

## 1201 Fort Street

## Drawing List

## Architectural

A000	Cover
A001-M	Renderings
A002-M	Renderings
A003-M	Renderings
A004-M	Site Analysis
A005-M	Survey / Phasing Plan / Info
A100-M	Site Plan & Proj Info
A101-M	Code Compliance
A102-M	Code Compliance
A103-M	Average Grade
A200-M	P1 Plan
A201-M	L1 Plan
A202-M	L2 Plan
A300-M	Context Elevations
A401-M	Site & Context Sections
A503-M	Shadow Study
A210-A	P1 Floor Plan
A211-A	L1 Floor Plan
A212-A	L2 Floor Plan
A213-A	L4 Floor Plan
A215-A	L5 Floor Plan
A216-A	L6 Penthouse Floor Plan
A311-A	North and South Elevations
A312-A	East and West Elevations
A413-A	Building Sections
A221-B	L1 & L2 Plans
A222-B	L3 & L4 Plans
A320-B	Elevations
A420-B	Building Sections

## Building (Part 9 Townhouses)

B101	SITE PLAN & LOCATION MAP
B102	AVG. GRADE CALCULATIONS & TYP. SECTIONS
B201	BUILDING C PLANS
B202	BUILDING D PLANS
B303	BUILDING E PLANS
B301	BUILDING C ELEVATIONS
B302	BUILDING D ELEVATIONS
B303	BUILDING E ELEVATIONS
B401	COMBINED FRONT ELEVATIONS

## Civil

C101	PRELIMINARY SITE SERVICING PLAN
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## Landscape

L101	LANDSCAPE PLAN
L102	TREE RETENTION AND REMOVAL PLAN
L201	GRADING AND DRAINAGE PLAN
L301	PLANTING PLAN AND PLANT LIST
L302	PLANTING PLAN
L401	LANDSCAPE MATERIALS PALETTE



## Contact List

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## STRUCTURAL ENGINEER

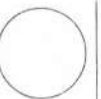
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treehelp@telus.net

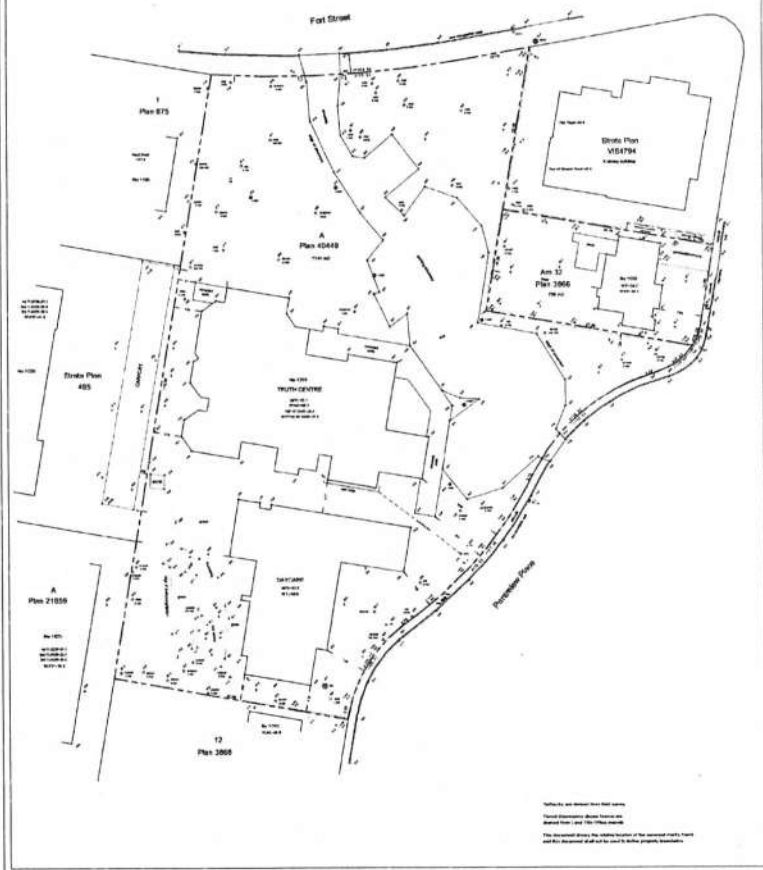


**BC LAND SURVEYORS SITE PLAN OF:**  
 Class: 1050 Peninsula Place, 1201 Fort Street  
 Amended 1st of 32 (2018), Fairfield Farm Estate, Victoria City  
 Plan 2080, Enrol Part to Plan V1967338  
 Lot A, Fairfield Farm Estate and Spring Ridge, Victoria City Plan 40449

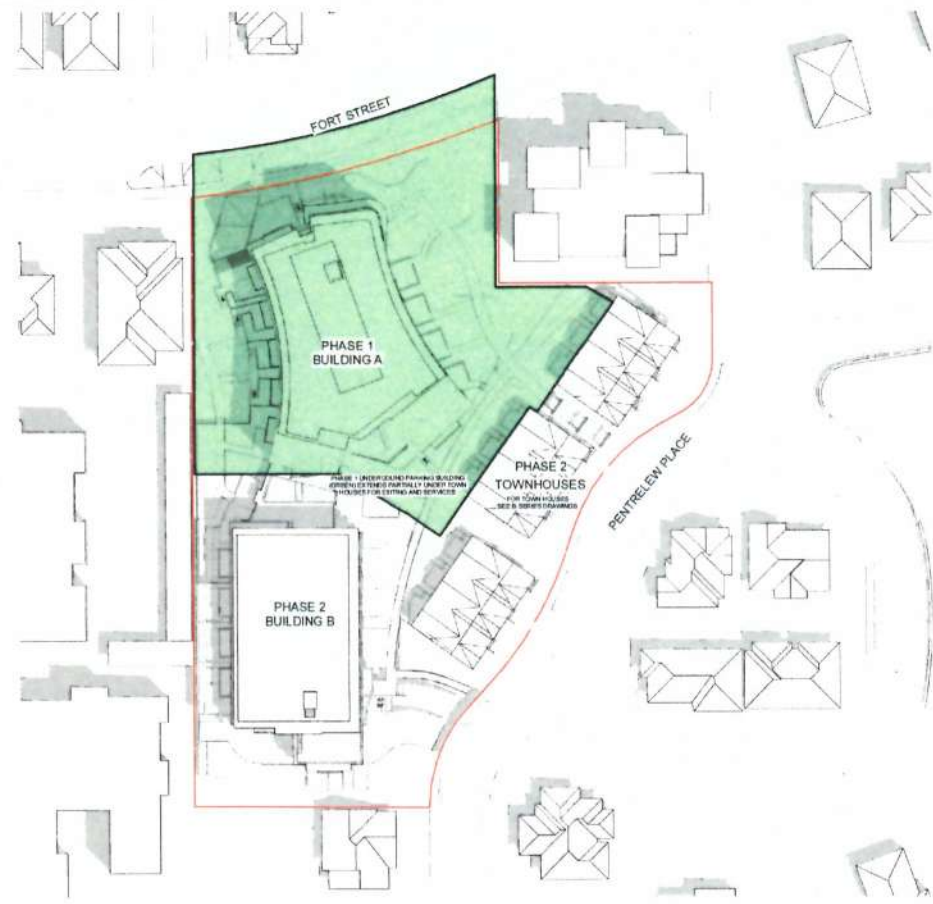


- LEGEND**
- 1. Boundary
  - 2. Easement
  - 3. Right of Way
  - 4. Utility
  - 5. Other
  - 6. Building Footprint
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  - 100. Other

**DATE: 2018**  
**PROJECT: 1201 Fort Street**  
**DESIGNER: CASCADIA ARCHITECTS INC.**  
**DATE: 2018**  
**PROJECT: 1201 Fort Street**

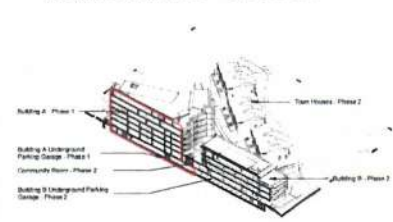


**1 Site Survey - of both parcels (see combined area)**  
 SCALE = 1:400

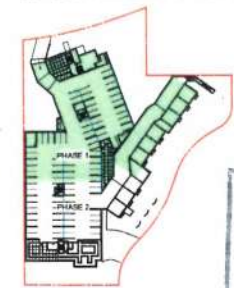


**2 Roof Plan and Phasing**  
 SCALE = 1:400

**PROJECT PHASING - DIAGRAM**



**LEVEL P1 PHASING - DIAGRAM**



**Received**  
 City of Victoria  
 NOV 15 2017  
 Planning & Development Department  
 Development Services Division

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NO.	DESCRIPTION	DATE
1	REVISION	2017-11-15
2	REVISION	2017-11-15
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99	REVISION	2017-11-15
100	REVISION	2017-11-15

Survey / Phasing Plan / Info	
PROJECT	1201 Fort Street Abstract Developments 1201 Fort Street Victoria, BC V8V 3L1
DATE	As indicated
PROJECT NUMBER	1612
DATE	2017-11-14 11:55:53 AM
DESIGNED BY	GD
CHECKED BY	YK
DATE	2017-11-14
SCALE	10
DATE	2017-11-14
SCALE	A005-M



FORT STREET

1225  
Fort Street

1195  
Fort Street

1039  
Linder Ave

1025  
Linder Ave

1059  
Pentrelw Place

1020  
Pentrelw Place



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## PROJECT INFORMATION

	Metric	Imperial
Building Type:	83 AM-2, M-B	-
Proposed Zone:	TBD	-
Site Area:	7,650 sq m (2 parcels)	84,497 sq ft
Total Floor Area:	10,396 sq m	111,933 sq ft
Commercial Floor Area:	0 sq m	0 sq ft
1:1 Bldg Parking Floor Area:	240 sq m	2,600 sq ft
Floor Space Ratio:	1.28*	-
Site Coverage:	33.46 sq m (12.5%)	-
Open Site Space:	4,910 sq m (64.5%)	-
<b>Size (Totals)</b>		
Height of Building:	21.42 m	70 ft 4 in
Number of Storeys:	6	6
Parking stalls on site:	110 + 9 visitor	119 + 9 visitor
Bicycle Parking #:	86 c / 112 c-2	52 c / 6 c-2
<b>Setbacks</b>		
Front:	6.4m (Front)	6.4m (Front)
Rear:	6.1m (South)	6.1m (South)
Side:	4.6m (West)	4.6m (West)
Side:	2.79m (Pentrelw)	2.79m (Pentrelw)
<b>Total Number of Units</b>		
Unit Type:	1-3 Bdrm	1-3 Bdrm
Ground-Ordnal Units:	23 units	23 units
Minimum Unit Floor Area:	61 sq m	61 sq m
Total Residential Floor Area:	10,156 sq m	109,433 sq m
<b>Building C</b>		
Height of Building:	7.3 m	24 ft
Number of Storeys:	2	2
Parking stalls on site:	6 stalls	6 stalls
Bicycle Parking #:	3 c / 1 (Bike m)	3 c / 1 (Bike m)
<b>Setbacks</b>		
Front:	2.79m (East)	2.79m (East)
Rear:	3.44m (East)	3.44m (East)
Side:	4.28m (East)	4.28m (East)
Side:	3.0 m (North)	3.0 m (North)
<b>Total Number of Units</b>		
Unit Type:	3 Bdrm	3 Bdrm
Ground-Ordnal Units:	3 units	3 units
Minimum Unit Floor Area:	152.75 sq m	165.0 sq m
Total Residential Floor Area:	462.75 sq m	497.7 sq m

\*FSR Calculation discounts in grade bike parking area.

NO. DESCRIPTION DATE

Site Plan & Proj Info

1201 Fort Street  
Abstract Developers  
1201 Fort Street  
Victoria, BC V8V 3L1

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SCALE As indicated

PROJECT NUMBER 1612 Date 2017-11-29 12:05:49 PM

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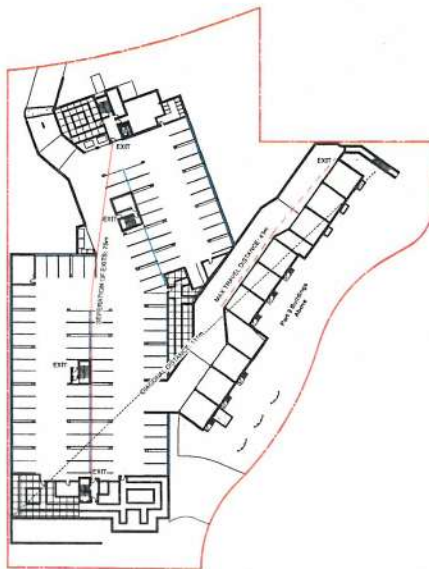
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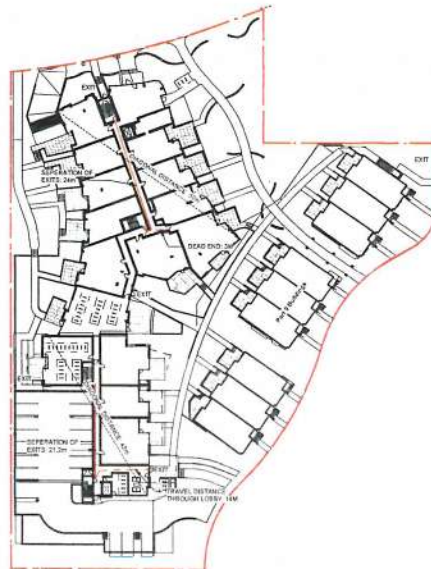
Level 1 - Site Plan  
SCALE = 1:200

A100-M



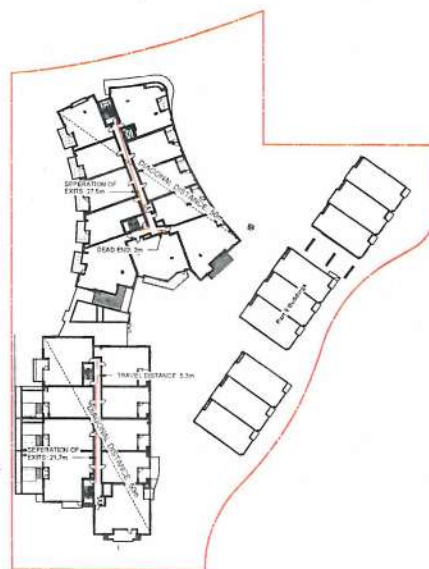
Min. Separation of two Exits: 3.0m  
Max. Travel: 45m  
Occupancy: P-3 Storage Garage  
Occupant Load:  
3,200 sq.m. = 40 sq. metres = 76 persons  
Min. Exit Width:  
Ramp, Corridor, Passageway:  
8.1m x 2.1m  
Stairs:  
Breadth x 20 = 560mm

② Level 1 Key  
SCALE = 1 : 500



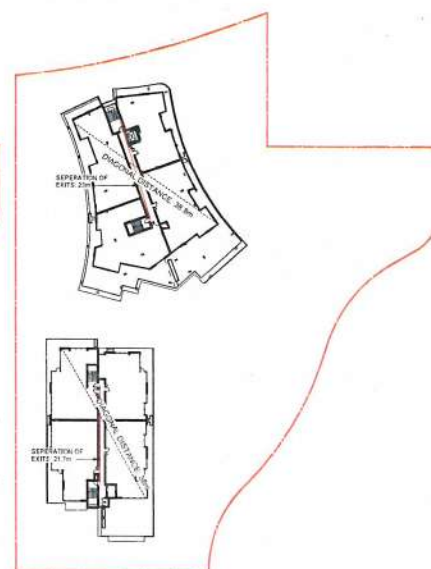
Building A  
Min. Separation of two Exits: 3m  
Max. Travel: 30m  
Occupancy: C - Residential  
Occupant Load:  
14 sleeping rooms x 2 persons = 28 Persons  
Min. Exit Width By Occupant Load:  
Ramp, Corridor, Passageway:  
8.1m x 2.1m  
Stairs:  
Breadth x 20 = 224mm

① Level 1 Key  
SCALE = 1 : 500



Building A  
Min. Separation of two Exits: 3m  
Max. Travel: 30m  
Occupancy: C - Residential  
Occupant Load:  
18 sleeping rooms x 2 persons = 36  
Min. Exit Width:  
Ramp, Corridor, Passageway:  
8.1m x 2.1m  
Stairs:  
Breadth x 20 = 256mm

② Level 2 Key  
SCALE = 1 : 500



Building A  
Min. Separation of two Exits: 3m  
Max. Travel: 30m  
Occupancy: C - Residential  
Occupant Load:  
10 sleeping rooms x 2 persons = 20  
Min. Exit Width:  
Ramp, Corridor, Passageway:  
8.1m x 2.1m  
Stairs:  
Breadth x 20 = 160mm

④ Level Penthouse Key  
SCALE = 1 : 500

Building B  
Min. Separation of two Exits: 3m  
Max. Travel: 30m  
Occupancy: C - Residential  
Occupant Load:  
8 sleeping rooms x 2 persons = 16  
Min. Exit Width:  
Ramp, Corridor, Passageway:  
8.1m x 2.1m  
Stairs:  
Breadth x 16 = 128mm



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BC Building Code 2012  
5.1 General  
5.1.1 OCCUPANCY CLASSIFICATION  
Group C Residential Occupancy Levels 1-8  
Group P-3 Storage Garages 1 level below grade  
5.1.2 Separation of Uses  
P-3/C requires a 1m fire rating  
5.1.3 Occupant Load  
See A101-M  
5.2 BUILDING FIRE SAFETY  
5.2.1 Building Size & Construction  
A: 3.2.2.48 Group C, up to 6 storeys non-combustible construction and non-combustible cladding  
B: 3.2.2.10 Group C, up to 6 storeys combustible construction  
SPRINKLERED: Yes, both buildings  
5.4 EXITS  
5.4.1 Minimum Number of Exits: 2 per floor  
See note above, A-101-M  
5.4.2 Stairways: Enclosed shafts  
See note above, A-101-M  
5.4.3 Location of Exits  
Max. Travel From Farthest Residential: 30m  
Max. Travel From Farthest P-3 use: 45m  
5.5 REQUIREMENTS FOR PERSONS WITH DISABILITIES  
YES

NO.	DESCRIPTION	DATE
1	REVISIONS: NONE	2017-11-09
2	REVISIONS: NONE	2017-11-09
3	REVISIONS: NONE	2017-11-09
4	REVISIONS: NONE	2017-11-09
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8	REVISIONS: NONE	2017-11-09
9	REVISIONS: NONE	2017-11-09
10	REVISIONS: NONE	2017-11-09

TRAVERS:

Code Compliance

PROJECT: 1201 Fort Street  
Abstract Developments  
1201 Fort Street  
Victoria, BC V8V 3L1

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SCALE: As Indicated

PROJECT NUMBER: 1612  
DATE: 2017-11-09 12:06:06 PM

DRAWING: CHECKED BY: GD/FJ  
DATE: 10/11/17

REVISIONS: 10

PROJECT: A101-M



This architectural floor plan shows the second floor of the building. It features a large central hall with a grid of columns. To the left of the hall is a long, narrow room, possibly a corridor or a specialized workspace. To the right, there are several smaller rooms and a large area that appears to be a library or a study, filled with bookshelves. The plan also shows various doors, windows, and structural elements like walls and columns.

This architectural floor plan shows the layout of the first floor. It features a large central hall with a staircase, several smaller rooms, and a large rectangular area on the right side, possibly a courtyard or a large room. The plan is detailed with walls, doors, and furniture placement.

