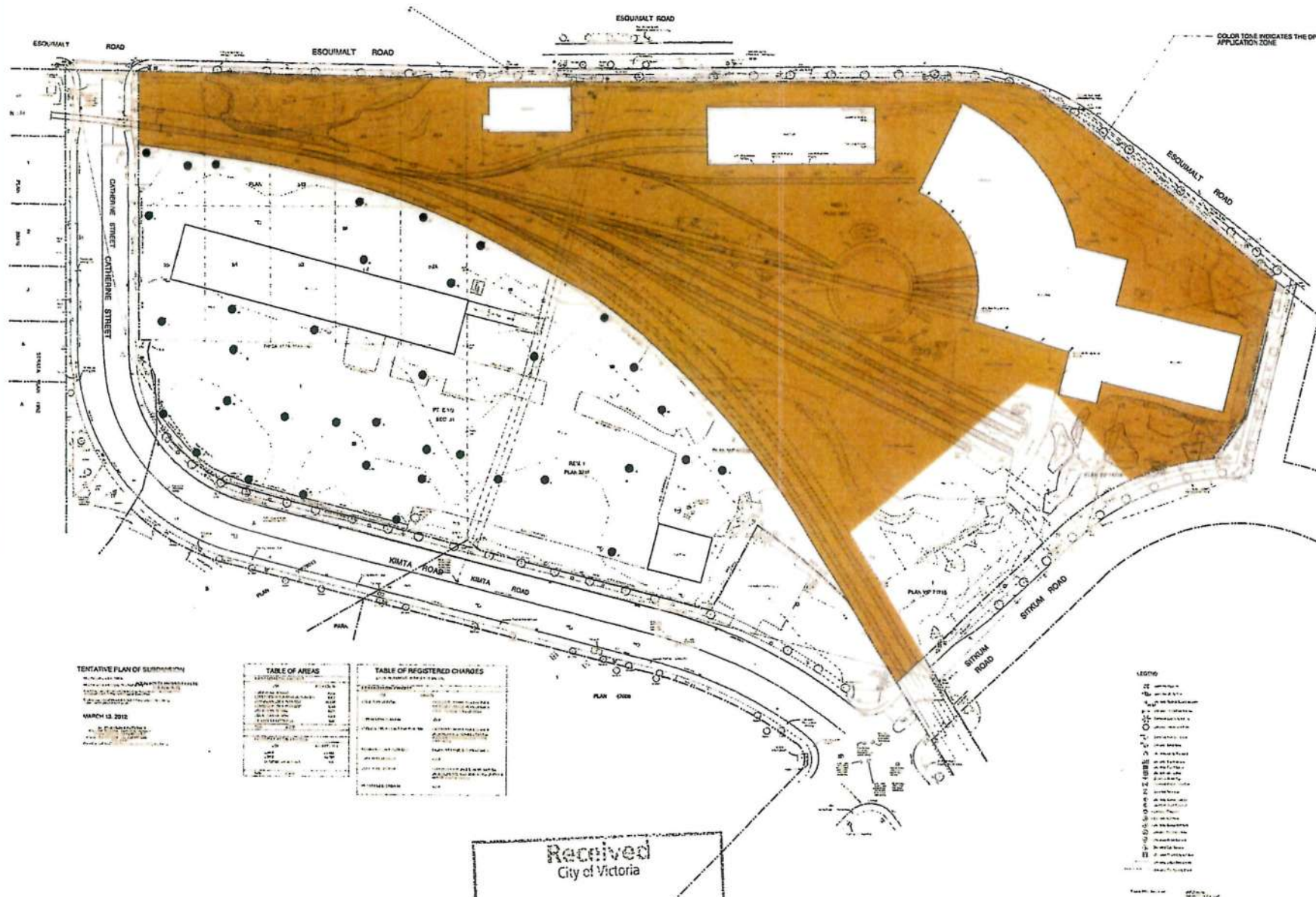
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## Survey Plan

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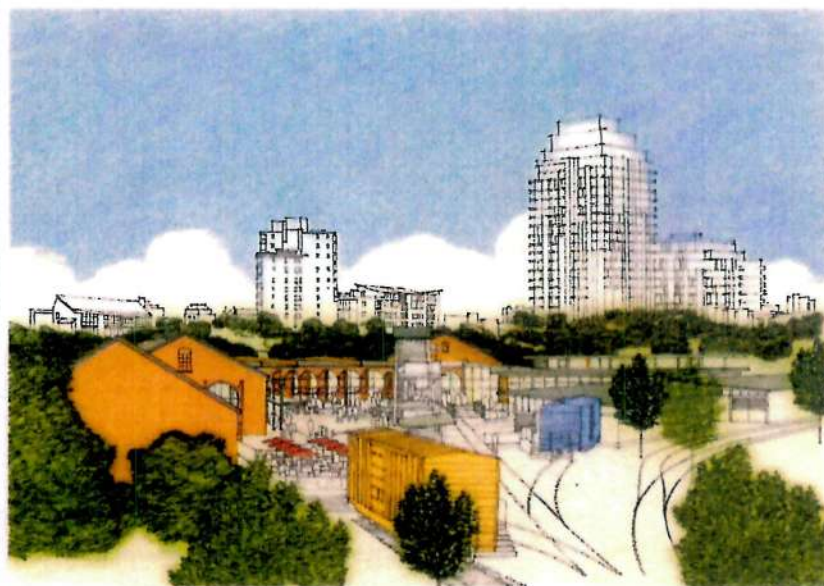




PROPOSED VIEW FROM BETWEEN RETAIL 2 AND 3



PROPOSED VIEW FROM ESPLANANT 1 LOOKING SOUTH BETWEEN THE CAR SHOP AND ROUNDHOUSE



BIRDS-EYE VIEW LOOKING EAST FROM ROCK OUTCROP



PROPOSED VIEW LOOKING DOWN LINE BAY NEWS

**ROUNDHOUSE**

ISSUED FOR:  
 A. 07 MAY 14 Issued for DP  
 B. 07 MAY 14 Issued for DP for the Roundhouse  
 C. 21 NOV 14 Issued for DP for the Roundhouse  
 D. 18 DEC 14 Issued for DP for the Roundhouse

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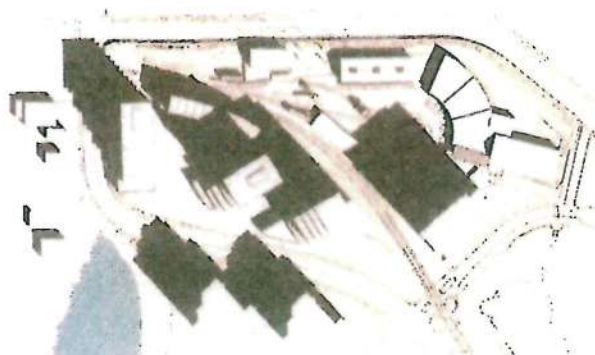
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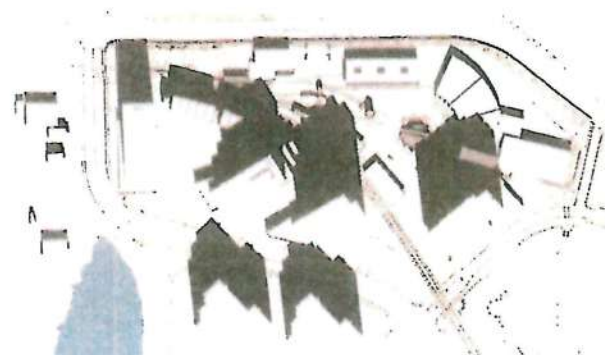
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**Shadow Analysis for Approved Site Plan  
Spring / Autumn Equinox**



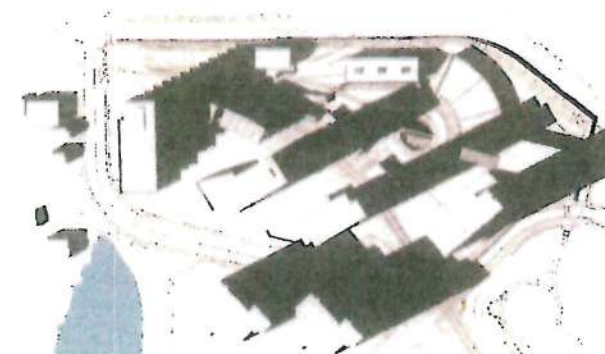
Spring Equinox March 21st, 10:00 am



Spring Equinox March 21st, 12:00 noon



Spring Equinox March 21st, 2:00 pm



Spring Equinox March 21st, 4:00 pm

**ROUNDHOUSE**

- ISSUED FOR:
- A. 07/04/11 - Initial FCA
  - B. 04/04/14 - Issued for the Schedule
  - C. 04/04/14 - Issued for the Schedule
  - D. 04/04/14 - Issued for the Schedule
  - E. 04/04/14 - Issued for the Schedule
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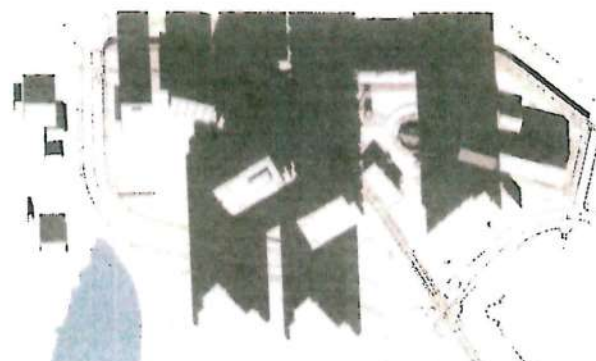




Shadow Analysis for Approved Site Plan  
Winter Solstice



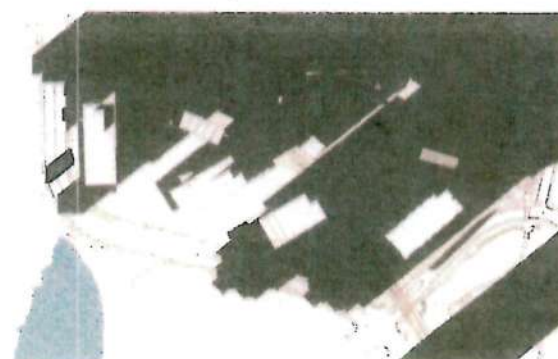
Winter Solstice December 21st, 10:00 am



Winter Solstice December 21st, 12:00 noon



Winter Solstice December 21st, 2:00 pm



Winter Solstice December 21st, 4:00 pm

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DEC 22 2014  
  
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- B. 04/2012: Issued for E.P. & B.C.
- C. 01/2013: Issued for E.P. & B.C.
- D. 06/2013: Issued for E.P. & B.C.
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ROUNDHOUSE AT BAYVIEW PLACE

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Shadow Studies  
Winter Solstice

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ROUNDHOUSE AT BAYVIEW PLACE

Version B2

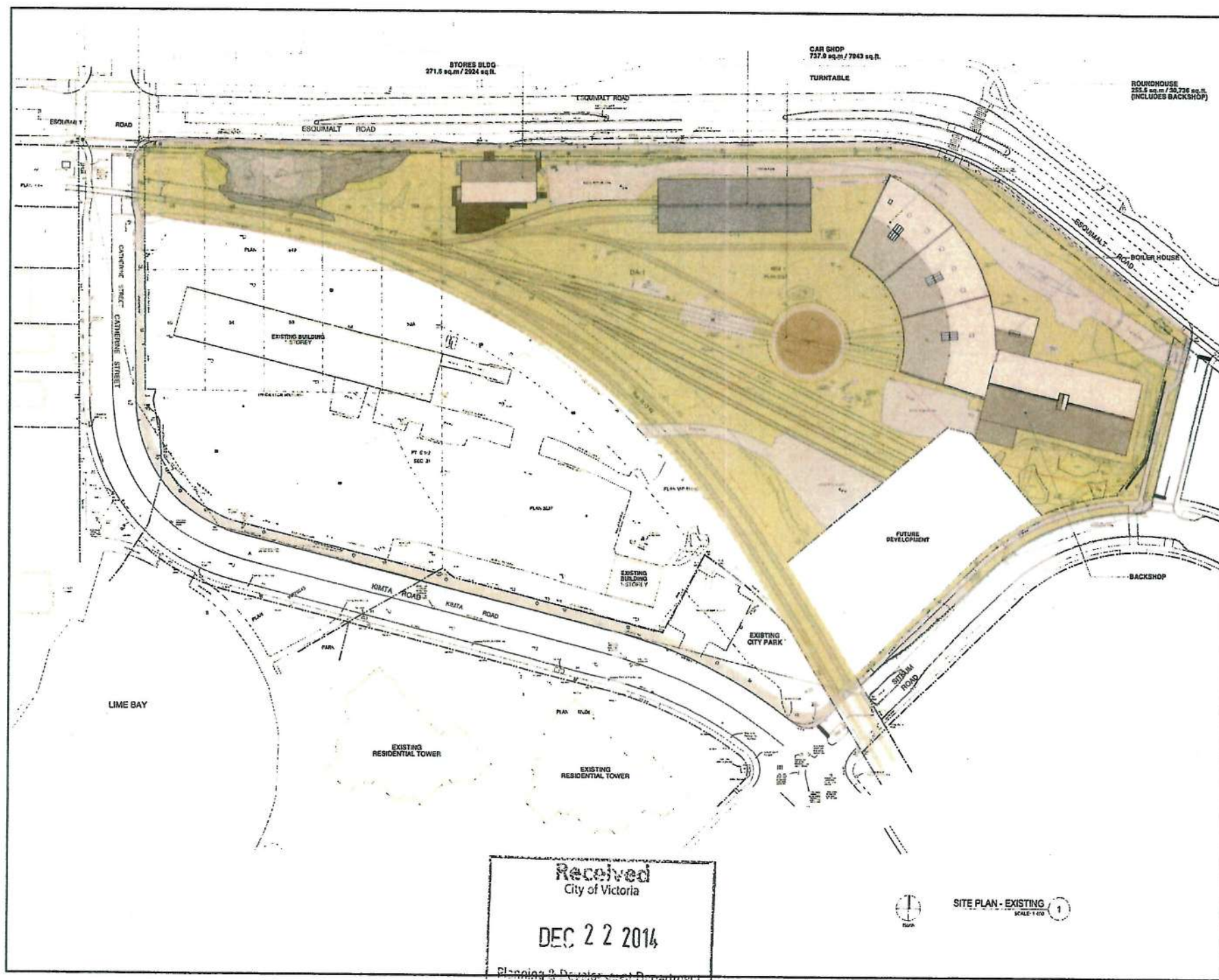
Site Plan-Existing

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A 07 MAR 14 10:11 AM TSP

B 26 MAR 14 10:11 AM TSP

C 05 MAY 14 10:11 AM TSP

D 12 SEP 14 10:11 AM TSP

E 21 OCT 14 10:11 AM TSP

F 19 DEC 14 10:11 AM TSP

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**Metric**

ARCHITECT &amp; PRIME CONSULTANT

**LANDSCAPE ARCHITECT**  
10101 PLYMOUTH BLVD. SUITE 100  
BOSTON, MA 02130  
TEL: 617-552-1100  
FAX: 617-552-1101  
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STRUCTURAL ENGINEER

Page 6 of 10

INTERPRETIVE DESIGN

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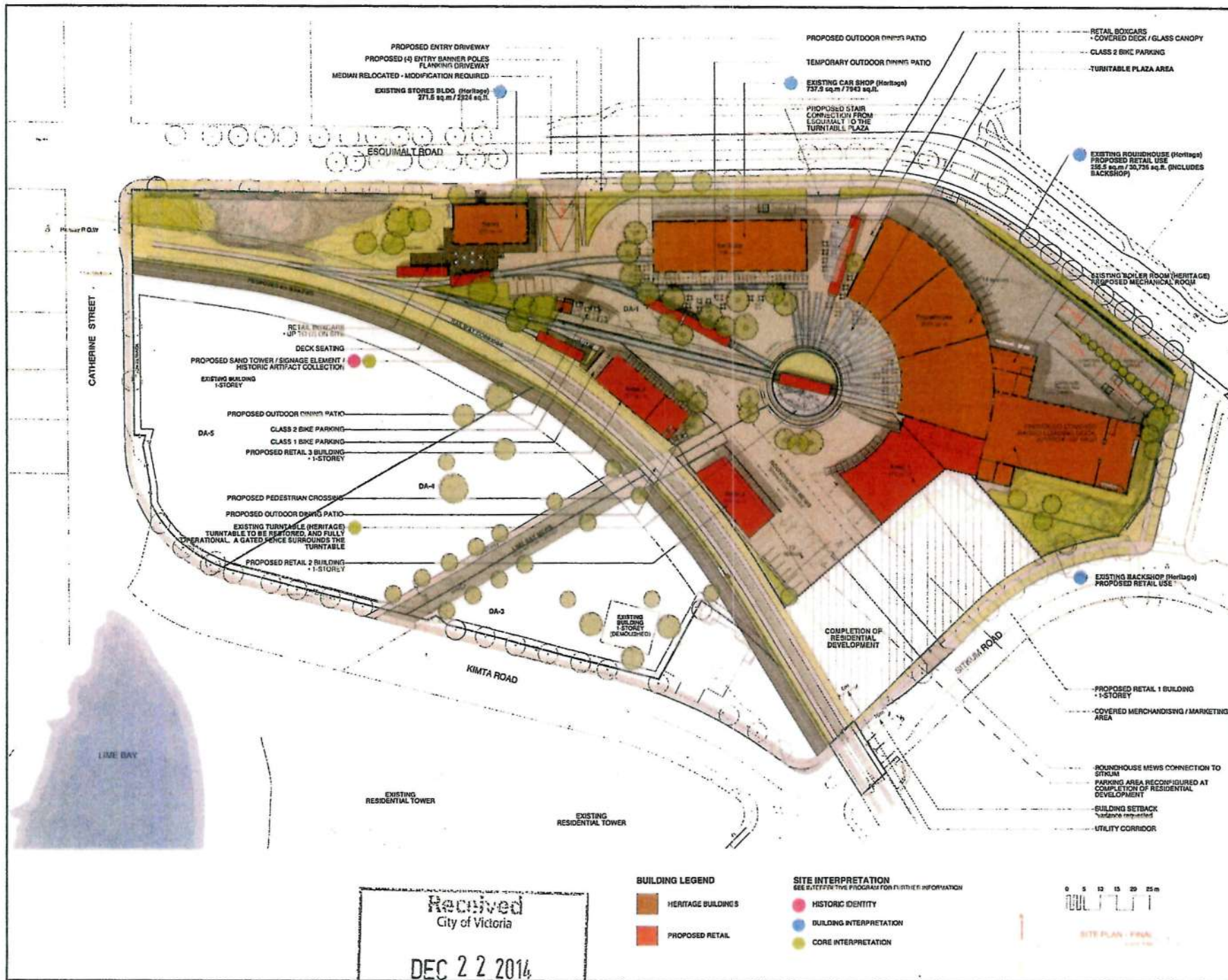
1. *Journal of the American Medical Association*, 1997; 277: 1001-1005.  
 2. *Journal of the American Medical Association*, 1997; 277: 1006-1010.

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### ROUNDHOUSE AT BAYVIEW PL

Site Plan Proposed E

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Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development Services Division



ISSUED FOR

- A. 6P 500V18 18m and 18m 18m

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**NETRIC**

[illegible]

## ARCHITECT &amp; PRIME CONSULTANT

LANDSCAPE ARCHITECT

## LANDSCAPE ARCHITECT

1. The first step is to identify the problem. In this case, the problem is that the system is not working properly.

## STRUCTURAL ENGINEER

[illegible]

## MECHANICAL ENGINEER

MECHANICAL ENGINEER  
2010-2011  
2010-2011  
2010-2011  
2010-2011  
2010-2011

Page 10/10

**INTERPRETIVE DESIGN**  
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Page 1 of 1

**HISTORIC CONSERVATION**  
 CONSERVATION OF THE 19th CENTURY  
 HOUSES OF THE 19th CENTURY  
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## ROUNDHOUSE AT BAYVIEW PLACE

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### Site Plan - Phase 1

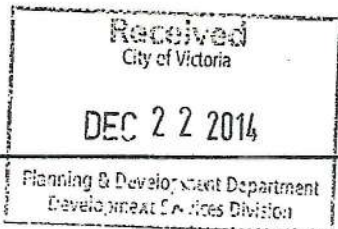
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## ROUNDHOUSE

### ISSUED FOR

- A. 07/06/2014: Issued for
- B. 20/06/2014: Issued for
- C. 15/07/2014: Issued for
- D. 12/08/2014: Issued for
- E. 21/02/2015: Issued for
- F. 10/02/2015: Issued for

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### METRIC

ALL DIMENSIONS ARE IN METRIC UNITS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE ARE SHOWN IN RED. DIMENSIONS TO CENTERLINE ARE SHOWN IN BLACK.

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### ARCHITECT & PRIME CONSULTANT

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### LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT

### STRUCTURAL ENGINEER

STRUCTURAL ENGINEER

### MECHANICAL ENGINEER

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### INTERPRETIVE DESIGN

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### HISTORIC CONSERVATION

HISTORIC CONSERVATION

### SEAL

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### ROUNDHOUSE AT BAYVIEW PLACE

ROUNDHOUSE AT BAYVIEW PLACE

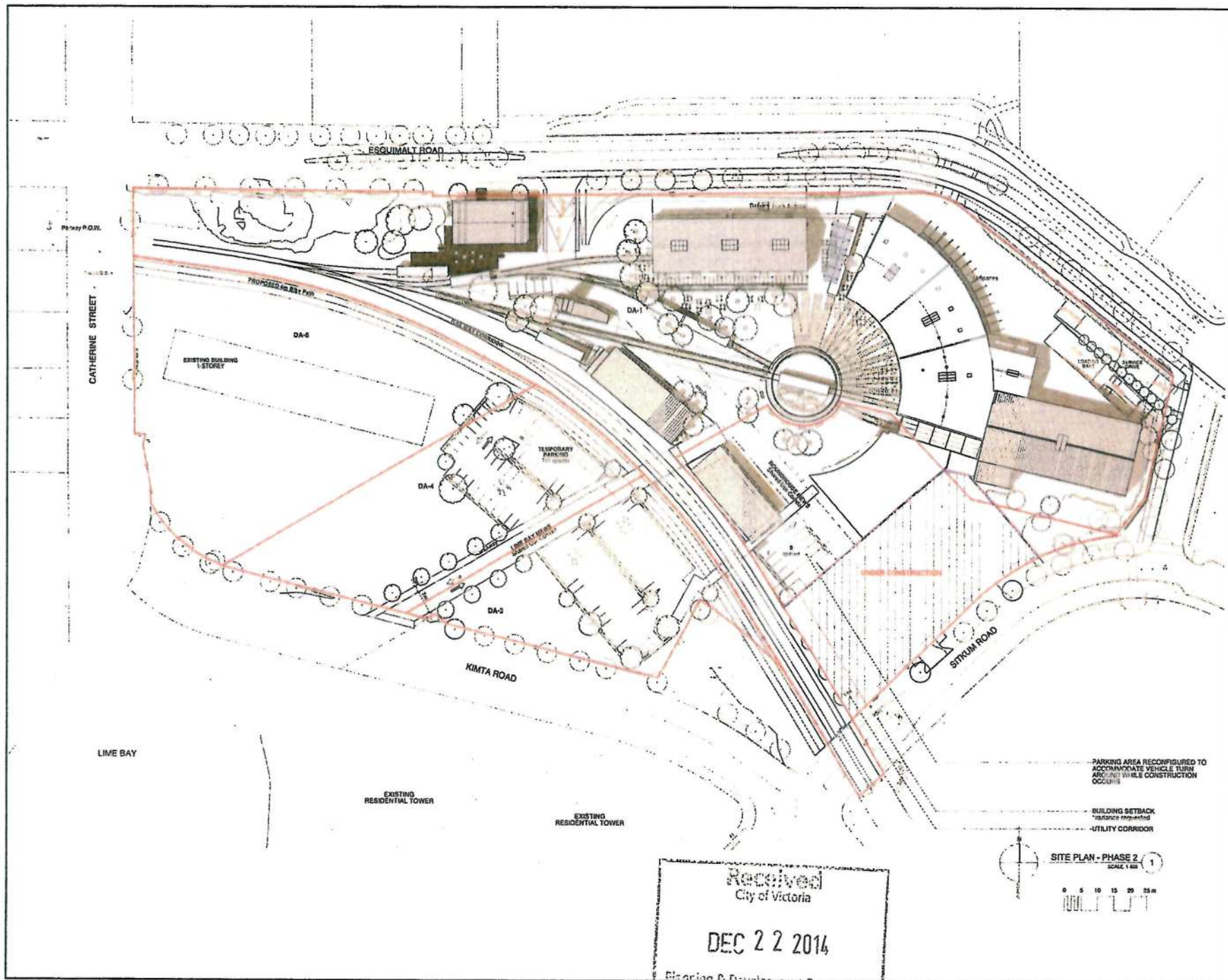
### Site Plan - Phase 2

Site Plan - Phase 2

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Received  
City of Victoria  
DEC 22 2014  
Planning & Development  
Development & Access Division



USED RETAIL 3 BUILDING  
• 1-STORY  
WER / SIGNAGE ELEMENT

STORES BLDG (Heritage)  
271.6 sq.m / 2924 sq.ft.

LT ROAD

PROPOSED INTERPRETIVE WATER TANK

EXISTING CAR SHOP (Heritage)  
737.3 sq.m / 7943 sq.ft.

EXISTING TURNTABLE (Heritage)  
PROPOSED INTERPRETIVE ELEMENTS / PERFORMANCE STAGE

EXISTING ROUNDHOUSE (Heritage)  
PROPOSED RETAIL USE  
332.5 sq.m / 3573 sq.ft. (INCLUDES BACKSHOP)

EXISTING BOILER ROOM (Heritage)  
PROPOSED MECHANICAL ROOM

BLDG 3  
BLDG 2  
BLDG 1

DA-3  
DA-2

KIMJA ROAD

SITAM ROAD

EXISTING BACKSHOP (Heritage)  
PROPOSED RETAIL USE

PROPOSED RETAIL 1 BUILDING  
• 1-STORY

PROPOSED RETAIL 2 BUILDING  
• 1-STORY

EXISTING RESIDENTIAL TOWER

0 5 10 15 20 25m

**CORE INTERPRETATION**

Planning & Development Department  
Development Services Division

63032



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C 18 MAR 11 10:00:00  
D 12 SEP 11 10:00:00  
E 21 NOV 11 10:00:00  
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- NOT FOR

**AMERIC**

본 연구는 2014년 12월 1일부터 2015년 11월 30일까지 1년간의 자료를 분석하였다. 연구 대상은 2014년 12월 1일부터 2015년 11월 30일까지 1년간의 자료를 분석하였다. 연구 대상은 2014년 12월 1일부터 2015년 11월 30일까지 1년간의 자료를 분석하였다.

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 2174-2175: **PROJECTS**

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104 11/17/94 22:20:46

## STRUCTURAL ENGINEER

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02/10/2016 10:00 AM  
03/10/2016 10:00 AM  
04/10/2016 10:00 AM

## MECHANICAL ENGINEER

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23. *perfectly* +  
24. *perfectly* +  
25. *perfectly* +

**INTERPRETIVE DESIGN**  
PETERLIN AND ASSOCIATES

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### ROUNDHOUSE AT BAYVIEW PLACE

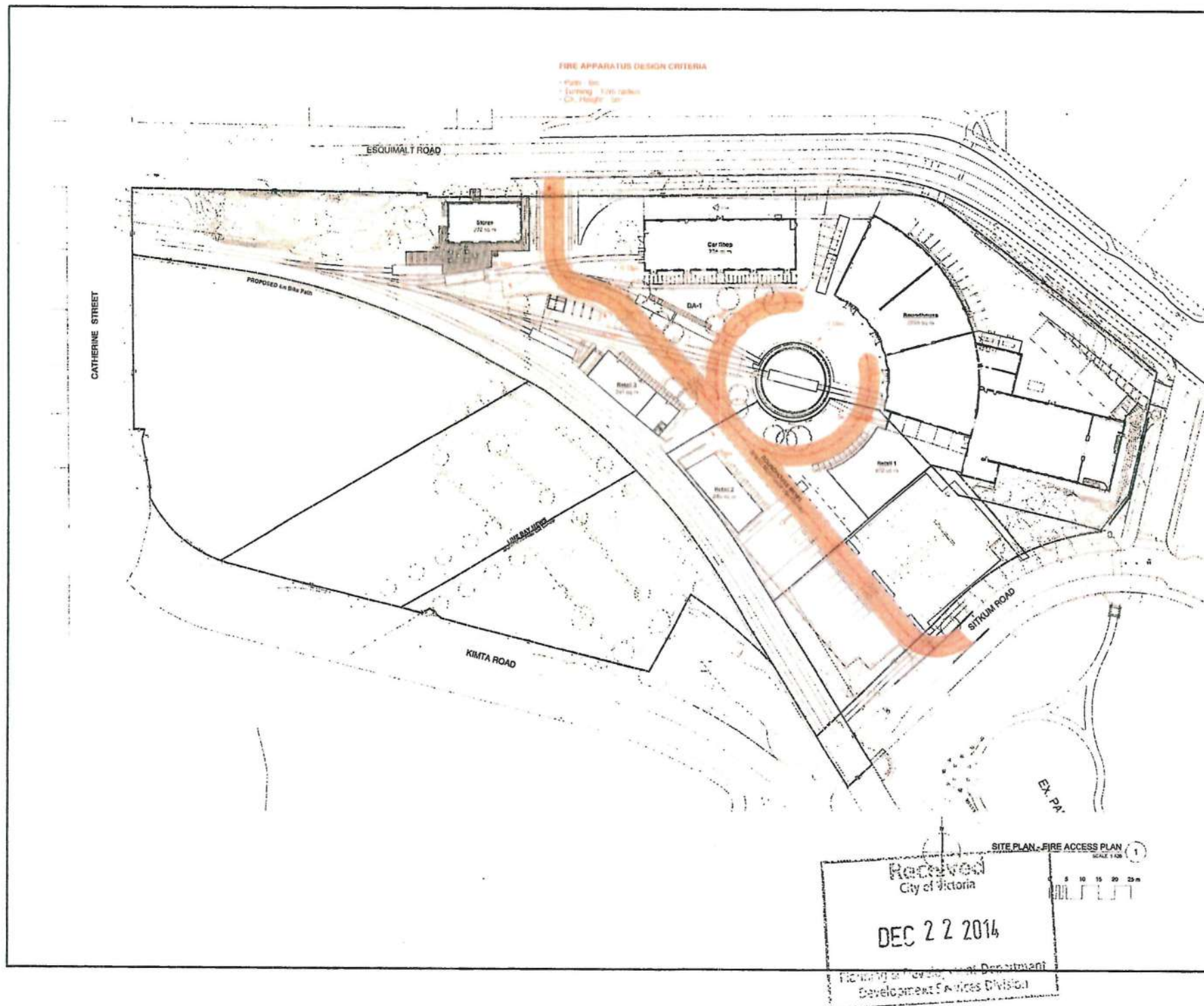
251250 Fx prompt Ref: Wwvna AC 95A(0.1)

### Fire Access Plan

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**ROUNDHOUSE**

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**METRIC**  
Architectural drawings are prepared in accordance with the Metric system. All dimensions are given in millimetres (mm) or metres (m). Dimensions are rounded to the nearest millimetre or metre as appropriate.

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KEY PLAN

JAN

ROUNDHOUSE AT BAYVIEW PLACE

250-270 Bayview Rd. Victoria, BC V8W 2P1

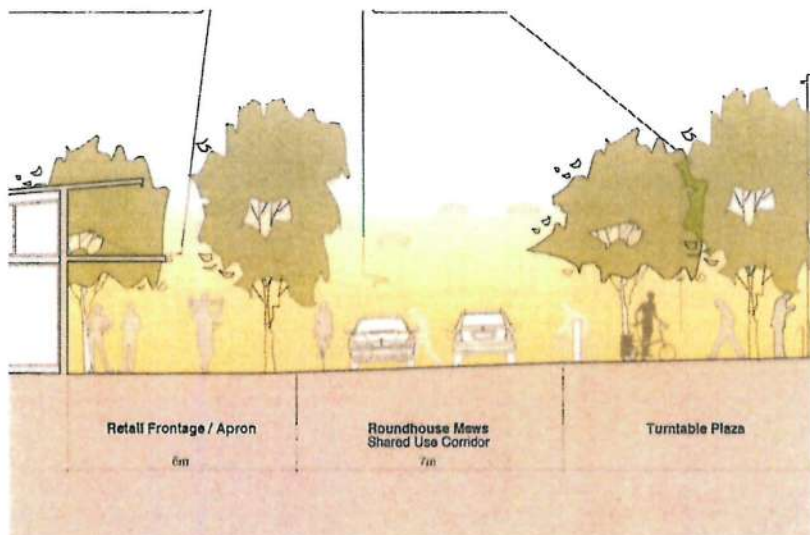
Site Section

DRAWN: J. L. L. 12/10/14 CHECKED: J. L. L.

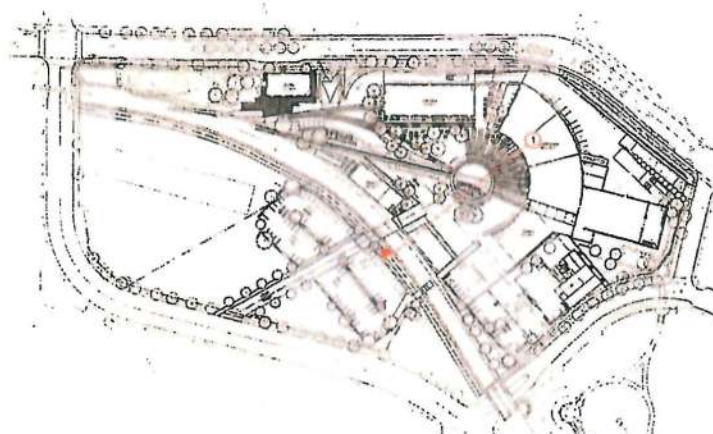
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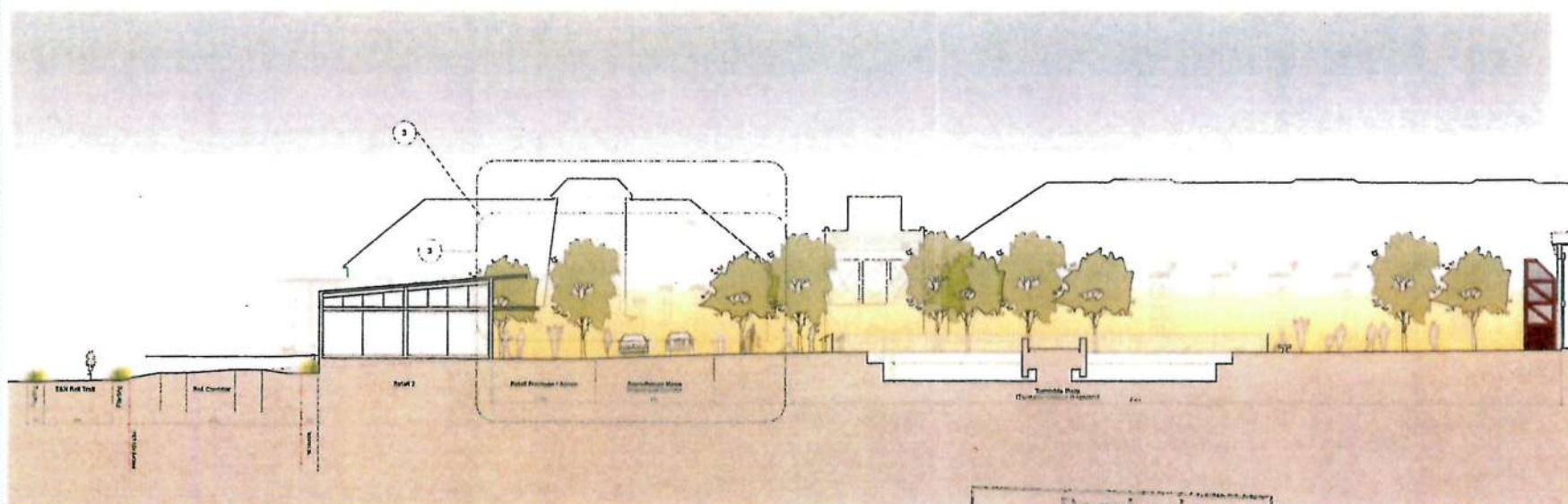
Project: Roundhouse at Bayview Place



3 ROUNDHOUSE MEWS DETAIL  
SCALE 1:50



1 KEY MAP  
SCALE 1:100



2 SITE SECTION  
SCALE 1:100

Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
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ROUNDHOUSE

15 JUL 2000

- A. 27 MAY 14 Island to GP  
B. 22 MAY 14 Island to GP R. K. K. K. K.  
C. 13 AUG 14 Island to GP R. K. K. K. K.  
D. 15 SEPT 14 Island to GP R. K. K. K. K.  
E. 21 NOV 14 Island to GP R. K. K. K. K.  
F. 10 DEC 14 Island to GP R. K. K. K. K.

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## METRIC

1. **What is the purpose of the study?** The purpose of the study is to investigate the effect of the independent variable on the dependent variable.

2. **What are the independent and dependent variables?** The independent variable is the variable that is manipulated or controlled by the researcher. The dependent variable is the variable that is measured or observed.

3. **What is the research design?** The research design is the overall plan or strategy for conducting the study. It includes the selection of participants, the assignment of participants to groups, and the measurement of the dependent variable.

4. **What are the results of the study?** The results of the study are the findings that are obtained from the data analysis. They indicate whether there is a significant effect of the independent variable on the dependent variable.

5. **What are the conclusions of the study?** The conclusions of the study are the interpretations of the results. They provide a summary of the findings and discuss the implications of the study.

## ARCHITECT &amp; PRIME CONSULTANT

For more information, call 1-800-368-2767 or visit our website at [www.3m.com](http://www.3m.com).

## LANDSCAPE ARCHITECT

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him a job, to give him a  
chance to make a better life  
for himself and his family. I  
said yes, and he said yes.

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FOR THE 21ST CENTURY

1999年12月25日

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 2000-2001 2002-2003 2004-2005 2006-2007 2008-2009 2010-2011 2012-2013 2014-2015 2016-2017 2018-2019 2020-2021 2022-2023 2024-2025 2026-2027 2028-2029 2030-2031 2032-2033 2034-2035 2036-2037 2038-2039 2040-2041 2042-2043 2044-2045 2046-2047 2048-2049 2050-2051 2052-2053 2054-2055 2056-2057 2058-2059 2060-2061 2062-2063 2064-2065 2066-2067 2068-2069 2070-2071 2072-2073 2074-2075 2076-2077 2078-2079 2080-2081 2082-2083 2084-2085 2086-2087 2088-2089 2090-2091 2092-2093 2094-2095 2096-2097 2098-2099 2100-2101 2102-2103 2104-2105 2106-2107 2108-2109 2110-2111 2112-2113 2114-2115 2116-2117 2118-2119 2120-2121 2122-2123 2124-2125 2126-2127 2128-2129 2130-2131 2132-2133 2134-2135 2136-2137 2138-2139 2140-2141 2142-2143 2144-2145 2146-2147 2148-2149 2150-2151 2152-2153 2154-2155 2156-2157 2158-2159 2160-2161 2162-2163 2164-2165 2166-2167 2168-2169 2170-2171 2172-2173 2174-2175 2176-2177 2178-2179 2180-2181 2182-2183 2184-2185 2186-2187 2188-2189 2190-2191 2192-2193 2194-2195 2196-2197 2198-2199 2200-2201 2202-2203 2204-2205 2206-2207 2208-2209 2210-2211 2212-2213 2214-2215 2216-2217 2218-2219 2220-2221 2222-2223 2224-2225 2226-2227 2228-2229 2230-2231 2232-2233 2234-2235 2236-2237 2238-2239 2240-2241 2242-2243 2244-2245 2246-2247 2248-2249 2250-2251 2252-2253 2254-2255 2256-2257 2258-2259 2260-2261 2262-2263 2264-2265 2266-2267 2268-2269 2270-2271 2272-2273 2274-2275 2276-2277 2278-2279 2280-2281 2282-2283 2284-2285 2286-2287 2288-2289 2290-2291 2292-2293 2294-2295 2296-2297 2298-2299 2300-2301 2302-2303 2304-2305 2306-2307 2308-2309 2310-2311 2312-2313 2314-2315 2316-2317 2318-2319 2320-2321 2322-2323 2324-2325 2326-2327 2328-2329 2330-2331 2332-2333 2334-2335 2336-2337 2338-2339 2340-2341 2342-2343 2344-2345 2346-2347 2348-2349 2350-2351 2352-2353 2354-2355 2356-2357 2358-2359 2360-2361 2362-2363 2364-2365 2366-2367 2368-2369 2370-2371 2372-2373 2374-2375 2376-2377 2378-2379 2380-2381 2382-2383 2384-2385 2386-2387 2388-2389 2390-2391 2392-2393 2394-2395 2396-2397 2398-2399 2400-2401 2402-2403 2404-2405 2406-2407 2408-2409 2410-2411 2412-2413 2414-2415 2416-2417 2418-2419 2420-2421 2422-2423 2424-2425 2426-2427 2428-2429 2430-2431 2432-2433 2434-2435 2436-2437 2438-2439 2440-2441 2442-2443 2444-2445 2446-2447 2448-2449 2450-2451 2452-2453 2454-2455 2456-2457 2458-2459 2460-2461 2462-2463 2464-2465 2466-2467 2468-2469 2470-2471 2472-2473 2474-2475 2476-2477 2478-2479 2480-2481 2482-2483 2484-2485 2486-2487 2488-2489 2490-2491 2492-2493 2494-2495 2496-2497 2498-2499 2500-2501 2502-2503 2504-2505 2506-2507 2508-2509 2510-2511 2512-2513 2514-2515 2516-2517 2518-2519 2520-2521 2522-2523 2524-2525 2526-2527 2528-2529 2530-2531 2532-2533 2534-2535 2536-2537 2538-2539 2540-2541 2542-2543 2544-2545 2546-2547 2548-2549 2550-2551 2552-2553 2554-2555 2556-2557 2558-2559 2560-2561 2562-2563 2564-2565 2566-2567 2568-2569 2570-2571 2572-2573 2574-2575 2576-2577 2578-2579 2580-2581 2582-2583 2584-2585 2586-2587 2588-2589 2590-2591 2592-2593 2594-2595 2596-2597 2598-2599 2600-2601 2602-2603 2604-2605 2606-2607 2608-2609 2610-2611 2612-2613 2614-2615 2616-2617 2618-2619 2620-2621 2622-2623 2624-2625 2626-2627 2628-2629 2630-2631 2632-2633 2634-2635 2636-2637 2638-2639 2640-2641 2642-2643 2644-2645 2646-2647 2648-2649 2650-2651 2652-2653 2654-2655 2656-2657 2658-2659 2660-2661 2662-2663 2664-2665 2666-2667 2668-2669 2670-2671 2672-2673 2674-2675 2676-2677 2678-2679 2680-2681 2682-2683 2684-2685 2686-2687 2688-2689 2690-2691 2692-2693 2694-2695 2696-2697 2698-2699 2700-2701 2702-2703 2704-2705 2706-2707 2708-2709 2710-2711 2712-2713 2714-2715 2716-2717 2718-2719 2720-2721 2722-2723 2724-2725 2726-2727 2728-2729 2730-2731 2732-2733 2734-2735 2736-2737 2738-2739 2740-2741 2742-2743 2744-2745 2746-2747 2748-2749 2750-2751 2752-2753 2754-2755 2756-2757 2758-2759 2760-2761 2762-2763 2764-2765 2766-2767 2768-2769 2770-2771 2772-2773 2774-2775 2776-2777 2778-2779 2780-2781 2782-2783 2784-2785 2786-2787 2788-2789 2790-2791 2792-2793 2794-2795 2796-2797 2798-2799 2800-2801 2802-2803 2804-2805 2806-2807 2808-2809 2810-2811 2812-2813 2814-28

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**DRAWN** \_\_\_\_\_  
DATE: 02-19-88  
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City of Victoria

### ROUNDHOUSE - FLOOR PLAN

DEC 22 2014

Planning & Development Department  
Development Services Division



ISSUED FOR

- A 07 MAR 68 0000Z  
E 10 MAR 68 1200Z  
C 08 MAR 68 1200Z  
G 12 SEP 71 1200Z  
E 21 NOV 67 1200Z  
F 18 DEC 67 1200Z
- FOR P...  
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101

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ALL INDUSTRIES

440 11/11/2014 10:11 AM  
 441 11/11/2014 10:11 AM  
 442 11/11/2014 10:11 AM  
 443 11/11/2014 10:11 AM

INTERPRETIVE DESIGN  
CONCEPTS AND PROCESSES

401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000

### HISTORIC CONSERVATION

1997年12月15日 星期三 第10000号

## SEPA

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### ROUNDHOUSE AT BAYVIEW PLACE

ROUNDOUSE AT BATH

Roundhouse - Roof Plan

Roundhouse - Re

**CRANE**  
C. J. CRANE, JR.

CHC-ED

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2322

2010年12月10日

DEC 22 2014

Planning & Development Department  
Development Services Division



## ROUNDHOUSE

NOTED FOR

- A. 07/20/11: Roundhouse
- B. 08/24/11: Roundhouse
- C. 09/20/11: Roundhouse
- D. 10/20/11: Roundhouse
- E. 11/20/11: Roundhouse
- F. 12/20/11: Roundhouse

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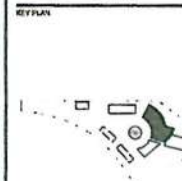
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KEY PLAN

ROUNDHOUSE AT BAYVIEW PLACE

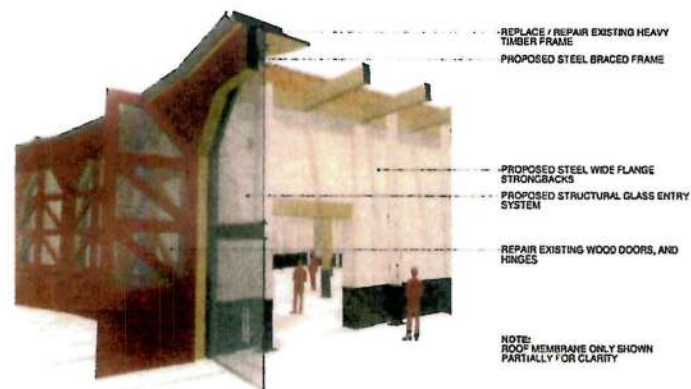
251-252 East 1st Ave. Bldg. 400-601

Roundhouse  
Detail

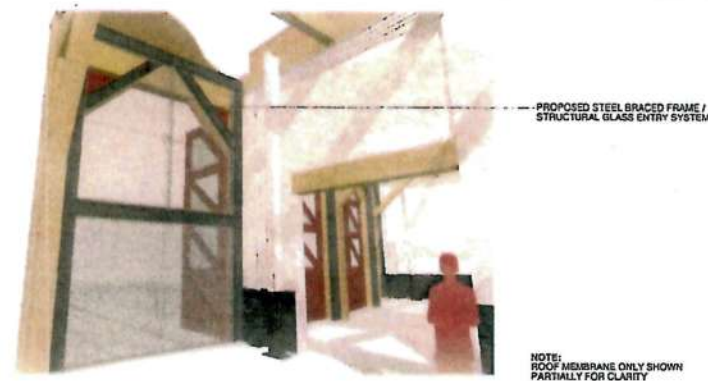
DATE: 12/22/2014

RH-A400

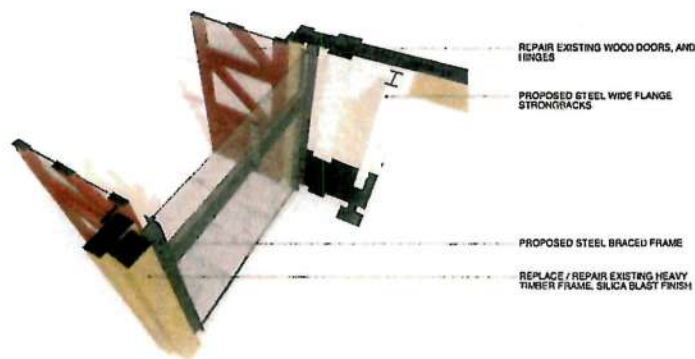
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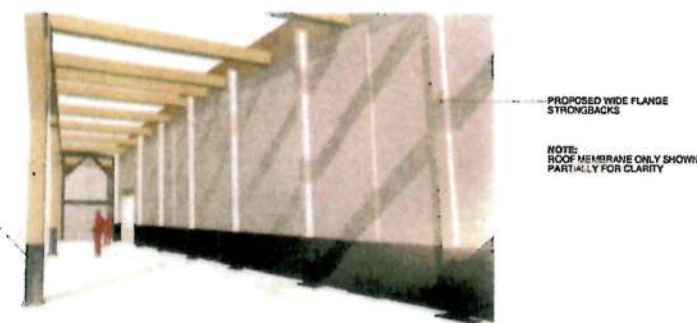
VERTICAL SECTION AT PROPOSED GLASS SYSTEM  
SCALE 1/8" = 1'-0"



TYP. INTERIOR VIEW OF PROPOSED GLASS SYSTEM  
SCALE 1/8" = 1'-0"



PLAN SECTION VIEW OF PROPOSED GLASS SYSTEM  
SCALE 1/8" = 1'-0"



TYP. INTERIOR VIEW OF BAY  
SCALE 1/8" = 1'-0"



TYP. INTERIOR ELEVATION  
SCALE 1/8" = 1'-0"

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A 67563b11: Group 21, 2008  
B 20563b14: Group 21, 2008, 2009, 2010, 2011, 2012  
C 18563b14: Group 21, 2008, 2009, 2010, 2011, 2012  
E 21563b11: Group 21, 2008, 2009, 2010, 2011, 2012  
F 19563b14: Group 21, 2008, 2009, 2010, 2011, 2012

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1. **Identifikasi Masalah**: Menentukan masalah yang akan diteliti.  
 2. **Penelitian Pustaka**: Melakukan penelitian awal untuk memahami masalah yang diteliti.  
 3. **Formulasi Hipotesis**: Merumuskan hipotesis yang akan diuji.  
 4. **Penelitian Lapangan**: Melakukan penelitian langsung di lapangan untuk mengumpulkan data.  
 5. **Analisis Data**: Melakukan analisis data yang telah dikumpulkan.  
 6. **Penarikan Kesimpulan**: Menarik kesimpulan dari hasil penelitian.  
 7. **Penyusunan Laporan**: Menyusun laporan penelitian yang lengkap.

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 312/467-1000

### HISTORIC CONSERVATION

## KEY PLAN



SEAL

#### ROUNDHOUSE AT BAYVIEW PLACE

251-259 Equipment B.7. 2000. 82, 104, 105.

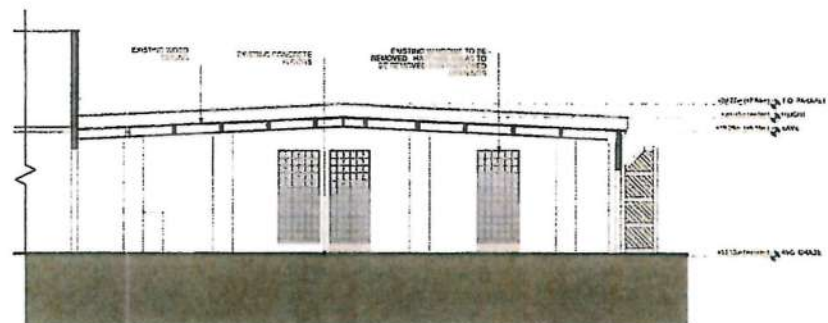
## Roundhouse Sections

**ENR0279**

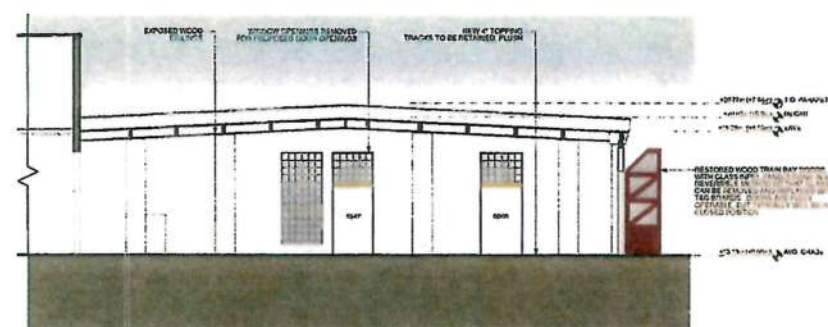
CHEMICAL

RH-A401

03002



ROUNDHOUSE: EXISTING LONGITUDINAL SECTION  
SCALE 1/120



ROUNDHOUSE: PROPOSED LONGITUDINAL SECTION

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## ROUNDHOUSE

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- A. 14 JANUARY 2014 - PRELIMINARY
- B. 24 MARCH 2014 - PRELIMINARY
- C. 10 APRIL 2014 - PRELIMINARY
- D. 24 MARCH 2014 - PRELIMINARY
- E. 24 MARCH 2014 - PRELIMINARY
- F. 10 DECEMBER 2014 - PRELIMINARY

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KEY PLAN



25120 Bayview Rd. Victoria, BC V8M 1A1

Roundhouse Elevations

ROUNDHOUSE AT BAYVIEW PLACE

25120 Bayview Rd. Victoria, BC V8M 1A1

Roundhouse Elevations

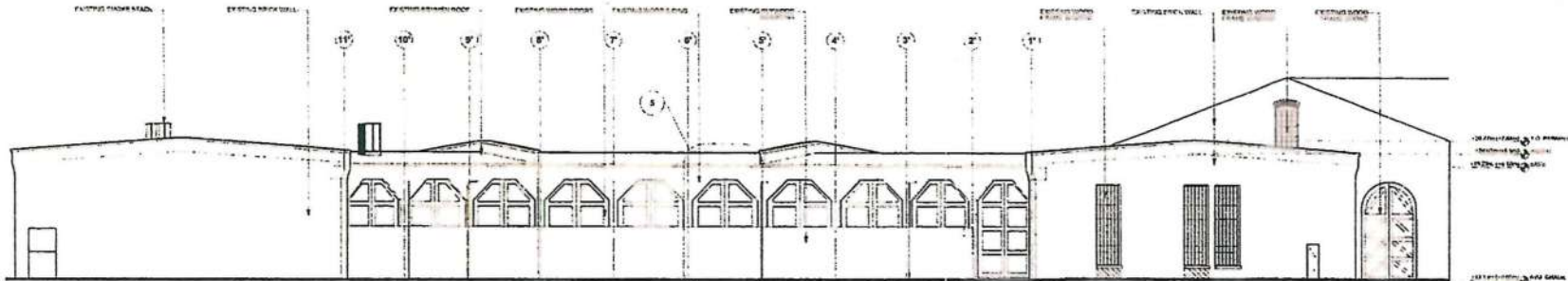
25120 Bayview Rd. Victoria, BC V8M 1A1

25120 Bayview Rd. Victoria, BC V8M 1A1

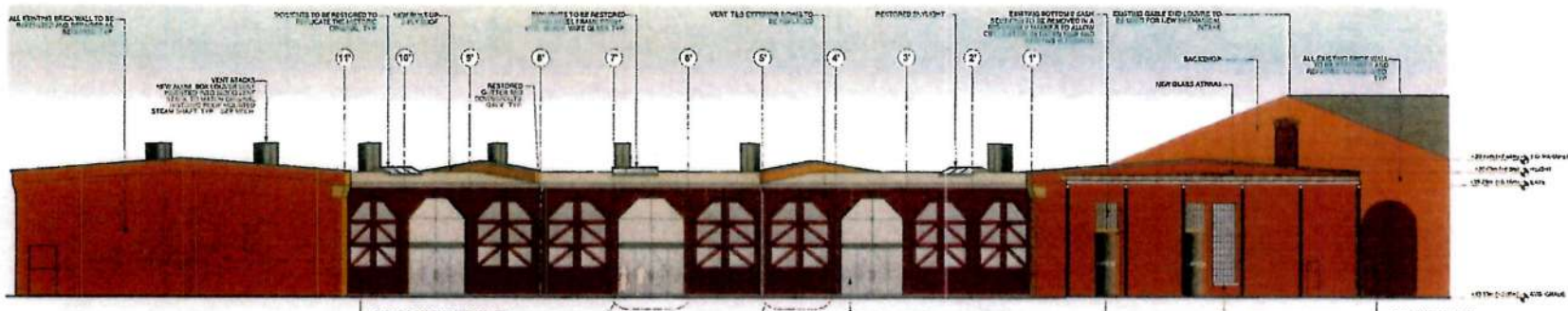
25120 Bayview Rd. Victoria, BC V8M 1A1

25120 Bayview Rd. Victoria, BC V8M 1A1

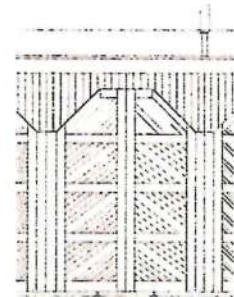
25120 Bayview Rd. Victoria, BC V8M 1A1



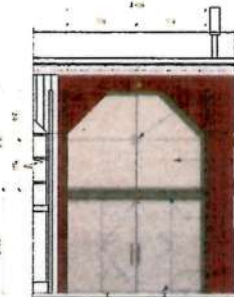
1 EXISTING FRONT ELEVATION (SHOWN AS TRUE ELEVATION)  
SCALE 1:50



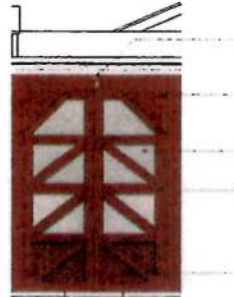
2 PROPOSED FRONT ELEVATION (SHOWN AS TRUE ELEVATION)  
SCALE 1:50



3 EXISTING ELEVATION OF TYP. TRAIN BAY  
SCALE 1:20



4 PROPOSED ELEVATION OF TYP. ENTRANCE BAY  
SCALE 1:20



5 PROPOSED ELEVATION OF TYP. RESTORED BAY DOORS  
SCALE 1:20

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A. 07 MAR 04 00:00:00  
B. 20 MAR 04 00:00:00  
C. 18 APR 04 00:00:00  
D. 21 NOV 03 00:00:00  
E. 15 DEC 04 00:00:00

19 DEC 88 10:41 AM  
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## RETRIP PLAN

.....

[illegible]

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## Roundhouse Elevations

TRAFFIC  
PLOT DATE 12-15-91

CHOC-ED

BUA 500

RH-A503

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 A. 07/06/10: Issued for the  
 B. 02/06/10: Issued for the  
 C. 18/06/10: Issued for the  
 D. 12/06/10: Issued for the  
 E. 21/06/10: Issued for the  
 F. 03/07/10: Issued for the

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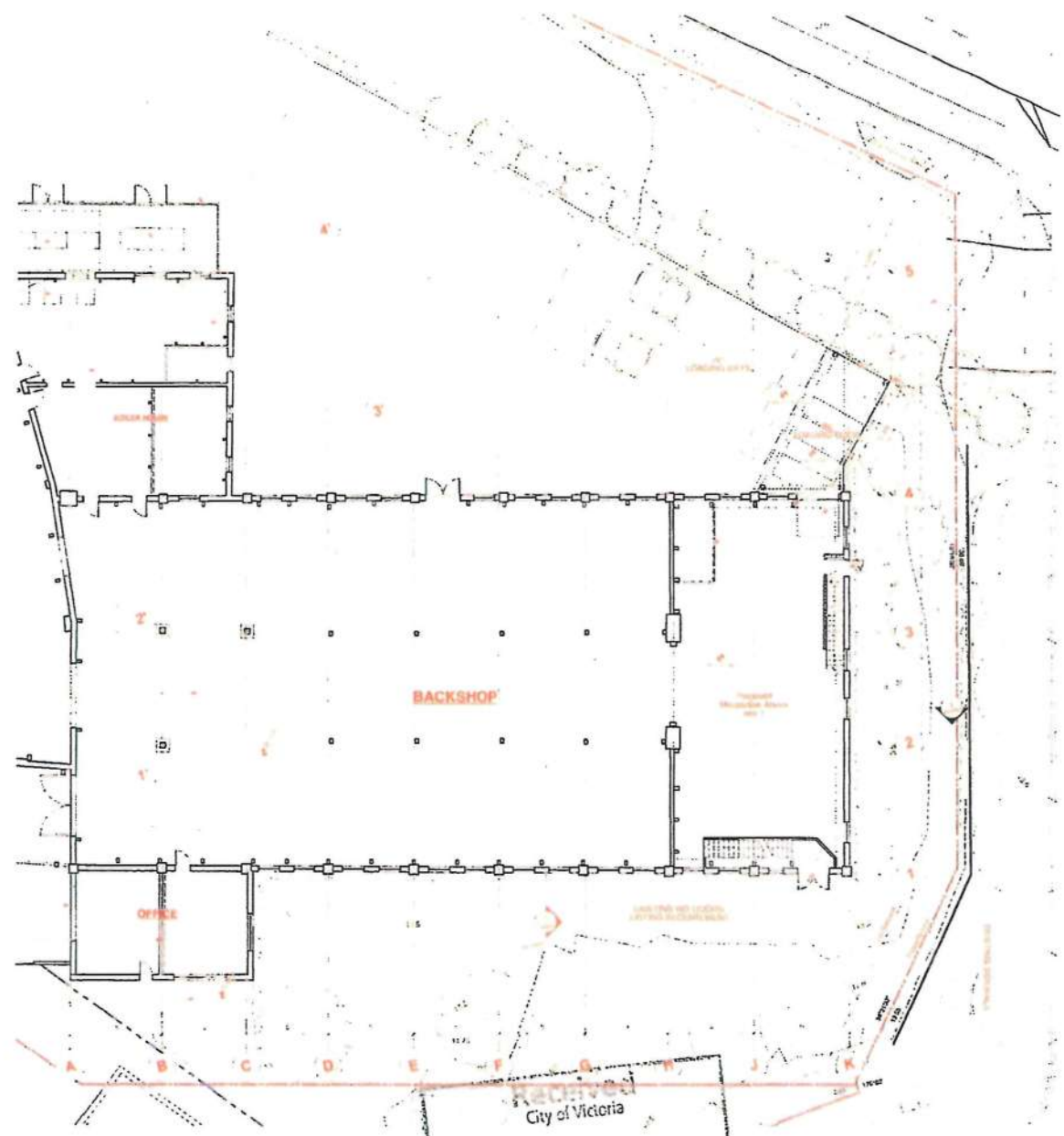
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ROUNDHOUSE AT BAYVIEW PLACE

221-228 Bayview Rd, Victoria 3008  
 Backshop - Floor Plan

PROJECT: 221-228 BAYVIEW RD  
 DATE: 02/06/10  
 DRAWN BY: J. D. 02/06/10  
 CHECKED BY: J. D. 02/06/10  
 SCALE: 1:100

BS-A201



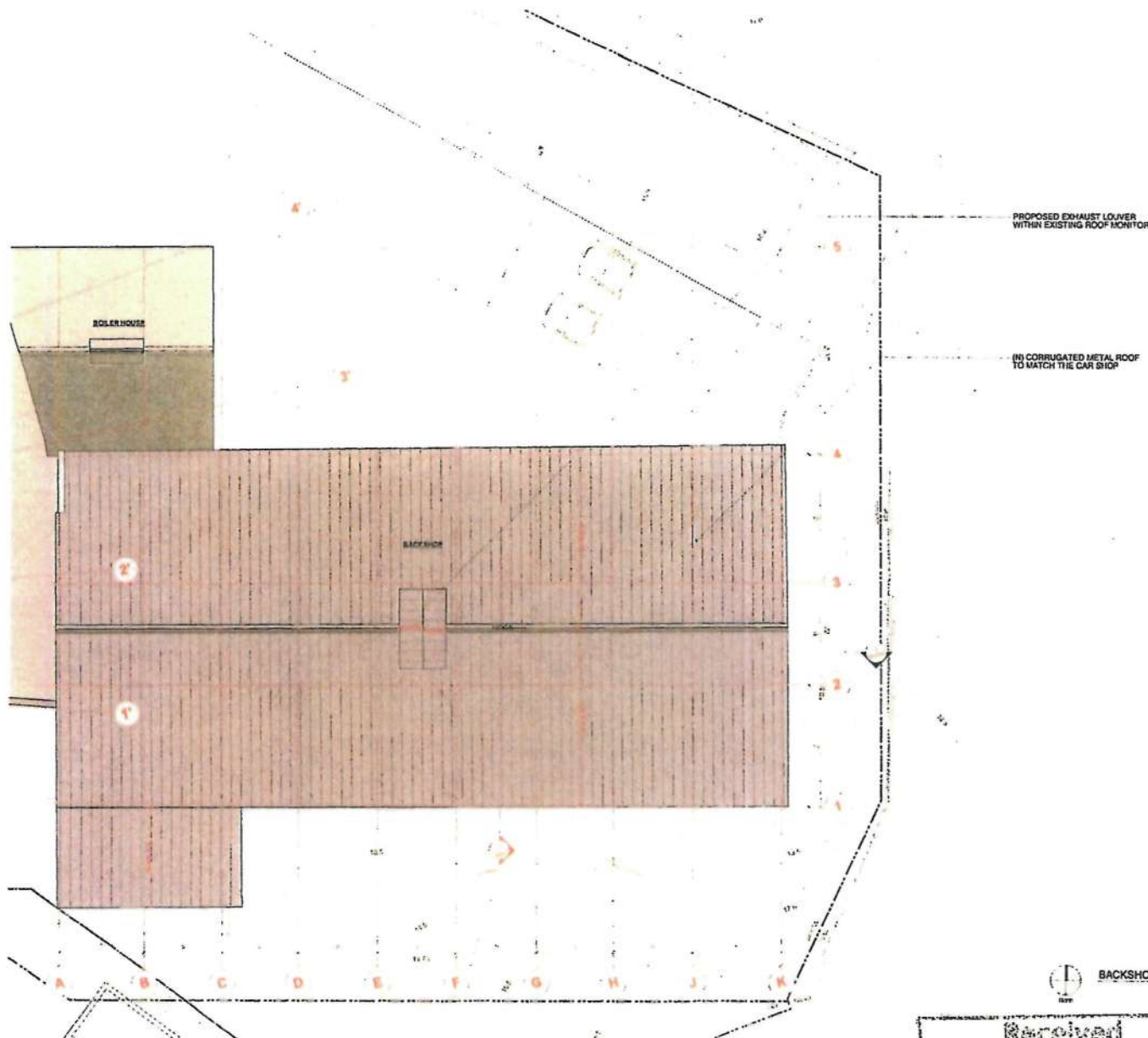
NOTE:  
 Maximum parking space indicated by yellow hatching, may be subject to change by Building Code Amendment

(T) BACKSHOP - FLOOR PLAN  
 SCALE 1:100 (2)

BACKSHOP - MEZZANINE FLOOR PLAN  
 SCALE 1:100 (1)

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PROPOSED EXHAUST LOUVER  
WITHIN EXISTING ROOF MONITOR

(B) CORRUGATED METAL ROOF  
TO MATCH THE CAR SHOP

BACKSHOP - ROOF PLAN  
SCALE: 1/8" = 1'-0"

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- A. 07 MAR 14 - Initial Design
  - B. 12 MAR 14 - Initial Design
  - C. 14 APR 14 - Initial Design
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ROUNDHOUSE AT BAYVIEW PLACE

ROUNDHOUSE AT BAYVIEW PLACE  
ROUNDHOUSE AT BAYVIEW PLACE  
ROUNDHOUSE AT BAYVIEW PLACE  
ROUNDHOUSE AT BAYVIEW PLACE

Backshop - Roof Plan

Backshop - Roof Plan  
Backshop - Roof Plan  
Backshop - Roof Plan  
Backshop - Roof Plan

070271 PLOT DATE: 12-19-11 CHG-421

070271 PLOT DATE: 12-19-11 CHG-421

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070271 PLOT DATE: 12-19-11 CHG-421

070271 PLOT DATE: 12-19-11 CHG-421

070271 PLOT DATE: 12-19-11 CHG-421

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2017年12月15日

2008年12月10日，在“2008年中国年度人物”颁奖典礼上，中国首位“感动中国”的农民工——李顺成，被推选为“2008年中国年度人物”。李顺成，男，45岁，湖南人，现任湖南长沙某建筑公司项目经理。他从事建筑行业多年，为人正直、诚实守信、乐于助人。在2008年，他带领团队完成了多项重大工程，为公司赢得了良好的声誉。同时，他还积极参与社会公益活动，为灾区捐款捐物，展现了良好的社会责任感。李顺成的事迹在行业内和社会上产生了广泛影响，得到了广大群众的认可和赞誉。

## ARCHITECT &amp; PRIME CONSULTANT

1. 1990年1月1日起，凡在境内从事生产经营活动的纳税人，其应纳税额，除另有规定外，均按本规定执行。  
 2. 1990年1月1日起，凡在境内从事生产经营活动的纳税人，其应纳税额，除另有规定外，均按本规定执行。  
 3. 1990年1月1日起，凡在境内从事生产经营活动的纳税人，其应纳税额，除另有规定外，均按本规定执行。  
 4. 1990年1月1日起，凡在境内从事生产经营活动的纳税人，其应纳税额，除另有规定外，均按本规定执行。  
 5. 1990年1月1日起，凡在境内从事生产经营活动的纳税人，其应纳税额，除另有规定外，均按本规定执行。

## LANDSCAPE ARCHITECT

**CHASSIS AND SUSPENSION**  
The chassis and suspension are made of steel.  
The chassis is made of steel.  
The suspension is made of steel.