NORTH ELEVATION - MORE THAN 9M FROM LIMITING DISTANCE LINE

THIS DIAGRAM DEMONSTRATES

NOV 15 1966

NOISE AND VIBRATION

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G11A100

2017-11-14 11:25 AM

சென்னை: கிராமப்புறங்களில் உள்ள பள்ளிகளில் கல்வி கற்கும் மாணவர்களுக்கு உணவு கொடுப்பதில் தாமதமாகி வருவதாக கிராமப்புறங்களில் உள்ள பள்ளிகளில் கல்வி கற்கும் மாணவர்களுக்கு உணவு கொடுப்பதில் தாமதமாகி வருவதாக கிராமப்புறங்களில் உள்ள பள்ளிகளில் கல்வி கற்கும் மாணவர்களுக்கு உணவு கொடுப்பதில் தாமதமாகி வருவதாக

Applied Developmental Psychology

Compliance

DATE	NO.
11/11/11	100
11/11/11	100



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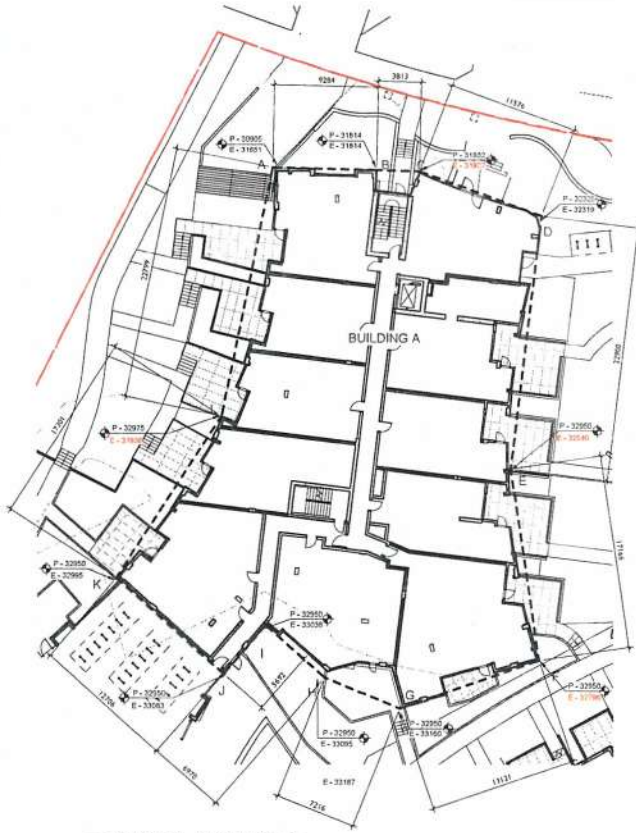
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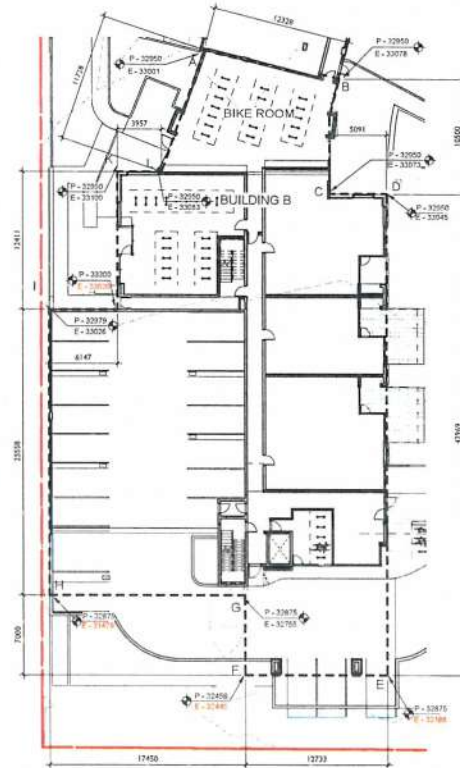
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HITETS INC

1



① Building A - Average Grade  
 SCALE = 1:200



② Building B - Average Grade  
 SCALE = 1:200

NOTE: RED (may show as gray) TEXT INDICATES WHERE EXISTING GRADE WAS USED TO DETERMINE AVERAGE GRADE

Average Grade Table

Point	Elevation	Span	Between Points
A	30905	A to B	8,284 mm
B	31814	B to C	3,813 mm
C	32157	C to D	15,316 mm
D	32325	D to E	22,900 mm
E	32540	E to F	17,166 mm
F	32796	F to G	33,321 mm
G	32950	G to H	7,236 mm
H	32950	H to I	6,970 mm
I	32950	I to J	5,692 mm
J	32950	J to K	17,706 mm
K	32950	K to L	17,301 mm
L	32950	L to A	22,799 mm

Average Grade Bldg A 30304

Average Grade Table

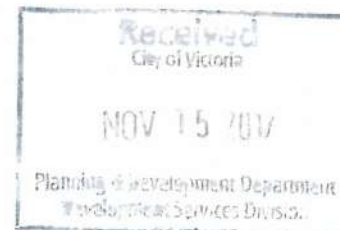
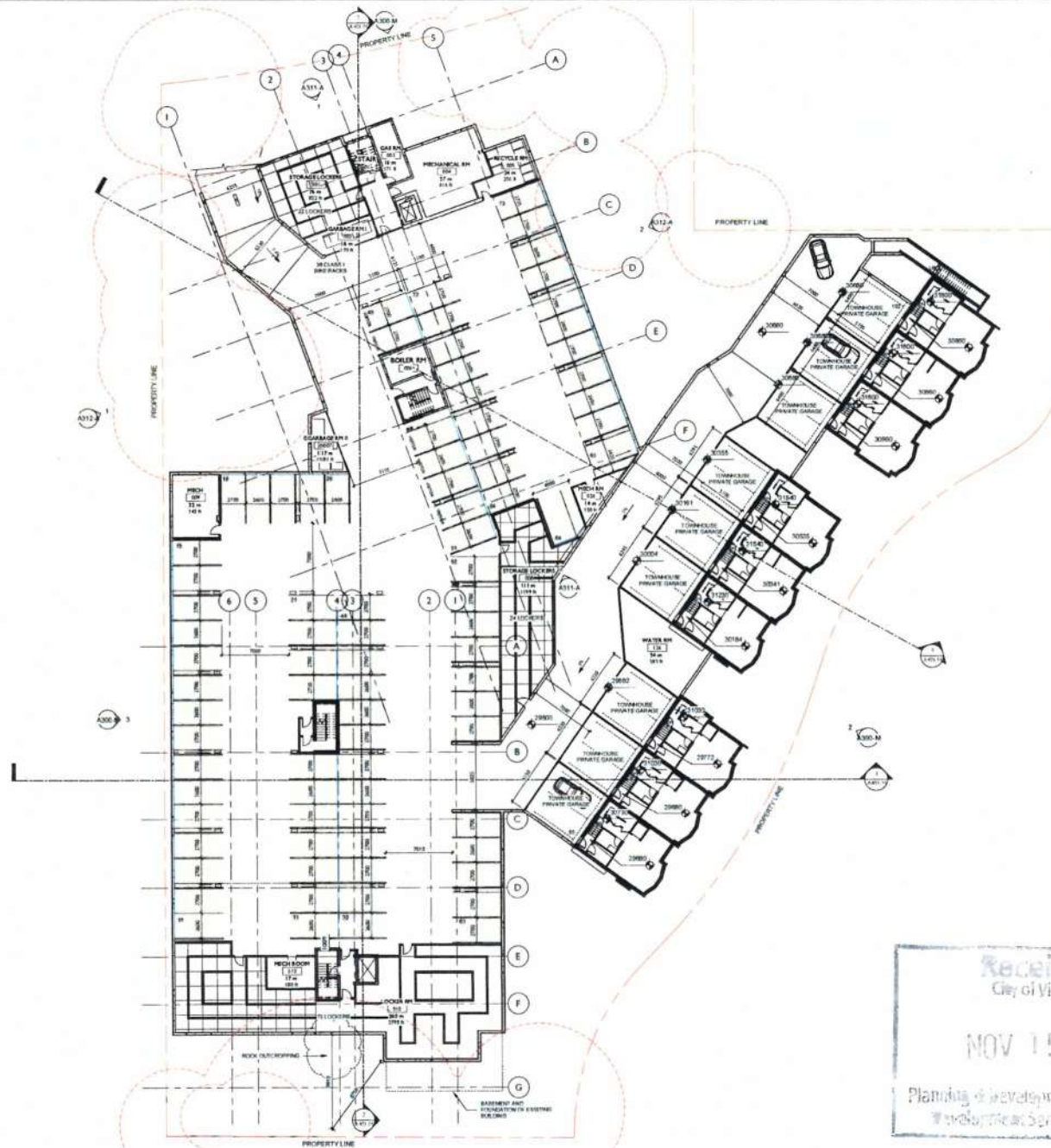
Point	Elevation	Span	Between Points
A	32950	A to B	12,313 mm
B	32950	B to C	30,560 mm
C	32950	C to D	5,090 mm
D	32950	D to E	42,360 mm
E	32108	E to F	12,733 mm
F	32445	F to G	7,000 mm
G	32755	G to H	17,490 mm
H	32178	H to I	21,358 mm
I	32979	I to J	6,147 mm
J	32979	J to K	11,811 mm
K	32950	K to L	3,957 mm
L	32950	L to A	11,728 mm

Average Grade Bldg B 32585

Average Grade	
PROJECT	
1201 Fort Street	
Abstract Developments	
1201 Fort Street	
Victoria, BC V8V 3J4	
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SCALE	1:200
PROJECT NUMBER	1612
DATE	2017-11-29 13:06:15 PM
DESIGNED BY	GD PJ
CHECKED BY	WK AH
DATE	2017-11-29
SCALE	10'
A103-M	



CASCADIA ARCHITECTS INC.  
1960 Maersk Street  
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NO	DESCRIPTION	DATE
1	REVISIONS	
2	REVISIONS	
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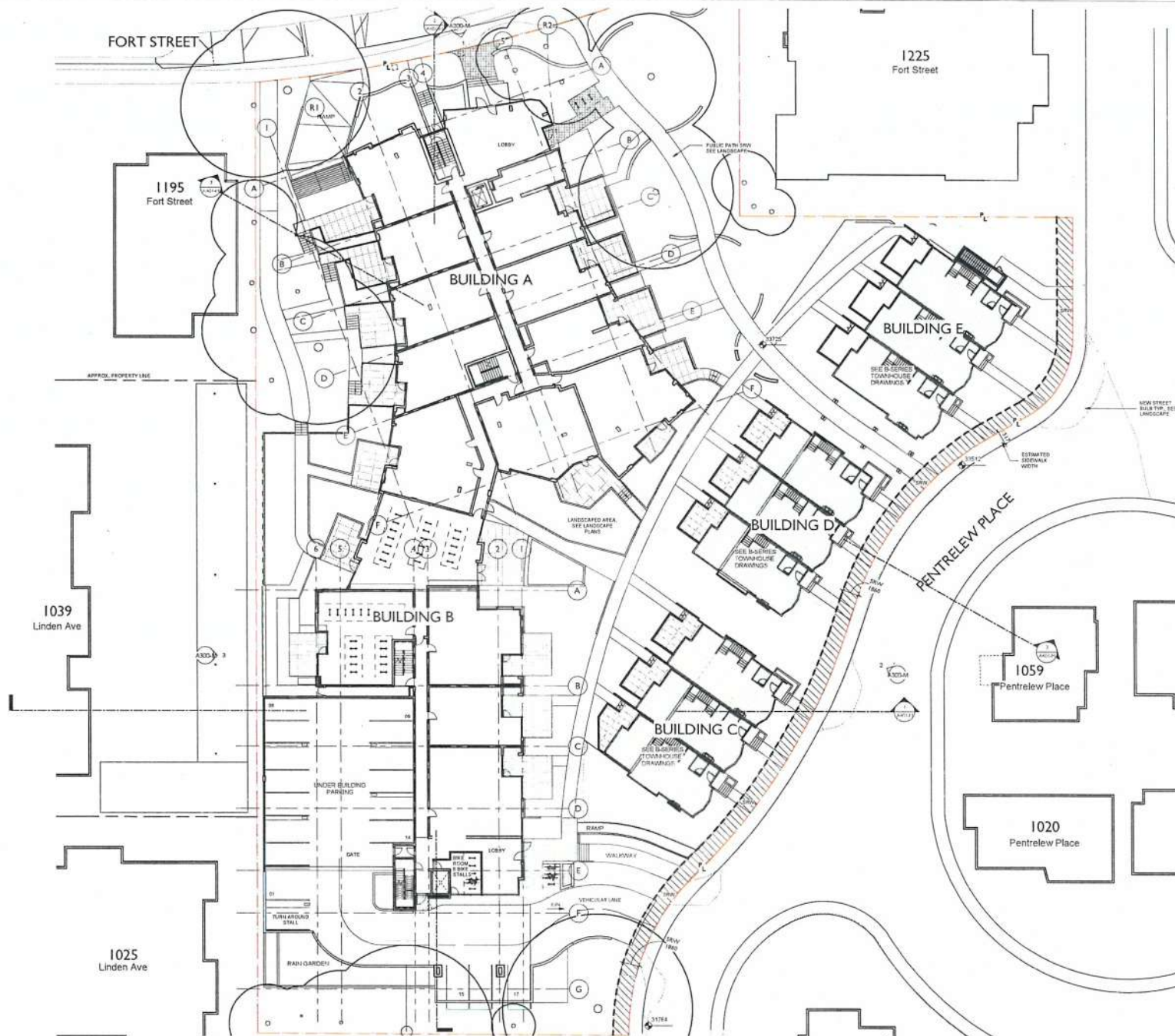
PROJECT: 1201 Fort Street

Abstract Developments  
1201 Fort Street  
Victoria, BC V8V 3A1

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PROJECT NO.	1612	DATE	2017-11-14 11:17:55 AM
DESIGNED BY	GD	CHECKED BY	VW
DATE	2017-11-14	SCALE	1/10
PROJECT NAME	A200-M		





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NOTE  
 SEE A-100 FOR REVISIONS

1:200

NO.	DESCRIPTION	DATE
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13	REVISION	
14	REVISION	
15	REVISION	

NO. DESCRIPTION DATE

PROJECT: **LI Plan**

1201 Fort Street  
 Abstract Developments  
 1201 Fort Street  
 Victoria, BC V8V 3L1

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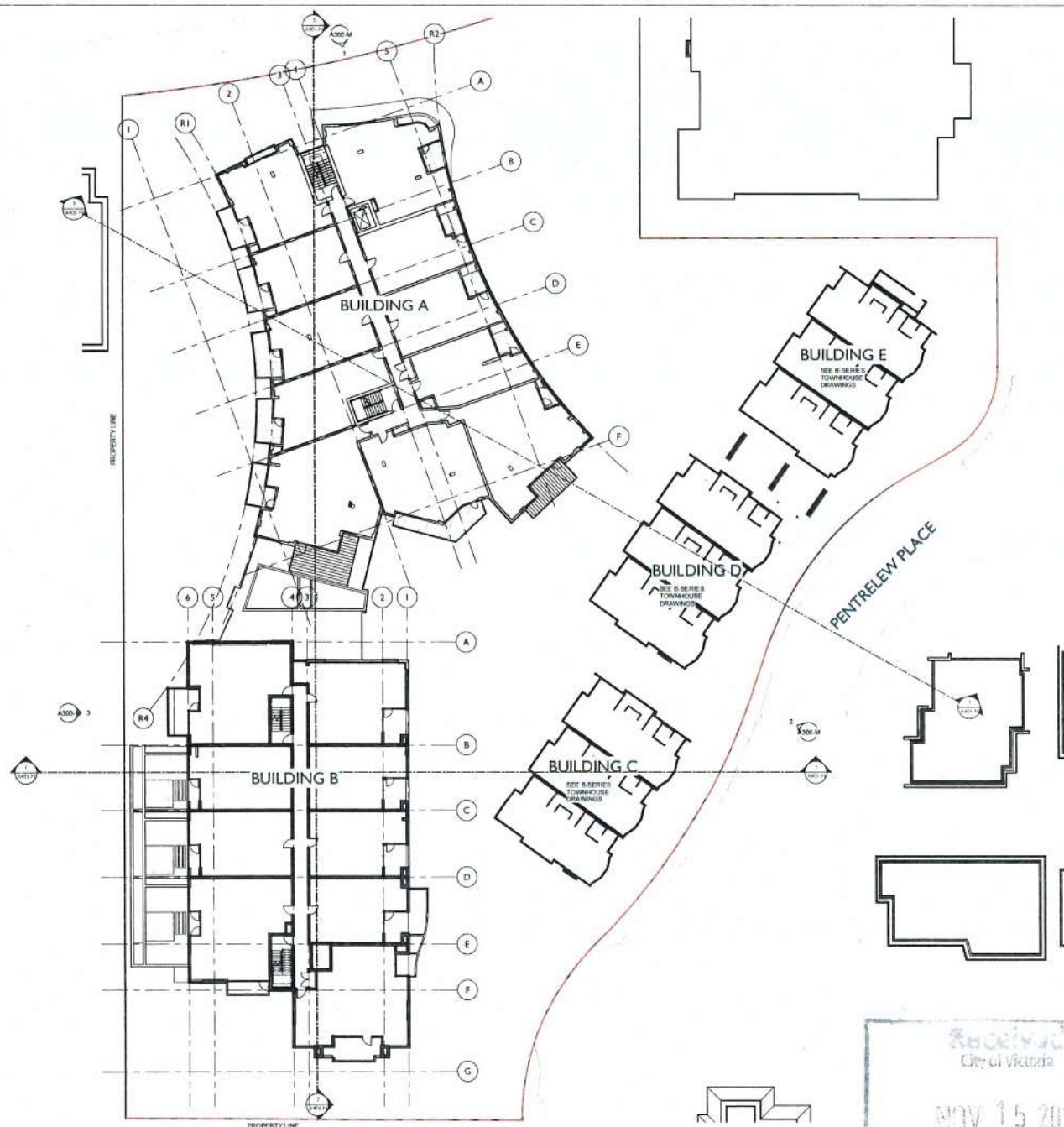
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PROJECT NUMBER: 1672  
 DATE: 2017-11-29 13:06:50 PM  
 CHECKED BY: GD/PJ  
 DRAWN BY: WK/AH

DATE: 10/10/17

**A201-M**





City of Victoria

NOV 15 2002

Planning & Development Department  
 Wellington, New Zealand

NO	DESCRIPTION	DATE
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## L2 Plan

1201 Fort Street

### Abstract Developments

Victoria, BC V8V 3L1

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1:200

PROJECT NUMBER	TIME
10-17	70:17.13, 14:13, 10:45, 0:00

1612	2017-11-14 11:18:45 AM	
DRAWN: JLL	CHECKED BY:	DRAWN BY:

	GD P	WK, AH
	W	A

2017.11.15 10


DAG RES  
**A303 M**

	A202-M
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① Site North Elevation - Fort  
SCALE = 1 : 200

NOTE: ELEVATION ILLUSTRATES EXISTING  
MATURE TREES, FOR PROPOSED  
LANDSCAPING SEE LANDSCAPE DRAWINGS



② Site East Elevation - Pentrelew  
SCALE = 1 : 200

NOTE: ELEVATION ILLUSTRATES EXISTING  
MATURE TREES, FOR PROPOSED  
LANDSCAPING SEE LANDSCAPE DRAWINGS



③ Site West Elevation - Linden  
SCALE = 1 : 200

NOTE: ELEVATION ILLUSTRATES EXISTING  
MATURE TREES, FOR PROPOSED  
LANDSCAPING SEE LANDSCAPE DRAWINGS



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E office@cascadiaarchitects.ca

NOTE: SEE INDIVIDUAL BUILDING  
ELEVATIONS FOR DETAILS

NO.	DESCRIPTION	DATE
1	PRELIMINARY ELEVATIONS	2017.11.29
2	REVISIONS TO ELEVATIONS	2017.11.29
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9	REVISIONS TO ELEVATIONS	2017.11.29
10	REVISIONS TO ELEVATIONS	2017.11.29

#### Context Elevations

**PROJECT**  
**1201 Fort Street**  
Abstract Developments  
1201 Fort Street  
Victoria, BC V8V 1J1

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SCALE 1 : 200

PROJECT NUMBER 1612 Date 2017.11.29 12:16:58 PM

DESIGNED BY GD PJ DRAWN BY WK AH

FILED BY 1010 PENTRELEW

DATE 2017.11.29

PROJECT A300-M





Site & Context Sections

1201 Fort Street  
Abstract Developments  
1201 Fort Street  
Victoria, BC V8V 3L1

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COMPARISON FILE	CHITTED BY	GRAPH BY
	GHJ	WJK



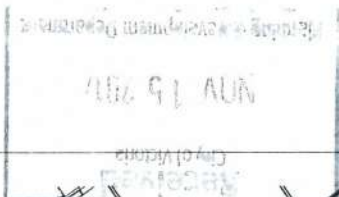
Received  
City of Victoria

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Planning & Development Department  
 Engineering Services Division





P1 Floor Plan

01 Fort Street


1201 Fort Street  
Victoria BC V8W 2L1

1. The first step is to identify the problem. In this case, the problem is that the user is unable to access the internet.

As indicated

2017-11-14 11:29:32 AM

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A270-A



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114





[illegible]

NO	DESCRIPTION	DATE
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P1 Floor Pla

1201 Fort Street

Age Group	Percentage
18-24	15%
25-34	25%
35-44	30%
45-54	20%
55-64	10%

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1997

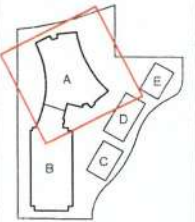
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01/2018

A210-1

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18	REVISION	
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20	REVISION	

# **L1 Floor Plan**

**1201 Fort Street**

Abstract Developments

1201 Fort Street  
 Victoria, BC V8V 3L1

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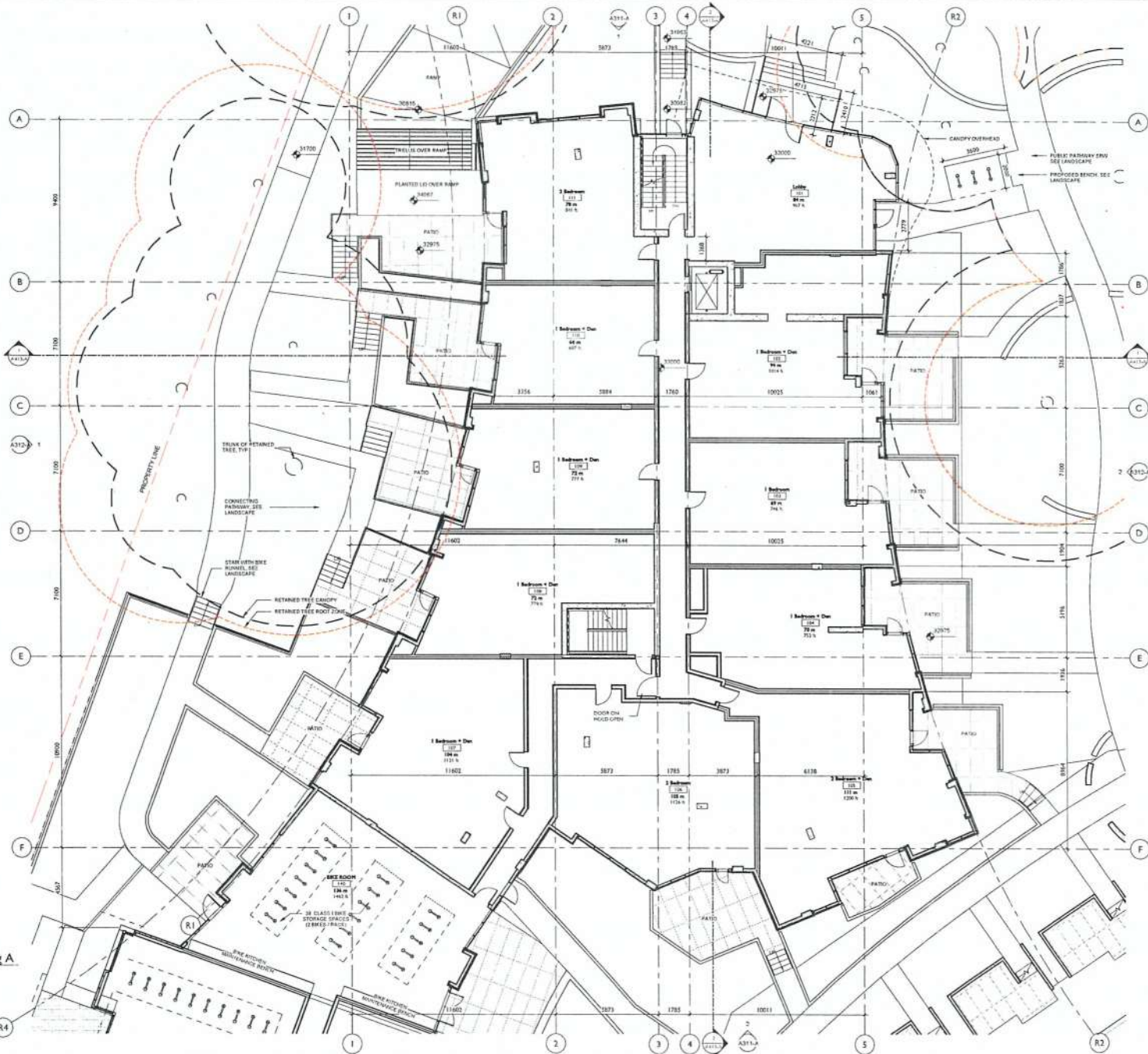
DESIGNER: GD PJ WVK

REV: 3011118 10'

DATE: 1/15/18

**A211-A**

**I Level I - Building A**  
 SCALE = 1 : 100









NO.	DESCRIPTION	DATE
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#### L4 Floor Plan

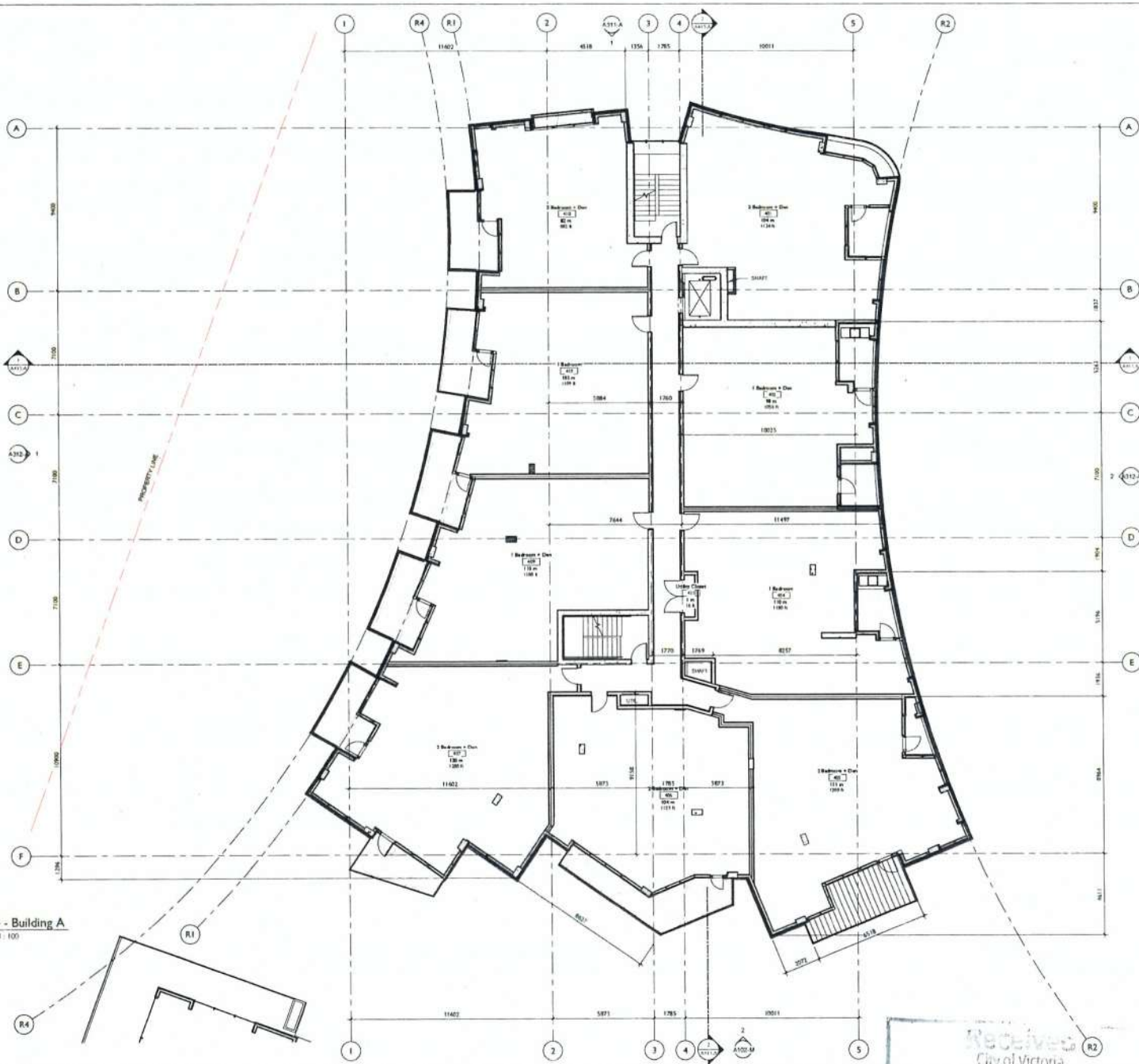
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PROJECT NO.	1612	DATE	2017.11.15
DESIGNED BY	Checker	CHECKED BY	Author
DRAWN BY	2017.11.15	DATE	10/
PROJECT NO.	A213-A		

**I Level 4 - Building A**  
 SCALE = 1:100

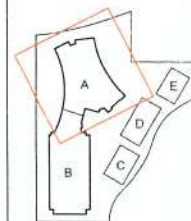


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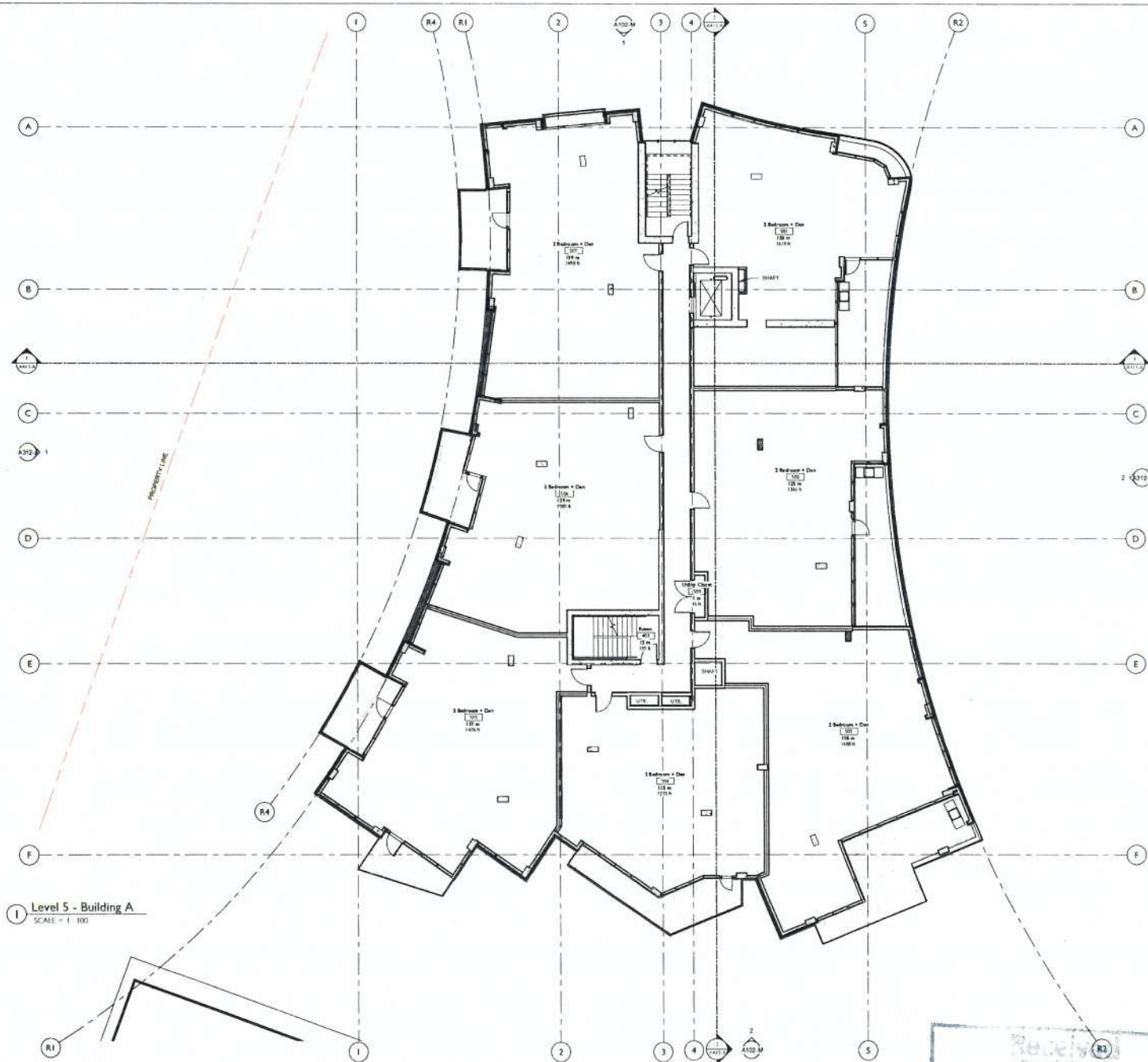
NOV 15 2017

Planning & Development Department





NO.	DESCRIPTION	DATE
1	15 Floor Plan	2017.11.15
<b>1201 Fort Street</b> Abstract Developments 1201 Fort Street Victoria, BC V8V 3L1		
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PROJECT NO.	As indicated	
PROJECT NO.	1612	2017.11.15
CHECKED BY	Author	2017.11.15
CHECKED BY	Checker	2017.11.15
DATE	2017.11.15	
PROJECT NO.	A215-A	



**Level 5 - Building A**  
 SCALE = 1 : 100

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**L6 Penthouse Floor Plan**

**PROJECT**  
 1201 Fort Street  
 Alterra Developments  
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2	NO. 1000 - 1000	2017.11.14
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4	NO. 1000 - 1000	2017.11.14
5	NO. 1000 - 1000	2017.11.14

**As indicated**

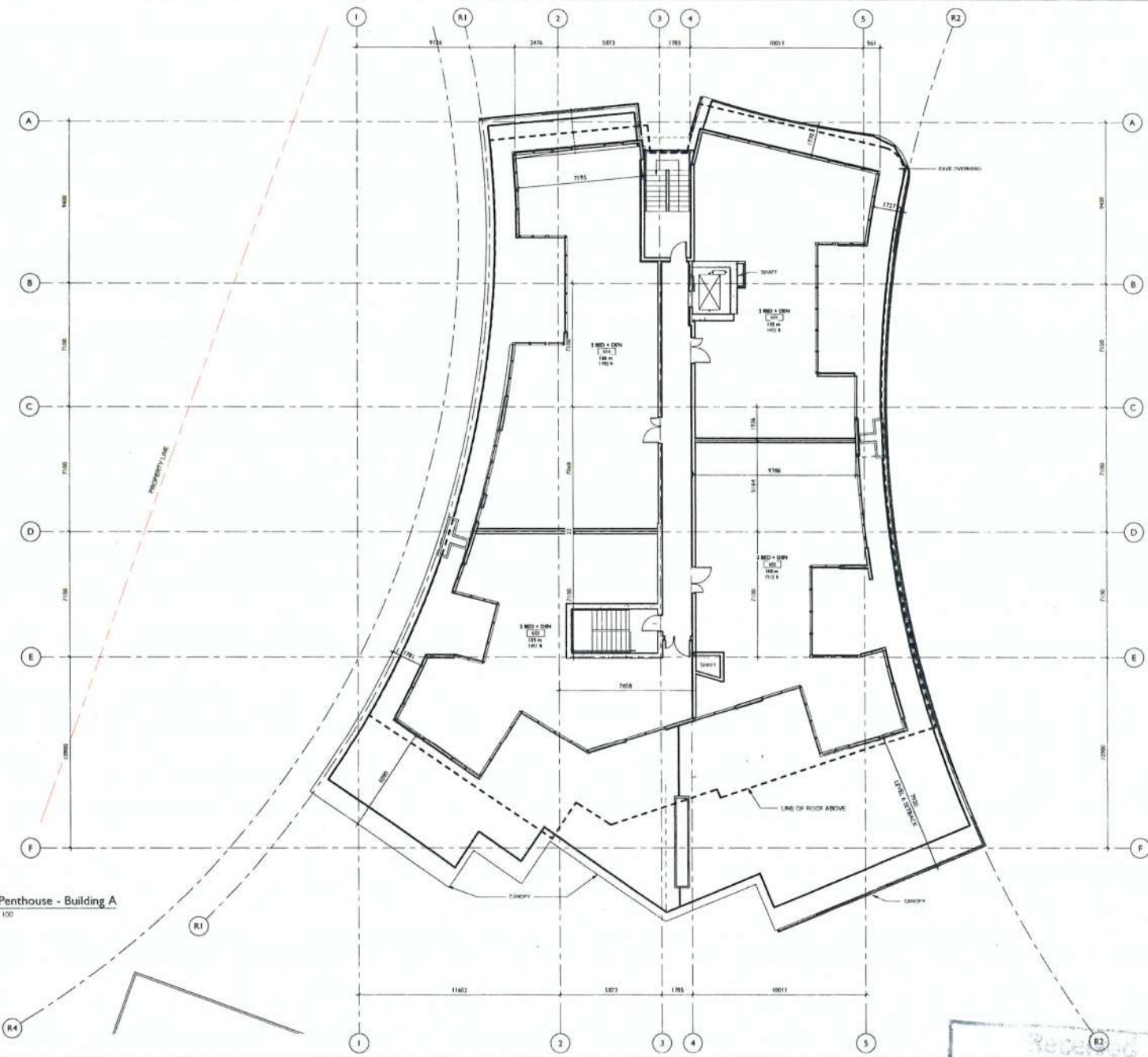
**PROJECT NUMBER** 1612 **DATE** 2017.11.14 11:20:55 AM

**CONTRACTOR** GD **PROJECT** WK

**NO.** 1000 **SCALE** 1/10

**A216-A**

**Level 6 Penthouse - Building A**  
 SCALE = 1:100



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 NOV 15 2017  
 Planning & Development Department



**Exterior Materials**

- # Material Description
- 1 Common brick - A Pattern
  - 2 Common brick - B Pattern
  - 3 Common brick - C Pattern
  - 4 Glass Guard Rail
  - 5 Vinyl Windows - Dark Bronze Finish
  - 6 Prefinished Aluminum Panel - Light Bronze Finish
  - 7 Prefinished Metal Panel - Weathered Zinc
  - 8 Prefinished Metal - Dark Gray
  - 9 Architectural Concrete
  - 10 Aluminum Prefinished Extrusion - Gray (2009)
  - 11 Aluminum Prefinished Extrusion - Linear Grain (8009)