**STRUCTURAL ENGINEER**  
PR-42 KMB 5486 1/1/2010 10:10:10

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### ROUNDHOUSE AT BAYVIEW PLACE

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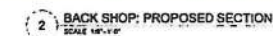
## Back Shop Sections

000000

CHICAGO

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- A 07/04/14 - 07/04/14
- B 20/04/14 - 20/04/14
- C 18/04/14 - 18/04/14
- D 20/04/14 - 20/04/14
- E 18/04/14 - 18/04/14
- F 18/04/14 - 18/04/14

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### KEY PLAN

KEY PLAN  
KEY PLAN

### SCALE

SCALE  
SCALE

### ROUNDHOUSE AT BAYVIEW PLACE

ROUNDHOUSE AT BAYVIEW PLACE  
ROUNDHOUSE AT BAYVIEW PLACE

### BACK SHOP ELEVATIONS

BACK SHOP ELEVATIONS  
BACK SHOP ELEVATIONS

### DATE

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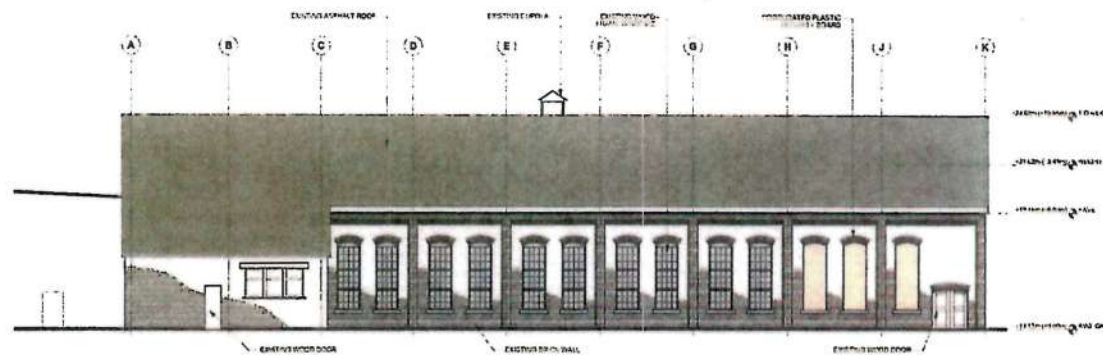
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BY

### DATE

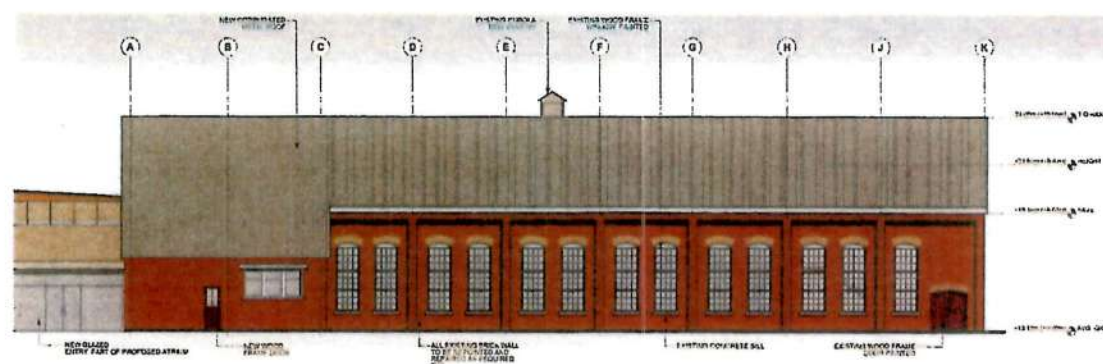
DATE  
DATE

### BY

BY  
BY



1 BACK SHOP: EXISTING SOUTH ELEVATION  
SCALE 1:100



2 BACK SHOP: PROPOSED SOUTH ELEVATION  
SCALE 1:100

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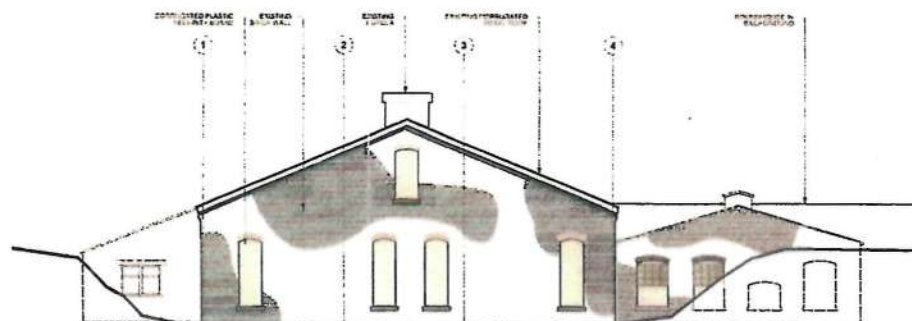
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ROUNDHOUSE

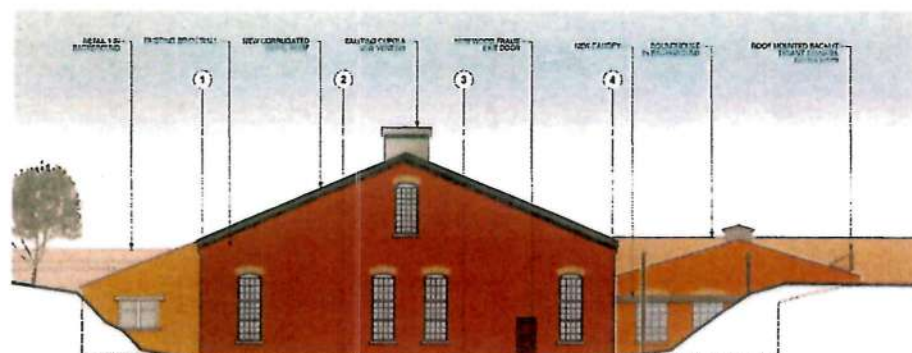
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- A. 07 JANUARY 2014 - PRELIMINARY
- B. 10 JANUARY 2014 - PRELIMINARY
- C. 14 JANUARY 2014 - PRELIMINARY
- D. 20 JANUARY 2014 - PRELIMINARY
- E. 27 JANUARY 2014 - PRELIMINARY
- F. 13 DECEMBER 2013 - PRELIMINARY

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1 BACK SHOP: EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 BACK SHOP: PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

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VIEWED FOR

- A. 27 MAY 2011

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NOT FOR CONSTRUCTION

**NETRIC**

1. 本報為推廣及普及各項資訊，特設「社區服務」專欄，歡迎各界人士踴躍投稿。  
 2. 投稿者請將稿件寄至：香港新界沙田新城市廣場二期地下大堂「社區服務」專欄收。  
 3. 稿件請用中文書寫，並請註明真實姓名及聯絡電話。  
 4. 本報有權對稿件進行刪改，以配合版面需要。  
 5. 稿件恕不退還，請作者自留底稿。  
 6. 本報保留對稿件進行法律追訴之權利。

## ARCHITECT &amp; PRIME CONSULTANT

[illegible]

**LANDSCAPE ARCHITECT**

2011年12月31日 星期日

## STRUCTURAL ENGINEER

**Public Affs. Staff**—2000-2001: 100  
2001-2002: 100  
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2254-2255: 100  
225

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1. The first part of the text discusses the importance of understanding the context of a problem before attempting to solve it. It emphasizes that a thorough understanding of the problem is essential for developing an effective solution.

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**Author's address:** Department of Computer Science, University of Illinois at Chicago, Chicago, IL 60607-7159, USA.  
E-mail: [shankar@cs.uic.edu](mailto:shankar@cs.uic.edu)

104 23-03974-01

SEAS

### ROUNDHOUSE AT BAYVIEW PLACE

251078 Ely, J. H., & R. A. Vining. 1963. Vicia

### Car Shop - Floor Plan

Employee \_\_\_\_\_ CHECKED \_\_\_\_\_

CS-A201

03/02

NOTES:  
A. See 1/A301 for descriptions of CP-1, and CP-2

Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Department of the Interior

**CAR SHOP - FLOOR PLAN**



[illegible]

- A 09 MAY 2018  
B 20 MAY 2018  
C 05 JUN 2018  
D 12 SEP 2018  
E 21 NOV 2018  
F 09 DEC 2018

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## METRIC

401. **What is the purpose of the "What's New" section?**  
 The "What's New" section provides information about new products, services, and events.

Submitted for publication 10/20/01; accepted 1/24/02. Address correspondence and reprint requests to Dr. J. A. Sparano, Department of Medical Oncology, Memorial Sloan-Kettering Cancer Center, 1275 York Ave., Box 357, New York, NY 10021 (e-mail: sparano@mskcc.org).

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For all other cases, the results are similar to those for the first case, with the only difference being that the results are now for the second case.

2010年12月10日

[illegible]

1. The first step is to identify the problem or question that needs to be answered. This involves understanding the context and the specific requirements of the task.

En (2009) e (2010) p. 100-101

## 45/2

## ROUNDHOUSE AT BAYVIEW PLACE

253-258 F. 3-4-1991 P. 1 V. 1000 3C V. 1000

### Car Shop - Roof Plan

DRAWN  
PLOT DATE 12/18/91

CS-A202

02:02

Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development of the New Division

**CAR SHOP - ROOF PLAN**  
SCALE 1/8" = 1'-0"

## ROUNDHOUSE

ISSUED FOR:

- A. 07 WALLS: EXISTING + NEW
- B. 10 WALLS: EXISTING + NEW + ROOF
- C. 10 WALLS: EXISTING + NEW + ROOF
- D. 21 WALLS: EXISTING + NEW + ROOF
- E. 10 WALLS: EXISTING + NEW + ROOF
- F. 10 WALLS: EXISTING + NEW + ROOF

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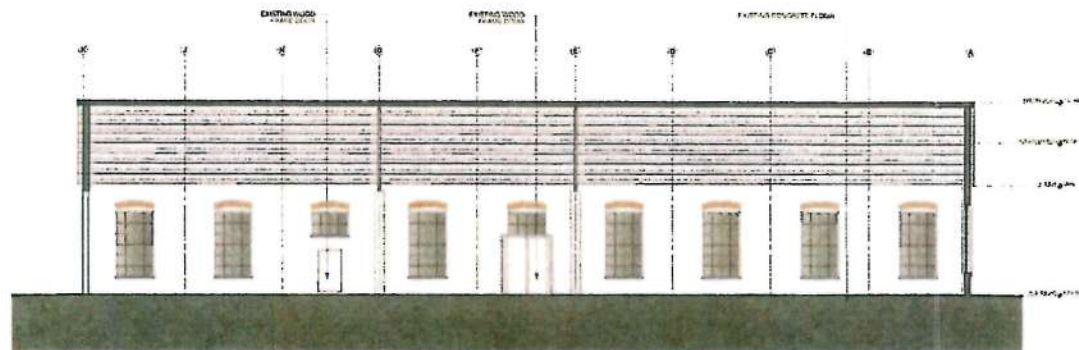
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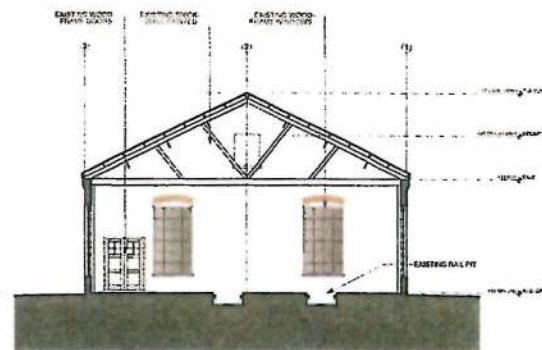
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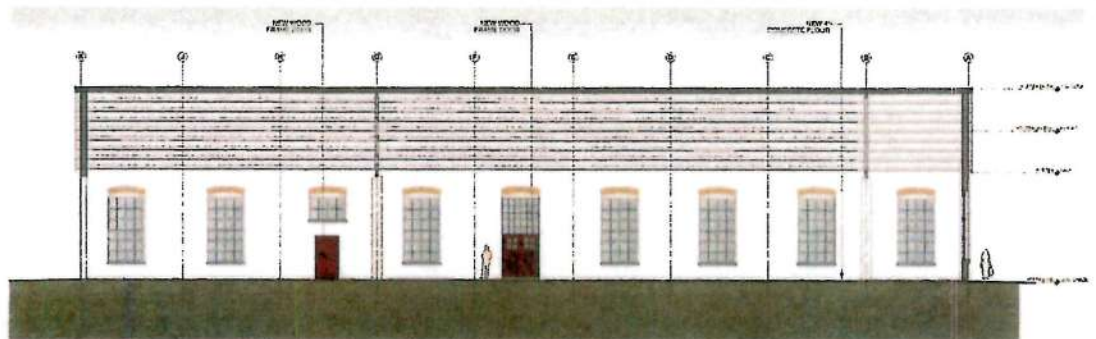
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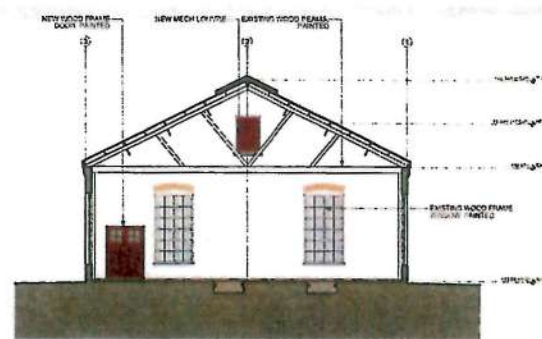
3 CAR SHOP: EXISTING LONGITUDINAL SECTION  
SCALE 1:100



1 CAR SHOP: EXISTING LATERAL SECTION  
SCALE 1:100



4 CAR SHOP: PROPOSED LONGITUDINAL SECTION  
SCALE 1:100



2 CAR SHOP: PROPOSED LATERAL SECTION  
SCALE 1:100



REAL

ROUNDHOUSE AT BAYVIEW PLACE

251-259 Bayview Rd. Victoria BC V8A 6A1

Car Shop  
Sections

DATE: 10/10/14

CHW:ED

CS-A401

01002

10/10/14 10:10:14

Received  
City of Victoria  
DEC 22 2014  
Planning & Development  
Building Department







## ROUNDHOUSE

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- A. 30 MAY 2014 - PRELIMINARY
- B. 20 MAR 2014 - PRELIMINARY
- C. 14 APR 2014 - PRELIMINARY
- D. 20 MAR 2014 - PRELIMINARY
- E. 10 DEC 2014 - PRELIMINARY

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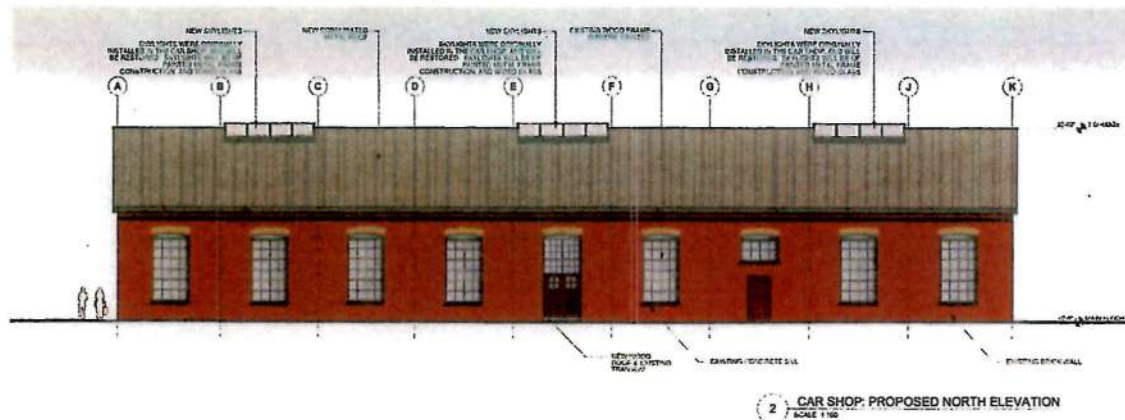
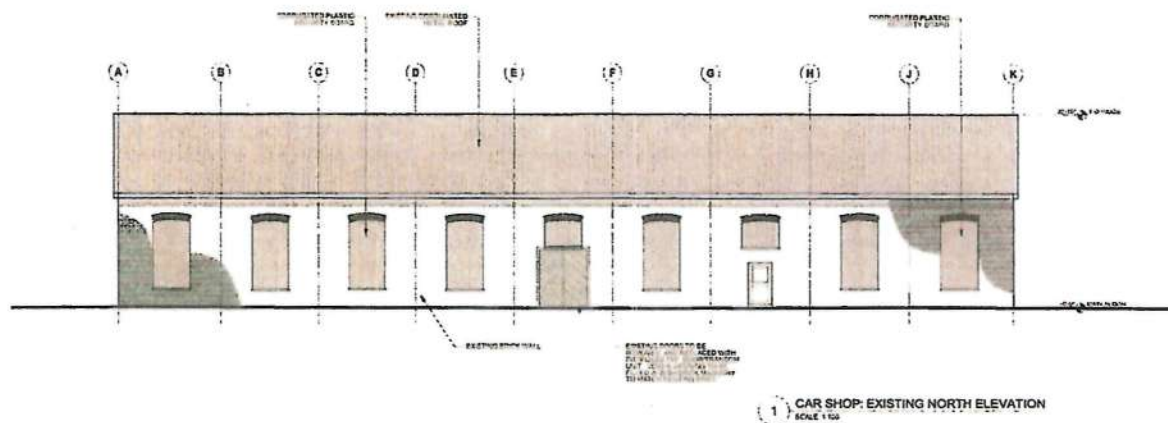
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City of Victoria  
Planning & Development Department  
Development Services Division  
DEC 22 2014  
Planning & Development Department  
Development Services Division

ROUNDHOUSE AT BAYVIEW PLACE

200-2000 Bayview Road, Victoria, BC V8M 1A1

Car Shop Elevations

DRAWN: J. L. DATE: 12/18/14 CHECKED: J. L.

CS-A502

03002

A 5/12/0111 10:00:00 AM  
B 10/12/0111 10:00:00 AM  
C 12/12/0111 10:00:00 AM  
D 21/12/0111 10:00:00 AM  
E 18/12/0111 10:00:00 AM

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**Art. 10** - **Principio de la no devolución** - El Estado no puede expulsar, deportar o extraditar a una persona a un país donde exista riesgo real de que sea víctima de tortura o de malos tratos inhumanos, degradantes o discriminatorios.

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WATFORD, Herts. WD17 8JL  
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Fax: Watford 691111

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SUITE 402 • 1000 N. 1ST ST. • APT. 402  
ST. LOUIS, MO 63102  
LOUISIANA: SUITE 107  
P.O. BOX 107 • ST. LOUIS, MO 63102  
TEL: 314/241-1111 FAX: 314/241-1112

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REV. 1-7-68



SEAL

### ROUNDHOUSE AT BAYVIEW PLACE

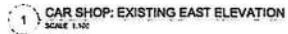
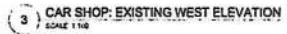
251-270 Expressions: Verbs: 32 V/A (A)

## Car Shop Elevations

DATE: 12/19/11 CHECKED:

CS-A503

Figure 1. *Staphylococcus aureus* MRSA strains



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Planning & Development Department  
Development & Design Division

A 07 MAR 2014 14:00:00 UTC  
B 10 MAR 2014 14:00:00 UTC  
C 13 MAR 2014 14:00:00 UTC  
D 16 MAR 2014 14:00:00 UTC  
E 19 MAR 2014 14:00:00 UTC  
F 22 MAR 2014 14:00:00 UTC

FOR INFORMATION OF THE  
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**MECHANICAL ENGINEER**  
and CLIMATE CONTROL  
Specialist

**HISTORIC CONSERVATION**

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 404 475/137-4012

### ROUNDHOUSE AT BAYVIEW PLACE

### Stores Building - Floor Plan

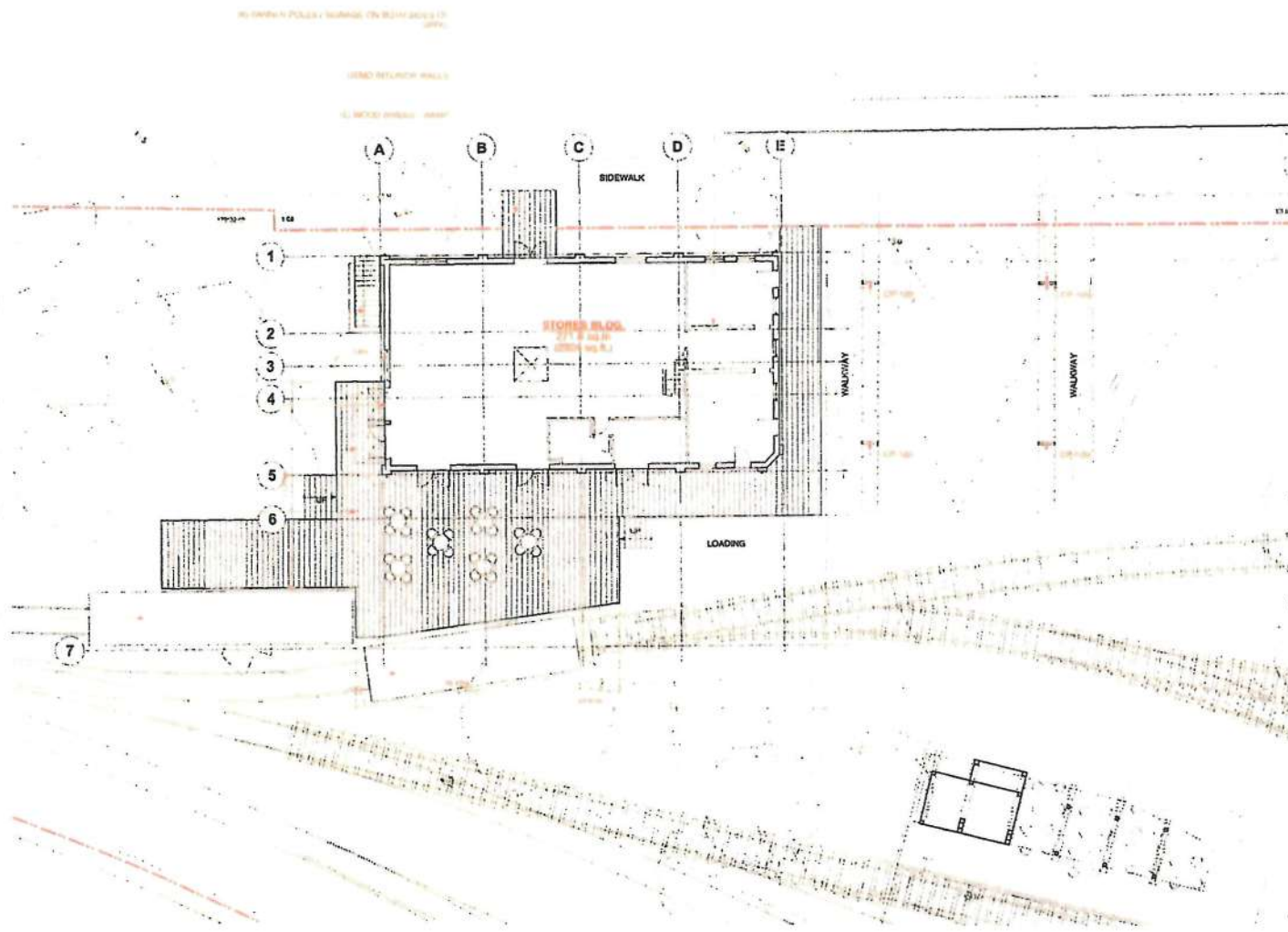
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\*875 5. *Undifferentiated Business*



• STORES BUILDING - FLOOR PLAN •

City of Victoria

DEC 22 2014

Planning & Development Department  
 Purchasing & Logistics Division





## ROUNDDHOUSE

ISSUED FOR

- A. 01/04/11: Structural DP
- E. 20/04/11: Structural DP
- C. 18/04/11: Structural DP
- E. 21/04/11: Structural DP
- F. 18/04/11: Structural DP

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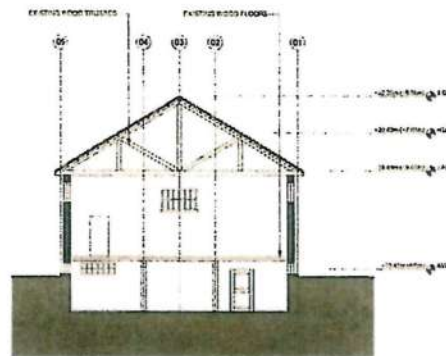
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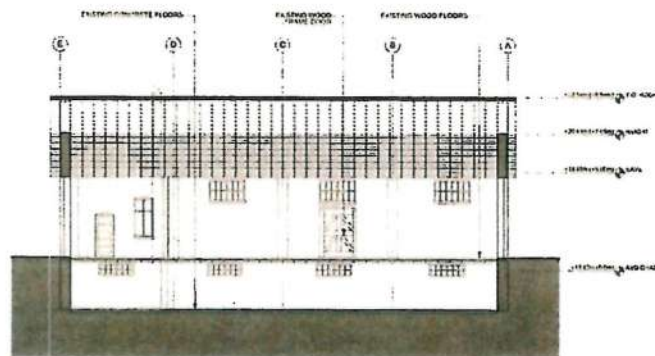
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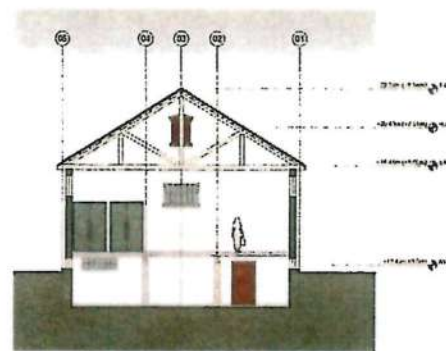
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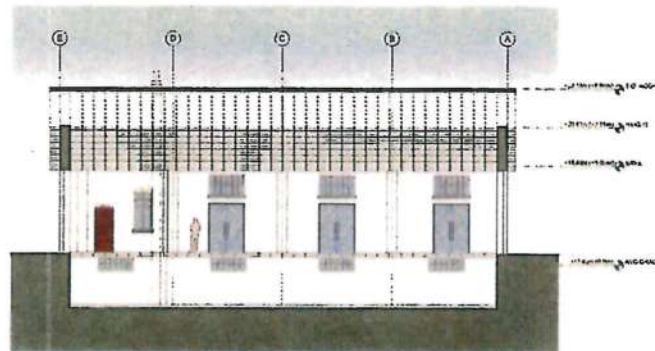
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SCALE: 1:100



1 STORES: EXISTING LONGITUDINAL SECTION  
SCALE: 1:100



4 STORES: PROPOSED SECTION  
SCALE: 1:100



2 STORES: PROPOSED LONGITUDINAL SECTION  
SCALE: 1:100

Received  
City of Victoria

DEC 22 2014

Planning & Dev't, South Department  
Development & Planning Division

ROUNDDHOUSE AT BAYVIEW PLACE

251-258 Esplanade W. Victoria BC V8W 2E4

Stores  
Sections

DRAWN  
PLOT DATE: 03/05/11

CHECKED

ST-A401

02092

10/12/11 10:11 AM

## ROUNDHOUSE

NOTED FOR

- A. EXISTING ROOF TO REMAIN
- B. EXISTING ROOF TO REMAIN
- C. EXISTING ROOF TO REMAIN
- D. EXISTING ROOF TO REMAIN
- E. EXISTING ROOF TO REMAIN
- F. EXISTING ROOF TO REMAIN

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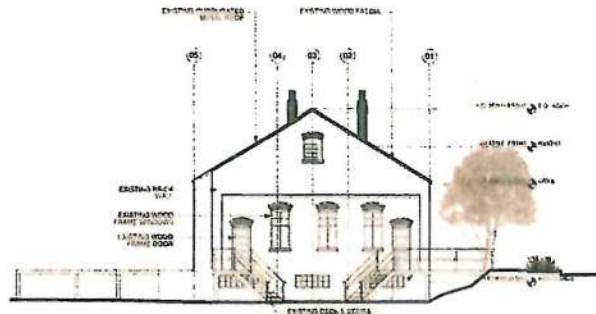
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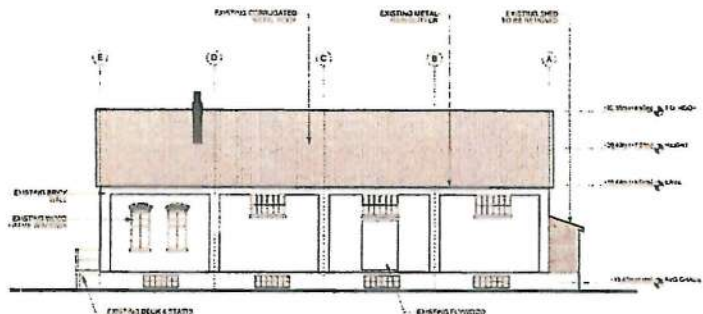
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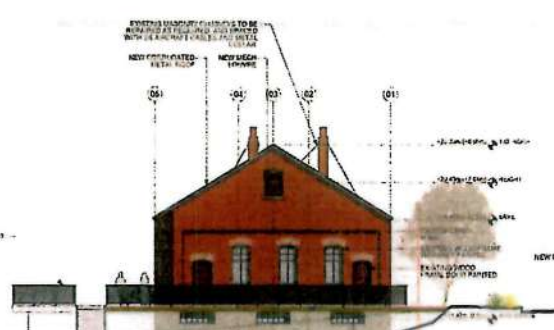
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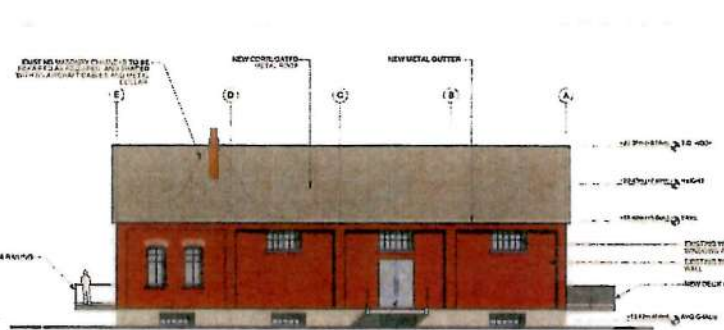
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SCALE 1/4" = 1'-0"



1 STORES BLDG: EXISTING NORTH ELEVATION  
SCALE 1/4" = 1'-0"



4 STORES BLDG: PROPOSED EAST ELEVATION  
SCALE 1/4" = 1'-0"



2 STORES BLDG: PROPOSED NORTH ELEVATION  
SCALE 1/4" = 1'-0"

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City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development Services Division

ROUNDHOUSE AT BAYVIEW PLACE

251-259 Bayview Place, Victoria, BC V8P 1A1

Stores  
Elevations

DRAWN: [Name] CHECKED: [Name]

ST-A501

03/2017





A 07 MAY16 09:00:00  
B 18 MAY16 09:00:00  
C 18 MAY16 09:00:00  
D 18 MAY16 09:00:00  
E 21 MAY16 09:00:00  
F 18 MAY16 09:00:00

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이러한 사실은, 이념적 대립이 아니라, 현실적 이해관계의 충돌에 기인한 것으로 보인다. 그리고, 이념적 대립이 아니라, 현실적 이해관계의 충돌에 기인한 것으로 보인다. 그리고, 이념적 대립이 아니라, 현실적 이해관계의 충돌에 기인한 것으로 보인다.

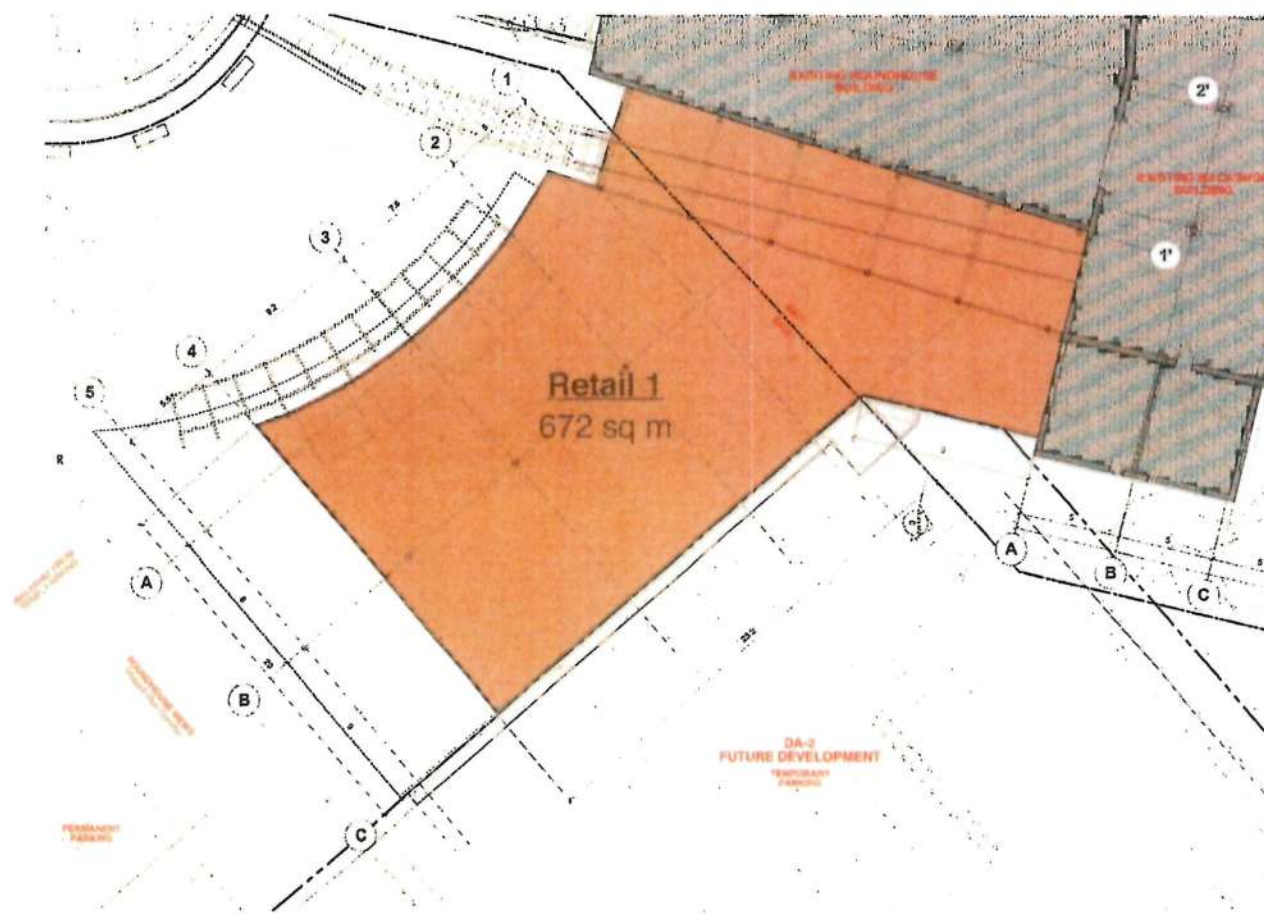
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#### ROUNDHOUSE AT BAYVIEW PLACE

**B-1-B-1-FL-BI**

CRABBY	CHOC-LO
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R1-A201



RETAIL 1 - FLOOR PLAN  
SCALE: 1/32" = 1'-0"

City of Victoria

DEC 22 2014

U.S. Department  
of Justice

ROUNDHOUSE

ISSUED FOR

- A. 07/10/14: Initial Design
- B. 28/10/14: Initial Design Review
- C. 18/11/14: Initial Design Review
- D. 12/12/14: Initial Design Review
- E. 21/12/14: Initial Design Review
- F. 18/01/15: Initial Design Review

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DA-2 FUTURE DEVELOPMENT

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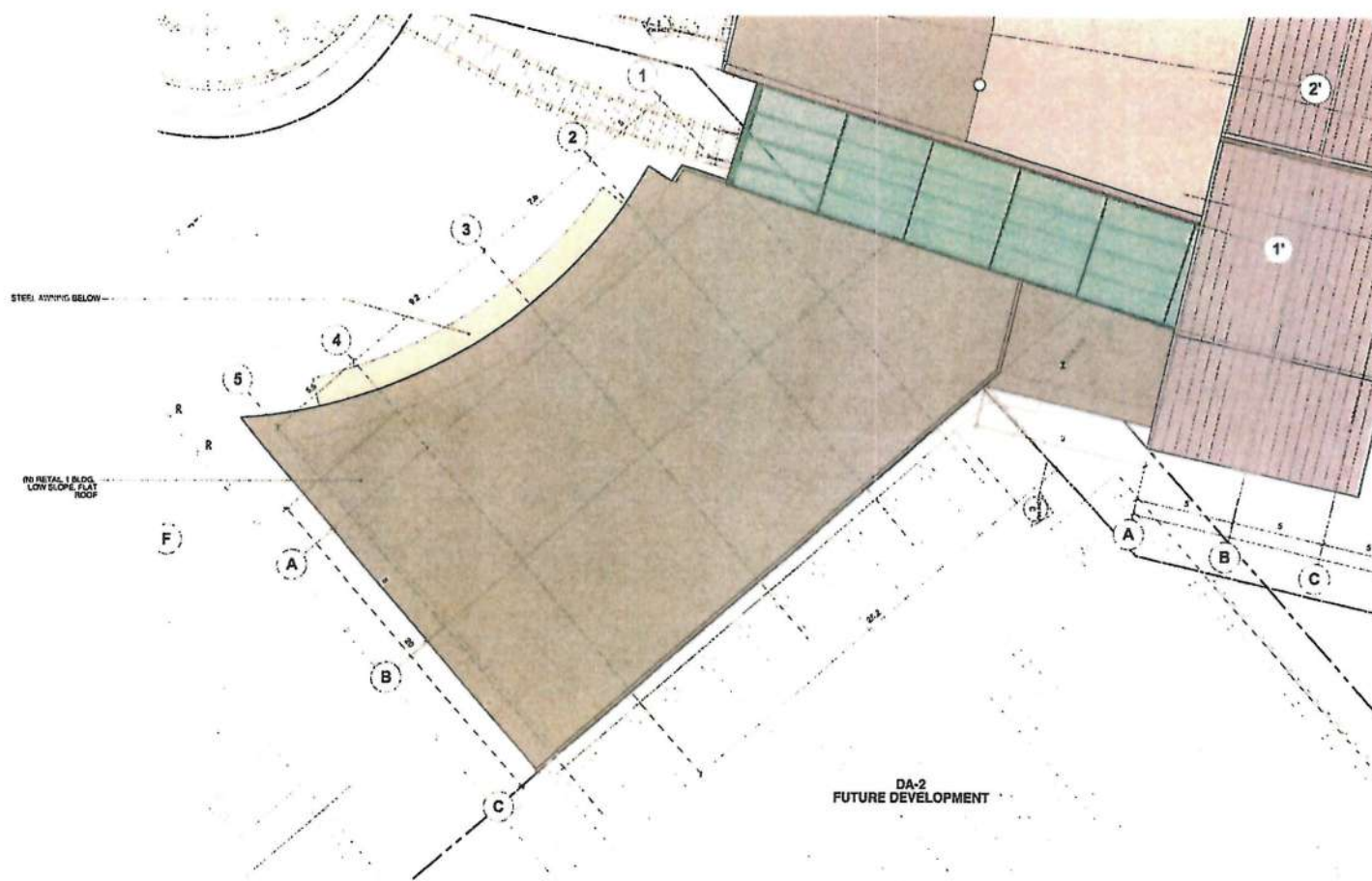
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DA-2 FUTURE DEVELOPMENT



RETAIL 1 - ROOF PLAN  
SCALE 1:100

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Planning & Development Services Division

ROUNDHOUSE AT BAYVIEW PLACE

25/09/14: Initial Design Review

Retail 1 - Roof Plan

000001

R1-A202

000002







ROUNDHOUSE

ISSUED FOR

- A 07/10/14 - Roundhouse
  - B 20/04/16 - Roundhouse
  - C 03/05/16 - Roundhouse
  - D 12/05/16 - Roundhouse
  - E 21/05/16 - Roundhouse
  - F 10/02/17 - Roundhouse
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STRUCTURAL ENGINEER

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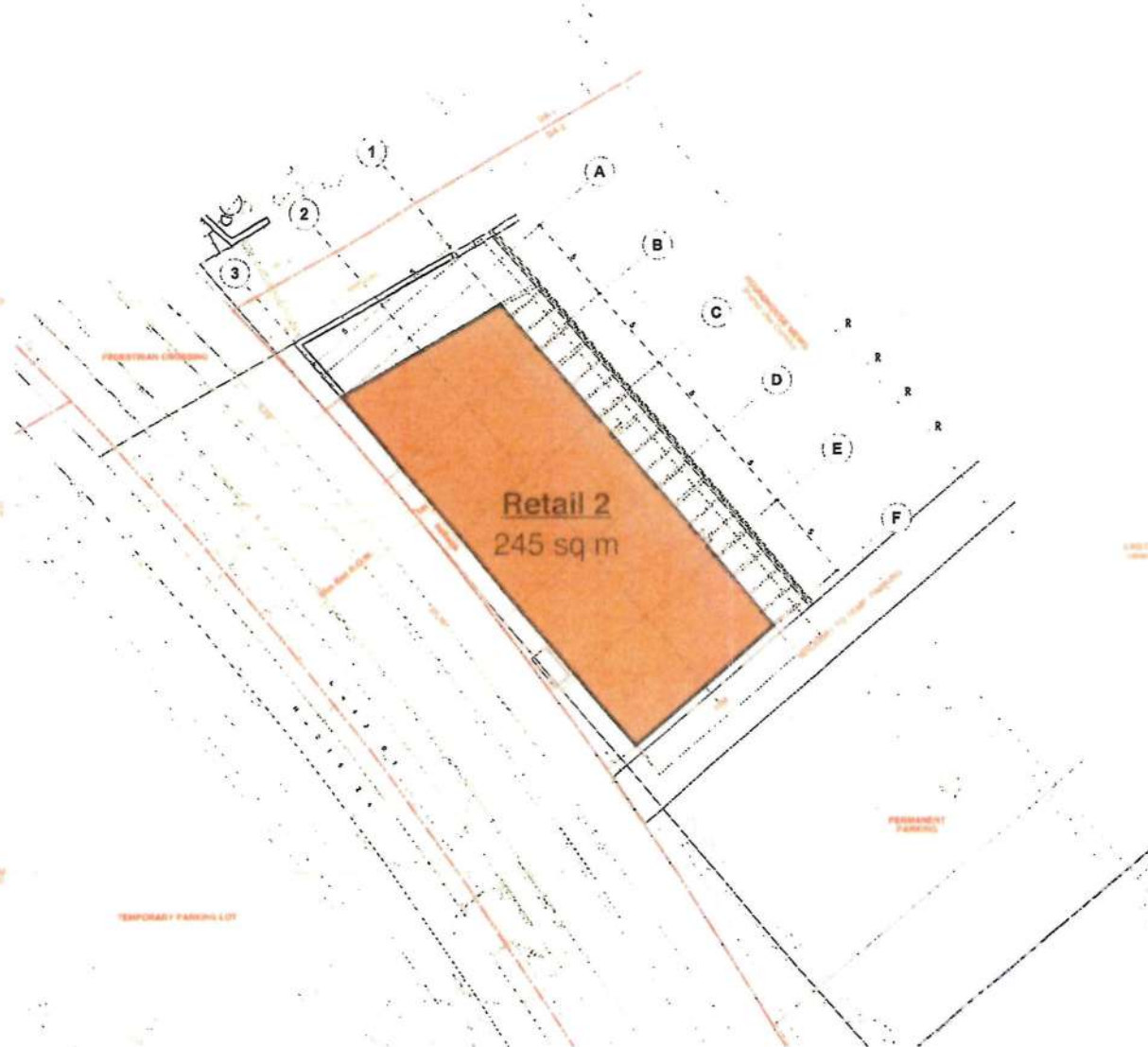
ROUNDHOUSE AT BAYVIEW PLACE

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Retail 2 - Floor Plan

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Retail 2 - Floor Plan



RETAIL 2 - FLOOR PLAN  
SCALE 1:100

Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development Services Division



A 07 MAY 18    Accepted for publication

B 20 MAY 18    Received for publication and accepted

C 03 JUN 18    Received for publication and accepted

D 12 SEPT 18    Accepted for publication and accepted

E 24 APR 14    Accepted for publication

F 08 DEC 15    Received for publication and accepted

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Suite 1000, Denver, CO 80202

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BUREAU OF LAND MANAGEMENT

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### ROUNDHOUSE AT BAYVIEW PLACE

253-254 Fajardo Rd. Waukegan, IL 60087

### Retail 2 - Roof Plan

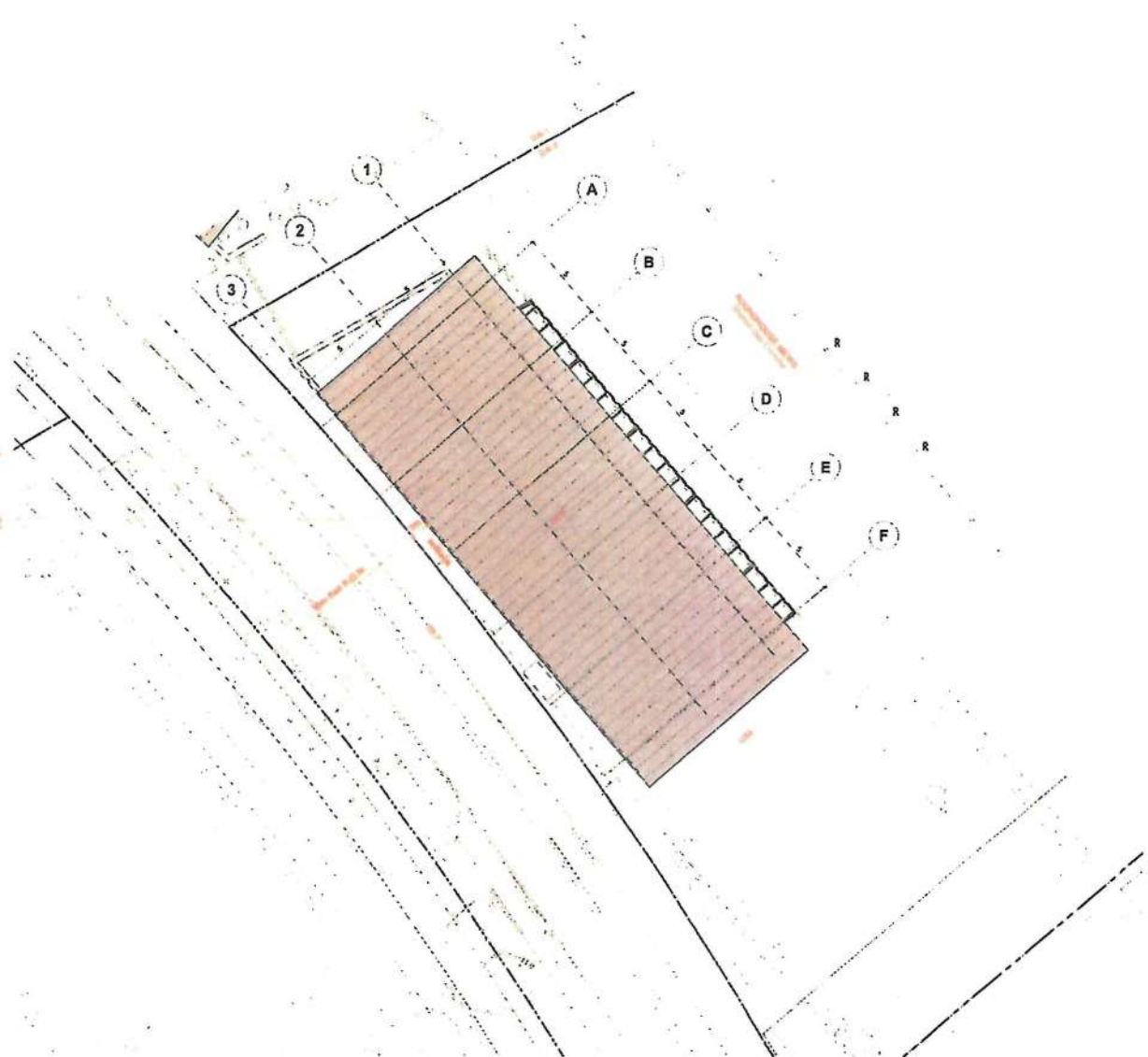
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Figure 3. 3D visualization of the 3D model.



RETAIL 2 - ROOF PLAN  
SCALE: 1/8" = 1'-0"

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 Environment & Urban Services



00092



ROUNDHOUSE

DISCUSSION

- A. CONSULTANT'S RESPONSE
- B. DISCUSSION - CONSULTANT'S RESPONSE
- C. DISCUSSION - CONSULTANT'S RESPONSE
- D. DISCUSSION - CONSULTANT'S RESPONSE
- E. DISCUSSION - CONSULTANT'S RESPONSE
- F. DISCUSSION - CONSULTANT'S RESPONSE

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REVISION

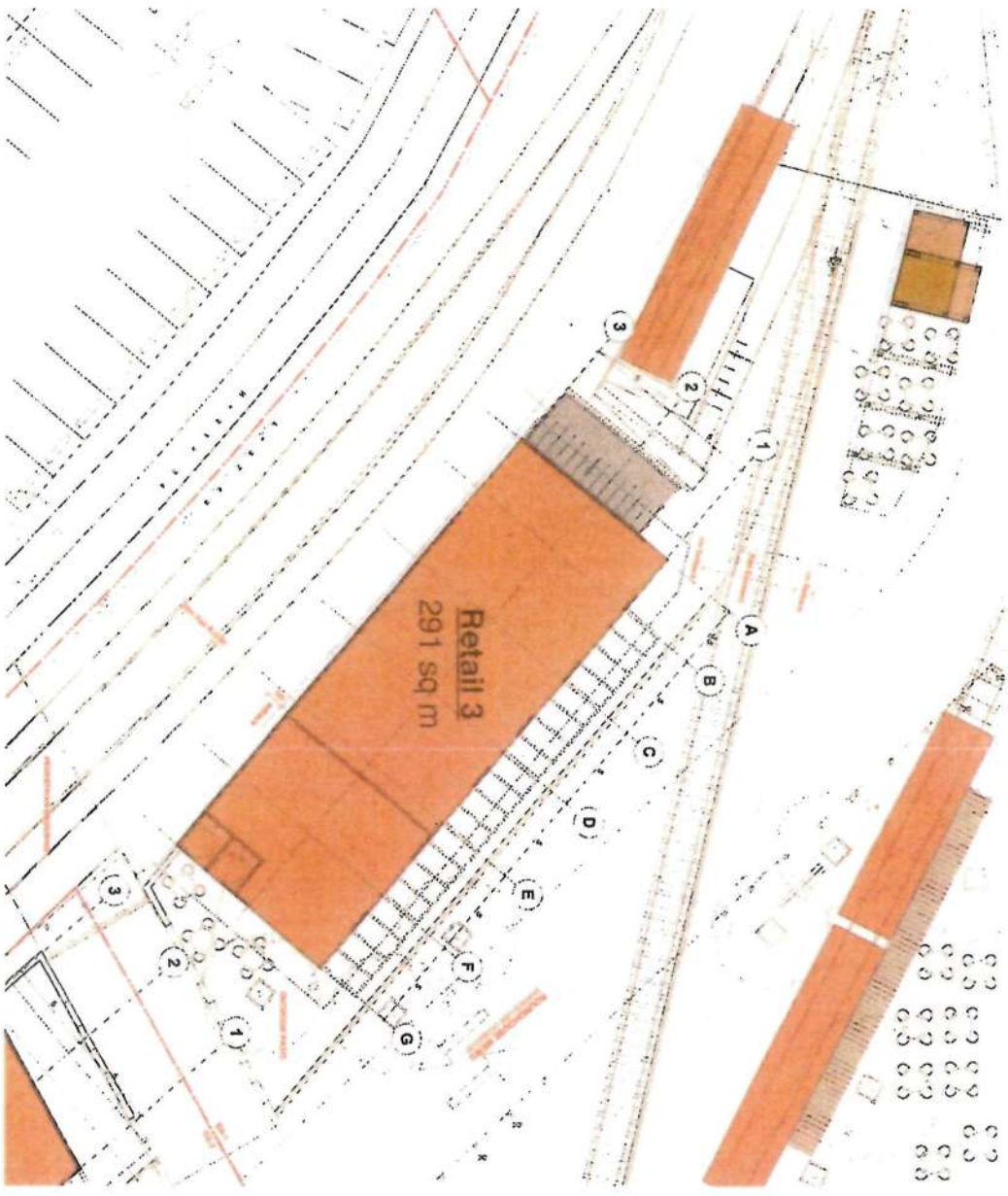
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2	12/22/2011	ISSUED FOR PERMITTING
3	12/22/2011	ISSUED FOR PERMITTING

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STRUCTURAL ENGINEER  
INTERIOR DESIGN  
HISTORIC PRESERVATION  
LANDSCAPE ARCHITECT  
PLANNING & DESIGN  
CITY OF BAYVIEW

ROUNDHOUSE AT BAYVIEW PLACE

Retail 3 - Floor Plan

R3-A201



RETAIL 3 - FLOOR PLAN

DEC 22 2011

Planning & Design  
Development & Design Division

ISSUED FOR

- A 07 MAR 1988 WED 03:00P  
B 10 MAR 1988 THU 03:00P  
C 13 MAR 1988 SUN 03:00P  
D 16 MAR 1988 WED 03:00P  
E 20 MAR 1988 SUN 03:00P  
F 23 MAR 1988 WED 03:00P

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**CLARENCE JAMES HASTINGS, JR.**  
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 ALBANY, N.Y. 12206-4207  
 518/865-1100

## LANDSCAPE ARCHITECTS

[illegible]

## STRUCTURAL ENGINEER

Page 2 of 2

**MECHANICAL ENGINEER**  
487 1510/1511 E. 8th Street

For more information, contact:

### INTERPRETIVE DESIGN

## HISTORIC CONSERVATION

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Journal of Internal Medicine 247: 105-112

For a full list of authors, see the back matter.

SEA

### ROUNDHOUSE AT BAYVIEW PLACE

[illegible]

### Retail 3 - Roof Plan

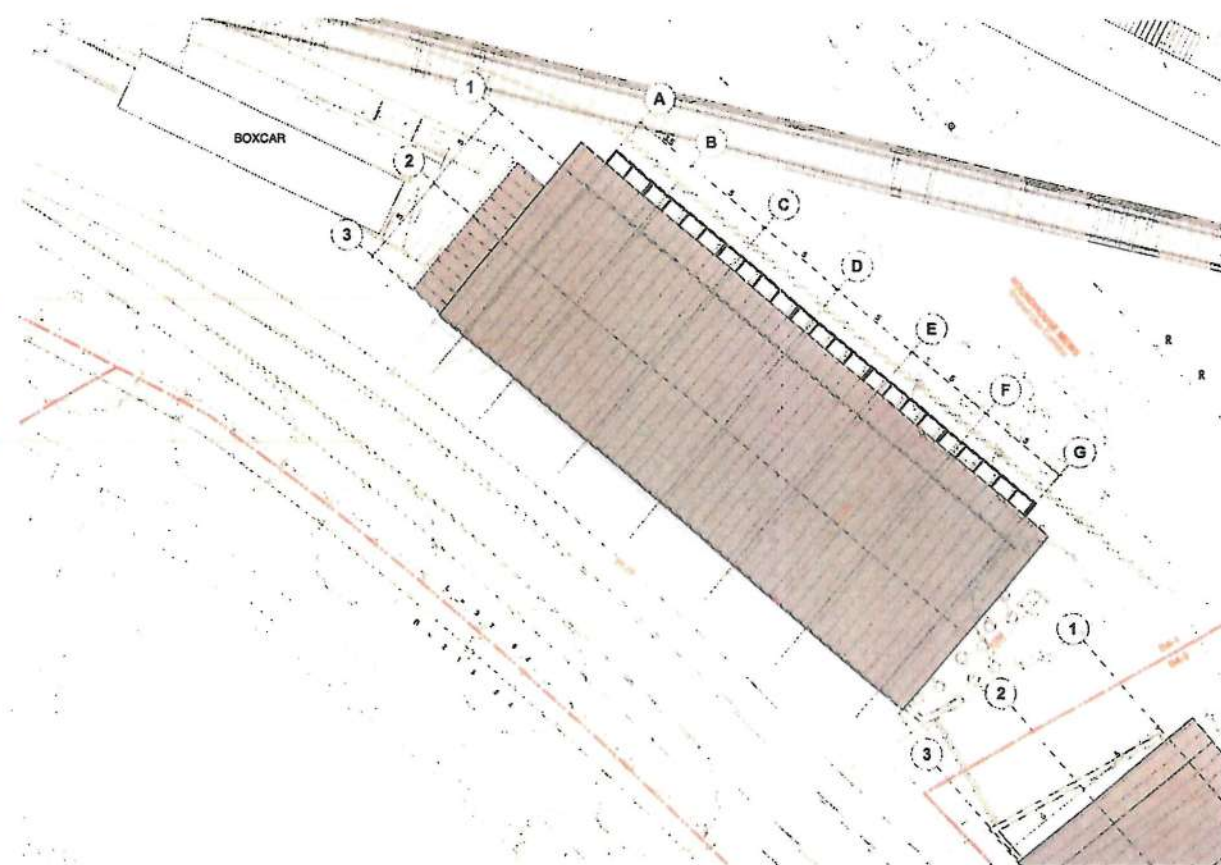
DRAWN  
PLOT DATE 12-19-91

CHSE-10

R3-A202

030-21

Fig. 1. (a) 1000 Hz; (b) 100 Hz; (c) 10 Hz; (d) 1 Hz; (e) 0.1 Hz; (f) 0.01 Hz.



RETAIL 3 - ROOF PLAN

Received  
City of Victoria

DEC 22 2014

Developmental Services Division

Developmental Services Division



## ROUNDHOUSE

ISSUED FOR:

- A. STAFFORD HOUSE/DP
- B. STAFFORD HOUSE/DP
- C. STAFFORD HOUSE/DP
- D. STAFFORD HOUSE/DP
- E. STAFFORD HOUSE/DP
- F. STAFFORD HOUSE/DP

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### METRIC

THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE USER TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

### ARCHITECT & PRIME CONSULTANT

STAFFORD HOUSE/DP

### LANDSCAPE ARCHITECT

STAFFORD HOUSE/DP

### STRUCTURAL ENGINEER

STAFFORD HOUSE/DP

### MECHANICAL ENGINEER

STAFFORD HOUSE/DP

### INTERPRETIVE DESIGN

STAFFORD HOUSE/DP

### HISTORIC CONSERVATION

STAFFORD HOUSE/DP

### KEY PLAN

STAFFORD HOUSE/DP

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STAFFORD HOUSE/DP

STAFFORD HOUSE/DP

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STAFFORD HOUSE/DP

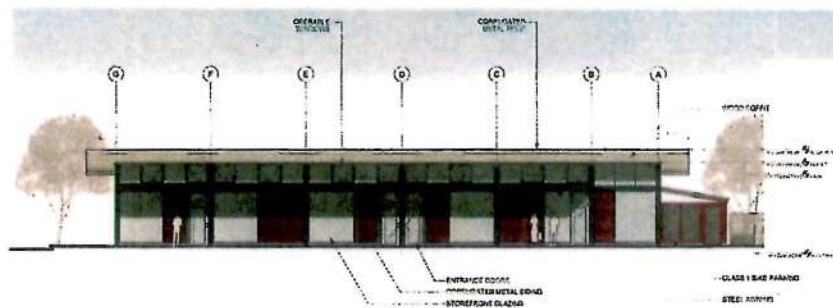
STAFFORD HOUSE/DP

STAFFORD HOUSE/DP

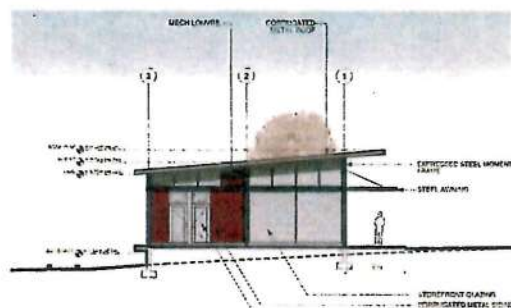
STAFFORD HOUSE/DP

STAFFORD HOUSE/DP

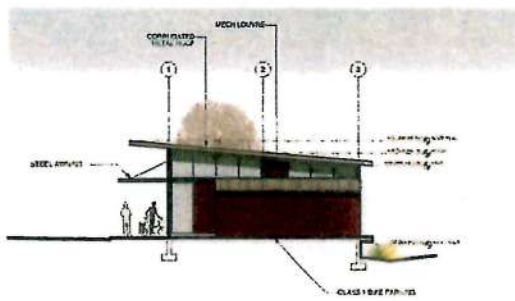
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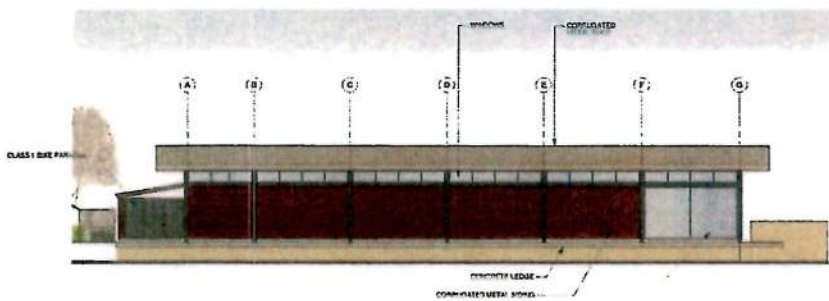
3 RETAIL 3: NORTH ELEVATION  
SCALE 1:100



1 RETAIL 3: EAST ELEVATION  
SCALE 1:100



4 RETAIL 3: WEST ELEVATION (SIM. TO EAST)  
SCALE 1:100



2 RETAIL 3: SOUTH ELEVATION  
SCALE 1:100

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Development Services Division

ROUNDHOUSE AT BAYVIEW PLACE

254-256 Bayview Place, Victoria, BC V8A 1A6

Retail 3  
Elevations

DRAWN  
PLOT DATE 12/15/14

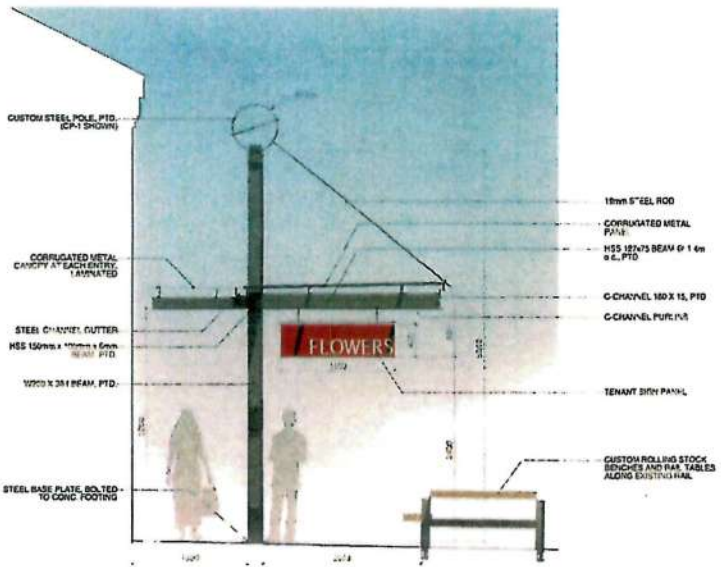
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R3-A501

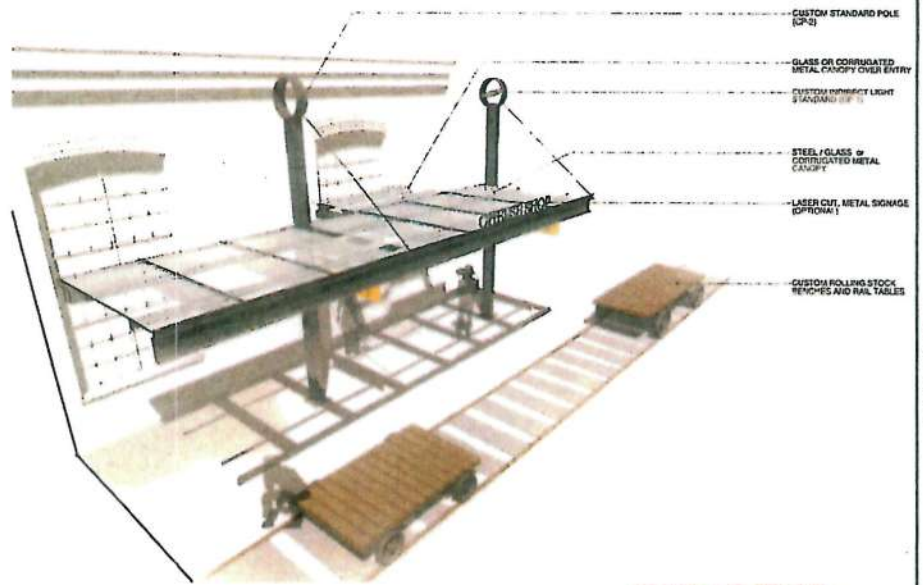
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10/1/14 10/1/14 10/1/14 10/1/14





STEEL / GLASS CANOPY, SECTION

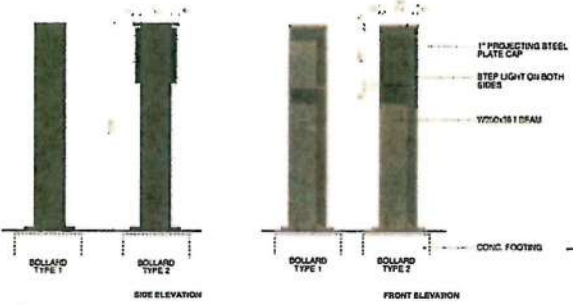


CAR SHOP CANOPY STRUCTURE

NOTE: SHOWN AS A PARTIAL VIEW

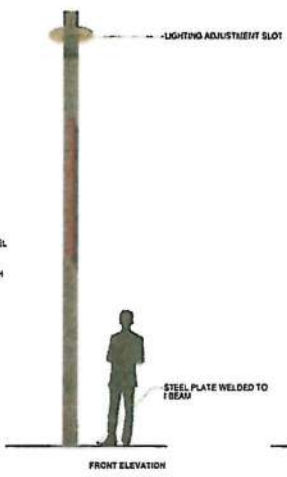


PERSPECTIVE VIEW

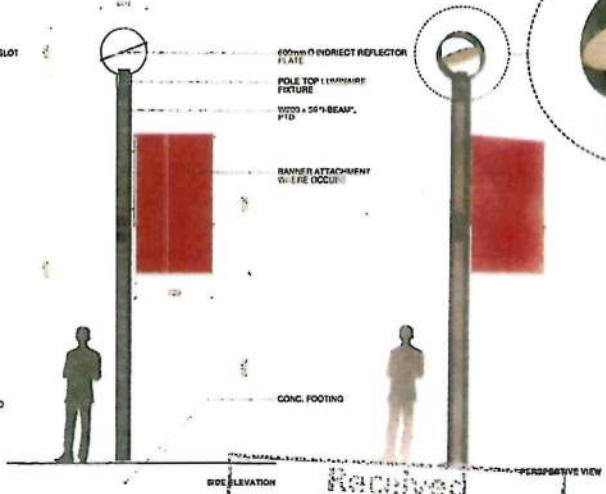


SIDE ELEVATION

FRONT ELEVATION



FRONT ELEVATION

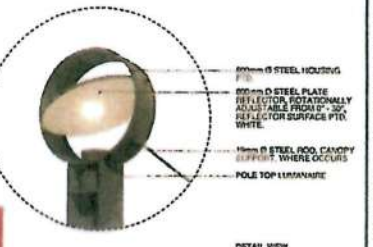


SIDE ELEVATION

Received  
City of Victoria

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Development Services Division



DETAIL VIEW

**CUSTOM POLES (CP) KEY**

- CP-1 POLE WITH POLE TOP LUMINAIRE
- CP-2 POLE WITHOUT LUMINAIRE
- (b) INDICATES POLE WITH BANNER OPTION

CUSTOM POLE ELEVATIONS  
CP-1 SHOWN

**ROUNDHOUSE**

ISSUED FOR

- A. CP 10/10/14: 10/10/14
- B. 20/10/14: 20/10/14
- C. 21/10/14: 21/10/14
- D. 22/10/14: 22/10/14

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NOT FOR CONSTRUCTION

**METRIC**  
This drawing is prepared in accordance with the metric system. All dimensions are in millimeters (mm) unless otherwise specified. Dimensions are rounded to the nearest millimeter (mm).