① Building A - North Elevation  
 SCALE = 1:100



② Building A - South Elevation  
 SCALE = 1:100

**North and South Elevations**

**1201 Fort Street**  
 Abstract Developments  
 1201 Fort Street  
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20	REVISIONS (IF ANY)	DATE

**A311-A**

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 City of Victoria  
 Planning & Development Department  
 Planning Services Division  
 NOV 15 2017



① Building A - West Elevation  
SCALE = 1:100

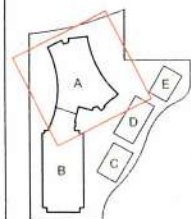


② Building A - East Elevation  
SCALE = 1:100

**CASCADIA ARCHITECTS INC.**  
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Victoria BC V8V 3J4 Canada  
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#### Exterior Materials

- | #  | Material                       | Description         |
|----|--------------------------------|---------------------|
| 1  | Common Brick                   | A Pattern           |
| 2  | Common Brick                   | W Pattern           |
| 3  | Common Brick                   | C Pattern           |
| 4  | Glass Curtain Wall             |                     |
| 5  | Vinyl Windows                  | Dark Bronze Finish  |
| 6  | Perforated Aluminum Panel      | Light Bronze Finish |
| 7  | Polished Metal Panel           | Weathered Zinc      |
| 8  | Polished Metal                 | Dark Gray           |
| 9  | Architectural Concrete         |                     |
| 10 | Aluminum Prefinished Extrusion | Gray (R100)         |
| 11 | Aluminum Prefinished Extrusion | Linear Green (R100) |



1:100 Bar Scale  
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0 5 10

#### East and West Elevations

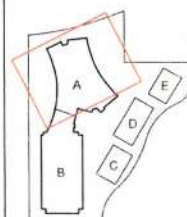
**1201 Fort Street**  
Abstract Developments  
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DESIGNER	GD/P	CHECKED BY	WK
DATE	2017.11.14	SCALE	1/10
PROJECT NAME		A312-A	

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NOV 15 2017  
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Development Services Division





NO.	DESCRIPTION	DATE
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**Building Sections**

**1201 Fort Street**

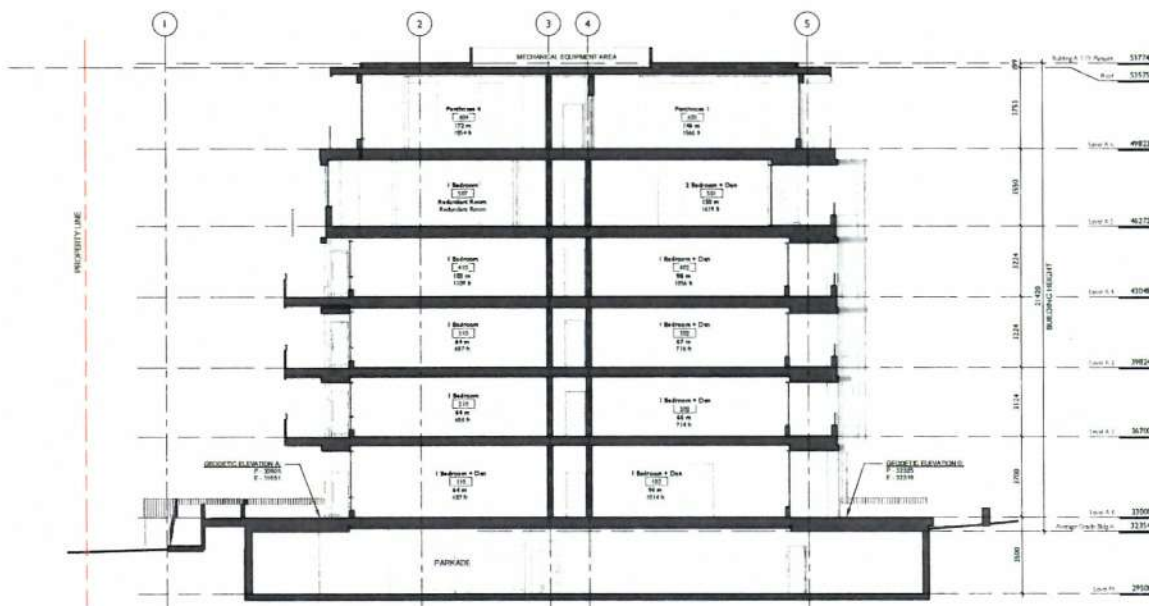
Abstract Developments

1201 Fort Street

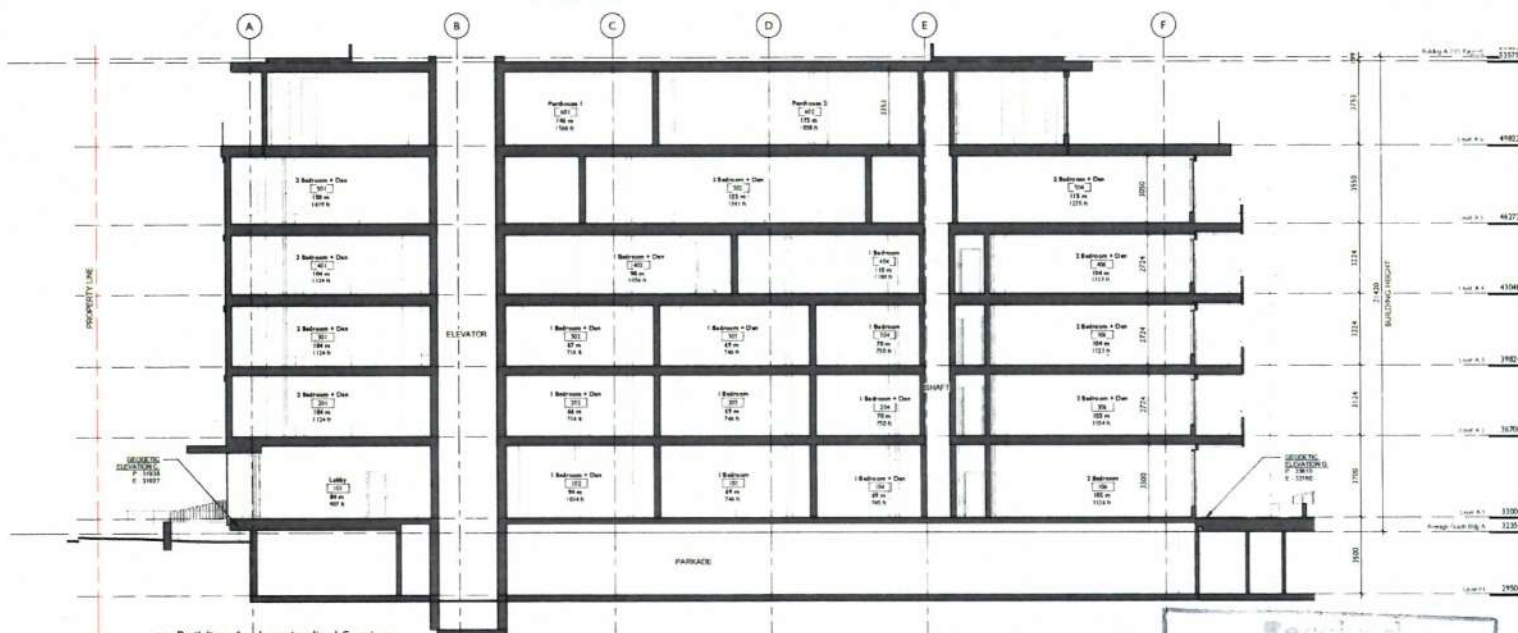
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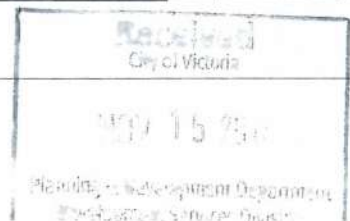
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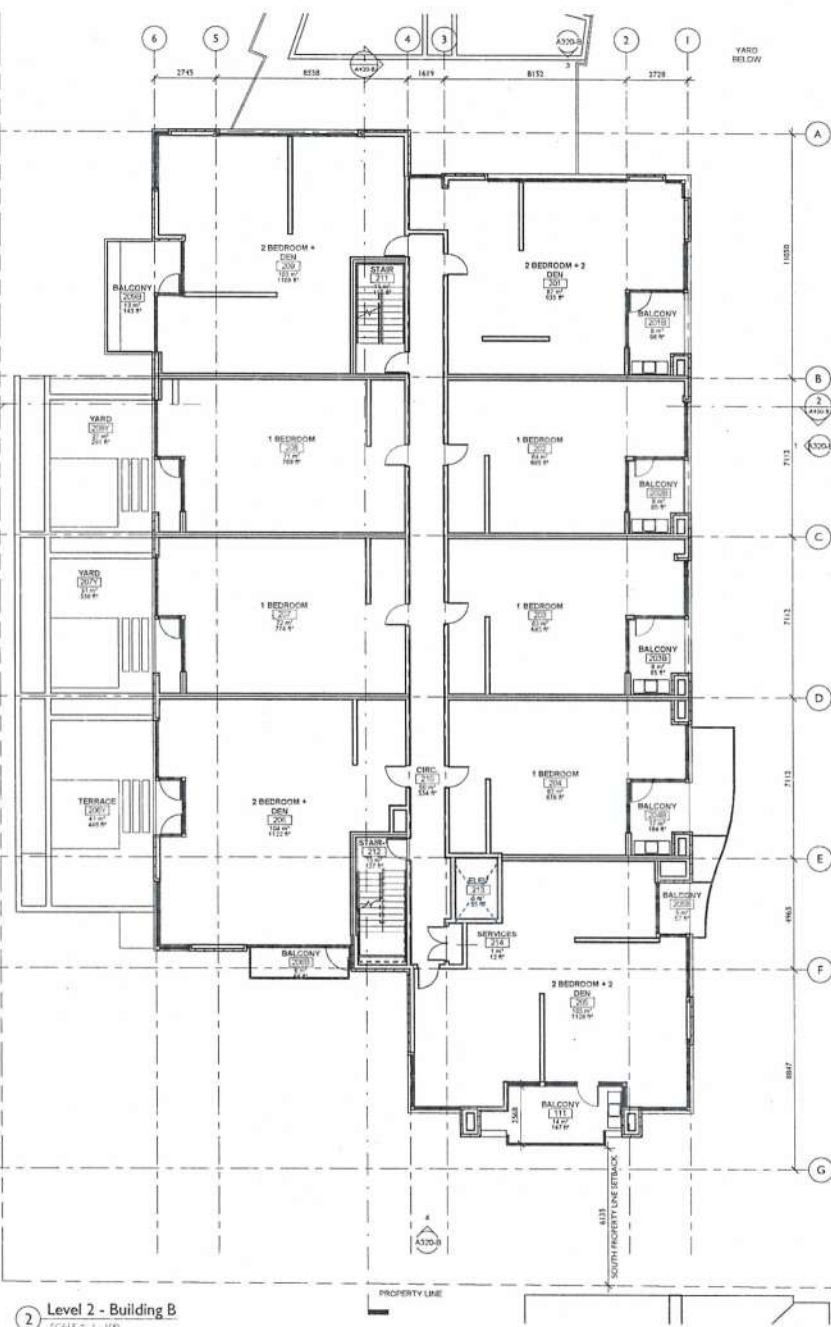
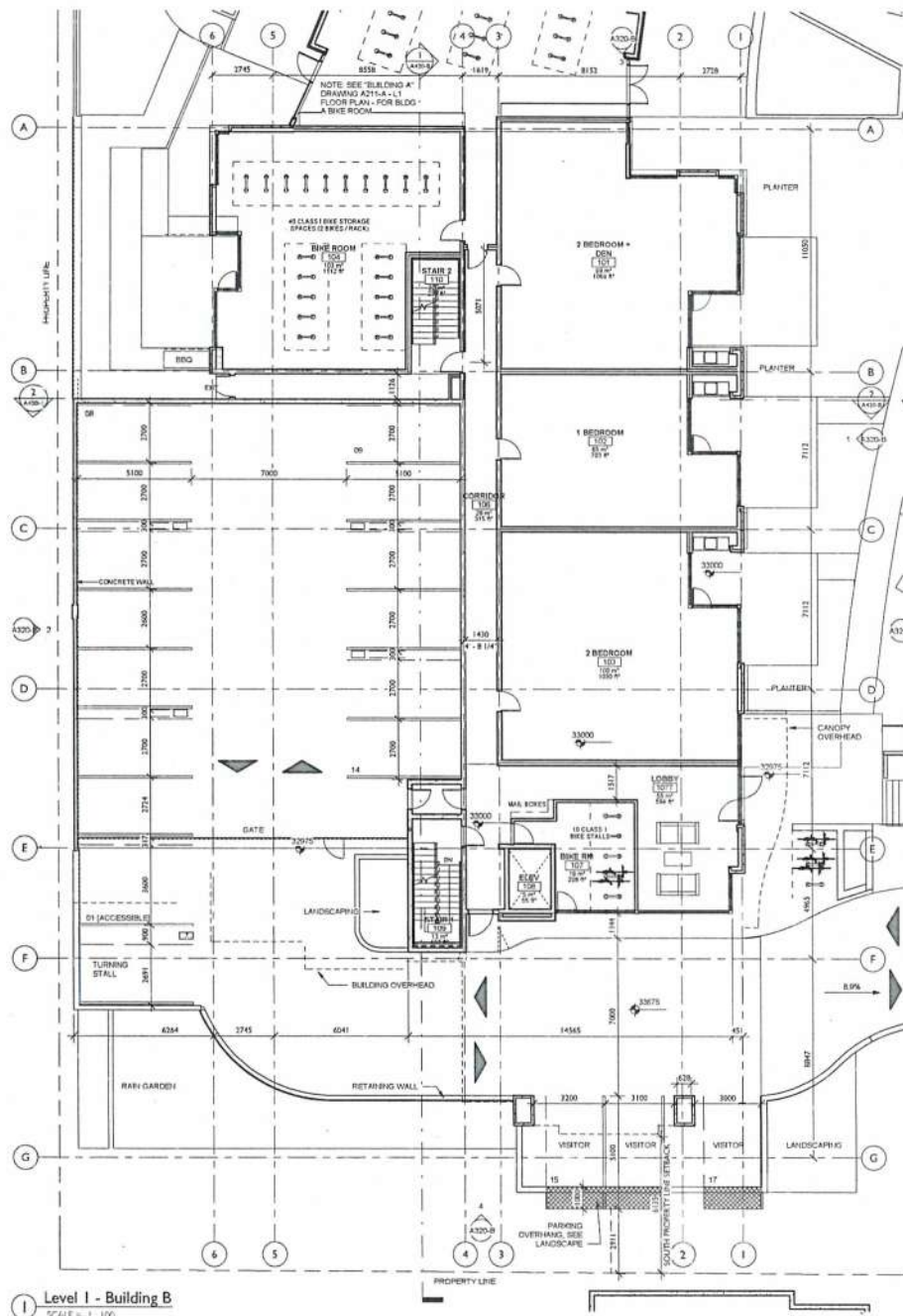


**1 Building A - Cross Section**  
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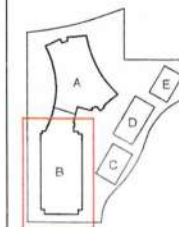


**2 Building A - Longitudinal Section**  
 SCALE = 1/100





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Victoria BC V8V 3K6 Canada  
T 250.540.3223 www.cascadiaarchitects.ca  
E office@cascadiaarchitects.ca



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LI & L2 Plans

**1201 Fort Street**  
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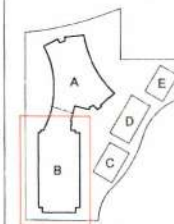
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CASCADIA ARCHITECTS INC. GD PJ BC