**ARCHITECT & PRIME CONSULTANT**  
DIALOG ARCHITECTS  
1000-1000  
1000-1000

**LANDSCAPE ARCHITECT**  
DIALOG ARCHITECTS  
1000-1000  
1000-1000

**STRUCTURAL ENGINEER**  
DIALOG ARCHITECTS  
1000-1000  
1000-1000

**MECHANICAL ENGINEER**  
DIALOG ARCHITECTS  
1000-1000  
1000-1000

**INTERPRETIVE DESIGN**  
DIALOG ARCHITECTS  
1000-1000  
1000-1000

**HISTORIC PRESERVATION**  
DIALOG ARCHITECTS  
1000-1000  
1000-1000

SCALE

ROUNDHOUSE AT BAYVIEW PLACE

251-259 Elm Street, Victoria, BC V8A 1A1

Details  
Kit of Parts

DRAWN: PLT/DAI 12/15/14

**A801**

00002

A. CF 1448-11: Standard for GP  
B. 20 1448-11: Standard for GP R. Right side  
C. 18 1448-11: Standard for GP R. Left side  
D. 12 2517-11: Standard for GP R. Right side  
E. 21 1448-11: Standard for GP R. Left side  
F. 10 2517-11: Standard for GP R. Right side

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 6 NORTH DE AVENUE, FORT LAUDERDALE, FL 33301  
 (305) 781-1111  
 FAX (305) 781-1111  
 E-MAIL: [info@jaguar.com](mailto:info@jaguar.com)

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1000 Ave. J, Suite 100  
New York, NY 10019  
Tel: 212-691-1111

**STRUCTURAL ENGINEER**  
with 10 years experience in  
residential design and  
construction. Call me  
at 916.438.1111. **Don & Kelly-Jane**  
KIMMELMAN, KIMMELMAN

**INTERPRETIVE DESIGN**

**HISTORIC PRESERVATION**

**THE UNIVERSITY OF CHICAGO**

200

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ROUNDHOUSE AT BAYVIEW PL

**Details**

Sand Tower	
GRADE	CHANGES

A802

03062



DEC 22 2014

Planning & Policy, State Department  
Development Services Division







E 214/2018 *Recurso de amparo*

F 1902/2018 *Recurso de amparo* - *Guatemala*

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1. **Identifikasi Masalah**: Menentukan masalah yang akan diteliti.  
 2. **Penelitian Pendahuluan**: Melakukan penelitian awal untuk memahami masalah yang diteliti.  
 3. **Formulasi Masalah**: Merumuskan masalah yang akan diteliti.  
 4. **Penelitian Lanjutan**: Melakukan penelitian lanjutan untuk memperdalam pemahaman tentang masalah yang diteliti.  
 5. **Penelitian Tindakan**: Melakukan penelitian tindakan untuk memperbaiki praktik yang ada.  
 6. **Penelitian Tindakan Kelas**: Melakukan penelitian tindakan di dalam kelas untuk memperbaiki pembelajaran.  
 7. **Penelitian Tindakan Sekolah**: Melakukan penelitian tindakan di dalam sekolah untuk memperbaiki manajemen sekolah.  
 8. **Penelitian Tindakan Masyarakat**: Melakukan penelitian tindakan di dalam masyarakat untuk memperbaiki kehidupan masyarakat.  
 9. **Penelitian Tindakan Nasional**: Melakukan penelitian tindakan di dalam negeri untuk memperbaiki kehidupan bangsa.  
 10. **Penelitian Tindakan Internasional**: Melakukan penelitian tindakan di dalam internasional untuk memperbaiki kehidupan dunia.

DIRECTOR, FBI (100-442100)  
 SAC, NEW YORK (100-100000)  
 FROM: SAC, NEW YORK (100-100000)  
 SUBJECT: [REDACTED]

1995年10月10日  
 1995年10月10日  
 1995年10月10日  
 1995年10月10日

**MECHANICAL ENGINEER**

**INTERPRETIVE DESIGN**  
ALSO: LAYOUTS, OF ALL

**HISTORIC CONSERVATION**

## STAT

100

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### Details - Heritage

Case	Age	Sex	Site	Pathologic	Survival
1	60	M	Rectum	Adenocarcinoma	10 mo
2	65	M	Rectum	Adenocarcinoma	10 mo
3	68	M	Rectum	Adenocarcinoma	10 mo
4	70	M	Rectum	Adenocarcinoma	10 mo
5	72	M	Rectum	Adenocarcinoma	10 mo
6	75	M	Rectum	Adenocarcinoma	10 mo
7	78	M	Rectum	Adenocarcinoma	10 mo
8	80	M	Rectum	Adenocarcinoma	10 mo
9	82	M	Rectum	Adenocarcinoma	10 mo
10	85	M	Rectum	Adenocarcinoma	10 mo
11	88	M	Rectum	Adenocarcinoma	10 mo
12	90	M	Rectum	Adenocarcinoma	10 mo
13	92	M	Rectum	Adenocarcinoma	10 mo
14	95	M	Rectum	Adenocarcinoma	10 mo
15	98	M	Rectum	Adenocarcinoma	10 mo
16	100	M	Rectum	Adenocarcinoma	10 mo
17	102	M	Rectum	Adenocarcinoma	10 mo
18	105	M	Rectum	Adenocarcinoma	10 mo
19	108	M	Rectum	Adenocarcinoma	10 mo
20	110	M	Rectum	Adenocarcinoma	10 mo
21	112	M	Rectum	Adenocarcinoma	10 mo
22	115	M	Rectum	Adenocarcinoma	10 mo
23	118	M	Rectum	Adenocarcinoma	10 mo
24	120	M	Rectum	Adenocarcinoma	10 mo
25	122	M	Rectum	Adenocarcinoma	10 mo
26	125	M	Rectum	Adenocarcinoma	10 mo
27	128	M	Rectum	Adenocarcinoma	10 mo
28	130	M	Rectum	Adenocarcinoma	10 mo
29	132	M	Rectum	Adenocarcinoma	10 mo
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31	138	M	Rectum	Adenocarcinoma	10 mo
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35	148	M	Rectum	Adenocarcinoma	10 mo
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42	165	M	Rectum	Adenocarcinoma	10 mo
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44	170	M	Rectum	Adenocarcinoma	10 mo
45	172	M	Rectum	Adenocarcinoma	10 mo
46	175	M	Rectum	Adenocarcinoma	10 mo
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48	180	M	Rectum	Adenocarcinoma	10 mo
49	182	M	Rectum	Adenocarcinoma	10 mo
50	185	M	Rectum	Adenocarcinoma	10 mo
51	188	M	Rectum	Adenocarcinoma	10 mo
52	190	M	Rectum	Adenocarcinoma	10 mo
53	192	M	Rectum	Adenocarcinoma	10 mo
54	195	M	Rectum	Adenocarcinoma	10 mo
55	198	M	Rectum	Adenocarcinoma	10 mo
56	200	M	Rectum	Adenocarcinoma	10 mo
57	202	M	Rectum	Adenocarcinoma	10 mo
58	205	M	Rectum	Adenocarcinoma	10 mo
59	208	M	Rectum	Adenocarcinoma	10 mo
60	210	M	Rectum	Adenocarcinoma	10 mo
61	212	M	Rectum	Adenocarcinoma	10 mo
62	215	M	Rectum	Adenocarcinoma	10 mo
63	218	M	Rectum	Adenocarcinoma	10 mo
64	220	M	Rectum	Adenocarcinoma	10 mo
65	222	M	Rectum	Adenocarcinoma	10 mo
66	225	M	Rectum	Adenocarcinoma	10 mo
67	228	M	Rectum	Adenocarcinoma	10 mo
68	230	M	Rectum	Adenocarcinoma	10 mo
69	232	M	Rectum	Adenocarcin	

A805

030-02



Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division

[illegible]

ROUNDHOUSE

ISSUED FOR

- A. 07 MARCH Issued by DP
- B. 20 MAY 1964 Issued by DP Re. Subvented
- C. 18 AUG 1964 Redesignated for Development Phase

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## METRIC

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES LOCATED UNDER OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES LOCATED UNDER OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES LOCATED UNDER OR ADJACENT TO THE PROJECT AREA.

## ARCHITECT &amp; PRIME CONSULTANT

**LANDSCAPE ARCHITECT**  
P.O. BOX 100000, TAMPA, FL 33610  
TAMPA, FL 33610  
Tel: 813/241-1111 Fax: 813/241-1111

## STRUCTURAL ENGINEER

STRUCTURAL ENGINEER  
AND FELLOW OF THE INSTITUTE  
2240 TWEED ROAD  
VICTORIA, 3524  
SA 3122

## MECHANICAL ENGINEER

NEW CONSTITUTION GROUP  
177 JESSIE ST  
VICTORIA BC V8W 2H6  
Tel: (250) 383-1100 Fax: (250) 383-1101

## INTERPRETIVE DESIGN

JOHN Q. FORD ASSOCIATES  
PHARMACEUTICALS  
WASHINGTON, DC 20005  
Tel: 202/462-1200 Fax: 202/462-1201

**HISTORIC CONSERVATION**  
2004-2005

For information contact:  
Mr. Stephen J. Smith  
SAIC for the FBI  
1615 Wilson Road  
Ft. Belvoir, VA 22033

SEA

#### ROUNDHOUSE AT BAYVIEW PLACE

WYTHIA, DC

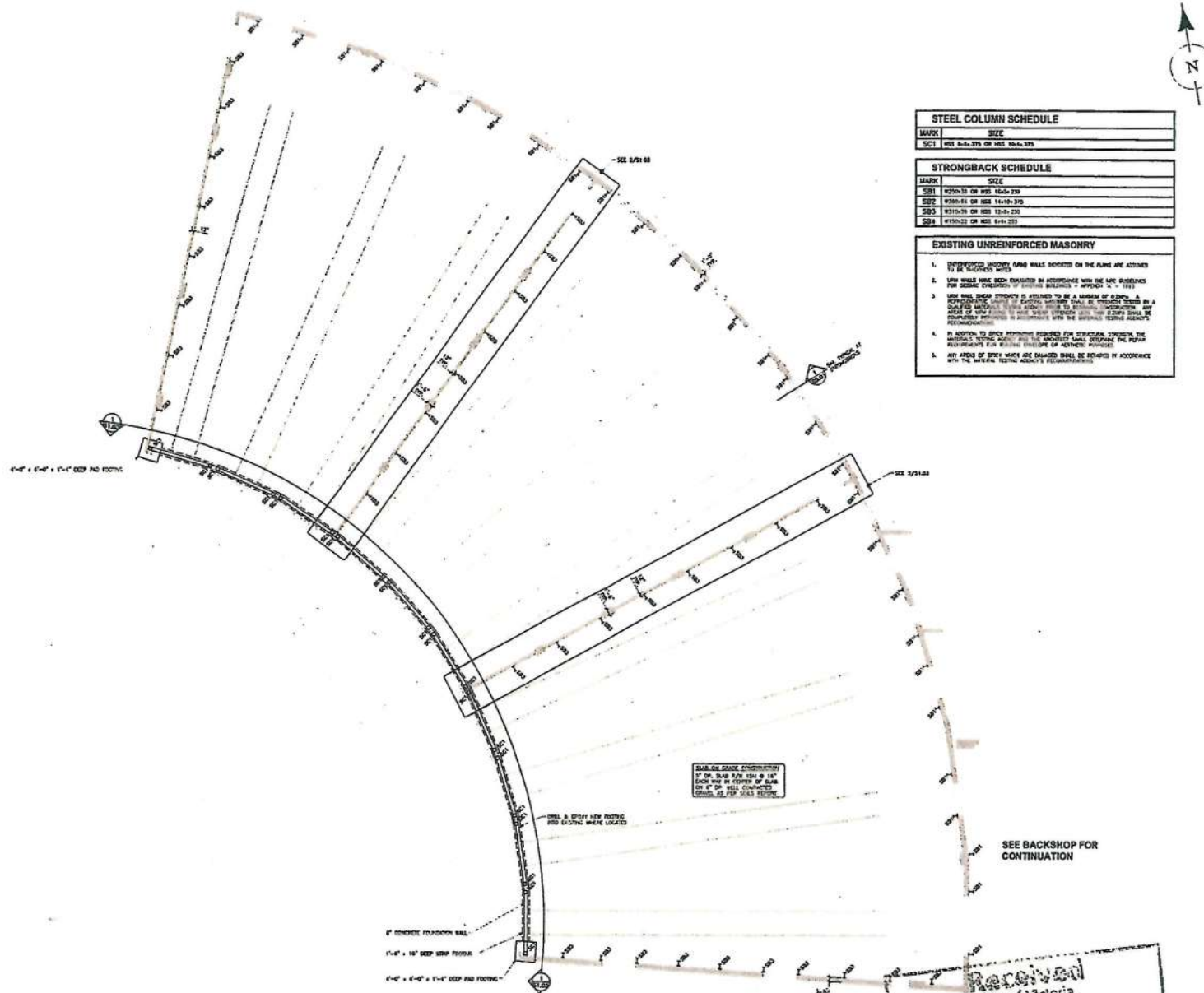
### ROUNDHOUSE FLOOR PLAN

DRURY K.O.  
PLOT DATE 8/16/84

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**S1.01**

VIC. 21279 0034



Day of Victoria

REC-22 2011

**FLOOR PLAN**  
SCALE 1/8" = 1'-0"

9. All drawings, letters, reports, designs, specifications and other documents submitted by those doing business with the Government are the property of the Government and shall remain the property of the Government. They shall be used in connection with this project and shall be returned to the Government at the completion of the project. If the Government is not satisfied with the work, it may require the contractor to revise the drawings and specifications and to submit them to the Government for approval. The Government may also require the contractor to submit additional drawings and specifications at any time during the project.
10. The contractor shall be responsible for obtaining all necessary permits and licenses for the work to be done under this contract. The contractor shall also be responsible for obtaining all necessary insurance coverage for the work.
11. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities for the work to be done under this contract. The contractor shall also be responsible for obtaining all necessary permits and licenses for the work.
12. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities for the work to be done under this contract. The contractor shall also be responsible for obtaining all necessary permits and licenses for the work.
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15. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities for the work to be done under this contract. The contractor shall also be responsible for obtaining all necessary permits and licenses for the work.

## 15350/100

A 07 MAR/94 Issued for DIP  
B 22 MAY/94 Issued for DIP Re-Subtotal  
C 18 AUG/94 Re-Issued for Development Permit

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## METRIC

[illegible]

## ARCHITECT &amp; PRIME CONSULTANT

ARCHITECT & ENGINEER  
 10000 W. 10TH AVE., SUITE 100  
 DENVER, CO 80231  
 303.733.1111

## LANDSCAPE ARCHITECT

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SARASOTA AND A.S.  
NATIONALLY REPUTED  
FOR QUALITY AND DESIGN. *See listing*

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ROAD MAPS OF A STATEMENT  
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Tel. 373-1111

## MECHANICAL ENGINEER

HAIR CONSULTANTS GROUP  
121 2ND AVENUE  
VICTORIA BC V8W 2E6  
Tel: (250) 363-1290 Fax: (250) 363-1291

INTERPRETIVE DESIGN  
4101 COLUMBIAN AVE. #100  
ANN ARBOR, MI 48106  
734/763-1100  
FAX 734/763-1101  
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### ROUNDHOUSE AT BAYVIEW PLACE

VOLUME 30

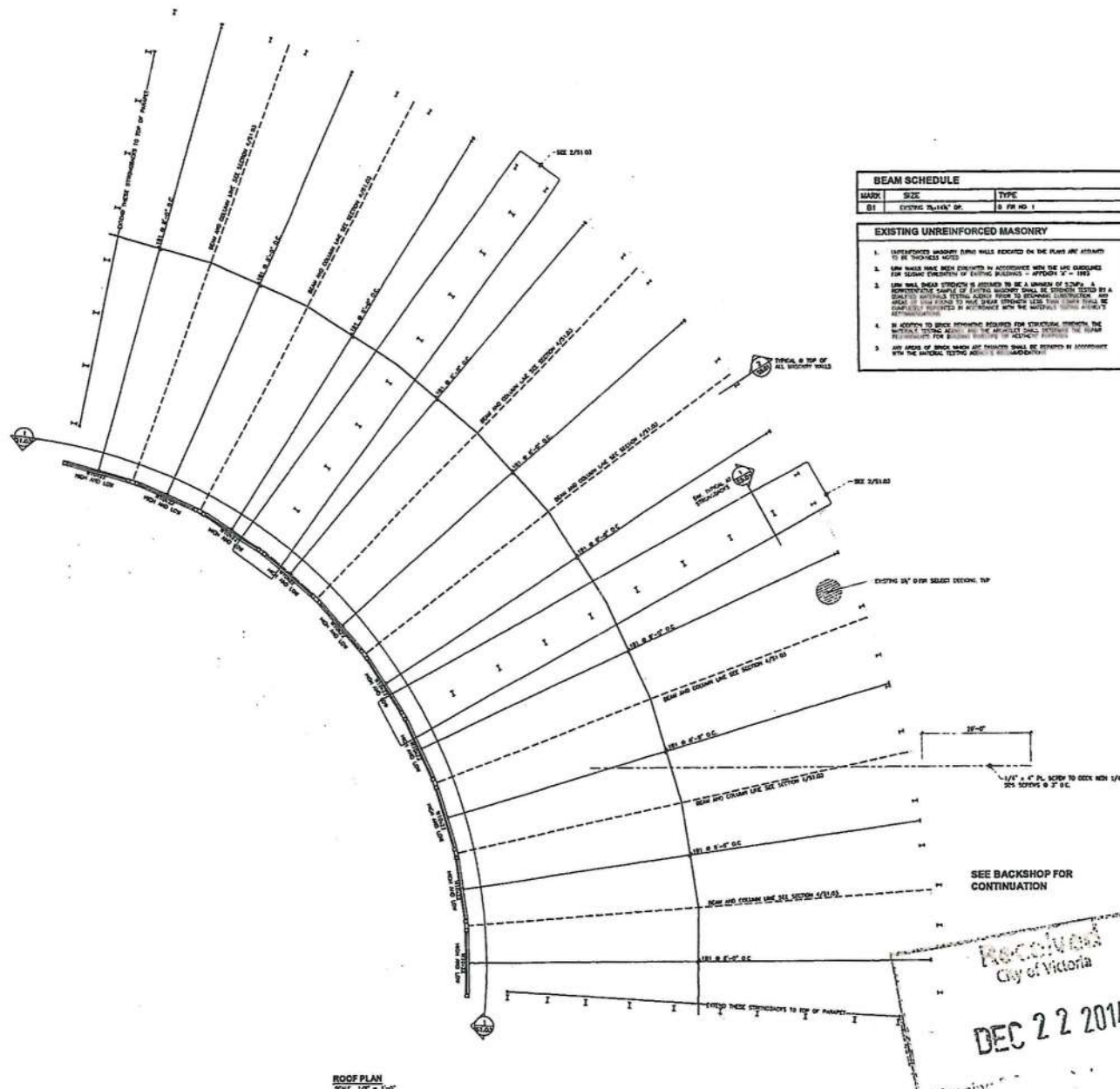
ROUNDDHOUSE  
ROOF PLAN

DRAFTING & CO.  
PLOT (A) 2500

PHOTO 18.9

**\$1.02**

VOC. 21279-0034





[illegible]

## ISSUED FOR

- A 07 MAR 94 Issued by DIP  
B 20 MAR 94 Issued by DIP Re Submitted  
C 18 AUG 94 Resubmitted by Department of Defense

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THE FIRM, 1000 N. 1ST  
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CO 80202. WE ARE  
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## STRUCTURAL ENGINEER

**STRUCTURAL ENGINEER**  
NAB JONES CONSULTING LTD  
279-445 FINE AVE  
VICTORIA, BC V8M 4M4  
Tel: (250) 363-1200 Fax: (250) 363-1205

## MECHANICAL ENGINEER

INTERNATIONAL BROKERAGE  
AND CRUISE TRAVEL GROUP  
P.O. BOX 1000  
VICTORIA, BC V8W 2H6  
Tel: (604) 383-1000 Fax: (604) 383-1001

**INTERPRETIVE DESIGN**  
www.interpretdesign.com

ALICE CHRISTINE HARRINGTON  
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STATION WFTL, BO 198272  
Tel. 375-2775 F200 3-40 275-2775 F200

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### ROUNDHOUSE AT BAYVIEW PLACE

Verona BC

### ROUNDHOUSE ELEVATION PLANS

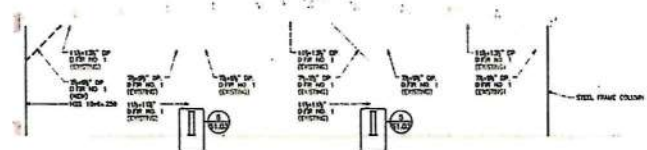
DRAWN BY:                      CHECKED BY:                       
PLOT DATE: 2/25/14

**\$1.03**

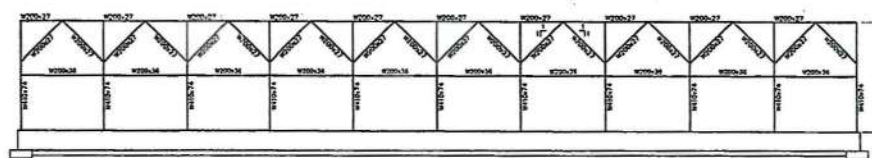
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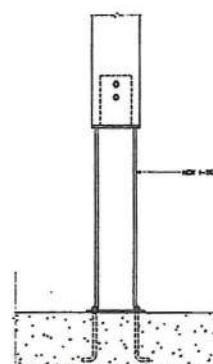
2 DETAIL  
51.03 V8-1-8



4A STEEL COLUMN/KNEE BRACE AT BACK WALL  
51.09 1/8" - 1/4"



1 FRAME ELEVATION  
ST.03 1/8" = 1'-0"



5 TYPICAL COLUMN BASE

BASE

Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division



1. All drawings shall comply with the requirements of the British Columbia Building Code and the National Building Code of Canada.
2. All drawings shall be prepared in accordance with the requirements of the British Columbia Building Code and the National Building Code of Canada.
3. All drawings shall be prepared in accordance with the requirements of the British Columbia Building Code and the National Building Code of Canada.
4. All drawings shall be prepared in accordance with the requirements of the British Columbia Building Code and the National Building Code of Canada.
5. All drawings shall be prepared in accordance with the requirements of the British Columbia Building Code and the National Building Code of Canada.

## ROUNDHOUSE

### ISSUED FOR:

- A. 07/04/04 Required for CP
- B. 22/04/04 Required for CP & The Tribunal
- C. 18/08/04 Required for Development Permit

FOR INFORMATION ONLY  
 NOT FOR CONSTRUCTION

### METRIC

The drawings are prepared in accordance with the requirements of the British Columbia Building Code and the National Building Code of Canada.

### ARCHITECT & PRIME CONSULTANT

DAVIDSON ARCHITECTS & ASSOCIATES  
 1000 West 10th Avenue  
 Victoria BC V8W 2E6  
 Tel: 250.581.1111 Fax: 250.581.1112

### STRUCTURAL ENGINEER

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### MECHANICAL ENGINEER

DAVIDSON ARCHITECTS & ASSOCIATES  
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### INTERPRETIVE DESIGN

DAVIDSON ARCHITECTS & ASSOCIATES  
 1000 West 10th Avenue  
 Victoria BC V8W 2E6  
 Tel: 250.581.1111 Fax: 250.581.1112

### HISTORIC CONSERVATION

DAVIDSON ARCHITECTS & ASSOCIATES  
 1000 West 10th Avenue  
 Victoria BC V8W 2E6  
 Tel: 250.581.1111 Fax: 250.581.1112

SEA

ROUNDHOUSE AT BAYVIEW PLACE

Victoria BC

### BACKSHOP ROOF PLAN

DRAWN: K.G. CHECKED: W.G.

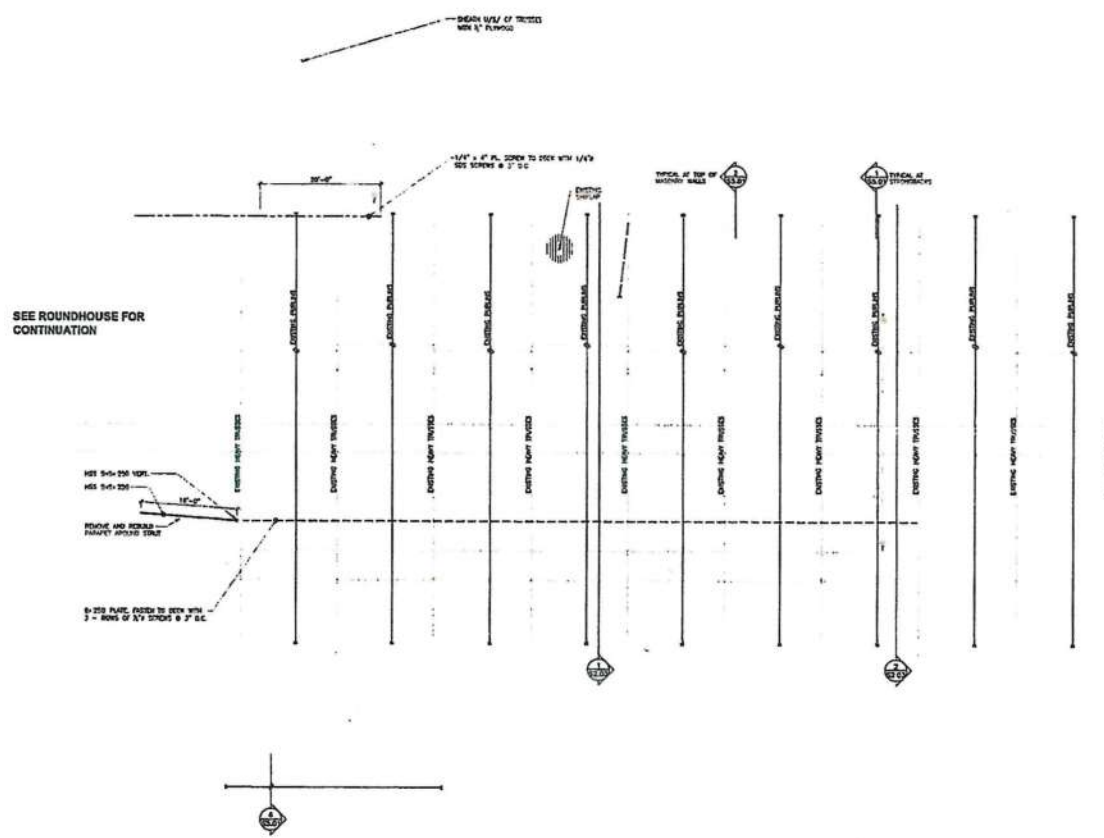
S2.02

NO. 21229-0035

STRONGBACK SCHEDULE	
MARK	SIZE
S21	W10x30 OR W12x30-250
S22	W10x30 OR W12x30-275
S23	W10x30 OR W12x30-300
S24	W10x30 OR W12x30-325

### EXISTING UNREINFORCED MASONRY

1. UNREINFORCED MASONRY (URM) WALLS SHOWN ON THE PLANS ARE ASSUMED TO BE THIN-WALL TYPE.
2. URM WALLS HAVE BEEN EVALUATED IN ACCORDANCE WITH THE URM GUIDELINES FOR SOME EXTENSION OF EXISTING BUILDINGS - APPENDIX 'C' - 1993.
3. URM WALLS UNDER EXISTING ARE ASSUMED TO BE A MINIMUM OF 8" THICK. A REPRESENTATIVE SAMPLE OF EXISTING MASONRY SHALL BE THROUGH TESTED BY A QUALIFIED MATERIAL TESTING AGENCY PRIOR TO BEGINNING CONSTRUCTION. THE RESULTS OF THE TESTS SHALL BE USED TO DETERMINE THE STRENGTH OF THE EXISTING MASONRY.
4. IN ACCORDANCE WITH THE TESTING PROCEDURE FOR CONCRETE, THE STRENGTH OF THE EXISTING MASONRY SHALL BE DETERMINED BY THE TESTING AGENCY.
5. ANY AREAS OF BRICK WITH ARE DAMAGED SHALL BE REPAIRED IN ACCORDANCE WITH THE MATERIAL TESTING AGENCY'S RECOMMENDATIONS.



FLOOR PLAN  
 SCALE 1/8" = 1'-0"

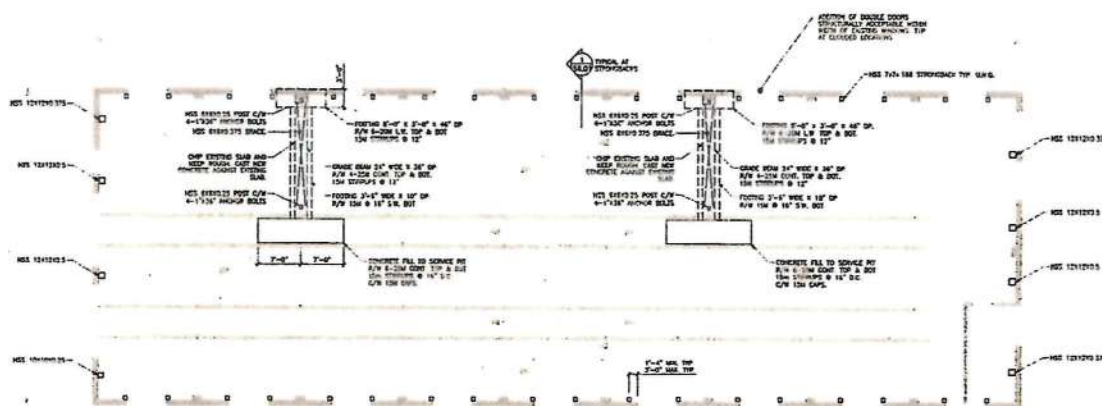
Received  
 City of Victoria  
 DEC 22 2014  
 Planning & Development Department  
 Development Services Division



VC 31729.0035

Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development Services Division





The following is a list of the names of the persons who have been
 appointed to the various positions in the Department of the Interior
 since the last report of the Secretary of the Interior.





**Roundhouse**  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 250.222.3511 FAX 250.222.3512  
 www.dialog.ca

1. The Roundhouse is a historic building and is listed on the Victoria Heritage Register. It is a Class 1 historic building and is a designated heritage site. The Roundhouse is a historic building and is listed on the Victoria Heritage Register. It is a Class 1 historic building and is a designated heritage site.
2. The Roundhouse is a historic building and is listed on the Victoria Heritage Register. It is a Class 1 historic building and is a designated heritage site. The Roundhouse is a historic building and is listed on the Victoria Heritage Register. It is a Class 1 historic building and is a designated heritage site.
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## ROUNDHOUSE

ISSUED FOR:  
 A. 07/00/04 - Roundhouse  
 B. 08/00/04 - Roundhouse  
 C. 10/00/04 - Roundhouse

FOR INFORMATION ONLY  
 NOT FOR CONSTRUCTION

**METRIC**  
 ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE SPECIFIED.

**ARCHITECT & PRIME CONSULTANT**  
 ROUNDHOUSE ARCHITECTS  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

**LANDSCAPE ARCHITECT**  
 LANDSCAPE ARCHITECTS  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

**STRUCTURAL ENGINEER**  
 STRUCTURAL ENGINEERS  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

**MECHANICAL ENGINEER**  
 MECHANICAL ENGINEERS  
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 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

**INTERPRETIVE DESIGN**  
 INTERPRETIVE DESIGN  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

**HISTORIC CONSERVATION**  
 HISTORIC CONSERVATION  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

**SEA**  
 SEA  
 1000 10th Avenue  
 Victoria BC V8W 2G4  
 Tel: 250.222.3511 Fax: 250.222.3512

ROUNDHOUSE AT BAYVIEW PLACE

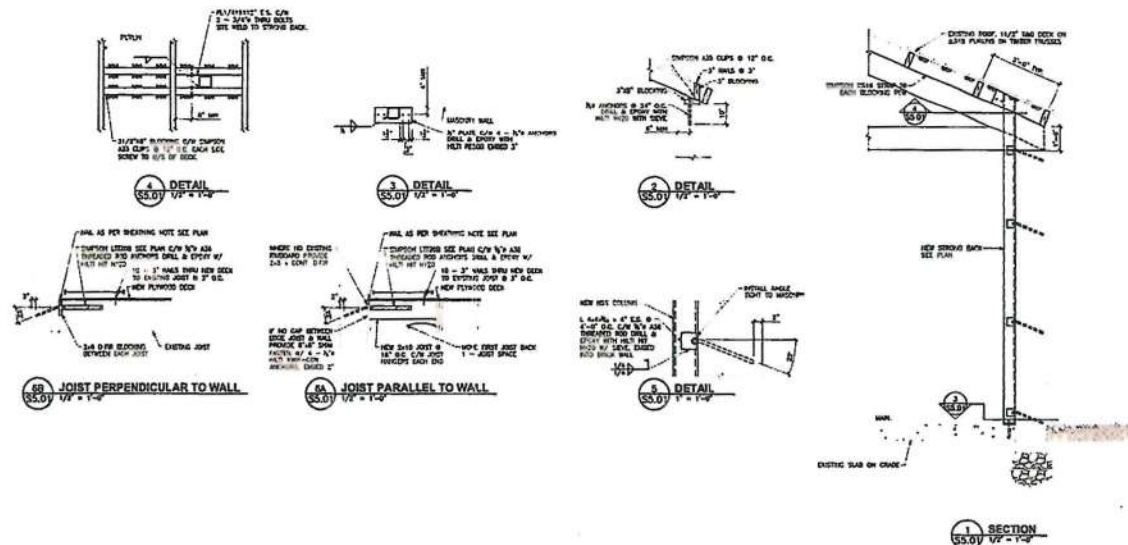
VICTORIA, BC

SECTIONS

DRYING: 100% HUMIDITY: 100% CHECKED: WD

S5.01

VC 21229/0035



Received  
 City of Victoria  
 DEC 22 2014  
 Planning & Development Department

- [illegible]

ISSUED FOR

- A. 07 MAR14 Issued by QP
- B. 10 MAY14 Issued by DP Re Submittal
- C. 18 AUG18 Re-issued by Development Dept

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NOT FOR CONSTRUCTION

## METRIC

THESE FINDINGS WERE CONSIDERED AS AN INDICATOR OF A MORE  
GENERALIZED DEFECT OF THE SPINAL CORD IN THE PATIENT.

ALL STUDIES CONDUCTED UP TO 1970 HAVE BEEN CONFINED TO WHITE  
PATIENTS WITH NO REPORTS OF THIS DEFECT IN  
BLACK PATIENTS.

DEFECTS IN THE SPINAL CORD ARE CONSIDERED TO BE A RARE  
DEFECT OF THE SPINAL CORD, BUT ARE CONSIDERED TO BE A  
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DEFECT OF THE SPINAL CORD, BUT ARE CONSIDERED TO BE A  
DEFECT OF THE SPINAL CORD.

**ARCHITECT & PRIME CONSULTANT**  
ONE FIRST ARCHITECTURAL BUILDING  
INTERIOR DESIGN DIVISION  
100 111 ALABAMA STREET  
DALLAS, TEXAS 75202

**LANDSCAPE ARCHITECT**  
POLYMER CONCRETE CONSTRUCTION  
STAINLESS STEEL  
WATERPROOFING  
For INFORMATION For RESERVATION

**STRUCTURAL ENGINEER**  
NEAR JAMES OAK STREET (Hwy 10)  
22441 11TH AVE  
VICTORIA, BC V8N 1K2  
Tel: (250) 363-7777

**MECHANICAL ENGINEER**  
 WE CONSULTING GROUP  
 201 JONAS ST  
 VICTORIA BC V8N 2M6  
 Tel: (250) 363-4000 Fax: (250) 363-4001

**INTERPRETIVE DESIGN**  
ALPHACHROME ASSOCIATES  
405 PARKWAY OFFICE 117  
VALLEYVIEW, IL 60057  
Tel: (312) 491-1144 Fax: (312) 491-1144

**HISTORIC CONSERVATION**  
SPARTANBURG HISTORICAL SOCIETY AND  
THE SPARTANBURG AREA HISTORICAL SOCIETY  
PO BOX 600000, SPARTANBURG, SC 29306-0000  
TEL 803/587-3231 FAX 803/587-3231

100

### ROUNDHOUSE AT BAYVIEW PLACE

RETAIL 1 BLDG  
FOUNDATION PLAN  
ROOF PLAN

**S6.01**

VC 21229.0035



STEEL COLUMN SCHEDULE	
MARK	SIZE
SC1	W20x31
SC2	HSS 127x127x6.4
SC3	HSS 133x133x9.8
SC4	HSS 152x152x9.8



**JTC** Joint Technical Committee  
 1000 N. 10th St., Suite 100  
 Lincoln, NE 68502  
 (402) 441-1111 Fax (402) 441-1112  
 www.jtc.org

**NOT FOR CONSTRUCTION**  
 THIS DOCUMENT IS THE PROPERTY OF THE JOINT TECHNICAL COMMITTEE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE JOINT TECHNICAL COMMITTEE.

**ROUNDHOUSE**  
 ARCHITECT

**DESIGN FOR**  
 A. 1000 N. 10th St. Suite 100  
 B. 1000 N. 10th St. Suite 100  
 C. 1000 N. 10th St. Suite 100

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 THIS DOCUMENT IS THE PROPERTY OF THE JOINT TECHNICAL COMMITTEE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE JOINT TECHNICAL COMMITTEE.

**MEETING**  
 The purpose of this meeting is to discuss the design of the Roundhouse at Bayview Place. The meeting was held on December 2, 2014, at the Roundhouse at Bayview Place. The following items were discussed:

**ARCHITECT & PRIME CONSULTANT**  
 ROUNDHOUSE ARCHITECT  
 1000 N. 10th St., Suite 100  
 Lincoln, NE 68502  
 (402) 441-1111  
 www.roundhousearchitect.com

**STRUCTURAL ENGINEER**  
 MECHANICAL ENGINEER  
 1000 N. 10th St., Suite 100  
 Lincoln, NE 68502  
 (402) 441-1111  
 www.mechanicalengineer.com

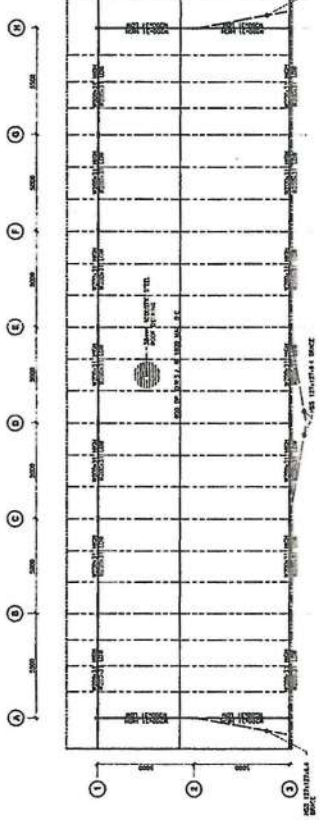
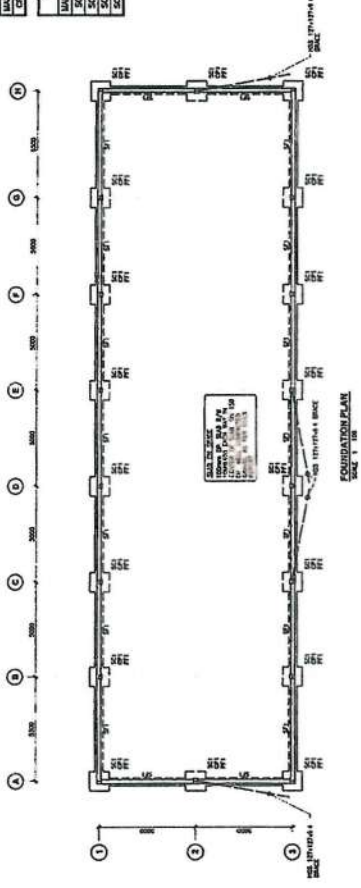
**INTERPRETIVE DESIGN**  
 1000 N. 10th St., Suite 100  
 Lincoln, NE 68502  
 (402) 441-1111  
 www.interpretivedesign.com

**ROUNDHOUSE AT BAYVIEW PLACE**  
 1000 N. 10th St., Suite 100  
 Lincoln, NE 68502  
 (402) 441-1111  
 www.roundhouseatbayviewplace.com

**RETAIL 2 BLDG**  
**FOUNDATION PLAN**  
**ROOF PLAN**  
 DEC 2 2 2014  
 S7.01

VC 1259.003

PAD FOOTING SCHEDULE	
MARK	SIZE
FF1	1000 x 1000 x 300 DEEP
FF2	1000 x 1000 x 300 DEEP
FF3	1000 x 1000 x 300 DEEP
STRIP FOOTING SCHEDULE	
MARK	SIZE
ST1	100 x 100 x 300 DEEP x 1000
CONCRETE PILE SCHEDULE	
MARK	SIZE
CP1	100 x 100
STEEL COLUMN SCHEDULE	
MARK	SIZE
SC1	100 x 100 x 10
SC2	100 x 100 x 10
SC3	100 x 100 x 10
SC4	100 x 100 x 10



Roundhouse  
 City of Lincoln  
 DEC 2 2 2014  
 Planning & Development Department  
 Development Services Division

**JTC** Brad Jones Christensen  
Civil Engineer  
5410 202 Ave. Unit 404  
Victoria BC V8N 4A5 Canada  
Phone: 250-363-1994 Fax: 250-363-1995  
www.jtc.ca

1. All drawings shall comply with the requirements of the British Columbia Building Code and the National Building Code of Canada.
2. The owner shall provide all necessary information and approvals for the project.
3. The engineer shall be responsible for the design and construction of the project.
4. The engineer shall be responsible for the design and construction of the project.

## ROUNDHOUSE AT BAYVIEW PLACE

ISSUED FOR:  
A. 07 JANUARY 2014 Issued for DP  
B. 20 JANUARY 2014 Issued for DP Sub-Submittal  
C. 18 AUGUST 2014 Re-issued for Development Permit

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

**METRIC**  
The drawings are prepared in accordance with the Metric System of Units, as defined in the International System of Units (SI).  
All dimensions shall be given in metric units, unless otherwise specified.  
All dimensions shall be given in metric units, unless otherwise specified.  
All dimensions shall be given in metric units, unless otherwise specified.

**ARCHITECT & PRIME CONSULTANT**  
JTC CONSULTANTS  
5410 202 Ave. Unit 404  
Victoria BC V8N 4A5  
Phone: 250-363-1994 Fax: 250-363-1995  
www.jtc.ca

**STRUCTURAL ENGINEER**  
JTC CONSULTANTS  
5410 202 Ave. Unit 404  
Victoria BC V8N 4A5  
Phone: 250-363-1994 Fax: 250-363-1995  
www.jtc.ca

**MECHANICAL ENGINEER**  
JTC CONSULTANTS  
5410 202 Ave. Unit 404  
Victoria BC V8N 4A5  
Phone: 250-363-1994 Fax: 250-363-1995  
www.jtc.ca

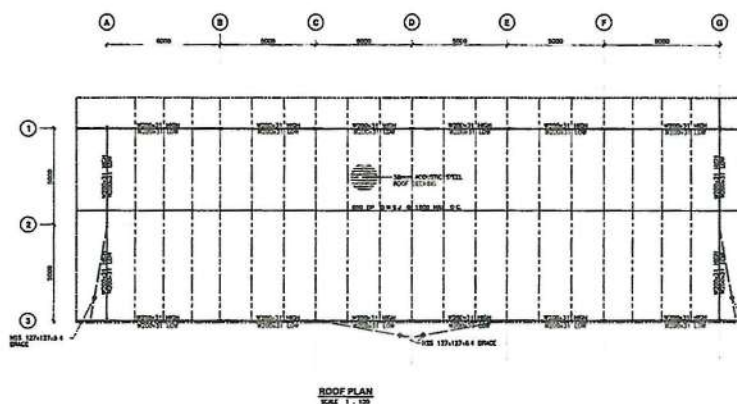
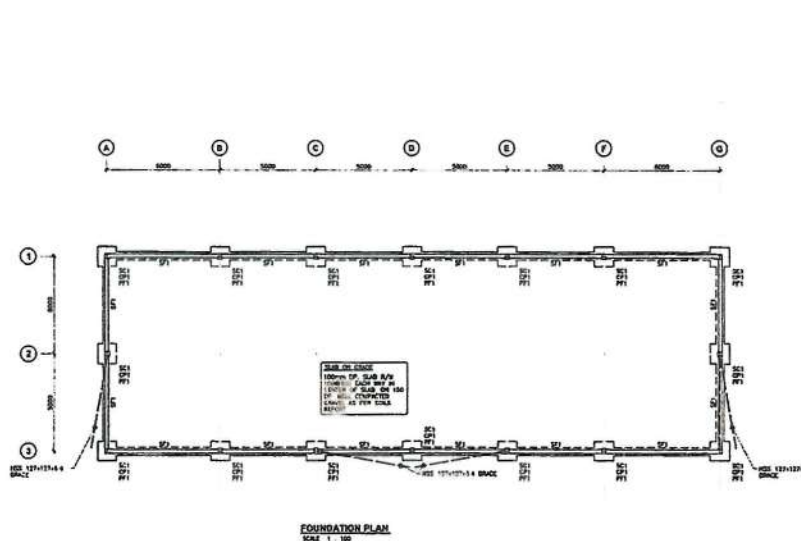
**INTERPRETIVE DESIGN**  
JTC CONSULTANTS  
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Victoria BC V8N 4A5  
Phone: 250-363-1994 Fax: 250-363-1995  
www.jtc.ca

**HISTORIC CONSERVATION**  
JTC CONSULTANTS  
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Victoria BC V8N 4A5  
Phone: 250-363-1994 Fax: 250-363-1995  
www.jtc.ca

ROUNDHOUSE AT BAYVIEW PLACE

Volume 30  
RETAIL 3 BLDG  
FOUNDATION PLAN  
ROOF PLAN  
SHEET NO. S8.01  
DATE: 2014.08.18

VIC 21228-0035



Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division



VIC. 21229.0014













**JTC** David Jones Christensen  
Consultants Ltd.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

1. The purpose of this plan is to provide a clear and concise representation of the proposed roof structure for the Roundhouse at Bayview Place. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
2. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
3. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
4. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
5. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
6. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
7. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
8. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
9. The plan is intended to be used for informational purposes only and is not intended to be used for construction.
10. The plan is intended to be used for informational purposes only and is not intended to be used for construction.

## ROUNDHOUSE

ISSUED FOR:

- A. 07/00/000 - Issued for CP
- B. 20/00/000 - Issued for CP Re-Submittal
- C. 18/00/000 - Issued for Development Permit

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

### METRIC

The drawings are prepared in accordance with the Metric system of measurement. All dimensions are given in millimeters (mm) or meters (m) as indicated.

ADDITIONAL NOTES: The drawings are prepared in accordance with the Metric system of measurement. All dimensions are given in millimeters (mm) or meters (m) as indicated.

### ARCHITECT & PRIME CONSULTANT

DAVID JONES CHRISTENSEN  
CONSULTANTS LTD.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

### STRUCTURAL ENGINEER

DAVID JONES CHRISTENSEN  
CONSULTANTS LTD.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

### MECHANICAL ENGINEER

DAVID JONES CHRISTENSEN  
CONSULTANTS LTD.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

### INTERPRETIVE DESIGN

DAVID JONES CHRISTENSEN  
CONSULTANTS LTD.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

### HISTORIC CONSERVATION

DAVID JONES CHRISTENSEN  
CONSULTANTS LTD.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

DAVID JONES CHRISTENSEN  
CONSULTANTS LTD.  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014  
2014 2014 2014 2014 2014

ROUNDHOUSE AT BAYVIEW PLACE

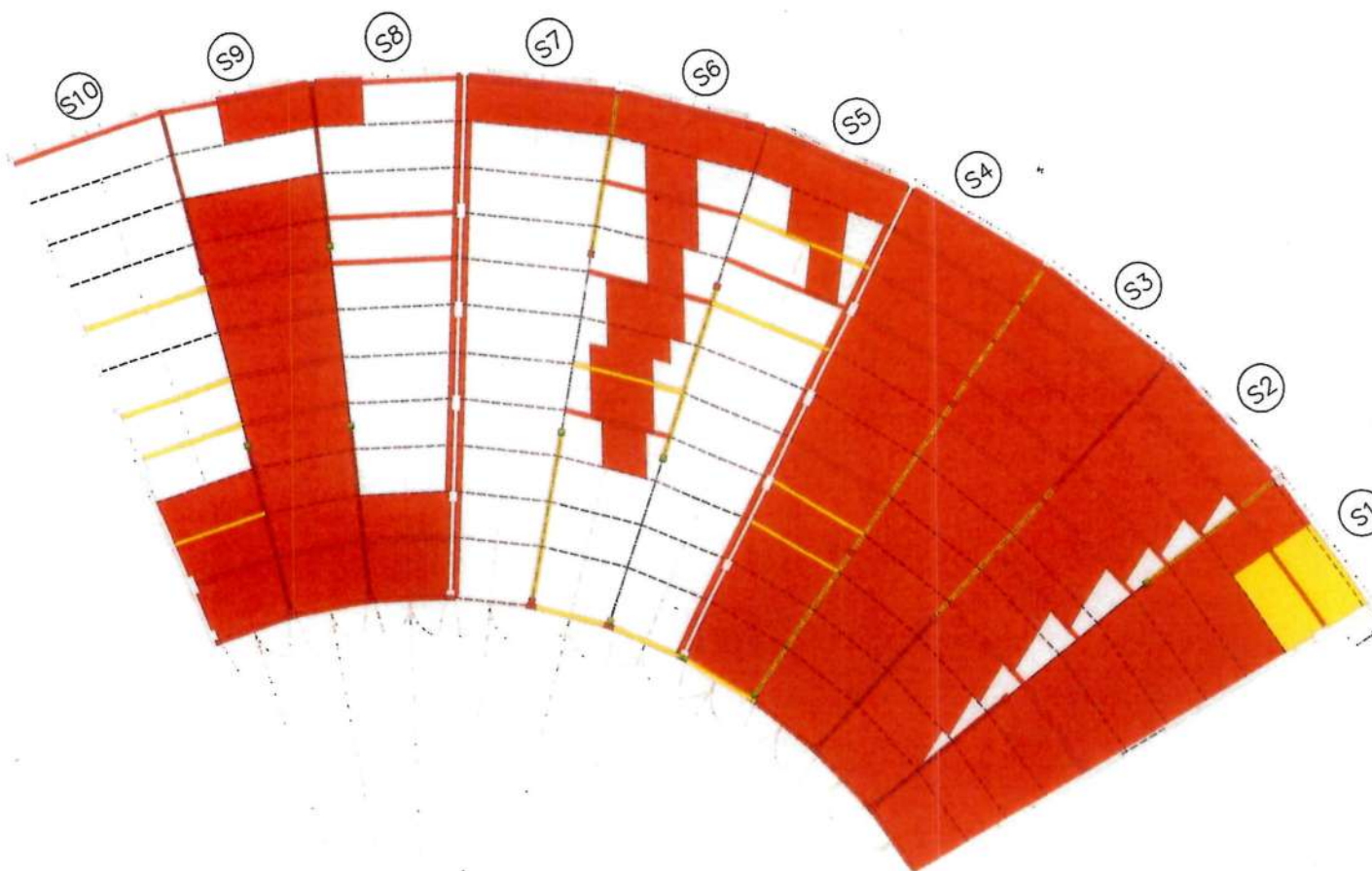
Version: 00

ROOF STRUCTURE  
REVIEW / REPLACEMENT  
PLAN

DRAWN: J.G. CHECKED: W.G.  
PLOT DATE: 09/09/14

S9.05

VC 21229 0035



BAYVIEW ROUNDHOUSE - REPLACEMENT PLAN  
SCALE: 1/8"

Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division

**jc** David James Christensen  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444  
 4. 252 221 444, Fax 252 221 444

1. All drawings shall be prepared in accordance with the requirements of the Building Code of Australia (BCA) and the National Construction Code (NCC).
2. All drawings shall be prepared in accordance with the requirements of the Building Code of Australia (BCA) and the National Construction Code (NCC).
3. All drawings shall be prepared in accordance with the requirements of the Building Code of Australia (BCA) and the National Construction Code (NCC).
4. All drawings shall be prepared in accordance with the requirements of the Building Code of Australia (BCA) and the National Construction Code (NCC).

## ROUNDHOUSE

ISSUED FOR

- A. 07 MAY 2014 Issued for GP
- B. 23 MAY 2014 Issued for GP & Submittal
- C. 10 AUG 2014 Reissued for Development Permit

FOR INFORMATION ONLY  
 NOT FOR CONSTRUCTION

### METRIC

ALL DIMENSIONS ARE GIVEN IN METRIC UNITS (MILLIMETRES OR METRES) UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE GIVEN TO THE NEAREST MILLIMETRE OR METRE AS APPROPRIATE. DIMENSIONS SHALL BE GIVEN TO THE NEAREST MILLIMETRE OR METRE AS APPROPRIATE. DIMENSIONS SHALL BE GIVEN TO THE NEAREST MILLIMETRE OR METRE AS APPROPRIATE.

### ARCHITECT & PRIME CONSULTANT

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

### LANDSCAPE ARCHITECT

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

### STRUCTURAL ENGINEER

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

### MECHANICAL ENGINEER

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

### INTERPRETIVE DESIGN

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

### HISTORIC CONSERVATION

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

### SEA

DAVID JAMES CHRISTENSEN  
 1. 252 221 444, Fax 252 221 444  
 2. 252 221 444, Fax 252 221 444  
 3. 252 221 444, Fax 252 221 444

ROUNDHOUSE AT BAYVIEW PLACE

WORK NO

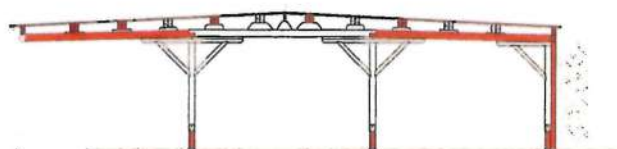
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 REVIEW / SECTIONS  
 AND DETAILS

DRAWN: EG CHECKED: W.G.

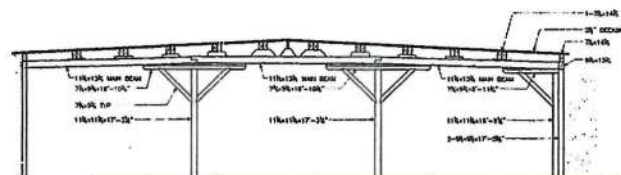
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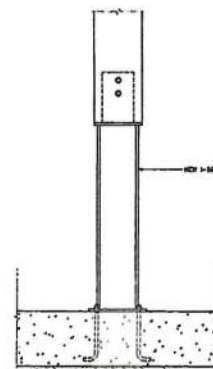
VIC 21129 0015



2 TYPICAL REPLACEMENT PLAN  
 S9.06 SEA



1 TYPICAL EXISTING SIZES  
 S9.06 SEA



3 TYPICAL COLUMN BASE  
 S9.06 SEA

Received  
 City of Victoria  
 DEC 22 2014  
 Planning & Development Department  
 Development Services Division





1. **Conservation of Existing Heritage Resources**
  - The Yard
  - The Turntable
  - Rail Tracks
  - Natural Landscapes
  - Water and Sand Tower
2. **Contemporary Overlay**
3. **Social Heart**
4. **Community Linkages**
5. **The Landscape Typologies**
  - Perimeter
  - Central Plaza
6. **Heritage Interpretation**
7. **Site Furnishings**  
(Community & Industrial Reference)
  - 4 types of seating / table
  - Lighting
  - Signage / Banners
  - Kiosks / Consoles
  - Plaza Fountains

GRADE	DATE
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SCALE	REMARKS
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Received  
City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division





1. **Conservation of Existing Heritage Resources**
    - The Yard
    - The Turntable
    - Rail Tracks
    - Natural Landscapes
    - Water and Sand Tower
  2. **Contemporary Overlay**
  3. **Social Heart**
  4. **Community Linkages**
  5. **The Landscape Typologist**
    - Perimeter
    - Central Plaza
  6. **Heritage Interpretation**
- Site furnishings**  
(Contemporary & Industrial Reference)
- 4 types of seating / table
  - Lighting
  - Signage / Banners
  - Kiosks / Canopies
  - Plaza Paving

Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development Services Division









no.	date	revelation
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2	1990-01-01	1990-01-01
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**PROJECT**

**Roundhouse Retail**  
**Victoria, BC**

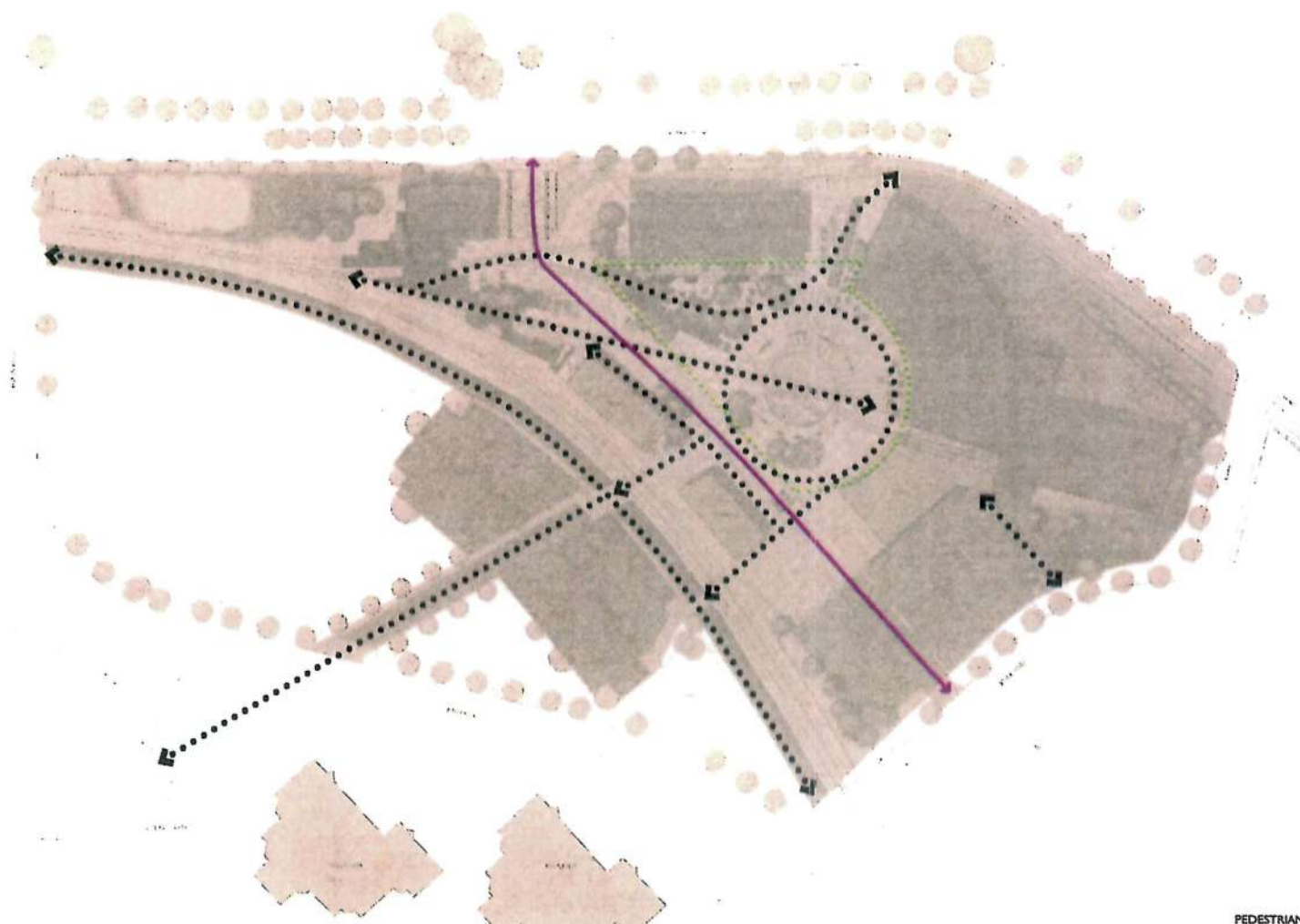
**Shawing**  
 a sport in which the wolf  
 comes out from the cage

DRAWN	DATE
CUT31	20, 2012
SCALE	REVIEWED
1:400	1/1

L0.3

Received  
City of Victoria  
DEC 22 2014  
Planning & Development Department  
Development Services Division



 PEDESTRIAN / BIKE CIRCULATION

SHARED-USE CORRIDOR

City of Victoria

DEC 22 2014

Planning & Development Department  
Development Services Division

**PROJECT**

Roundhouse Retail  
Victoria, BC

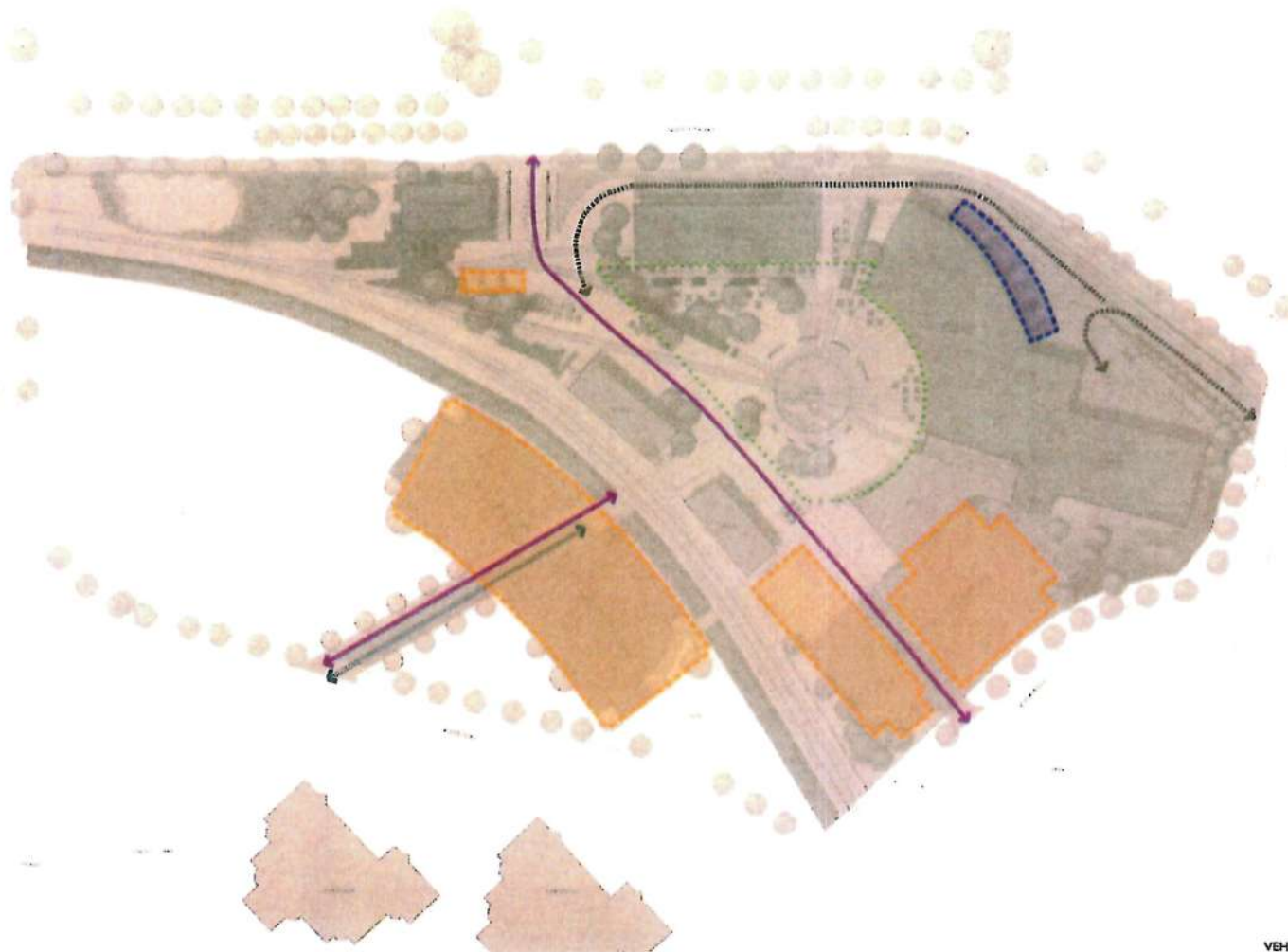
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BY	J. L. 2
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011070 PROJECT

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Received  
City of Victoria  
  
DEC 22 2014  
  
Planning & Development Department  
Development Services Division

VEHICLE / DELIVERY ROUTES - PHASE I

-  SHARED-USE CORRIDOR
-  DELIVERY TRUCK ACCESS
-  VEHICULAR ACCESS
-  RETAIL PARKING
-  STAFF PARKING

DATE	REVISION
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Roundhouse Retail  
Victoria, BC