REV. 10/11/17

**A221-B**





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9	REVISION	
10	REVISION	

### L3 & L4 Plans

**1201 Fort Street**  
 Abstract Developments  
 1201 Fort Street  
 Victoria, BC V8V 3L1

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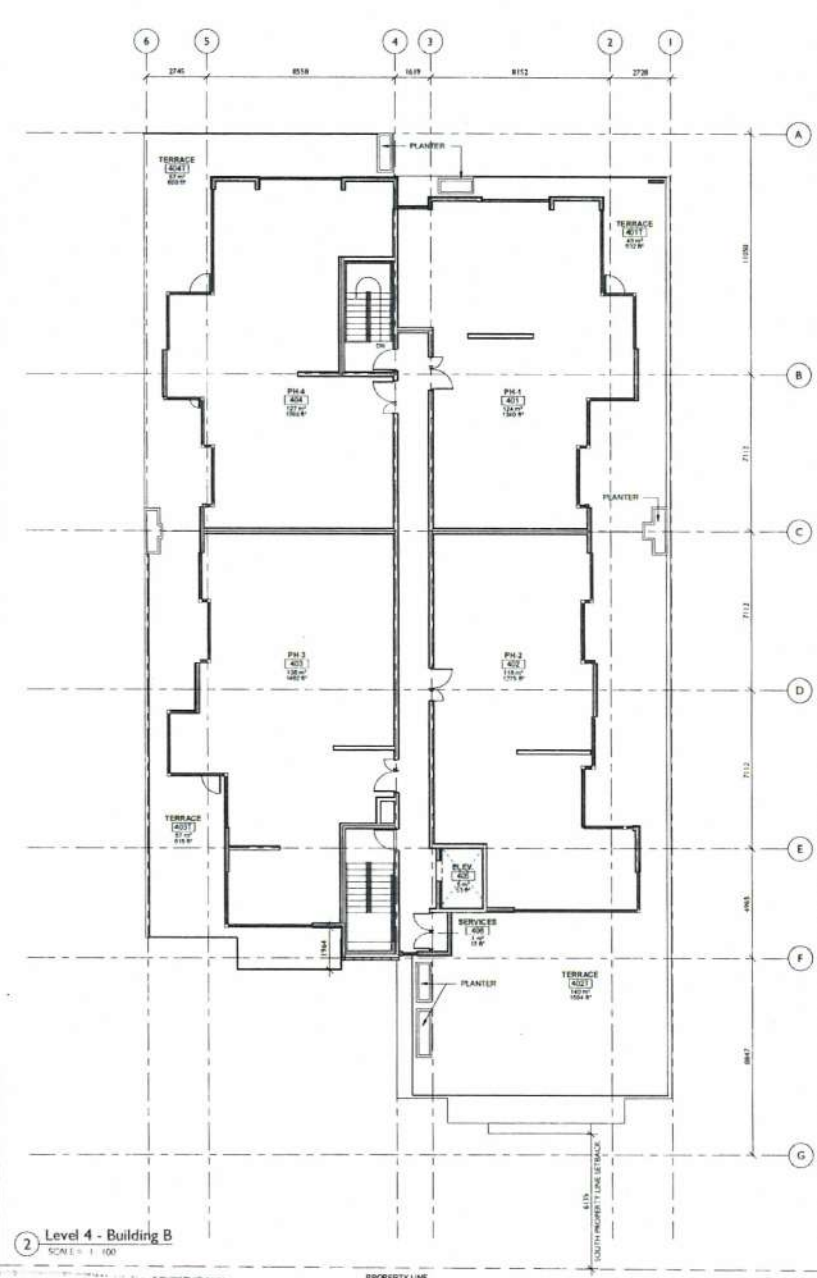
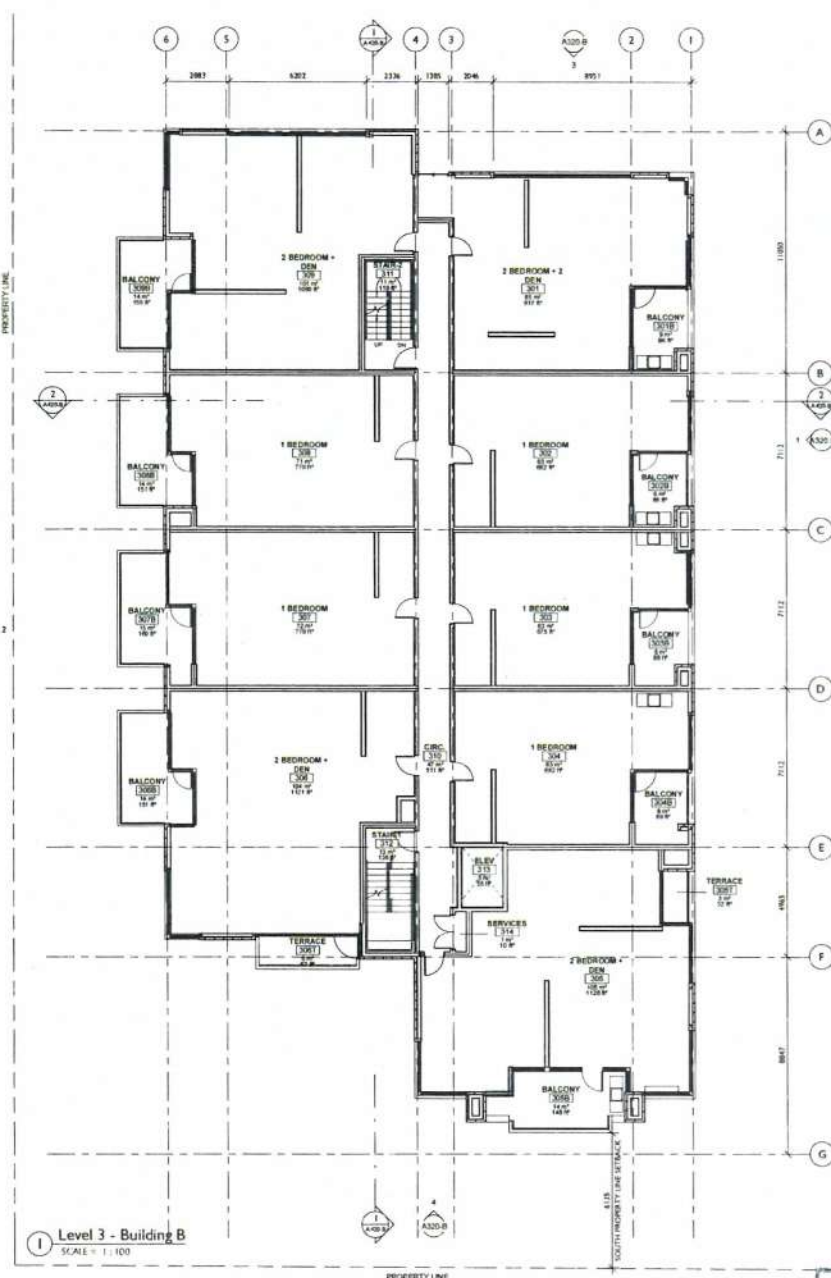
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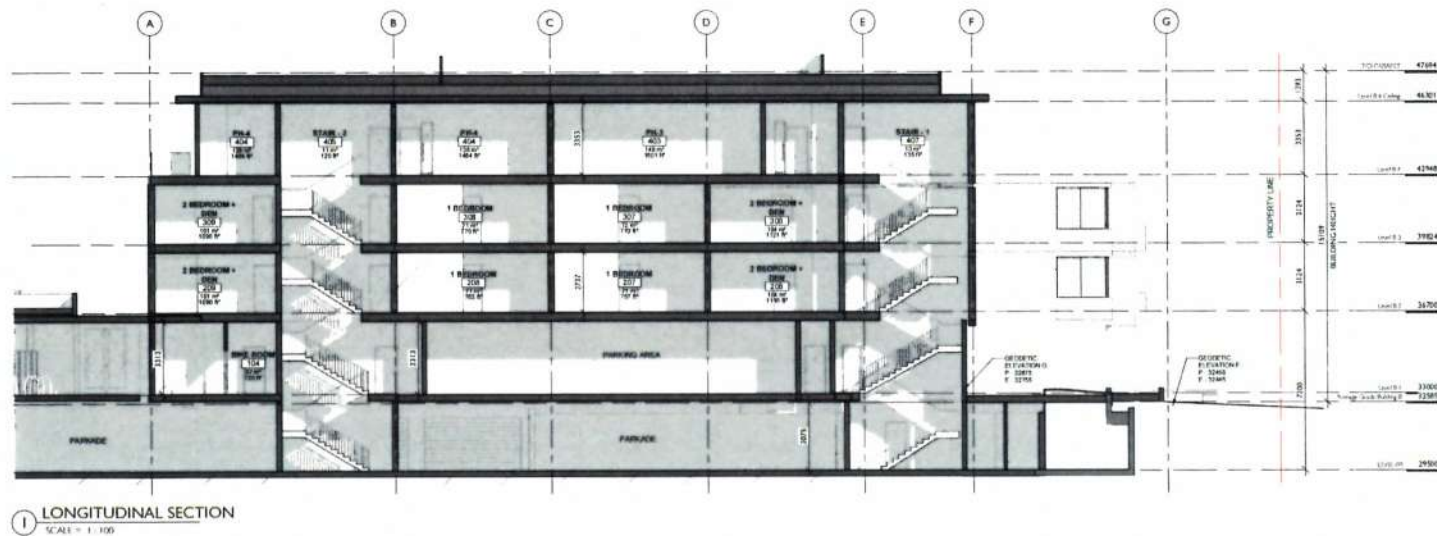
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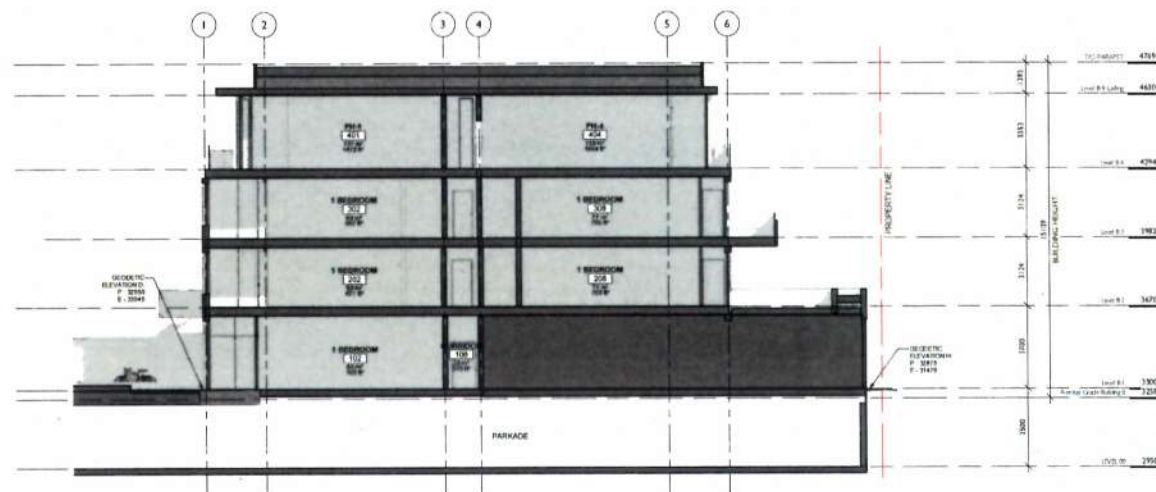
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 Planning & Development Department



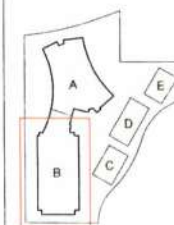




① LONGITUDINAL SECTION  
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② CROSS SECTION  
 SCALE = 1:100



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#### Building Sections

#### 1201 Fort Street

#### Abstract Developments

#### 1201 Fort Street

#### Victoria, BC V8W 2J6

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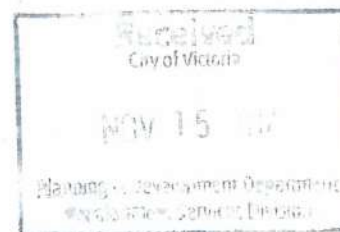
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PROJECT NO: 1612 Date: 11/14/2017 11:01:26 AM

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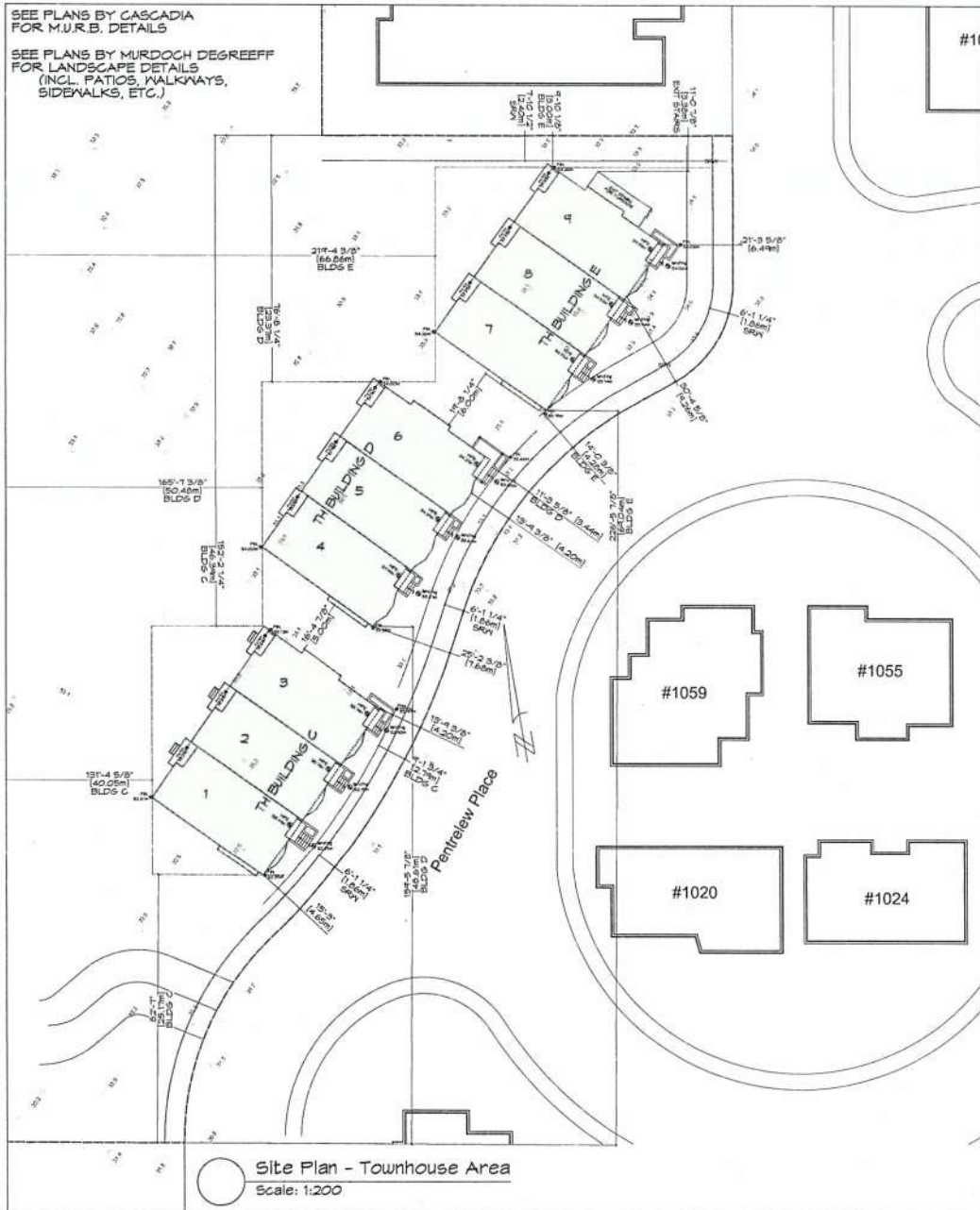
REV: 100% DATE: 11/14/17

PROJECT: A420-B

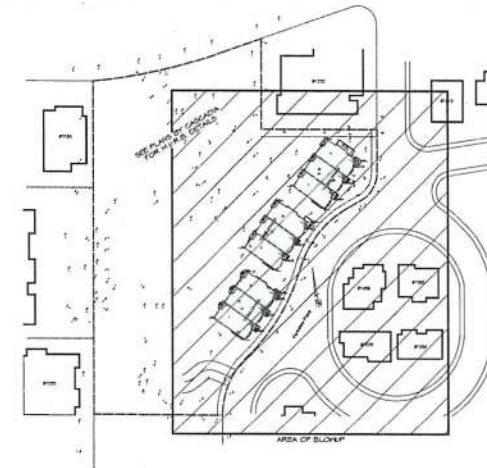


SEE PLANS BY CASCADIA  
FOR M.U.R.B. DETAILS

SEE PLANS BY MURDOCH DEGREEFF  
FOR LANDSCAPE DETAILS  
(INCL. PATIOS, WALKWAYS,  
SIDEWALKS, ETC.)



- DRAWING LIST:**
- B101 SITE PLAN & LOCATION MAP
  - B102 AVG. GRADE CALCULATIONS  
& TYPICAL SECTIONS
  - B201 BUILDING C PLANS
  - B202 BUILDING D PLANS
  - B203 BUILDING E PLANS
  - B301 BUILDING C ELEVATIONS
  - B302 BUILDING D ELEVATIONS
  - B303 BUILDING E ELEVATIONS
  - B401 COMBINED FRONT  
ELEVATIONS



RE-ISSUED FOR  
REZONING & DP  
NOV. 30, 2017



1161 NEWPORT AVE  
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Drawn By: K. KOSHMAN/  
C. COLLINS

Date: SEPT 26, 2016

Scale: AS NOTED

Project:  
PROPOSED  
TOWNHOUSES  
1201 FORT ST.

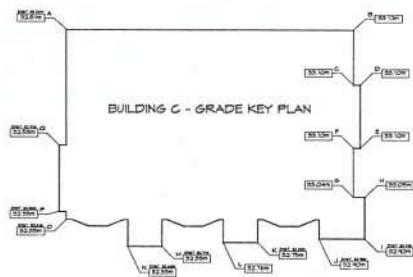
Title:  
SITE PLAN &  
LOCATION MAP

Revision: Sheet:  
B  
101

Proj. No. TBD

REV. NO.	DESCRIPTION	DATE
1	REVISED # OF THIS TO 12 UNITS. REVISE SITE TO MATCH DRIVE ANGLE & REAR YARD PARKING	NOV 30/16
2	ADJUST SPACES TO ALLOW FOR CONCRETE TOPPING. REVISE MAX FLOOR PATIOS	FEB. 03/17
3	REVISED # OF THIS TO 13 UNITS. REVISE DISTANCES TO MATCH	JAN. 25/17
3.1	NO CHANGES	JUL. 27/17
4	REVISE UNITS 1 & 2. REVISE BLDG E SETTINGS	SEPT. 01/17
5	REVISE THIS C.D. & E LOCATIONS & DISTANCES. REVISE UNITS 1 & 2. REVISE TO MATCH DRIVE ANGLE & REAR YARD PARKING. REVISE TO MATCH DRIVE ANGLE & REAR YARD PARKING. REVISE TO MATCH DRIVE ANGLE & REAR YARD PARKING. REVISE TO MATCH DRIVE ANGLE & REAR YARD PARKING.	NOV. 15/17
5.1	NO CHANGES	NOV. 30/17

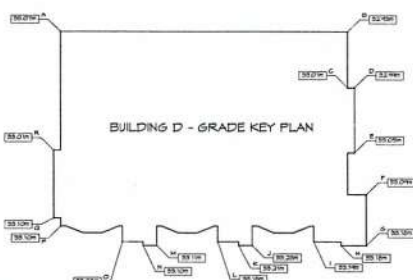
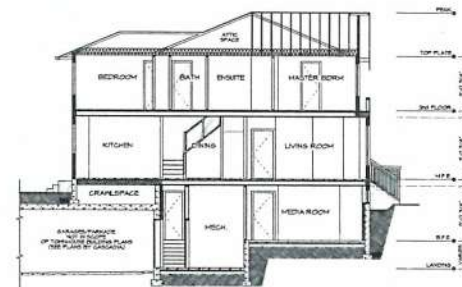




**TH Bldg C - Average Grade Calculation**

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter (perimeter)	Average grade (total factors / perimeter)
AB	32.81	33.12	32.97	19.20	632.83			
BC	33.12	33.10	33.11	3.72	123.17	2241.98	68.33	32.811
CD	33.10	33.10	33.10	0.48	15.25			
DE	33.10	33.10	33.10	4.27	141.34			
EF	33.10	33.10	33.10	0.48	15.25			
FG	33.10	33.04	33.07	3.29	108.80			
GH	33.04	33.06	33.05	0.76	25.11			
HI	33.05	32.80	32.93	2.82	92.89			
IJ	32.80	32.80	32.80	3.08	100.67			
JK	32.80	32.75	32.78	4.11	134.81			
KL	32.75	32.75	32.75	2.39	79.34			
LM	32.76	32.26	32.51	4.11	133.80			
MN	32.35	32.35	32.35	3.30	74.41			
NO	32.35	32.35	32.35	4.48	144.85			
OP	32.35	32.35	32.35	0.70	23.65			
PQ	32.35	32.53	32.44	4.45	144.36			
RA	32.53	32.81	32.67	3.84	126.13			
<b>TOTAL</b>						<b>68.33</b>	<b>2241.98</b>	<b>32.81</b>

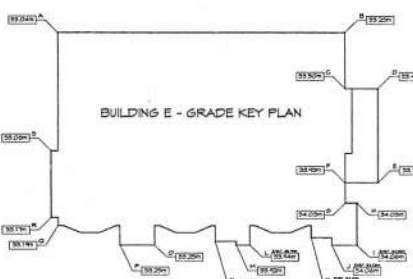
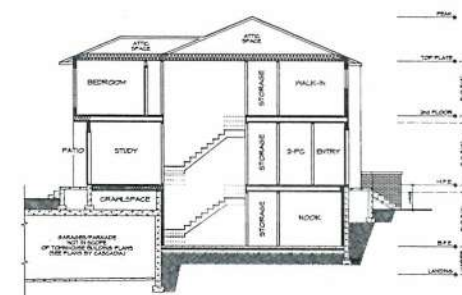
**BLDG C  
AVERAGE GRADE  
32.81**



**TH Bldg D - Average Grade Calculation**

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter (perimeter)	Average grade (total factors / perimeter)
AB	33.07	33.06	33.07	19.20	632.83			
BC	33.07	33.01	33.04	3.72	122.48	2332.50	67.5	33.074
CD	33.01	32.99	33.00	0.48	15.18			
DE	32.99	33.05	33.02	4.27	141.50			
EF	33.05	33.05	33.05	2.85	94.25			
FG	33.05	33.18	33.11	1.37	45.68			
GH	33.18	33.18	33.18	1.58	52.14			
HI	33.18	33.16	33.17	1.58	52.14			
IJ	33.16	33.23	33.20	4.11	136.49			
JK	33.23	33.21	33.22	0.92	30.36			
KL	33.21	33.18	33.20	1.41	46.40			
LM	33.18	33.11	33.15	4.11	136.23			
MN	33.11	33.10	33.11	0.91	30.13			
NO	33.10	33.08	33.09	1.41	46.40			
OP	33.08	33.10	33.09	4.23	139.87			
PQ	33.10	33.10	33.10	0.70	23.17			
QR	33.10	33.10	33.10	4.45	147.36			
RA	33.10	33.07	33.09	3.84	126.13			
<b>TOTAL</b>						<b>67.5</b>	<b>2332.50</b>	<b>33.07</b>

**BLDG D  
AVERAGE GRADE  
33.07**



**TH Bldg E - Average Grade Calculation**

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter (perimeter)	Average grade (total factors / perimeter)
AB	33.54	33.23	33.38	19.20	636.16			
BC	33.23	33.50	33.37	3.72	124.12	2395.78	71.72	33.825
CD	33.50	33.45	33.47	2.18	72.95			
DE	33.45	33.71	33.58	4.20	139.15			
EF	33.71	33.85	33.82	2.18	73.75			
FG	33.85	34.03	33.94	1.36	45.21			
GH	34.03	34.03	34.03	0.76	25.88			
HI	34.03	34.06	34.05	2.82	92.89			
IJ	34.06	34.08	34.07	1.68	57.22			
JK	34.08	34.08	34.08	1.47	50.07			
KL	34.08	33.94	34.01	4.13	136.42			
LM	33.94	33.82	33.88	0.91	30.68			
MN	33.82	33.85	33.84	1.41	47.57			
NO	33.85	33.25	33.45	4.11	137.27			
OP	33.25	33.25	33.25	2.30	76.48			
PQ	33.25	33.16	33.21	4.30	142.89			
QR	33.16	33.17	33.17	0.70	23.23			
RS	33.17	33.08	33.13	4.45	147.41			
TA	33.08	33.54	33.31	3.84	126.13			
<b>TOTAL</b>						<b>71.72</b>	<b>2395.78</b>	<b>33.83</b>

**BLDG E  
AVERAGE GRADE  
33.83**

REV. NO.	DESCRIPTION	DATE
1	REVISED AVG. GRADE CALC. REVISE TYP. SECTIONS TO ADD PARKING	NOV. 30/16
2	ADJUST SECTIONS TO ALLOW FOR CONCRETE TOPPING	FEB. 03/17
3	REVISE GRADE KEY AND AVG. GRADE CALCULATIONS. REVISE SECTIONS TO SUIT PLAIN GRASSES	JAN. 25/17
3.1	NO CHANGES	JUL. 21/17
4	REVISE BUILDING D & E AVG. GRADE	SEPT. 01/17
5	AVERAGE GRADES, SECTIONS REVISED, ELEVATOR REMOVED	NOV. 15/17
5.1	NO CHANGES	NOV. 30/17

Revision: **B**  
Sheet: **102**  
Proj. No. TBD

RE-ISSUED FOR  
REZONING & DP  
NOV. 30, 2017

**ZEBRADESIGN**

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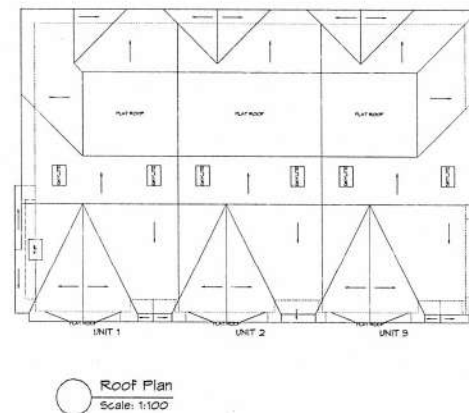
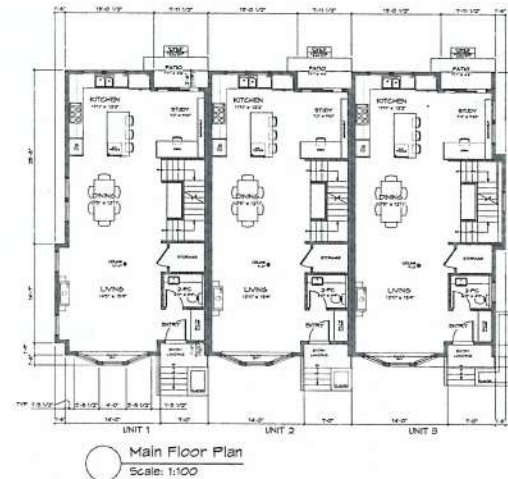
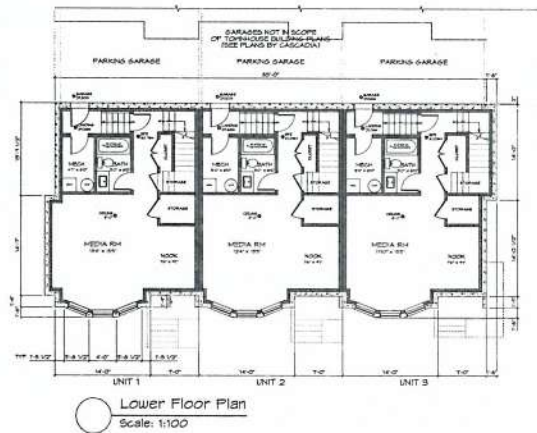
Drawn By: K. KOSHMAN/  
C. COLLINS

Date: SEPT. 26, 2016

Scale: AS NOTED

Project:  
**PROPOSED  
TOWNHOUSES  
1201 FORT ST.**

Title:  
**AVERAGE GRADE  
CALCULATIONS &  
TYP. SECTIONS**



REV. NO.	DESCRIPTION	DATE
1	REVISED # OF STAIRS TO FRONT ENTRY. REVISED DECK TO PATIO. REVISED CHIMNEY TO NEW PARADE. REVISED UPPER FLOOR PLAN TO BET. REVISED MAIN FLOOR PATIOS	NOV. 30/16
2	REVISED FLOOR PLANS TO RECONFIGURE # OF UNITS PER BLDG. LAYOUT CHANGED TO FLOOR PLANS AND ROOF	FEB. 03/17
3	NO CHANGES	JAN. 25/17
3.1	NO CHANGES	JUL. 21/17
4	REMOVE 1 ROOF CORNER. REVISE MAIN FLOOR BEDROOM LAYOUT. ADD PRISON TO TOWER ROOM. REVISE 2ND FLOOR BEDROOM LAYOUTS	SEPT. 01/17
5	REMOVE 2ND FLOOR AND DECK. CEILING HEIGHT IN UPPER FLOOR CHANGED TO 8'-0". ROOF PLAN REVISED. UNIT 1 MAIN FLOOR LAYOUT CHANGED TO MATCH UNIT 2. UNIT 3 REVISED BEDROOM CORNER TO MATCH PERIMETER OF UNIT 2. GRADIENTS REVISED & PARADE TO BET. 18'9"	NOV. 15/17
5.1	REVISIONS REQUIRED TO BE CONSISTENT WITH ELEVATIONS. ROOF PLAN REVISED	NOV. 30/17

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NOV. 30, 2017

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C. COLLINS

Date: SEPT 26, 2016

Scale: AS NOTED

Project:  
PROPOSED  
TOWNHOUSES

1201 FORT ST.

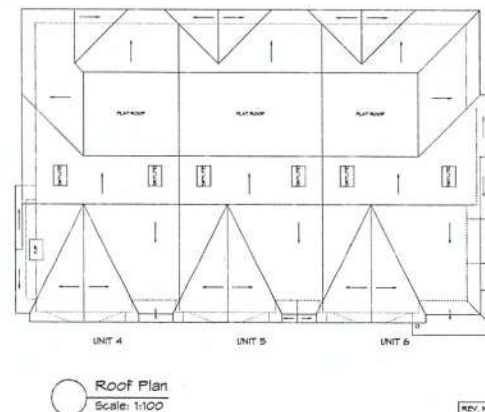
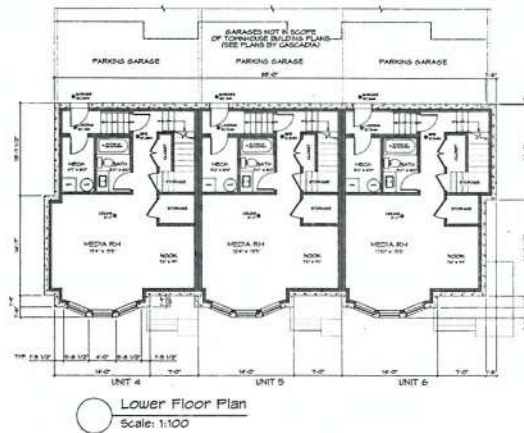
Title:  
BUILDING C  
FLOOR PLANS

Revision: Sheet:

B  
201

Proj No. TBD





REV. NO.	DESCRIPTION	DATE
1	REVISED # OF STAIRS TO FRONT ENTRY; REMOVE DECK TO PATIO; REMOVE GARAGE TO ADD PORCH; REVISE LOWER FLOOR PLAN TO SUIT; REVISE MAIN FLOOR PATIOS	NOV 30/16
2	REVISE FLOOR PLANS TO RECONFIGURE # OF UNITS PER BUILDING LAYOUT CHANGES TO FLOOR PLANS AND ROOF	FEB. 03/17
3	NO CHANGES	JAN. 23/17
4	REVISE MAIN FLOOR KITCHEN LAYOUT; ADD PORCH TO FRONT ENTRY; REVISE 2ND FLOOR BATHROOM LAYOUT; ADD BATH PORCHES TO 2ND FLOOR NORTH BATHS; REVISE ROOF LINE TO SUIT NEW BATHS; CHANGE PORCHES TO NEW ROOF; REVISE PORCHES TO UNIT 1	JUL. 25/17
5	REMOVE 2ND FLOOR DECK; CEILING HEIGHT 2ND FLOOR CHANGED TO 8'-0"; ROOF PLAN REVISED; BUILDING LOWERED; ELEVATION MARKERS, ENTRY STAIRS AND PATIOS REVISED TO SUIT # OF UNITS REDUCED TO 3; UNIT 1 MAIN FLOOR LAYOUT CHANGED TO SUIT 3 UNITS; 1 GARAGE/ PORCHES TO SUIT 3 UNITS; NON-PARKING PLAN BY GASCADIA; ELEVATION MARKERS REMOVED FROM ALL FLOORS	SEPT. 01/17
5.1	REVISIONS REVISED TO BE CONSISTANT WITH ELEVATIONS; ROOF PLAN REVISED	NOV. 30/17

RE-ISSUED FOR  
REZONING & DP  
NOV. 30, 2017

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Date: SEPT 26, 2016

Scale: AS NOTED

Project:  
**PROPOSED  
TOWNHOUSES  
1201 FORT ST.**

Title:  
**BUILDING D  
FLOOR PLANS**

Revision: Sheet:

NOV 30/16

NOV 30/16

NOV 30/16

NOV 30/16

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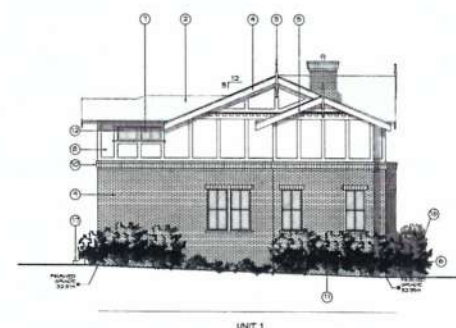
Front Elevation  
Scale: 1:100



Side (N) Elevation  
Scale: 1:100



Rear Elevation  
Scale: 1:100



Side (S) Elevation  
Scale: 1:100

- FINISH SCHEDULE KEY**
- ① STANDING SEAM METAL ROOFING
  - ② ASPHALT/FIBERGLASS SHINGLE ROOFING
  - ③ DECORATIVE FINIAL
  - ④ WOOD FASCIA AND TRIM (PAINTED)
  - ⑤ DECORATIVE DENTILES
  - ⑥ METAL PICKET RAILING
  - ⑦ OBTAINED GLASS AND METAL PRIVACY SCREEN
  - ⑧ CEMENT BOARD PANELS & WOOD TRIM (PAINTED)
  - ⑨ BRICK VENEER
  - ⑩ BRICK CORNICE DETAIL
  - ⑪ WOOD GORGE CHIMNEY
  - ⑫ VINYL WINDOW, PREFINISHED
  - ⑬ WOOD DOOR WITH GLAZING (STAINED)
  - ⑭ SLIDING GLASS DOOR, PREFINISHED
  - ⑮ WOOD KNEE BRACKETS (PAINTED)
  - ⑯ BRICK PLANTER
  - ⑰ CONCRETE STAIRS
  - ⑱ CONCRETE PATIO
  - ⑲ LIGHT FIXTURE
  - ⑳ SKYLITE

	Unit 1		Unit 2		Unit 3	
<b>Front</b>	Imperial	Metric	Imperial	Metric	Imperial	Metric
Lim. Windows	> 19.68	> 6.00	> 19.68	> 6.00	> 19.68	> 6.00
Building face area	480.46	44.64	462.87	43.00	444.82	41.32
glazing area	98.42	9.14	98.42	9.14	98.42	9.14
percentage	20.49%		21.26%		22.13%	
<b>North</b>					Imperial	Metric
Lim. Windows	n/a		n/a		8.20	2.50
Building face area					865.57	80.65
glazing area					63.75	5.93
percentage					7.34%	
<b>Side</b>	Imperial	Metric	Imperial	Metric	Imperial	Metric
Lim. Windows	17.22	5.25	17.22	5.25	17.22	5.25
Building face area	447.58	41.58	432.37	40.17	428.56	39.63
glazing area	111.90	10.40	111.90	10.40	111.90	10.40
percentage	25.00%		25.88%		26.23%	
<b>South</b>	Imperial	Metric				
Lim. Windows	6.56	2.00	n/a		n/a	
Building face area	927.00	86.12				
glazing area	55.58	5.12				
percentage	7.11%					

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REZONING 4 DP  
NOV. 30, 2017

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C. COLLINS

Date: SEPT 26, 2016

Scale: AS NOTED

Project:  
**PROPOSED  
TOWNHOUSES  
1201 FORT ST.**

Title:  
**BUILDING &  
ELEVATIONS**

Revision:

Sheet:

**B**

**301**

Proj No. TBD

REV. NO.	DESCRIPTION	DATE
1	REVISED 4 OF STAIRS TO FRONT ENTRY; REVISED DECK TO PATIO; PARKING REVISED TO PARADE; BASE ROCK BAND AROUND BLDG; REVISE GLAZING CALCS	NOV. 30/16
2	ADJUST ELEVATIONS TO ALLOW FOR CONCRETE TOPPING	FEB. 02/17
3	REVISE ELEVATIONS TO RECONFIGURE 4 OF UNIT 3R BLDG; REDRAW ENTIRETY OF ALL TH UNITS	JAN. 23/17
3.1	ADD 2ND HEIGHT FROM "NITE AVERAGE GRADE; CLARIFY HEIGHT FROM "BUILDING AVERAGE GRADE"	JUL. 27/17
4	REMOVED 1 ROOF DOWNHILL; REVISE MAIN FLOOR & PATIO; ADD WINDOW TO PORCH ROOF; REVISE GLAZING CALCS; 12 METAL ROOF; 1200 SERIES SHAWNEE; REVISE CHIMNEY; 1200 SERIES	SEPT. 01/17
5	2ND FLOOR AND ROOF DECK REVISED; UPPER FLOOR CEILING REDUCED TO 1200; FINISHES REVISED TO 1200; ROOF HATCH CHANGED; GLAZING CALC. REVISED; SOUTH ELEVATION REVISED TO MATCH FINISHES; 1200 SERIES; 1200 SERIES FLOOR ON NORTH ELEVATION; UNIT 3 PLANTER EXTENDED TO MATCH VERANDA ON UNIT 3	NOV. 15/17
5.1	ALL FINISHES REDUCED FROM 12 TO 10; SHAWNEE; 1200 SERIES; 1200 SERIES CHANGED TO 1200 SERIES; 1200 SERIES TO 1200 TRIM ON SIDE AND REAR; ELEVATION; FINALS REDUCED FROM REAR GABLES	NOV. 30/17



○



C



C

Area	Unit 4		Unit 5		Unit 6	
<b>Forest</b>	<i>Imperial</i>	<i>Metric</i>	<i>Imperial</i>	<i>Metric</i>	<i>Imperial</i>	<i>Metric</i>
Lin. Distance	> 19.68	> 8.60	> 19.68	> 8.60	> 19.68	> 8.60
building face area	446.36	41.47	433.15	40.43	423.69	39.38
glazing area	102.98	9.57	102.98	9.57	102.98	9.57
percentage	23.07%		23.67%		24.29%	
<b>North</b>					<i>Imperial</i>	<i>Metric</i>
Lin. Distance	n/a	n/a	n/a	n/a	9.84	3.00
building face area					821.45	76.32
glazing area					63.70	5.92
percentage					7.75%	
<b>West</b>	<i>Imperial</i>	<i>Metric</i>	<i>Imperial</i>	<i>Metric</i>	<i>Imperial</i>	<i>Metric</i>
Lin. Distance	17.22	5.25	17.22	5.25	17.22	5.25
building face area	421.31	39.14	406.08	37.73	406.31	37.73
glazing area	111.90	10.40	111.90	10.40	111.90	10.40
percentage	26.56%		27.56%		27.95%	
<b>South</b>	<i>Imperial</i>	<i>Metric</i>	n/a	n/a	n/a	n/a
Lin. Distance	8.20	2.50				
building face area	872.39	81.05				
glazing area	65.88	6.12				
percentage	7.55%					

- FINISH SCHEDULE KEY**
- (1) STANDING SEAM METAL ROOFING
  - (2) ASPHALT/FLYBEEGLASS SHINGLE ROOFING
  - (3) DECAURATE FINAL
  - (4) WOOD FASGIA AND TRIM (PAINTED)
  - (5) CORRUGATED STEEL ROOF
  - (6) METAL PINKET RAILING
  - (7) OBTURED GLASS AND METAL PRIVACY SCREENING
  - (8) CEHMENT BOARD PANELS & WOOD TRIM (PAINTED)
  - (9) BRICK VENEER
  - (10) BRICK GORNICE DETAIL
  - (11) BRICK VENEER CHIMNEY
  - (12) VINYL SIDING, PREFINISHED
  - (13) WOOD DOOR WITH GLAZES (STAINED)
  - (14) SLIDING GLASS DOOR, PREFINISHED
  - (15) ALUMINUM BRACKETS (PAINTED)
  - (16) BRICK PLASTER
  - (17) CONCRETE STAIRS
  - (18) CONCRETE PATIO
  - (19) LIGHT FIXTURE
  - (20) SKYLITE

REV 4 SEPT 2011	302
REV 5 NOV 15/11	
REV 5.1 NOV 30/11	
Proj.No. TBD	

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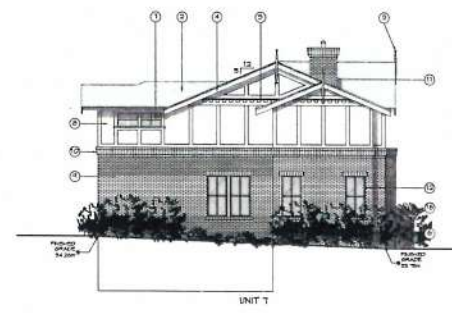
Front Elevation  
Scale: 1:100



Side (N) Elevation  
Scale: 1:100



Rear Elevation  
Scale: 1:100



Side (S) Elevation  
Scale: 1:100

- FINISH SCHEDULE KEY**
- (1) STANDING SEAM METAL ROOFING
  - (2) ASPHALT/FIBERGLASS SHINGLE ROOFING
  - (3) DECORATIVE FINIAL
  - (4) WOOD FASCIA AND TRIM (PAINTED)
  - (5) DECORATIVE DENTILES
  - (6) METAL PICKET RAILING
  - (7) OBTAINED GLASS AND METAL PRIVACY SCREEN
  - (8) CEILING BOARD PANELS & WOOD TRIM (PAINTED)
  - (9) BRICK VENEER
  - (10) BRICK CORNICE DETAIL
  - (11) BRICK VENEER CHIMNEY
  - (12) VINYL WINDOW, PREFINISHED
  - (13) WOOD DOOR WITH GLAZING (STAINED)
  - (14) SLIDING GLASS DOOR, PREFINISHED
  - (15) WOOD KNEE BRACKETS (PAINTED)
  - (16) BRICK PLANTER
  - (17) CONCRETE STAIRS
  - (18) CONCRETE PATIO
  - (19) LIGHT FIXTURE
  - (20) SKYLITE

	Unit 7		Unit 8		Unit 9	
Front	Imperial	Metric	Imperial	Metric	Imperial	Metric
Lot Distance	> 19.68	> 5.00	> 19.68	> 5.00	> 19.68	> 5.00
building face area	436.00	40.51	436.93	40.04	416.98	38.74
glazing area	98.42	9.14	98.42	9.14	98.42	9.14
percentage	22.57%		22.84%		23.60%	
North						
Lot Distance	n/a		n/a		Imperial	Metric
building face area					14.60	4.45
glazing area					805.26	74.81
percentage					40.54	3.72
South						
Lot Distance	17.22	5.25	17.22	5.25	14.73	4.49
building face area	400.31	37.19	400.31	37.19	400.31	37.19
glazing area	111.90	10.40	111.90	10.40	111.90	10.40
percentage	27.95%		27.95%		27.95%	
North						
Lot Distance	19.68	5.00	n/a		n/a	
building face area	834.78	77.55				
glazing area	65.88	6.12				
percentage	7.88%					

RE-ISSUED FOR  
REZONING 4 DP  
NOV. 30, 2017

ZEBRADESIGN

1161 NEWPORT AVE  
Victoria, B.C. V8S 5E6  
Phone: (250) 360-2144  
Fax: (250) 360-2115

Drawn By: K. KOSHMAN/  
G. COLLINS

Date: SEPT 26, 2016

Scale: AS NOTED

Project:  
PROPOSED  
TOWNHOUSES  
1201 FORT ST.