REVISIONS  
1.00 Initial Design  
2.00 Final Design

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SCALE	REVISION
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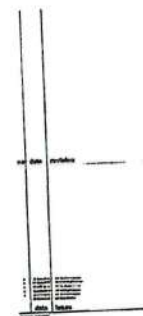
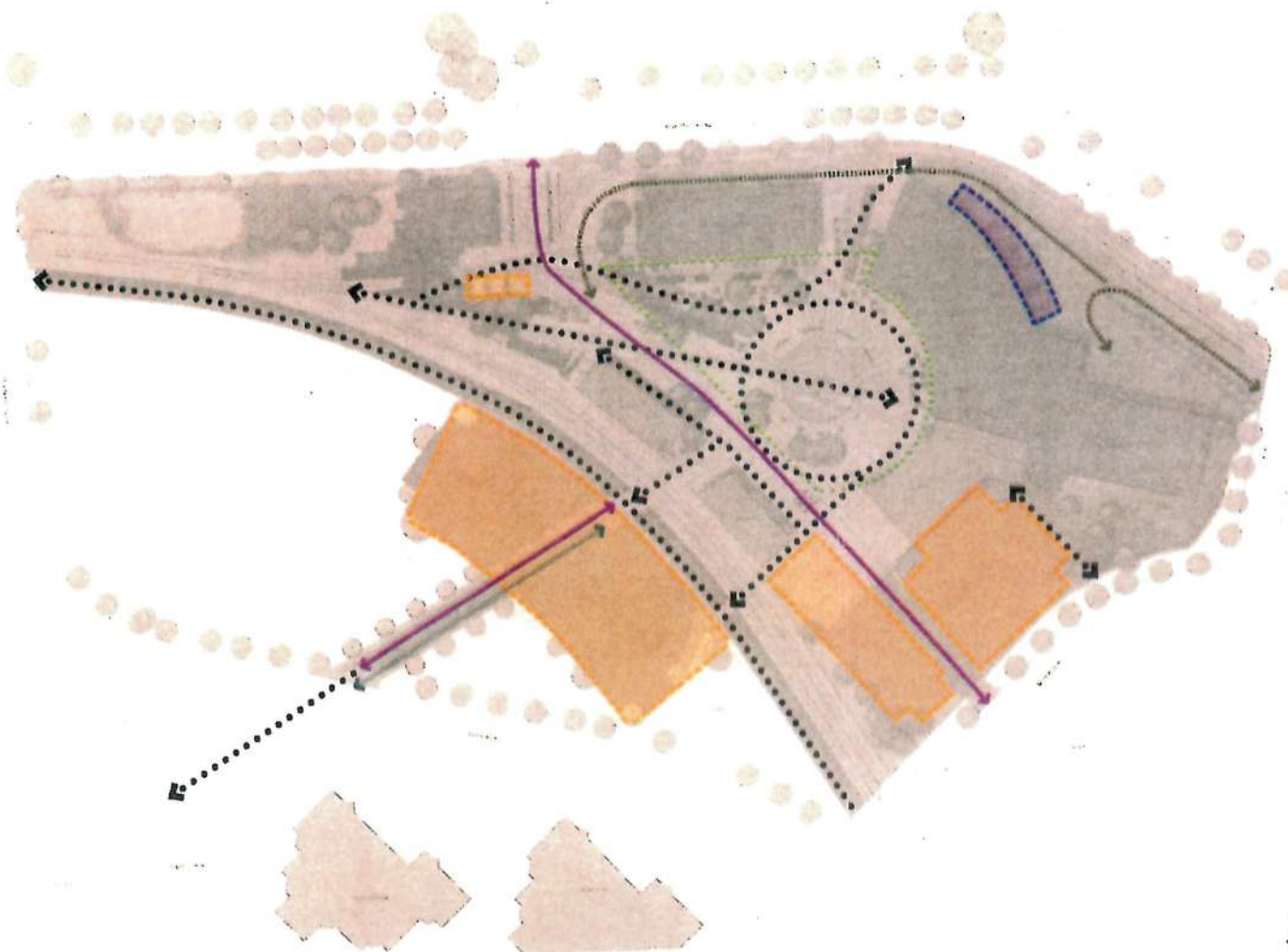
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 400-881-8888



PFS STUDIO  
 400-881-8888  
 400-881-8888  
 400-881-8888  
 400-881-8888



Heronhouse Retail  
 Victoria, BC

ALL CIRCULATION ROUTES - PHASE I

- PEDESTRIAN / BIKE CIRCULATION
- SHARED-USE CORRIDOR
- DELIVERY TRUCK ACCESS
- VEHICULAR ACCESS
- RETAIL PARKING
- STAFF PARKING

Received  
 City of Victoria  
  
 DEC 22 2014  
 Planning & Development Department  
 Land Use & Planning Division

DATE	JUL 2012
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PROJECT NO	011070

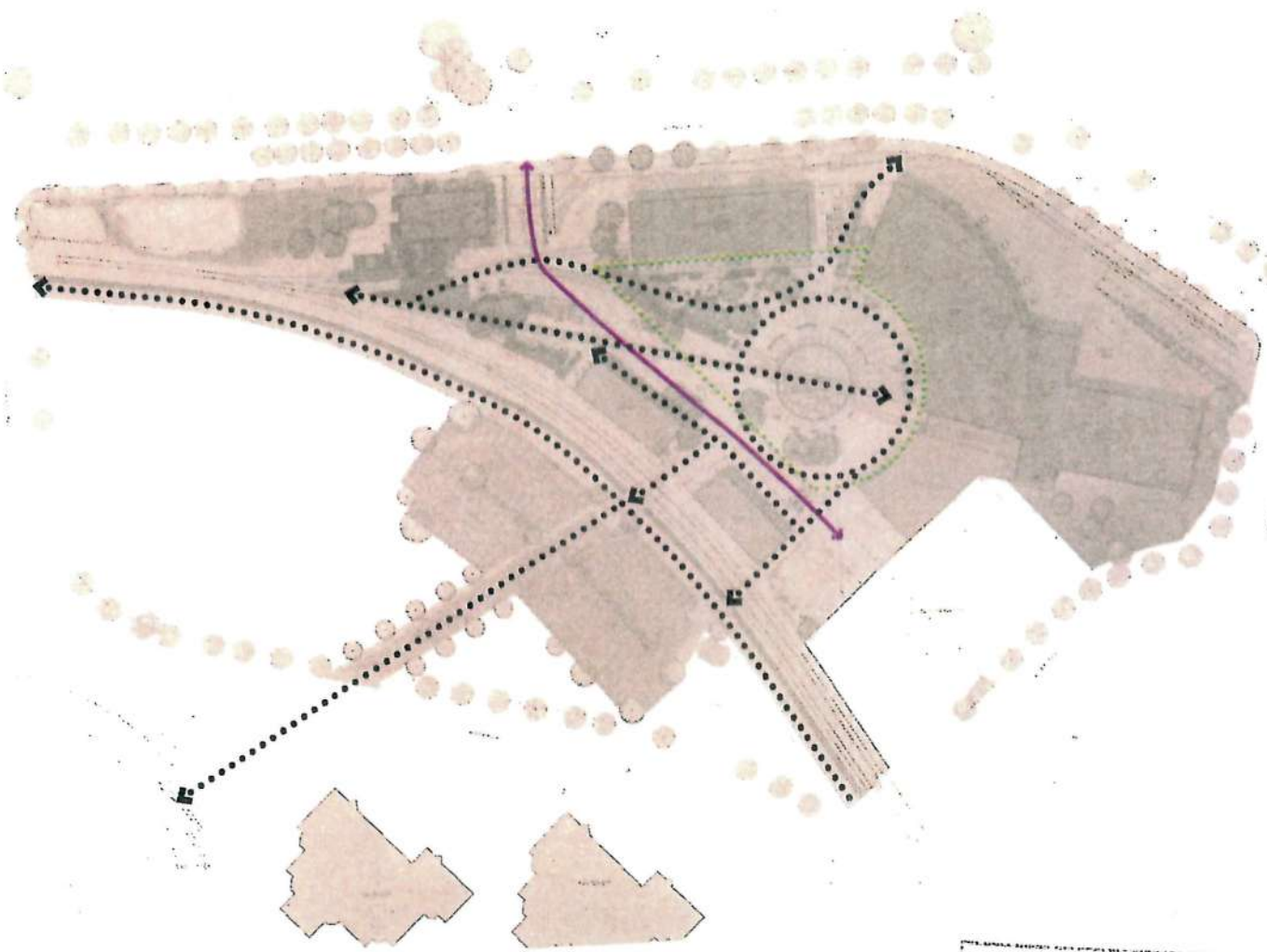
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DIALOG

480-111-1111  
 480-111-1112  
 480-111-1113  
 480-111-1114

**PFS STUDIO**  
 PLANNING & DESIGN  
 100 West 1st Avenue  
 Vancouver, BC V6B 1A1  
 TEL: 604-681-1111  
 FAX: 604-681-1112  
 WWW.PFSSTUDIO.COM



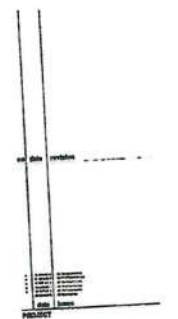
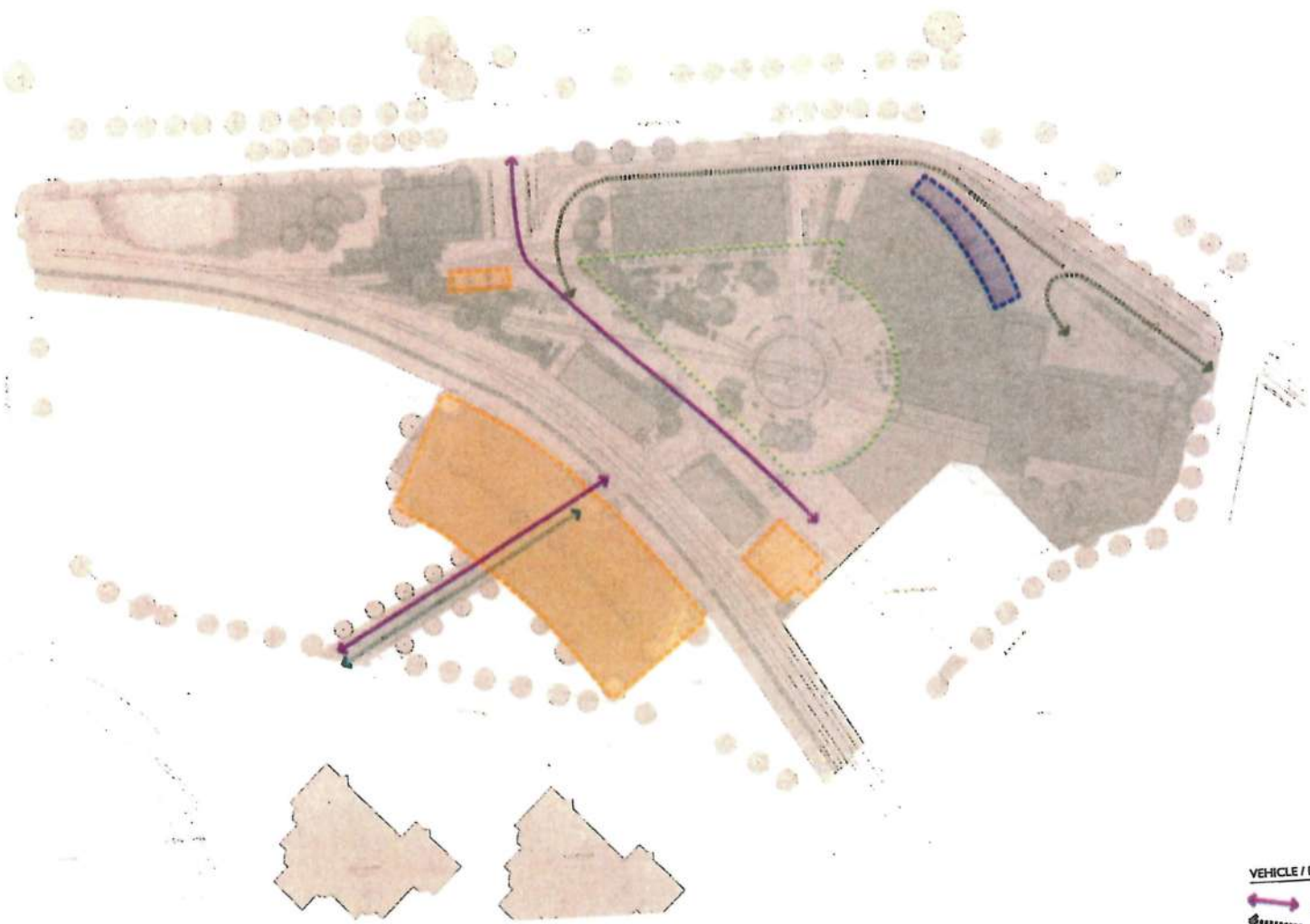
PEDESTRIAN / CYCLIST ROUTES - PHASE 2  
 ●●●●● PEDESTRIAN / BIKE CIRCULATION  
 ——— SHARED-USE CORRIDOR

**Richmond**  
 City of Victoria  
 DEC 22 2014  
 Planning & Development Department  
 Development Services Division

PROJECT  
 Roundhouse Retail  
 Victoria, BC

REVISIONS  
 1.000 10/10/14  
 1.001 10/10/14  
 1.002 10/10/14  
 1.003 10/10/14  
 1.004 10/10/14  
 1.005 10/10/14  
 1.006 10/10/14  
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 1.008 10/10/14  
 1.009 10/10/14  
 1.010 10/10/14

ISSUED	DATE
CLASH	JUL 2013
SCALE	NOTED
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Roundhouse Retail  
 Victoria, BC

DATE: 01/07/2014  
 BY: [Signature]

PROJECT: Roundhouse Retail  
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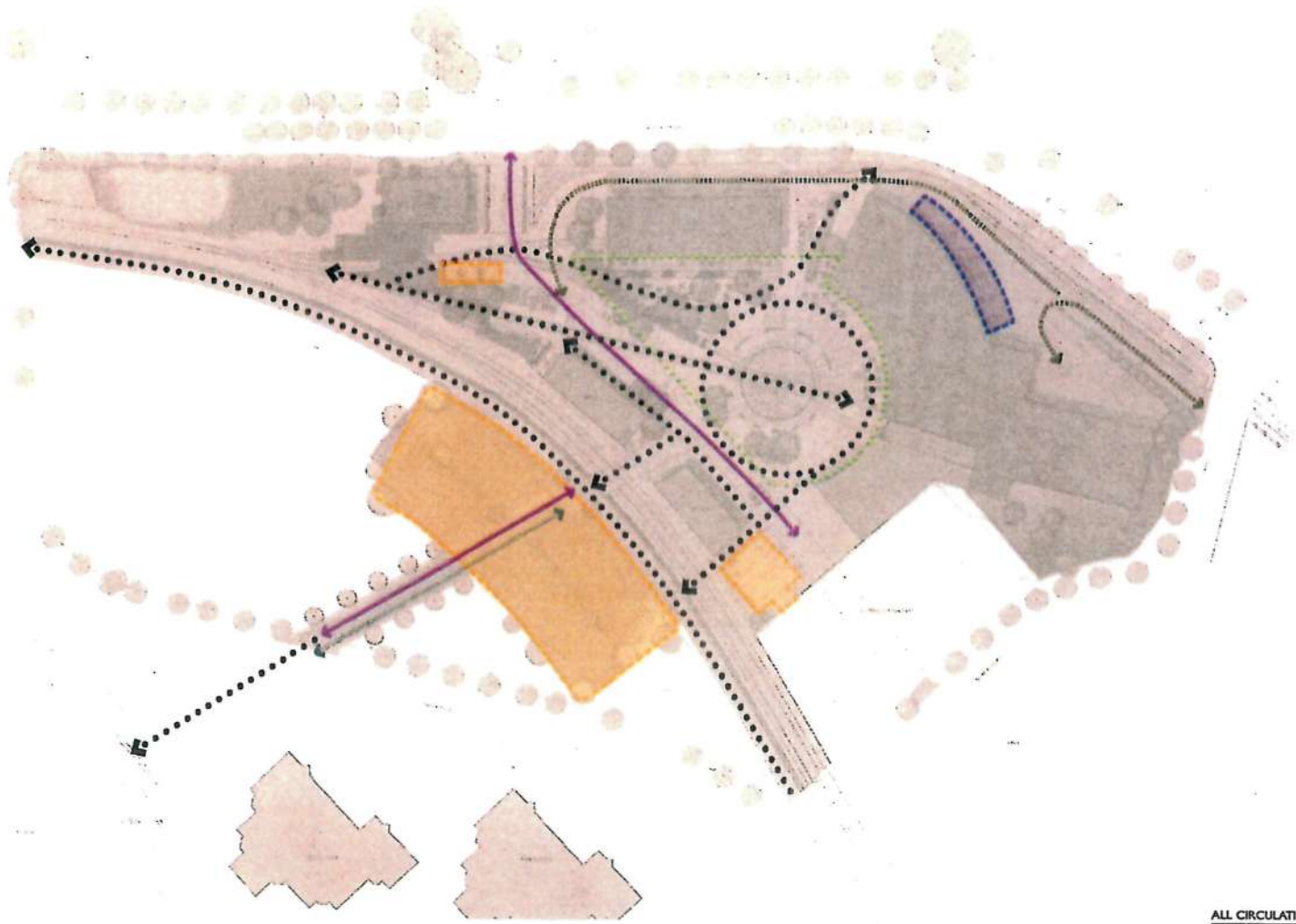
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01/07/2014	JAS 2012
01/07/2014	REVIEWED
01/07/2014	SCALE

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**Roundhouse**  
 City of Victoria  
 DEC 22 2014  
 Planning & Development Department  
 Development Services Division

**VEHICLE / DELIVERY ROUTES - PHASE 2**

- SHARED-USE CORRIDOR
- DELIVERY TRUCK ACCESS
- VEHICULAR ACCESS
- RETAIL PARKING
- STAFF PARKING



Received  
 City of Victoria  
  
 DEC 22 2014  
 Planning & Development Department  
 Development Services Division

- ALL CIRCULATION ROUTES - PHASE 2**
- PEDESTRIAN / BIKE CIRCULATION
  - SHARED-USE CORRIDOR
  - DELIVERY TRUCK ACCESS
  - VEHICULAR ACCESS
  - RETAIL PARKING
  - STAFF PARKING

PROJECT	Roundhouse Retail Victoria, BC
DATE	
REVISION	
BY	
CHECKED	
DATE	

DATE	DATE
CLASH	JUL 2012
REVISION	
DATE	





Forsterland  
City of Victoria  
  
DEC 22 2014  
Planning & Public Works Department  
Victoria BC V8A 0B1

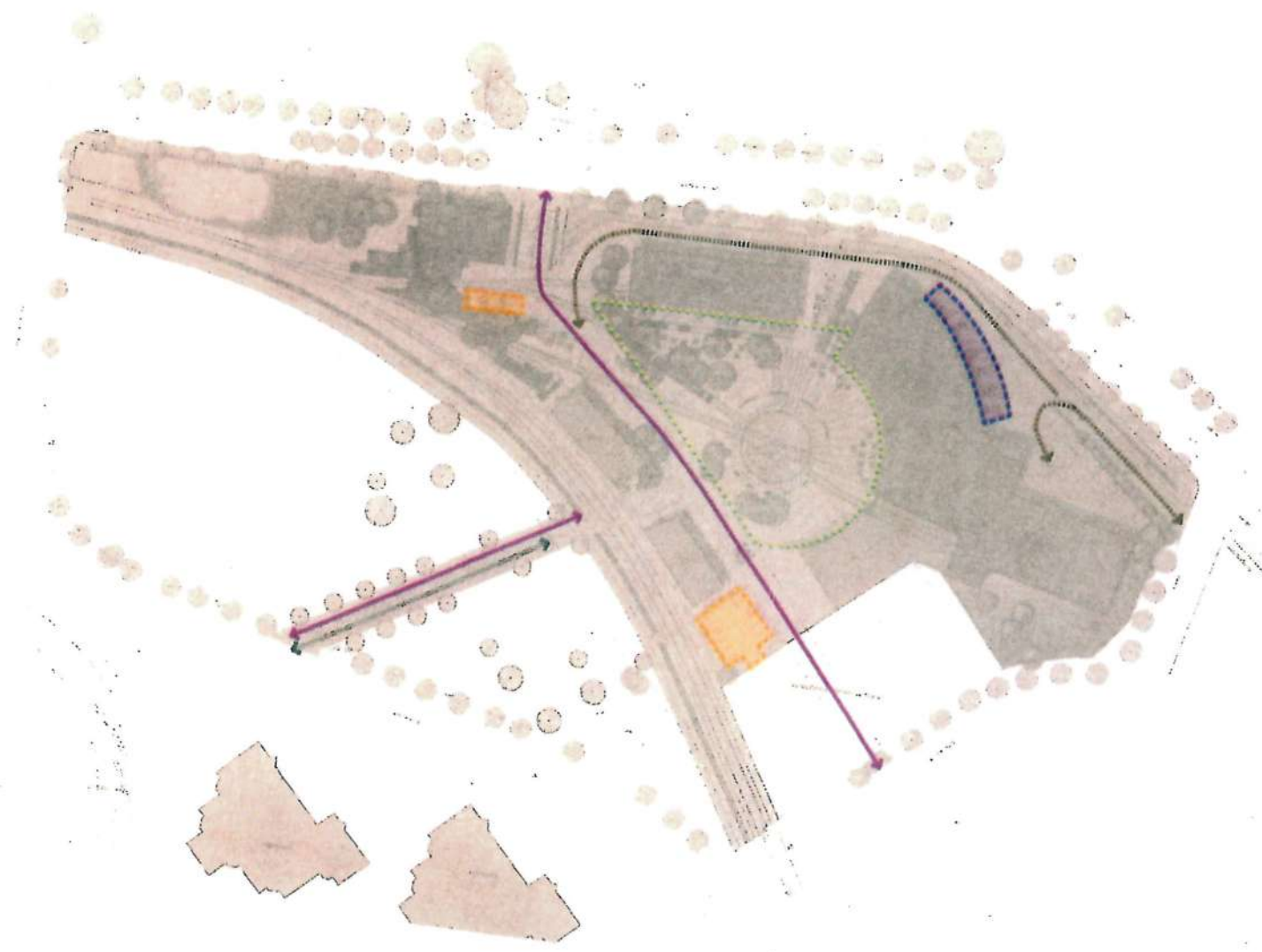
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 PEDESTRIAN / BIKE CIRCULATION  
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**PFS STUDIO**  
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Received  
 City of Victoria  
  
**DEC 22 2014**  
 Planning & Development Department  
 Development Services Division

- VEHICLE / DELIVERY ROUTES - FINAL PHASE**
- SHARED-USE CORRIDOR
  - DELIVERY TRUCK ACCESS
  - VEHICULAR ACCESS
  - RETAIL PARKING
  - STAFF PARKING

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: JUL 2012  
 SCALE: 1:500  
 PROJECT NO: 011070  
**L0.11**



**Roundhouse Retail**  
Victoria, BC

1. **Introduction**  
 2. **Background**  
 3. **Methodology**  
 4. **Results**  
 5. **Conclusion**  
 6. **References**

ISSUES	DATE
CLINICAL	JUL 2012
SCALE	REVIEWED
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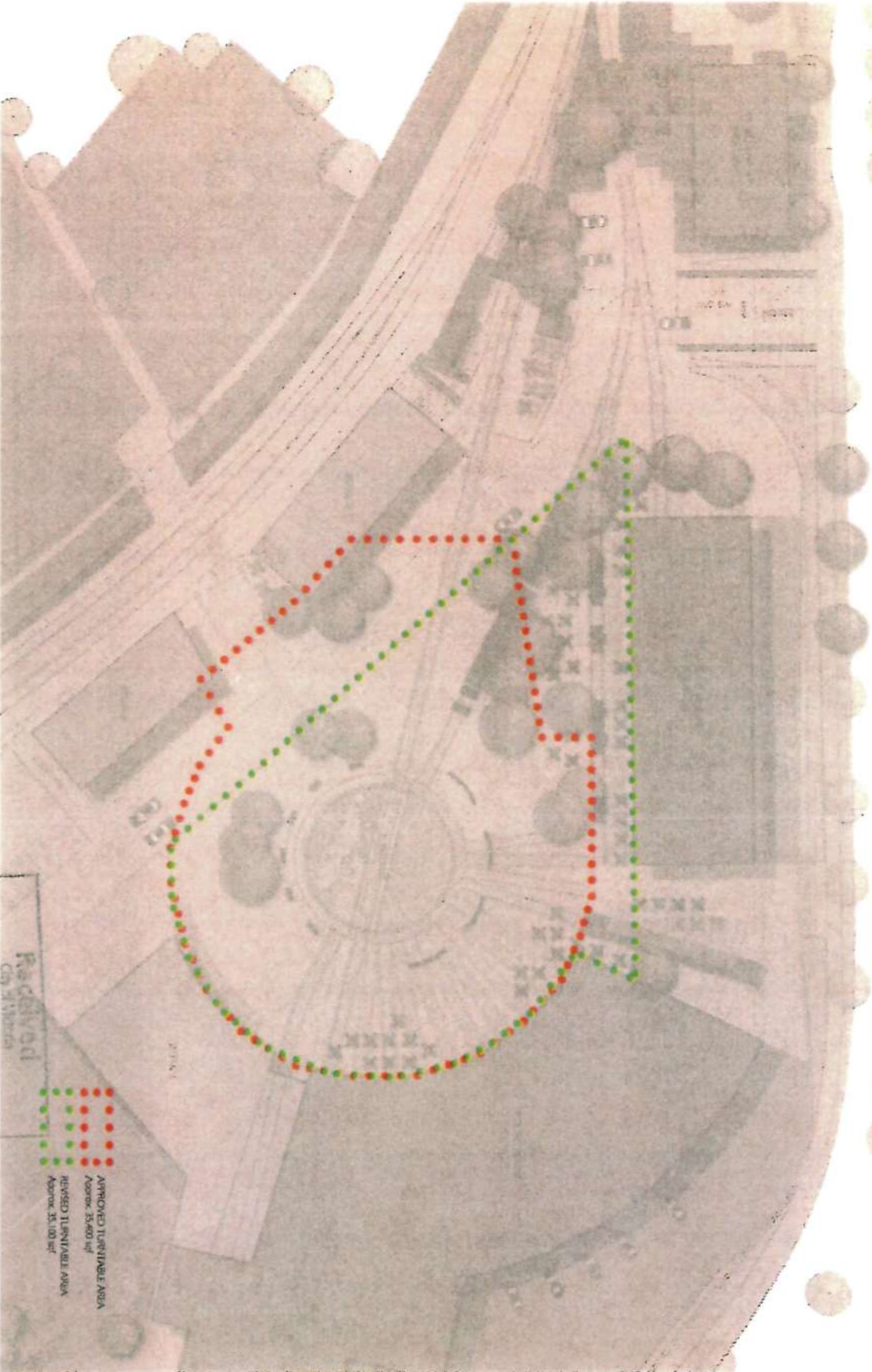
DEC 22 2014

Planning &amp; Development, 1993, 19(1), 1-10.

ALL CIRCULATION ROUTES - FINAL PHASE

-  PEDESTRIAN / BIKE CIRCULATION  
 SHARED-USE CORRIDOR  
 DELIVERY TRUCK ACCESS  
 VEHICULAR ACCESS  
 RETAIL PARKING  
 STAFF PARKING





APPROVED TURNABLE AREA  
APPROX. 15,000 sq. ft.  
REVERSED TURNABLE AREA  
APPROX. 15,000 sq. ft.

Received  
City of Vienna

DEC 22 2013

PROJECT: 1000 15th Street, NW  
WASHINGTON, DC 20004

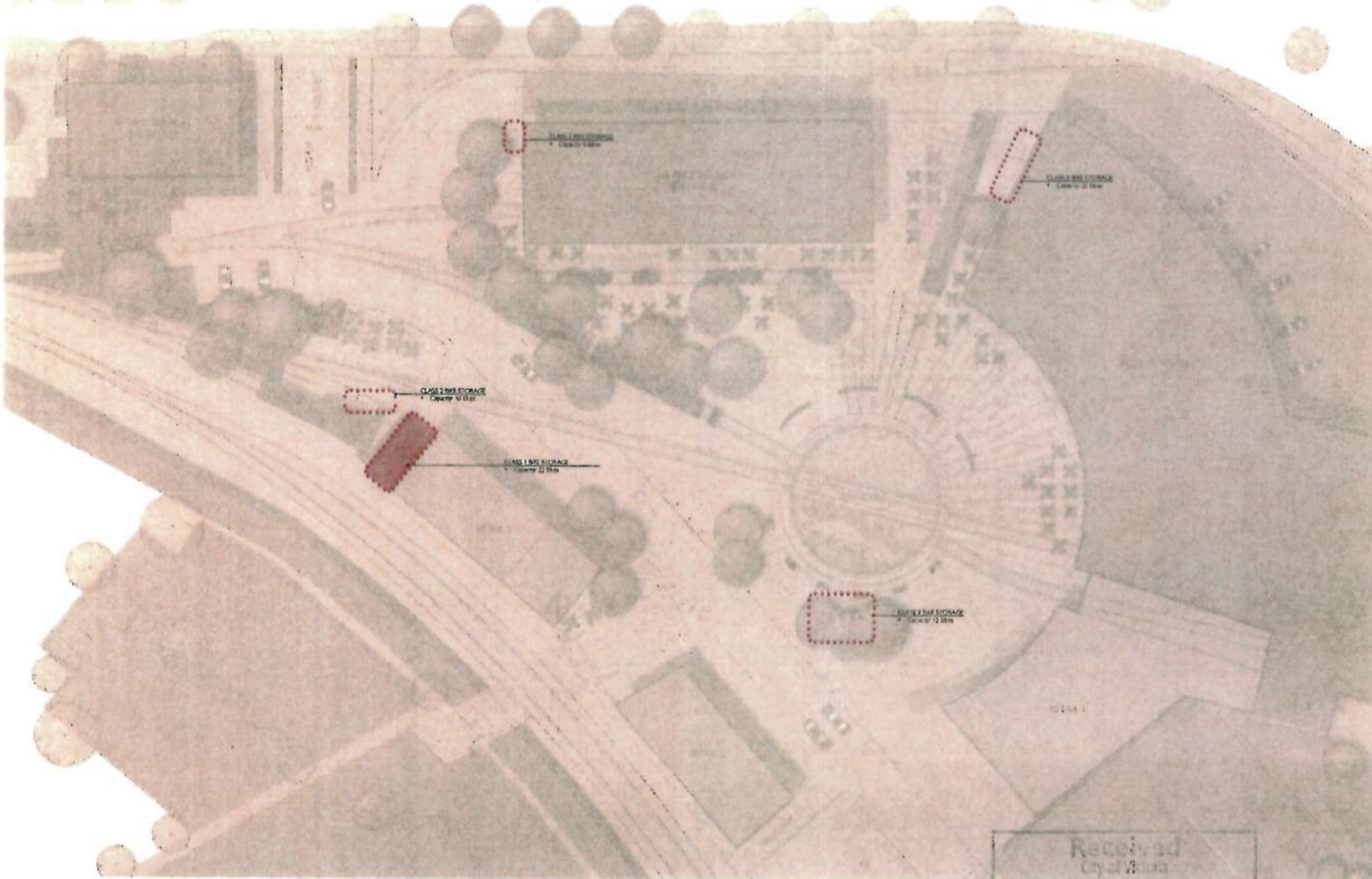
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400-411 Pioneer Blvd  
 Vancouver, BC Canada V6A 3K1  
 T 604.263.1100  
 F 604.263.1101  
 E info@dialoginc.com



PFS STUDIO  
 100 West 4th Avenue  
 Vancouver, BC V6B 1G1  
 T 604.681.1100  
 F 604.681.1101  
 E info@pfsstudio.com

ENVIRONMENTAL REVIEW



PROJECT	BRUNNENHOF RETAIL
LOCATION	VICTORIA, BC
DATE	2014
BY	...
FOR	...
REVISION	...
DATE	...
BY	...
FOR	...

BRUNNENHOF RETAIL  
 VICTORIA, BC

DATE: 2014  
 BY: ...

...

DATE: 2014  
 BY: ...