Title:  
BUILDING E  
ELEVATIONS

Revision: Sheet:

B  
303

Proj No. TBD

REV. NO.	DESCRIPTION	DATE
1	REVISED 4 OF STAIRS TO FRONT ENTRY. REVISED DESIGN TO MATCH PARKING. BAND AROUND BLDG. REVISED GLAZING CALC.	NOV 30/16
2	ADJUST ELEVATIONS TO ALLOW FOR CONCRETE TOPPING	FEB. 02/17
3	REVISED ELEVATIONS TO RECONFIGURE 4 OF UNIT 7 FOR BLIND. REDUCED EXTENSION OF ALL 7th UNITS	JAN. 23/17
3.1	ADD 2ND HEIGHT FROM SITE AVERAGE GRADE. CLARIFY HEIGHT FROM "BUILDING AVERAGE GRADE"	JUL. 27/17
4	REMOVE 1st FLOOR CORNER. CHANGE CORNER TO 1st FLOOR. REVISED MAIN FLOOR & PATIO. ADD WINDOW TO 1st FLOOR. REVISED 1st FLOOR. CHANGE TO METAL ROOF OVER CORNER. REVISED CORNER TO 1st FLOOR. ADD PATIO TO 2ND FLOOR. 4 ADJUST ROOFLINE. REVISED AVERAGE GRADE & HEIGHT	SEPT. 01/17
5	2ND FLOOR AND ROOF DESIGN REVISED: UPPER FLOOR DESIGN REVISED TO 8'-0" FINISHES. REVISED TO 2ND FLOOR. PATIO CHANGED. GLAZING CALC. REVISED. BUILDING CORNERED 14' ENTRY AND PATIO. REVISED. ELEVATION THREE REVISED TO 1st FLOOR. REVISED TO 1st FLOOR. ON NORTH ELEVATION, UNIT 8 PLANTER EXTENDED TO MATCH VERANDA ON UNIT 8	NOV. 15/17
5.1	ALL RADIIAS REDUCED FROM 12 TO 10. BOARD, ENTRANCE DESIGN FOR UNIT 7 & 8. CORNER TRIM ON SIDE AND REAR ELEVATIONS. TRIM REVISED FROM REAR. RADIIAS REDUCED FROM 12 TO 10. GLAZING CALCULATION REVISED TO 1st	NOV. 30/17



- ### LANDSCAPE ELEMENTS
1. Building A Main Entrance with stone feature wall c/w stairs + handrail. Integrated lighting and signage. Final number of stair risers dependent upon final grades.
  2. Feature coin planter with stone seating wall edge.
  3. Fort Street starting point of public walkway connection to Penhew Place. Stone feature wall either side of north double entrance c/w way finding signage, garbage receptacle and integrated lighting.
  4. Gary Oak lawn with Gary Oak trees and associated succession plantings of young Gary Oaks.
  5. Building A accessible pedestrian access c/w bike parking and seating bench.
  6. Public walkway connection from Fort Street to Penhew Place. 2 m wide concrete path, with integrated wayfinding lighting, feature stone walls, through Gary Oak woodland and lawn areas planted with pockets of Gary Oaks.
  7. Shared private space: Concrete Unit Paver path (1.5 m wide) through ornamental lawn planting provides access to ground floor residential patios. Gravel paths (1.2 m wide) to patios.
  8. Terraced retaining walls and planters. Upper planter developed as buffer to adjacent property.
  9. Rain gardens of Penhew Place manage runoff from Townhome roofs and patio hardcape areas where possible.
  10. Building B Main Entrance c/w stairs + handrail, seating wall, accessible pedestrian access, specimen tree planting, bike parking, 3 visitor size parking stalls and signage. Final number of stair risers dependent upon final grades.
  11. Typical Town House rear patio c/w <0.6 m high raised patio, 1.5 m high privacy screen with associated hardcape/lawn planting and stair access to central shared patio. Final number of risers dependent upon final grades.
  12. Penhew Place starting point of public walkway connection to Fort Street. Stone pillars and active structures double entrance, c/w integrated seating, hardcape treatments, wayfinding signage and integrated lighting.

- ### STREETSCAPE ELEMENTS
- A. Fort Street: Landscape bulges will be used to define building driveways and parking areas. Bulges will be planted with lawn and Gary Oak trees. Existing Hydro poles will be located in landscape. Sidewalk to be 2.4 m width.
  - B. Penhew Place: Landscape bulges will define parking and driveway entrances. These will be planted with shrubs and Gary Oak trees. This treatment will help calm traffic and 'green' the streetscape. Sidewalk to be 1.5 m width.



**PUBLIC PATH: ILLUSTRATIVE LIGHTING PLAN**  
(Shows design intent)

#### DRAWING NOTES

1. DO NOT SCALE DRAWINGS. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities not shown. Shall have precedence over plant quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by landscape architect prior to proceeding with work.
6. Contractor to provide irrigation system for all plants to current B.C. Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the B.C. Standard Landscape Standards.
9. General Contractor and/or subcontractor are responsible for all costs related to production and submission to consultant of all landscape model information including irrigation.
10. Tree protection fencing for existing trees to be installed prior to commencement of all the work.

#### IRRIGATION AND LIGHTING NOTES

1. Contractor to test irrigation system around existing trees, to limit disturbance to root systems.
2. Screens shall be installed at the secondary depths, prior to pavement construction. Screens shall extend 300 mm from edge of coping into planting area, and shall have ends marked above grade unless otherwise shown.
3. Aerial to assist leveling of irrigation lines in protected soil zone (PSZ) of existing trees.
4. Placement of electrical conduits through site to be coordinated with electrical.
5. Aerial to be on-site and supervisor all excavation/trenching within 70% of retained trees.

### LEGEND

**PROPERTY LINE**  
 Boundary Right of Way (BROW)  
 Boundary of Private, Public  
 Item garden - 10% OF FLOOR  
 Item garden - 10% OF FLOOR

**UNDERGROUND UTILITIES**  
 EXISTING: Storm drain, Sewer, Water, Electrical, Gas  
 PROPOSED: Same as existing

**LANDSCAPE MATERIALS**  
 Solid Fence, 1.8m height, wood construction, metal, vertical picket fence (the height is provided for BC Building Code requirements) c/w controlled access gate where indicated.  
 Metal, vertical picket fence, 0.5m high, top mounted to stone wall c/w controlled access gate where indicated.  
 Cast in Place Concrete Wall, height and width varies.  
 Stone Wall / Fiber, height vary, 0.6m to 1.0m, natural field stone with right, stacked mortar joints for raised beds.  
 Arise, gateway over path, wood/metal construction with coping system to complement architectural finishes.  
 Cast in Place Concrete Paving with water.  
 Gravel (10) with water.  
 Pedestrian Unit Paving.  
 Rotted Deck.  
 Vehicular Unit Paving, Areas use permeable paving where indicated.  
 Lawn Area.  
 Shrub / Tree Planting Area.  
 Rain Garden Area.

**LANDSCAPE FURNITURE**  
 Blue Rock 18 (bicycle capacity)  
 Landscape lighting (including CTRD)  
 Metal Seating Bench (1)  
 Stone Seating Wall (1)  
 Garbage Receptacle (1)  
 Way Finding Signage as per City of Victoria Wayfinding Strategy Guidelines (2)  
 Privacy Screen

**EXISTING TREE SUMMARY**  
 Existing Trees Retained  
 Existing & Low Pruned Trees Retained (13)  
 Building Grade Trees Retained (4)  
 Table 11.07 Tree Retention and Removal Plan for additional information.

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**Murdoch de Greeff Inc.**  
 Landscape Planning & Design  
 100-1010 Commercial Street, Suite 101  
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 Phone: 250.590.3223  
 Email: info@murdochdegreff.ca

**NOT FOR CONSTRUCTION**

NO.	DESCRIPTION	DATE
1	Development Permit	28.11.2018

**DRAWING**  
**Landscape Plan**

**PROJECT**  
**1201 Fort**  
 Abstract Developments  
 1201 Fort Street  
 Victoria, BC V8V 3L1

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**SCALE**  
 1:250 (B24"x36")

**PROJECT NUMBER**  
 116.18

**DRAWING FILE**  
 116.18

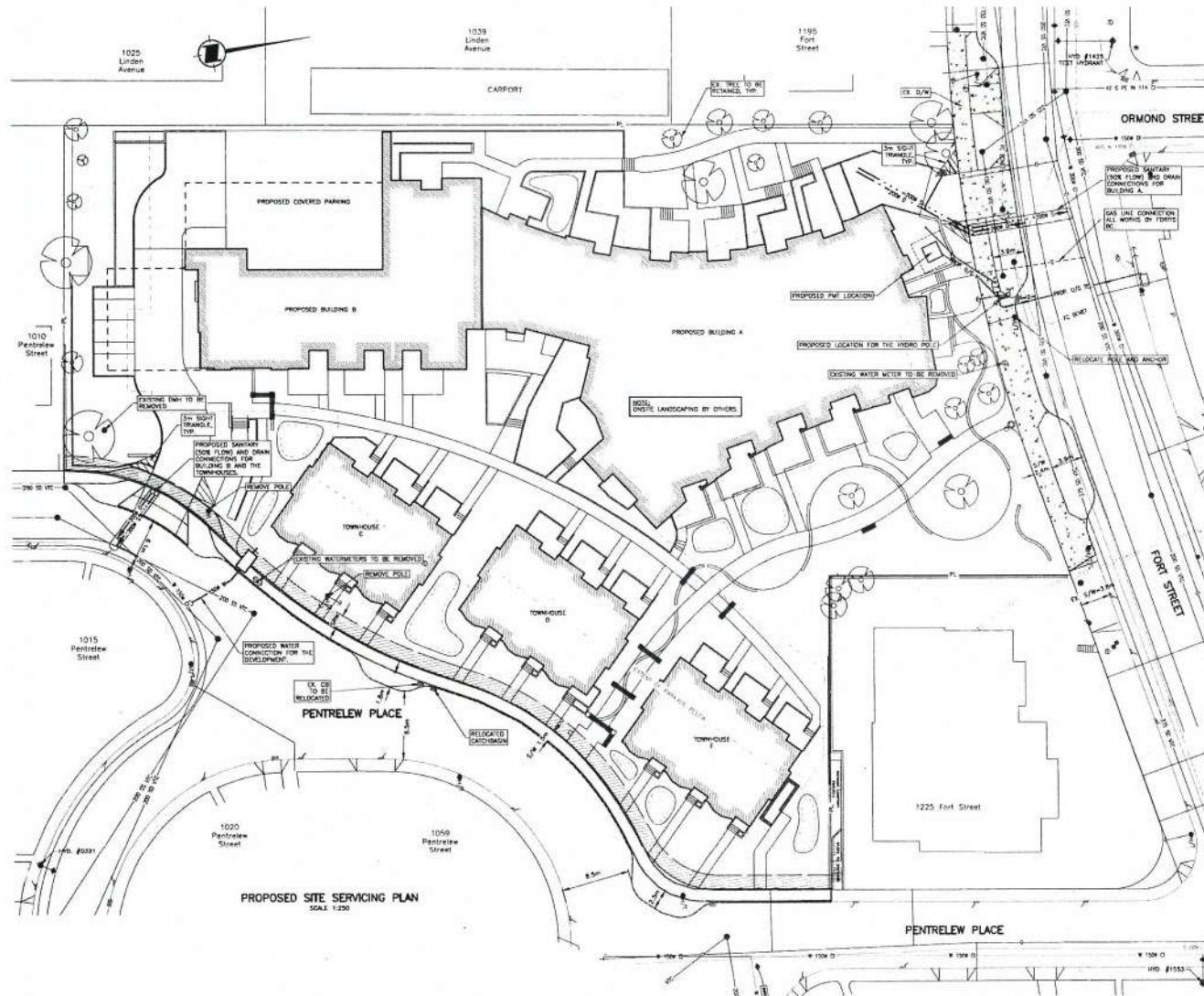
**DESIGNED BY**  
 SMR/DP

**CHECKED BY**  
 MCR

**REV.**  
 5.1

**PROJ. NO.**  
**L1.01**





# GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH UNIFORM SPECIFICATIONS AND DRAWINGS THE CITY OF VICTORIA SUPPLEMENTARY DRAWINGS AND STANDARDS AND LATEST VERSION OF THE B.C. PLUMBING CODE (FOR ON-SITE WORKS).
2. ALL EXISTING SERVICES AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY THE CONTRACTOR.
3. ALL EXISTING SERVICES ARE TO BE EXPOSED AT CROSSING OR CONNECTION POINTS PRIOR TO ANY CONSTRUCTION.
4. ALL WORK TO BE UNDERGROUND AND COMPLETED BY THE CONTRACTOR IN SUCH A MANNER AS TO PREVENT THE RELEASE OF SEWAGE LADEN WATER INTO THE AREA DRAINS OR ANY WATERCOURSES.
5. ALL DIMENSIONS ARE IN MM AND ALL ELEVATIONS ARE IN M UNLESS NOTED OTHERWISE.
6. SERVICES IN AND OUT ARE APPROVED AND NOT COMPLETE CITY OF VICTORIA AND CONTRACTOR TO COMPLETE INDEPENDENT UTILITY INVESTIGATION BEFORE ANY CONSTRUCTION TO CONFIRM ACTUAL LOCATION OF ALL SERVICES WITHIN THE AREA OF CONSTRUCTION AND SHOULD NOT ASSUME THE LOCATION SHOWN ON DRAWINGS ARE ACCURATE.
7. WATER, SEWER AND DRAIN CHARGES FOR BUILDING CONNECTIONS TO BE SUPPLIED BY CONTRACTOR ON "AS-BUILT".
8. ALL OFF-SITE RESTORATION WORKS SHALL BE COMPLETED IN A PROPER MANNER TO MINIMIZE LOCAL DISRUPTION.
9. RIVER TO ARCHITECTS, ELECTRICAL ENGINEERS, LANDSCAPE ARCHITECTS, MECHANICAL ENGINEERS AND LEGAL SURVEYORS PLANS FOR ADDITIONAL REQUIREMENTS AND DIMENSIONS.
10. ELECTRICAL/TELEPHONE/CABLE SERVICE IS SHOWN CONCEPTUALLY ON THIS DRAWING AND WILL CHANGE AFTER UTILITY DESIGN. CONTRACTOR TO REVIEW ELECTRICAL DRAWINGS TO INSURE THERE ARE NO CONFLICTS.
11. CONTRACTOR TO CONFIRM LOCATION OF PROPOSED UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THESE WORKS.
12. REFER TO OTHERS FOR ON-SITE INFORMATION. THIS DRAWING IS NOT TO BE USED FOR ANY ON-SITE LAYOUT OR DESIGN.
13. CONTRACTOR TO ADJUST ALL APPURTENANCES TO THE PROPOSED FINISHED GRADES.
14. VEHICULAR TRAFFIC: THE CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL PAVED ASPHALT AND CONCRETE SURFACES TO BE MAINTAINED DURING.
15. DRAINAGE DESIGN TO COMPLY WITH HIGHWAY ACCESS BY-LAW.
16. CONTRACTOR TO BE RESPONSIBLE TO PROVIDE CONTINUOUS SIDEWALK PEDESTRIAN ACCESS AT THE PERIMETER DURING THE PROJECT. THIS WILL INCLUDE PROVIDING THE SAME AND SUPERINTENDING TEMPORARY SIGNALING ON THE SITE. CONTRACTOR TO PROVIDE BARRICADES AND SIGNALS AT THE OFFICE WORK AREAS TO CITY OF VICTORIA SATISFACTION TO SAFETY AND COMPLY WITH ALL CITY AND WORK AREA BE REGULATIONS REGARDING SAFE MOVEMENT OF PEDESTRIANS AND TRAFFIC DURING CONSTRUCTION AND TO MAINTAIN ALL EXISTING ACCESS AND IN ACCORD WITH APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
17. CONTRACTOR TO SWEET PUBLIC ROADS AT THE END OF EACH WORKING DAY ALSO CONTRACTOR TO PROVIDE TRAFFIC CONTROL WITH WORKING AT OR ADJACENT TO THE PUBLIC HIGHWAY. EXCAVATIONS ARE TO BE FENCED TO PROTECT WORKERS AND PASSERS BY.
18. FOR ANY AMBIGUITIES IN THE SPECIFICATIONS THE MOST CONSERVATIVE/PROTEST SPECIFICATIONS SHALL GOVERN.
19. A ROAD WORKS PERMIT TO CONSTRUCT WORKS IN THE ROAD ALLOWANCE TO BE OBTAINED FROM THE CITY PRIOR TO WORK.
20. ALLOW 48 HOURS FOR ENGINEER TO PERFORM CHECKS AND MAKE ANY CURB GRADE ADJUSTMENTS PRIOR TO ANY CURB FORMS.
21. THE FINAL DESIGN ENDS FOR THE CONCRETE WORK EXTENTS TO BE DETERMINED IN THE FIELD WITH EYES OF VICTORIA CITY.
22. NO DESIGN CHANGES ARE PERMITTED UNLESS THERE IS PRE-WRITTEN APPROVAL FROM THE ENGINEER.
23. NEW STREET CATCH-BASINS TO BE BY CONTRACTOR TO CITY OF VICTORIA STANDARDS, LARGE CAPACITY WITH SIDE SLOTT.
24. CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL BOULEVARDED AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 0.2%.
25. WHEELCHAMP RAMP AT CROSSINGS TO BE IN ACCORD WITH CITY OF VICTORIA (2008) AND CITY OF VICTORIA (2008) STANDARDS AS PER CITY OF VICTORIA REQUIREMENTS.

## TABLE OF SUMMARY MATERIAL

PORT STREET - 8m WITH TYPE B PLANTS  
PORT STREET - 8m WITH TYPE A PLANTS  
NOTE: WE RECOMMEND BOTH DRAINWAYS HAVE TYPE B PLANTS.  
HYPER SCHEDULE B - HIGHWAY ACCESS BY-LAW 81-20

THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION.

ATTENTION: EXISTING SERVICES SHOWN ON THIS DRAWING ARE ESTIMATES ONLY. THE NEW SITE SERVICES MUST BE SURVEYED PRIOR TO ANY FINAL BUILDING DESIGN OR CONSTRUCTION, INCLUDING FINISHES.

NOTICE: THIS DESIGN IS ONLY VALID IF REVIEWED BY CALID SERVICES LTD. CONTRACTOR TO GET HYDRO, ELEV, SHAW AND FORTS BC GAS CONTACTS AT CONSTRUCTION START. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY ENTIRELY TO COORDINATE SUCH UTILITIES.

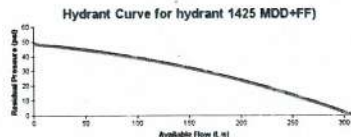
WARNING: THE LOCATION, SIZE AND TYPE OF EXISTING SERVICES IN THIS AREA ARE NOT EXTENSIVE AND ARE SUBJECT TO INVESTIGATION BEFORE ANY WORK.

NOTICE: CONTRACTOR IS TO OBTAIN CITY OF VICTORIA SIGNED OFF ISSUED FOR CONSTRUCTION PLANS PRIOR TO START OF ANY CIVIL WORKS.

**BENCHMARK**  
City of Victoria Integrated Survey Monument 9-13  
(Date: 34.0223)

**LEGAL DESCRIPTION**  
Lot A, bounded from East by Spring Ridge, Victoria City, Plan 40449

The Contractor shall confirm the actual location of all services within the area of construction, and should not assume that the location shown on the drawings are other accurate or complete.



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EXISTING	PROPOSED
1" = 0' WATER	1" = 0' WATER
1" = 0' SEWER	1" = 0' SEWER
1" = 0' DRAIN	1" = 0' DRAIN
1" = 0' GAS	1" = 0' GAS
1" = 0' STORM	1" = 0' STORM
1" = 0' FOP	1" = 0' FOP

EX.	PROJ.
1" = 0' WATER VALVE ON MAIN	1" = 0' WATER VALVE ON MAIN
1" = 0' HYDRO	1" = 0' HYDRO
1" = 0' GAP OR PLOT	1" = 0' GAP OR PLOT
1" = 0' WATER METER	1" = 0' WATER METER
1" = 0' FLUSH VALVE	1" = 0' FLUSH VALVE
1" = 0' MANHOLE	1" = 0' MANHOLE
1" = 0' CLEANOUT	1" = 0' CLEANOUT
1" = 0' SEWER PUMP STATION	1" = 0' SEWER PUMP STATION
1" = 0' CATCH BASIN	1" = 0' CATCH BASIN
1" = 0' SALT TRAP	1" = 0' SALT TRAP
1" = 0' OIL TRAP	1" = 0' OIL TRAP
1" = 0' SPILL	1" = 0' SPILL
1" = 0' HYDRO/TEL. POLE	1" = 0' HYDRO/TEL. POLE
1" = 0' HYDRO ANCHOR	1" = 0' HYDRO ANCHOR

**BC 1 CALL**  
1-800-476-4886  
CELLULAR: 8888  
FIBRE OPTIC CABLE  
Don't dig the construction

**CALID**  
209-2140 Douglas St.  
VICTORIA, B.C. V8M 4H8  
PHONE: (250) 388-8818  
engine@calid.ca

NO.	DESCRIPTION	DATE
1	REVISIONS TO BE SUBMITTED	2017-11-15
2	REVISIONS TO BE SUBMITTED	2017-11-15
3	REVISIONS TO BE SUBMITTED	2017-11-15
4	REVISIONS TO BE SUBMITTED	2017-11-15
5	REVISIONS TO BE SUBMITTED	2017-11-15
6	REVISIONS TO BE SUBMITTED	2017-11-15
7	REVISIONS TO BE SUBMITTED	2017-11-15
8	REVISIONS TO BE SUBMITTED	2017-11-15
9	REVISIONS TO BE SUBMITTED	2017-11-15
10	REVISIONS TO BE SUBMITTED	2017-11-15

**PRELIMINARY SITE SERVICING PLAN**  
1201 Fort  
Abstract Developments  
1201 Fort Street  
Victoria, BC V8V 3L1

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SCALE: AS NOTED

PROJECT NUMBER: 622-01  
DATE: NOV 15, 2017  
CHECKED BY: [Signature]  
DRAWN BY: [Signature]  
REV: [Signature]  
DATE: [Signature]  
622-01

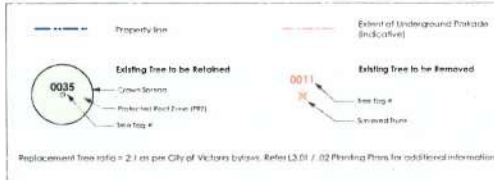








## LEGEND



## EXISTING TREE INVENTORY\*

\* Based on Tree Inventory Report from Tabbal Mackenzie, dated April 28, 2016. Refer to Arborist Report for details on tree conditions and Arborist recommendations.

### RETAINED TREES

TREE TAG #	DBH (cm)	FEZ (radius in m)	SPECIES	CROWN SPREAD (m)	STATUS
0001	53	8.0	No Tag 1	17.0	NA
0002	92	9.0	Broken Oak	19.0	Below Protected
0003	21.22	4.7	Bay Leaf Maple	10.0	Below Protected
0004	48	8.0	Bay Leaf Maple	9.0	NA
0005	66	8.5	Garry Oak	12.0	Below Protected
0006	45	4.5	Corn	13.0	NA
0007	47.54	7.0	Western Cedar	8.0	Below Protected
0008	37	9.5	Garry Oak	18.0	Below Protected
0009	50	6.0	Western Red Cedar	9.0	NA
0010	74	3.5	Beech	7.0	NA
0011	35	3.5	Beech	12.0	NA
0012	121	14.5	Manitowishig Cedar	20.0	Below Protected
0013	92	9.0	Red Oak	22.0	Below Protected
0014	49	7.0	Garry Oak	18.0	Below Protected
0015	75	7.5	Garry Oak	15.0	Below Protected
0016	51	1.0	Garry Oak	10.0	Below Protected
0017	45	4.5	Garry Oak	10.0	Below Protected
0018	40	4.0	Garry Oak	7.0	Below Protected
0019	33	3.0	Garry Oak	7.0	Below Protected
No Tag 1*	35	4.5	Pine	NA	NA
No Tag 2*	25	4.5	Pine	NA	NA
No Tag 3*	24	4.5	Pine	NA	NA

### TOTAL TREES TO BE RETAINED: 22

\* Certain trees with FEZ extending into 1201 Fort Street property.

### REMOVED TREES

TREE TAG #	DBH (cm)	FEZ (radius in m)	SPECIES	CROWN SPREAD (m)	STATUS
0021	45	3.5	Drumstick Cedar	8.0	NA
0022	32.39	5.31	Soft Pine	10.0	Below Protected
0023	55	4.0	Fraxinus	5.0	NA
0024	38	4.5	Pandanus Pink	8.0	NA
0025	71	7.0	Copper Birch	15.0	NA
0026	134	16.0	Sequoia/Redwood Cedar	11.0	Below Protected
0027	139	16.0	Sequoia/Redwood Cedar	15.0	Below Protected
0028	50	4.5	Chamaecyparis	5.0	NA
0029	44	3.5	Chamaecyparis	4.0	NA
0030	31	4.0	Stone Pine	4.0	NA
0031	41.47	6.0	Chamaecyparis	8.0	NA
0032	42	5.0	Albizia Cedar	8.0	NA
0033	38	4.5	Chamaecyparis	4.0	NA
0034	54	4.0	Western Cedar	7.0	NA
0035	44	3.5	Drumstick	4.0	Below Protected
0036	132	18.0	Western Cedar	15.0	Below Protected
0037	82	12.5	Douglas Fir	12.0	Below Protected
0038	44	9.5	Fraxinus	10.0	Below Protected
0039	54	4.5	Chamaecyparis	5.0	NA
0040	33	4.0	Chamaecyparis	5.0	NA
0041	117	12.0	English Oak	18.0	Below Protected
0042	56	4.5	Pine	5.0	NA
0043	84	9.5	Garry Oak	17.0	Below Protected
No Tag 1	10	3.0	NA	NA	NA
No Tag 2	46	9.0	Cedar	NA	NA
No Tag 3	14.42	1.5	NA	NA	NA
No Tag 4	74	4.5	NA	NA	NA
No Tag 5	25	4.5	East Pine	NA	NA
No Tag 6	3	NA	Arbutus	1.0	Below Protected

### TOTAL TREES TO BE REMOVED: 29

TOTAL 8% LWP PROTECTED TREES REMOVED: 10%

### REPLACEMENT TREES

Replacement tree ratio = 2:1 on per City of Victoria bylaw.

### TOTAL REPLACEMENT TREES: 20

### ADDITIONAL TREES TO BE PLANTED: 83

### TOTAL NEW TREES: 103

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E: office@murdochdegreeff.ca

Received  
City of Victoria  
NOV 15 2017  
Planning & Development  
1201 Fort Street

NOT FOR CONSTRUCTION

NO.	REVISION/DATE	DATE
1	Initial Design	10/27/2017
2	Final Design	11/15/2017
3	Final Design	11/15/2017
4	Final Design	11/15/2017
5	Final Design	11/15/2017
6	Final Design	11/15/2017
7	Final Design	11/15/2017
8	Final Design	11/15/2017
9	Final Design	11/15/2017
10	Final Design	11/15/2017

## Tree Retention and Removal Plan

1201 Fort

Abstract Developments

1201 Fort Street

Victoria, BC V8W 2E6

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Scale: 1:250 (8 1/4" x 11")

PROJECT NUMBER: 115.18

DRAWING FILE: 115.18

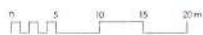
CHECKED BY: BMM/MS

DESIGNED BY: MDH

REV: 5

DATE: 11/15/2017

1:02



L2.01





**PLANT LIST: 1201 FORT STREET**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SCHL. SIZE / PLANT SPACING
1	1	Acer glabrum	White Maple	2.4m x 2.4m (2.5m)
2	1	Acer glabrum	White Maple	2.4m x 2.4m
3	1	Acer glabrum	White Maple	2.4m x 2.4m
4	1	Acer glabrum	White Maple	2.4m x 2.4m
5	1	Acer glabrum	White Maple	2.4m x 2.4m
6	1	Acer glabrum	White Maple	2.4m x 2.4m
7	1	Acer glabrum	White Maple	2.4m x 2.4m
8	1	Acer glabrum	White Maple	2.4m x 2.4m
9	1	Acer glabrum	White Maple	2.4m x 2.4m
10	1	Acer glabrum	White Maple	2.4m x 2.4m

**Final selection of boulevard trees to be determined through consultation with City of Victoria Parks staff**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SCHL. SIZE / PLANT SPACING
1	1	Acer glabrum	White Maple	2.4m x 2.4m
2	1	Acer glabrum	White Maple	2.4m x 2.4m
3	1	Acer glabrum	White Maple	2.4m x 2.4m
4	1	Acer glabrum	White Maple	2.4m x 2.4m
5	1	Acer glabrum	White Maple	2.4m x 2.4m
6	1	Acer glabrum	White Maple	2.4m x 2.4m
7	1	Acer glabrum	White Maple	2.4m x 2.4m
8	1	Acer glabrum	White Maple	2.4m x 2.4m
9	1	Acer glabrum	White Maple	2.4m x 2.4m
10	1	Acer glabrum	White Maple	2.4m x 2.4m

**NOT FOR CONSTRUCTION**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SCHL. SIZE / PLANT SPACING
1	1	Acer glabrum	White Maple	2.4m x 2.4m
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8	1	Acer glabrum	White Maple	2.4m x 2.4m
9	1	Acer glabrum	White Maple	2.4m x 2.4m
10	1	Acer glabrum	White Maple	2.4m x 2.4m

**PLANTING PLAN AND PLANT LIST**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SCHL. SIZE / PLANT SPACING
1	1	Acer glabrum	White Maple	2.4m x 2.4m
2	1	Acer glabrum	White Maple	2.4m x 2.4m
3	1	Acer glabrum	White Maple	2.4m x 2.4m
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8	1	Acer glabrum	White Maple	2.4m x 2.4m
9	1	Acer glabrum	White Maple	2.4m x 2.4m
10	1	Acer glabrum	White Maple	2.4m x 2.4m

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**Murdoch de Greeff**  
Landscape Planning & Design

**Received City of Victoria**  
NOV 15 2017  
Planning & Development  
400-1000 W. 30th Street

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NO.	DESCRIPTION	DATE
1	NO. 1201 FORT STREET	10/11/2017
2	NO. 1201 FORT STREET	10/11/2017
3	NO. 1201 FORT STREET	10/11/2017
4	NO. 1201 FORT STREET	10/11/2017
5	NO. 1201 FORT STREET	10/11/2017
6	NO. 1201 FORT STREET	10/11/2017
7	NO. 1201 FORT STREET	10/11/2017
8	NO. 1201 FORT STREET	10/11/2017
9	NO. 1201 FORT STREET	10/11/2017
10	NO. 1201 FORT STREET	10/11/2017

**1201 Fort Street**  
Abstract Developments  
Victoria, BC V8V 3L1

**PLANTING PLAN AND PLANT LIST**

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**PROJECT NUMBER:** 1201 FORT STREET  
**DATE:** 10/11/2017  
**SCALE:** 1:200 (B2/C4/38%)

**DESIGNED BY:** MURDOCH DE GREEFF  
**CHECKED BY:** MURDOCH DE GREEFF  
**APPROVED BY:** MURDOCH DE GREEFF

**5**

**L3.01**



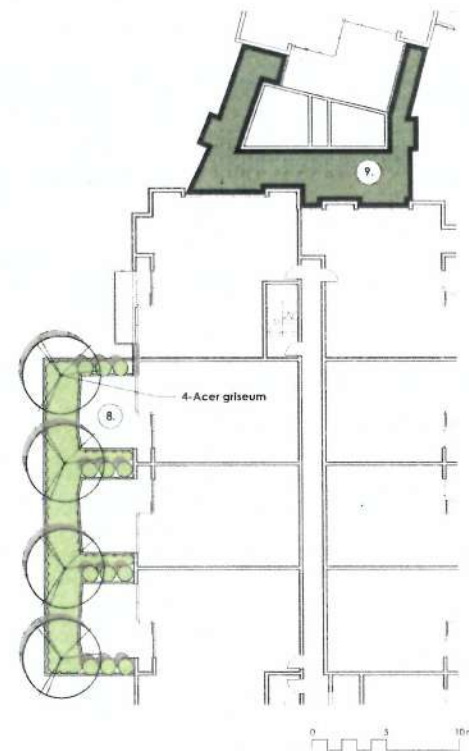
1 Partial Planting Plan - South  
Scale: 1:200

#### PLANTING DESCRIPTION

1. Rain gardens planted with plant material adapted to wet winter and dry summer conditions. Mix of Common Grey Rush, Sedges, Midwinter Fir Dogwood in the bottom and overgreen ornamental on the upper planting zone.
2. Inner courtyard landscape graded to create small rises between access path and flat roof patio. Paperbark Maple and Persian Ironwood trees in combination with strategically positioned shrubs are used to create privacy and a degree of spatial enclosure for the residential patio. Plant material is adapted to site conditions and includes Privet, Honey suckle, Rhododendrons, Little Princess Spirea, Cistus, and perennials.
3. Townhouse entries are separated by a structural wall and terraced plantings. The planting area between the building and the sidewalk allows for the installation of medium sized trees including Japanese Snowbell, Japanese Maple, and Kousa Dogwood. Plantings will be ornamental with Glacier Azalea, Cistus, Spreading English Yew and a mix of perennials and hardy grasses. A continuous boxwood hedge (4m high) is used along the Pentikew sidewalk edge which enhances the sense of entry to townhouse units.
4. Naturalized planting along south property line includes snowberry, mahonia, scilla, and red flowering current interspersed with large native shrubs such as Pacific Wax Myrtle.
5. Pentikew streetscape planted with Garry Oak trees with a groundcover planting of David's Vine and White Abelia.
6. Feature Zelkova specimen trees entry landscape with pedestrian scale formal ornamental plantings and water feature over patio / screening elements.
7. Native trees such as Nothofagus cypripedius in combination with Douglas Maples create a visually pleasing buffer to the south property line. Planting and trees in this location have been selected and positioned to not interfere with the car overhang zone.
8. Roof Planting Plan planted with Paperbark Maple trees and plant material is adapted to site conditions and includes Pittosporum, Cistus, and Abelia.
9. Extensive green roof, planted with a variety of sedum species.



3 KEY PLAN  
Scale: 1:1000



2 Roof Patio (Level 2) Planting Plan  
Scale: 1:150

#### PLANTING NOTES

1. Plant quantities and species may change between issuance of DFP and Construction, due to plant availability and design changes.
2. Other trees to be coordinated with City of Victoria Parks staff for approval, size, and final planting locations, prior to planting.
3. 20 Garry Oak trees will be designated as hydro-protected trees. This will be shown on the Building Permit drawings.

#### DRAWING NOTES

1. DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain prior to commencing work.
2. All plant quantities in metric and all detail dimensions in millimeters.
3. Plant quantities are shown as approximate quantities only.
4. Contractor to confirm all quantities of all existing structures and utilities prior to start of construction.
5. Provide layout of all work for approval by landscape architect prior to proceeding with work.
6. Contractor to provide irrigation system for all gardens to current M.C. Standards and Council Specifications.
7. Landscape installation to comply with all relevant standards.
8. Plant material: Irrigation and maintenance to conform to the current edition of the B.C.A. 2004 Landscape Standards.
9. General Contractor and sub-contractors are responsible for all construction to production and compliance to all landscape information including irrigation.

10. Tree protective fencing for existing trees to be installed prior to commencement of all site work.

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Planning & Development Dept.  
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NO.	DESCRIPTION	DATE
1	REVISION/ISSUE	26.11.2007
2	TP Revised	26.11.2007
3	TP Revised	26.11.2007
4	TP Revised	26.11.2007
5	TP Revised	26.11.2007
6	TP Revised	26.11.2007
7	TP Revised	26.11.2007
8	TP Revised	26.11.2007
9	TP Revised	26.11.2007
10	TP Revised	26.11.2007
11	TP Revised	26.11.2007
12	TP Revised	26.11.2007
13	TP Revised	26.11.2007
14	TP Revised	26.11.2007
15	TP Revised	26.11.2007
16	TP Revised	26.11.2007
17	TP Revised	26.11.2007
18	TP Revised	26.11.2007
19	TP Revised	26.11.2007
20	TP Revised	26.11.2007

PROJECT	1201 Fort
PROJECT	Abstract Developments
PROJECT	1201 Fort Street
PROJECT	Victoria, BC V8W 3L1
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PROJECT	AS NOTED @ 24x36"
PROJECT	PROJECT NUMBER
PROJECT	116.15
PROJECT	CHECKED BY: SM/ING
PROJECT	DRAWN BY: MDI
PROJECT	REV: 5
PROJECT	DWG NO: L3.02