011070 PROJECT NO

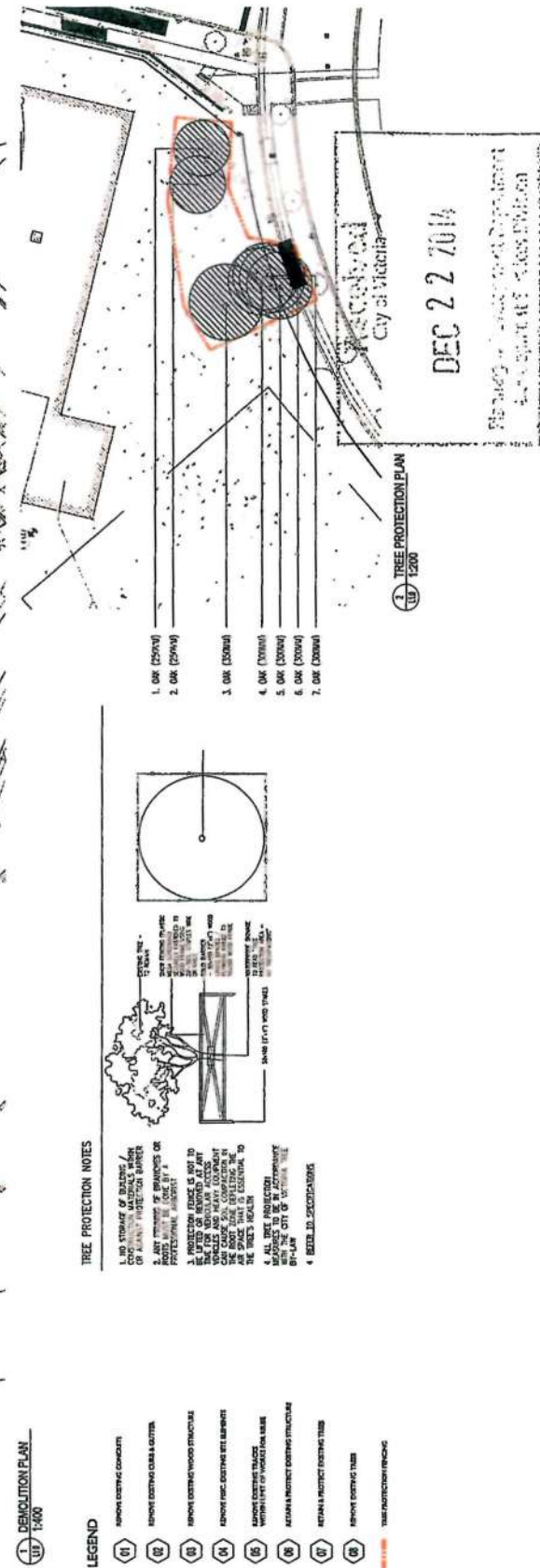
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 City of Victoria

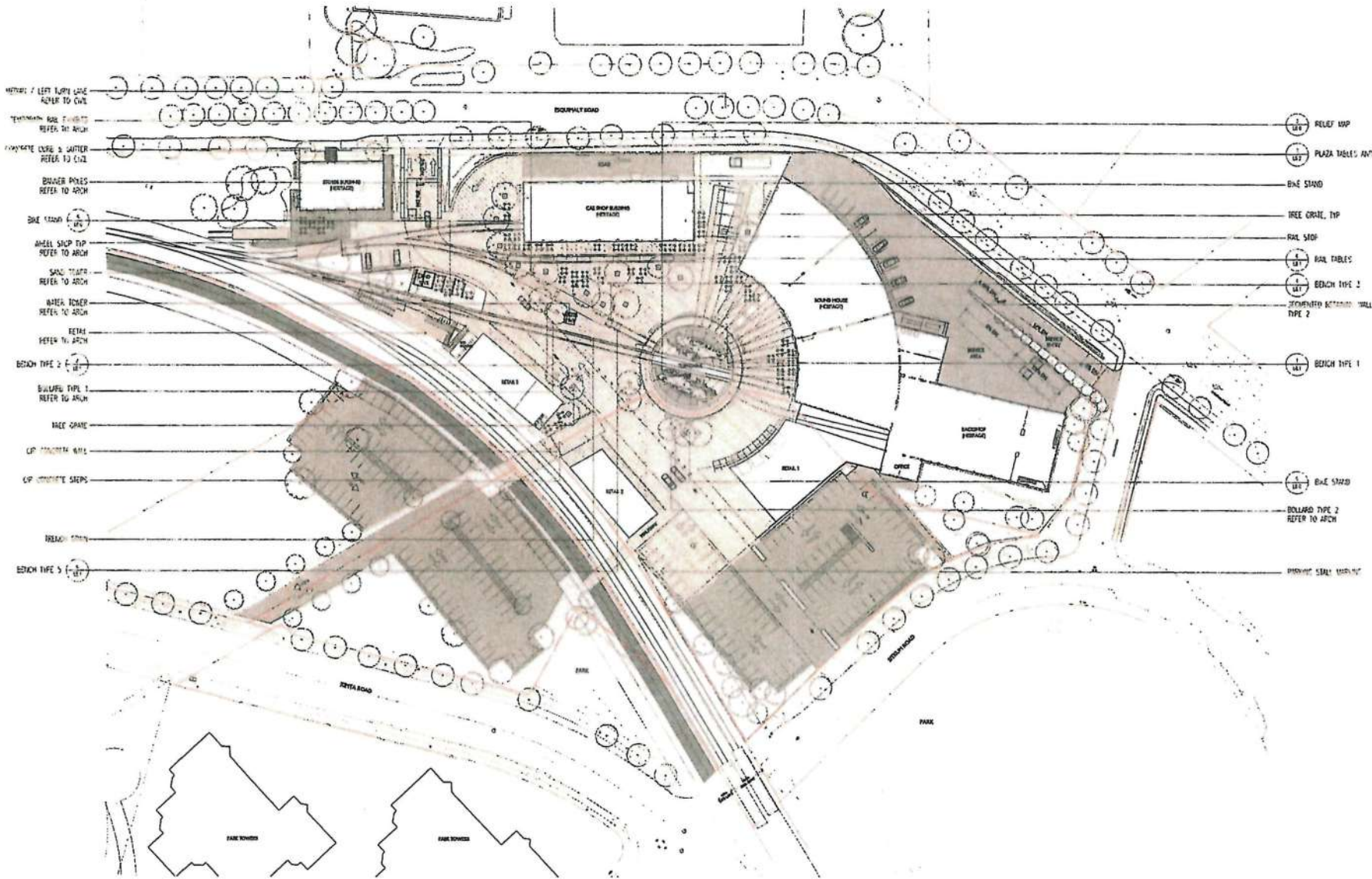
DEC 22 2014

Planning & Development Department  
 Development Services Division

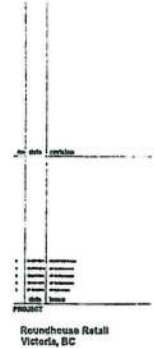
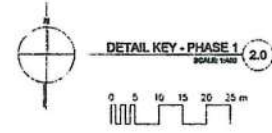








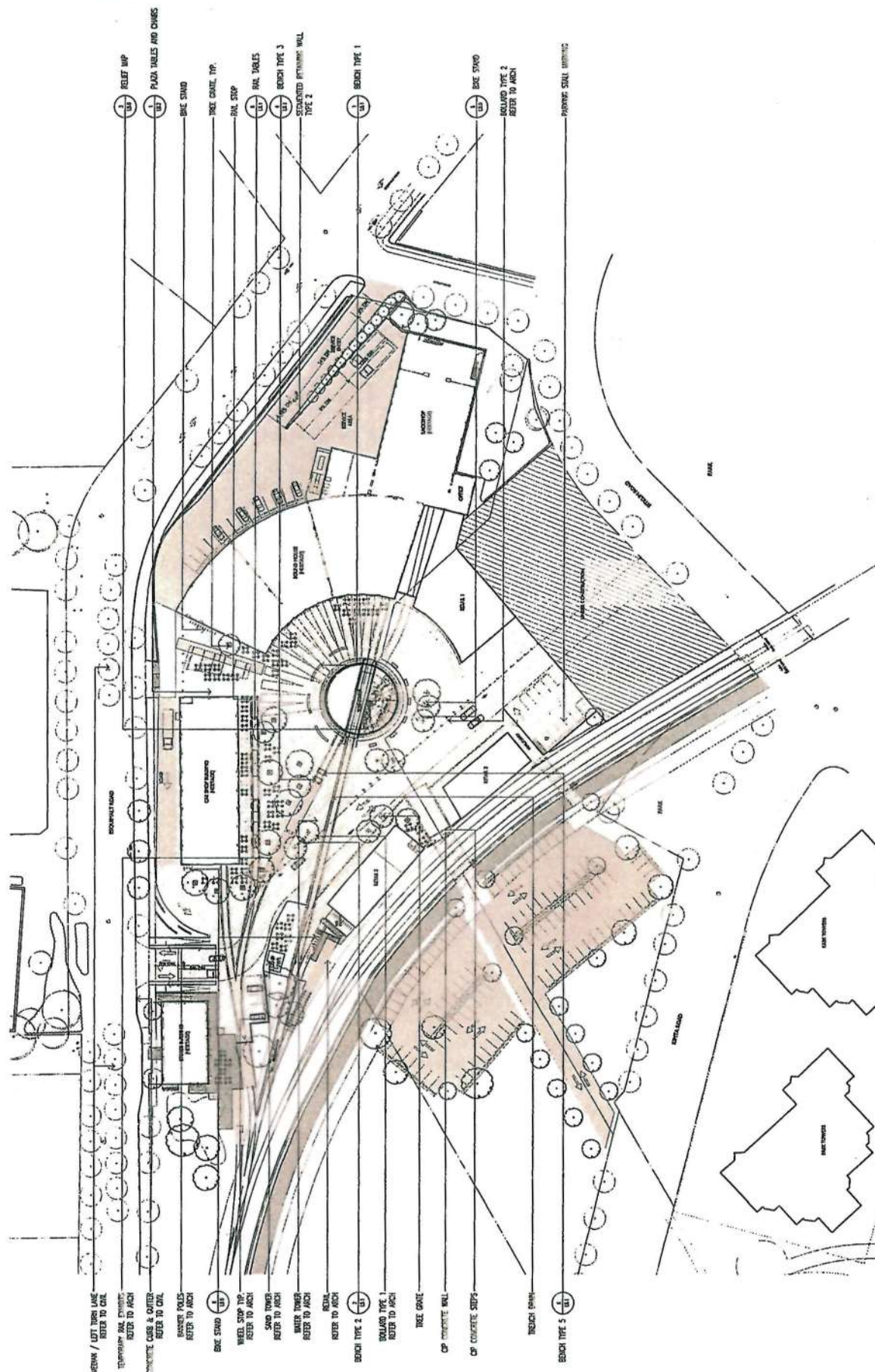
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City of Victoria  
DEC 22 2014  
City of Victoria  
City of Victoria



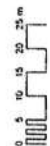
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CONCEPT PLAN-PHASE 2 (2.1)



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DEC 22 2014

**RESEARCH AND DEVELOPMENT**



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 CHECKED BY: [Name]  
 PROJECT: [Name]



**Legend**

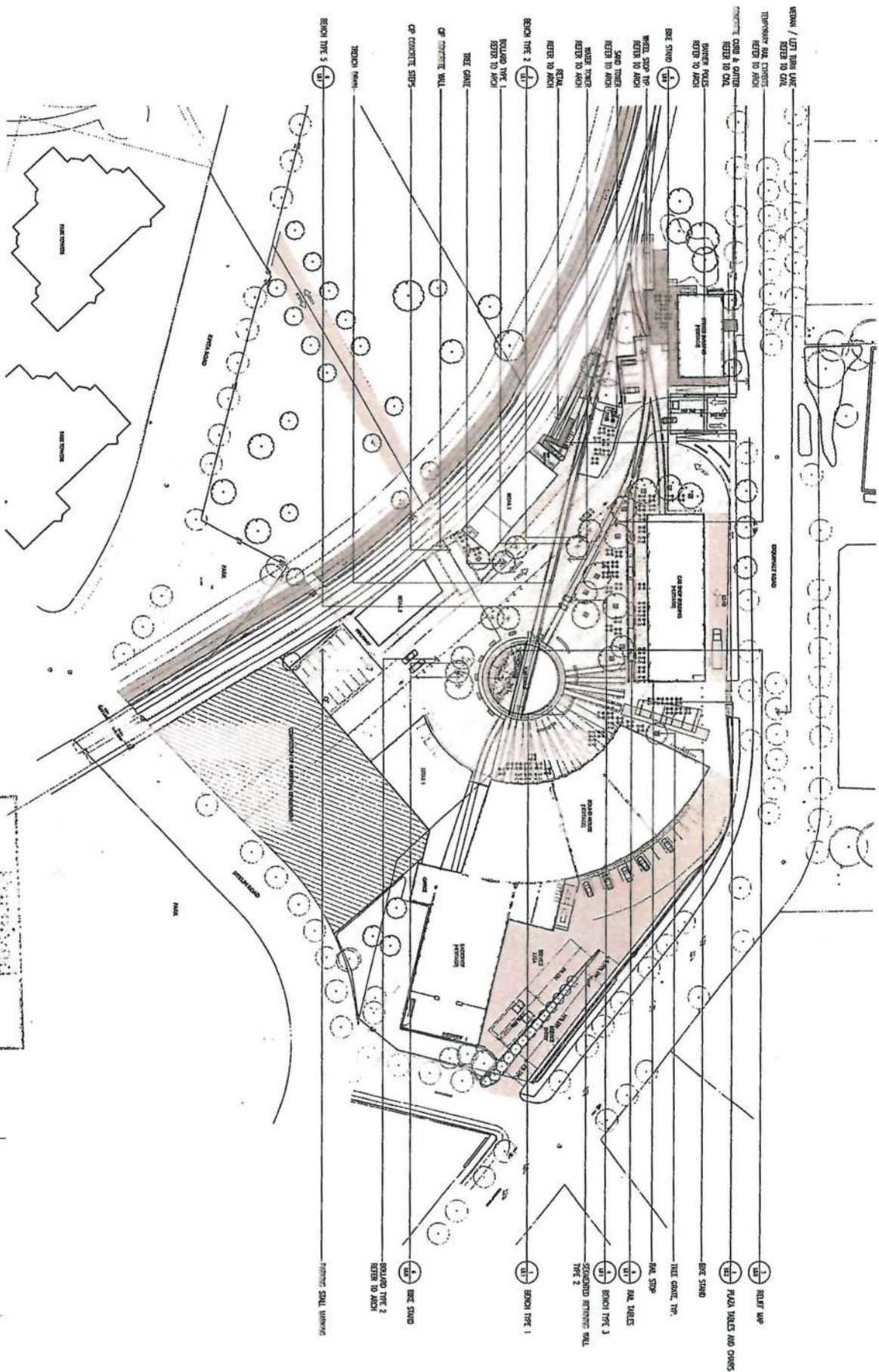
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[Symbol]	Proposed Landscaping
[Symbol]	Proposed Utilities

**Notes**

1. All dimensions are in meters.
2. All elevations are in meters above sea level.
3. All materials are to be specified by the architect.
4. All construction is to be in accordance with the latest edition of the Australian Standard for Building Construction.

**Revision**

Rev	Description	Date
1	Initial Design	2014-12-02
2	Final Design	2014-12-02



DEC 2 2 2014

Planning & Development Department  
 Development & Access Division





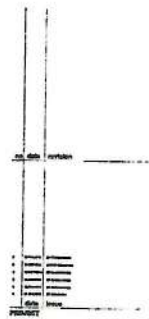
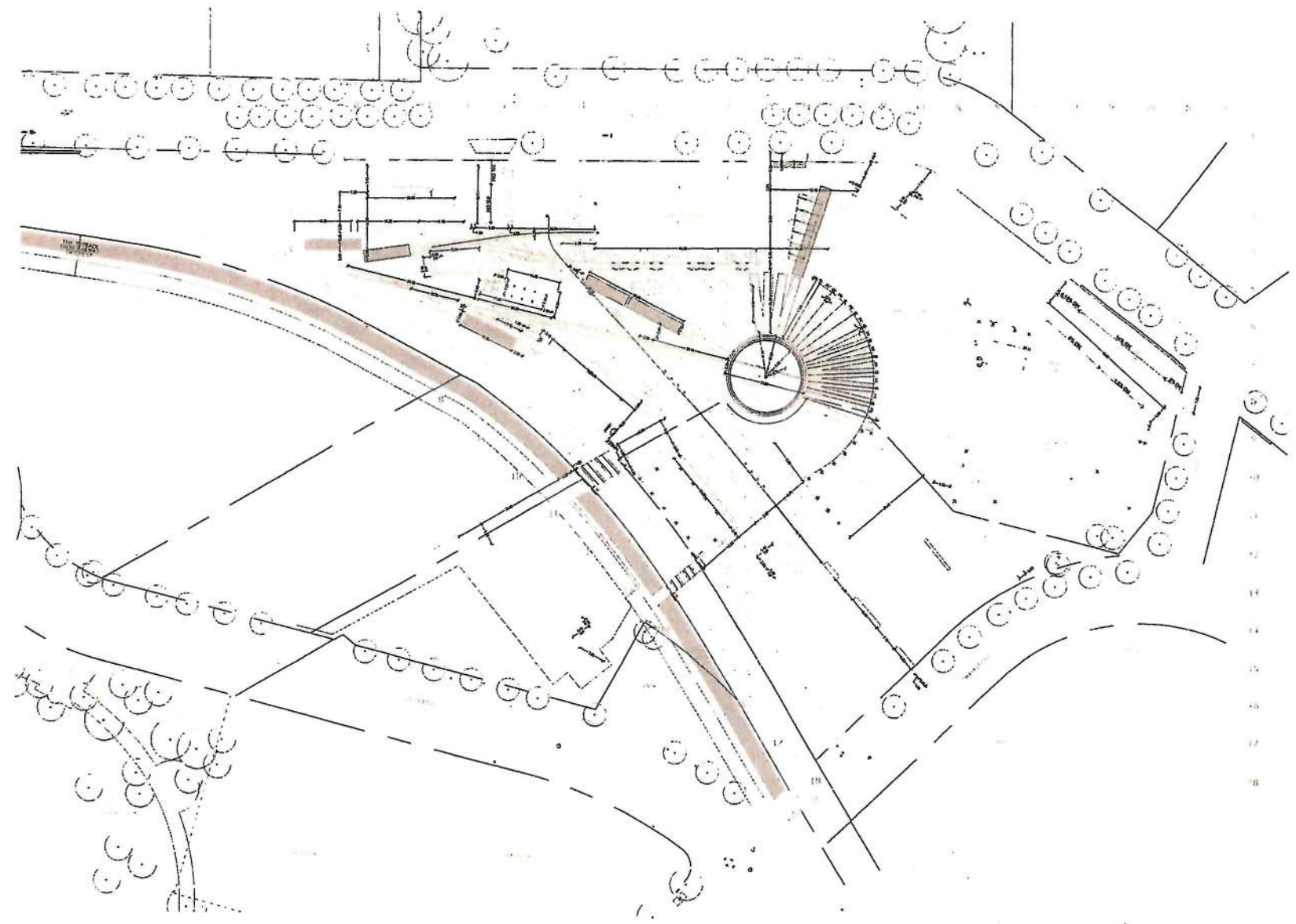
DEC 22 2014

DATE	JUL 2012
REVIEWED	NSM
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**PFS STUDIO**  
 LANDSCAPE ARCHITECTS  
 1111 West 10th Avenue  
 Vancouver, BC V6H 2G6  
 TEL: 604-681-1111  
 FAX: 604-681-1112  
 WWW.PFSSTUDIO.COM



Roundhouse Retail  
 Victoria, BC

Layout Plan  
 Phase 1

Received  
 City of Victoria  
 DEC 22 2014  
 Planning & Development Department  
 Development Services Division

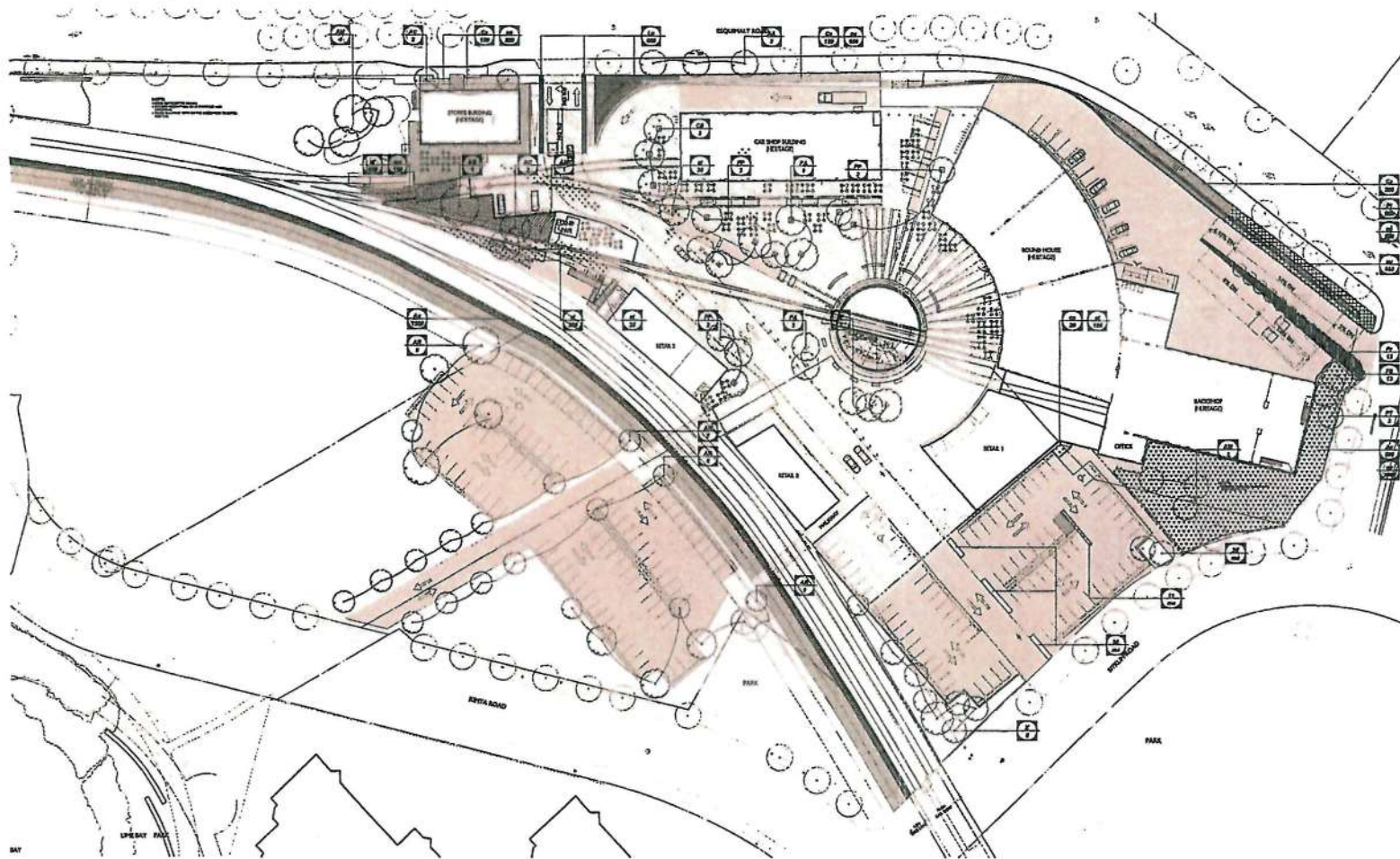
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DATE: JUL 2015  
 SCALE: 1:200  
 11070 PROJECT NO  
**L4.0**









# PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/DESCRIPTION
<b>TREES</b>				
AA	3	ACER PLATANUS ARBORESCENS	AMERICAN SWEETGUM	2.5m (H) HEIGHT - 100% - 100%
AC	4	ACER FRAXINUM	WAX MAPLE	2.5m (H) HEIGHT - 100% - 100%
AD	18	ACER FRAXINUM 'NIGRA' PLANT	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AE	1	ACER FRAXINUM	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AF	1	ACER FRAXINUM	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AG	27	ACER FRAXINUM 'NIGRA' PLANT	WAX MAPLE	2.5m (H) HEIGHT
AH	8	ACER FRAXINUM	WAX MAPLE	10cm CAL. 10
AI	8	ACER FRAXINUM	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AJ	15	ACER FRAXINUM 'NIGRA' PLANT	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AK	10	ACER FRAXINUM 'NIGRA' PLANT	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AL	8	ACER FRAXINUM 'NIGRA' PLANT	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
AM	3	ACER FRAXINUM 'NIGRA' PLANT	WAX MAPLE	10cm CAL. 10 - 3m (H) HEIGHT
<b>SHRUBS</b>				
CA	450	CORALLORHIZA	RED SAND PINE	1/2 Pal 600mm O.C.
CB	600	LOXODIUM	ROSEMARY	1/2 Pal 600mm O.C.
CC	200	PHACELIA	WAX FLORIST	1/2 Pal 600mm O.C.
CD	15	PHACELIA	WAX FLORIST	1/2 Pal 600mm O.C.
CE	150	PHACELIA	WAX FLORIST	1/2 Pal 600mm O.C.

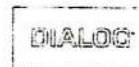
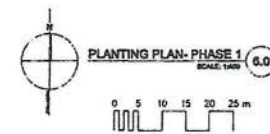
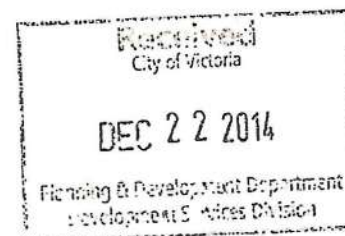
## GRASS/COVERS/CLIMBERS

AA	5000	ARCTOSTAPHYLOS UVA	WAX FLORIST	1/2 Pal 600mm O.C.
AB	20	CELANDES	WAX FLORIST	1/2 Pal 600mm O.C.
AC	100	WAX FLORIST	WAX FLORIST	1/2 Pal 600mm O.C.
AD	1000	WAX FLORIST	WAX FLORIST	1/2 Pal 600mm O.C.

## NOTES

1. ALL LANDSCAPE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD.
2. PLANT STOCKS, SPECIES AND SIZES SHALL BE TO THE SATISFACTION OF THE CLIENT. WORKMANSHIP SHALL BE TO THE SATISFACTION OF THE CLIENT.
3. PLANT STOCKS SHALL BE 2.5m IN LENGTH AND 400mm IN WIDTH. CALL THE PLANT STOCKS FOR INSPECTION AFTER TREE PLANTING.
4. PLANT STOCKS SHALL BE TO THE SATISFACTION OF THE CLIENT.
5. PLANT STOCKS SHALL BE TO THE SATISFACTION OF THE CLIENT.

AA	1/2 Pal 600mm O.C.
AB	1/2 Pal 600mm O.C.
AC	1/2 Pal 600mm O.C.
AD	1/2 Pal 600mm O.C.
AE	1/2 Pal 600mm O.C.
AF	1/2 Pal 600mm O.C.
AG	1/2 Pal 600mm O.C.
AH	1/2 Pal 600mm O.C.
AI	1/2 Pal 600mm O.C.
AJ	1/2 Pal 600mm O.C.
AK	1/2 Pal 600mm O.C.
AL	1/2 Pal 600mm O.C.
AM	1/2 Pal 600mm O.C.



400-888-8888  
Victoria BC Canada V8V 1G1  
www.dialog.ca

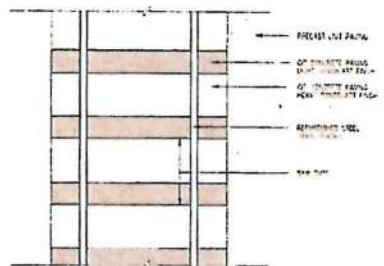


1000 West 10th Avenue  
Victoria BC Canada V8V 1G1  
www.pfstudio.ca



DATE: JUL 2012  
LAYOUT: JUL 2012  
SCALE: 1:500  
11010 PROJECT NO.

L6.0



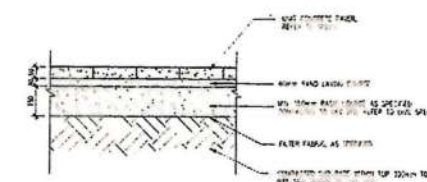
1 CIP CONG TRACK PAVING  
U3 1:20



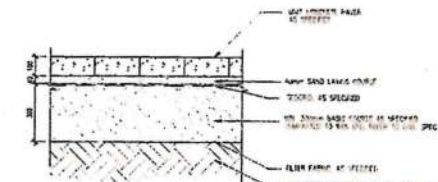
1 RELIEF MAP  
U3 PLAN 1:100



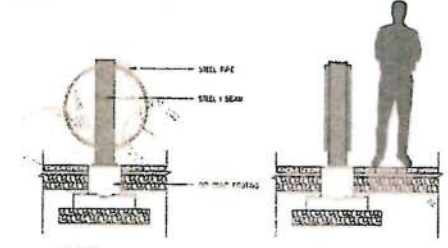
1 BIKE STAND



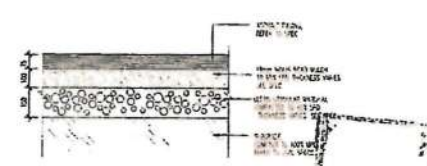
1 PRECAST CONG UNIT PAVING TYPE 1: PEDESTRIAN  
U3 SECTION 1:10



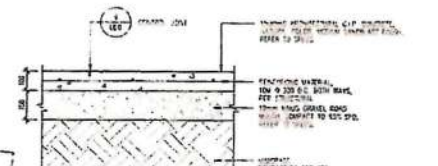
1 PRECAST CONG UNIT PAVING TYPE 2: VEHICLE  
U3 SECTION 1:10



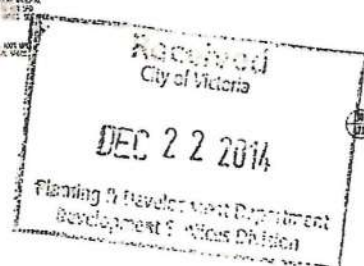
1 BIKE STAND  
U3 1:20



1 ASPHALT PAVING  
U3 SECTION 1:10



1 CIP CONG PAVING TYPE 1: PEDESTRIAN  
U3 SECTION 1:10



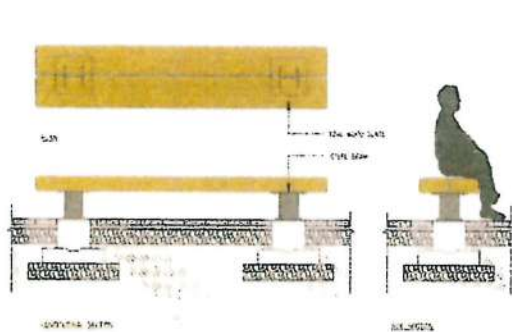
Roadhouse Retail  
Victoria, BC

Construction Details

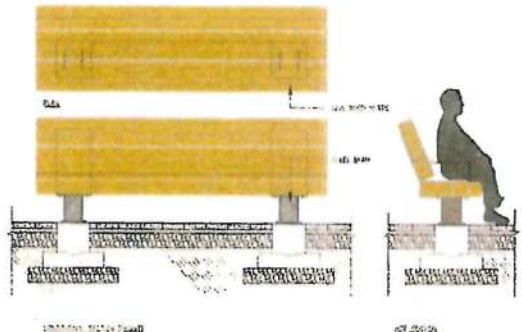


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2014	AD
REVISION	BY
11070	PR

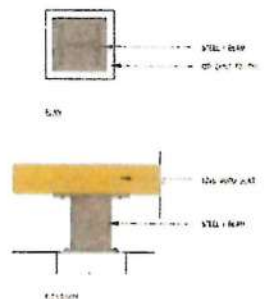




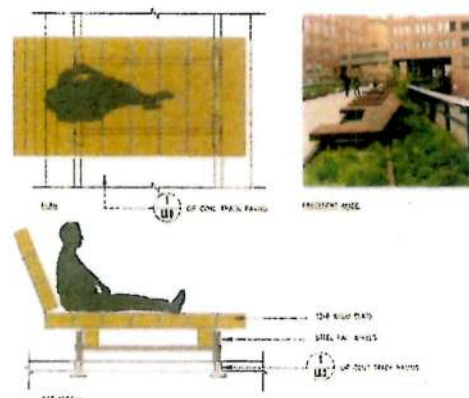
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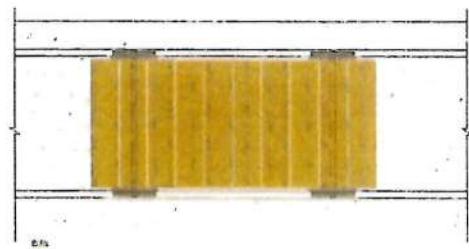
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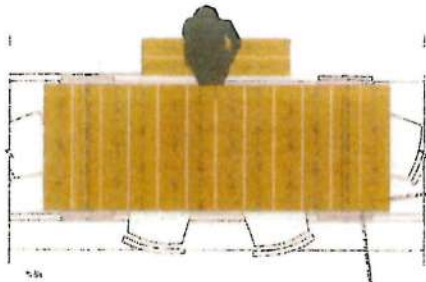
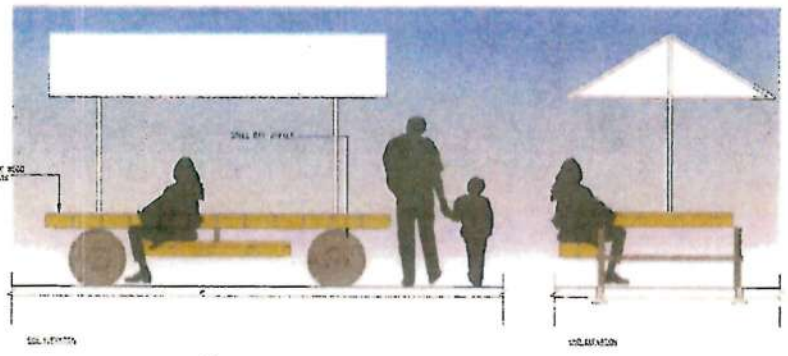
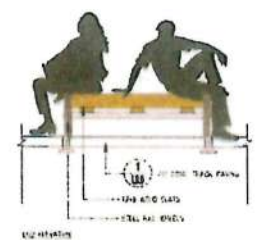
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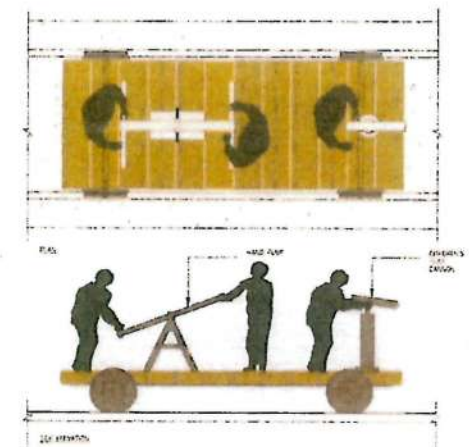
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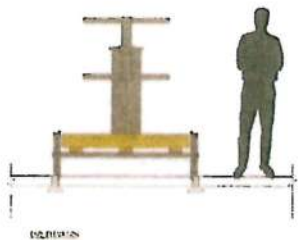
BENCH TYPE 4  
1:20



RAIL TABLE  
1:20



BENCH TYPE 5  
1:20



RAIL TABLE  
1:20



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1000-812-2222



1000-812-2222  
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1000-812-2222

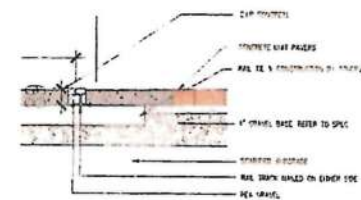
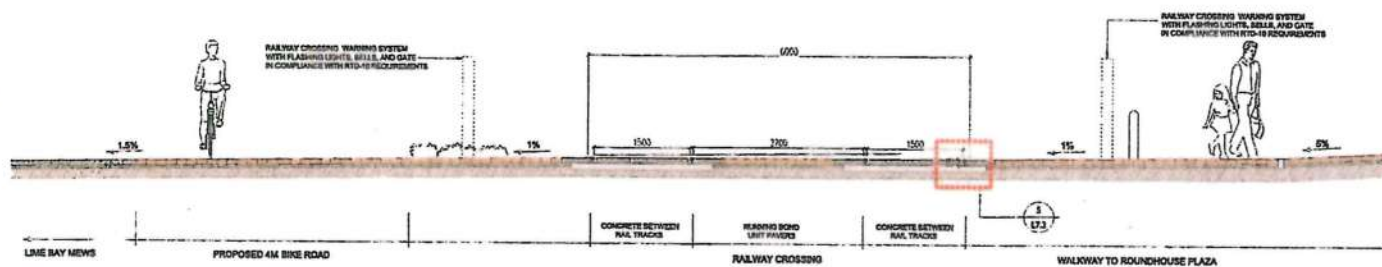
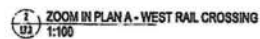
Project	Roundhouse Retail
Location	Victoria, BC
Client	City of Victoria
Architect	PFS Studio
Engineer	Dialog
Manufacturer	Dialog

Construction Details  
Benches & Tables

DATE	JUL 2012
REVISION	REV
PROJECT NO	11070

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DEC 22 2014  
Planning & Development Department  
Development & Access Division



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DETAIL OF TRACK AND PAVING MATERIALS  
1:10

